Wauwatosa, WI

Design Review Board

Meeting Agenda - Final

7725 W. North Avenue
Wauwatosa, WI 53213

Thursday, October 5, 2023 | **7:00 PM** | **COMMITTEE ROOM 1**

CALL TO ORDER

ROLL CALL

NEW BUSINESS

1.	6330 North Ave - Idyll Coffee Roasters - New Construction	**23-771**
2.	3375 Foundry Way - New Construction - Return to Board	**23-772**
3.	2654 Mayfair Rd - Mechanical Screening - Return to Board	**23-774**

ADJOURNMENT

NOTICE TO PERSONS WITH A DISABILITY
Persons with a disability who need assistance to participate in this meeting should call the City Clerk's office at (414) 479-8917 or send an email to tclerk@wauwatosa.net, with as much advance notice as possible.

Wauwatosa, WI

Staff Report

7725 W. North Avenue
Wauwatosa, WI 53213

File #: 23-771 **Agenda Date:** **Agenda #:** 1.

VIEW FROM SOUTHEAST

SOUTH ELEVATION

WEST ELEVATION

VIEW FROM NORTHWEST

GALBRAITH CARNAHAN ARCHITECTS

6404 West North Avenue
Milwaukee, Wisconsin 53213
(414) 291-0772 phone
www.galbraithcarnahan.com

IDYLL COFFEE ROASTERS

6330 WEST, NORTH AVENUE
WAUWATOSA, WI 53213

EXISTING EXTERIOR VIEWS

DATE: 09.26.23
PROJECT #: 22.38

P100

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IDYLL COFFEE ROASTERS

6330 WEST, NORTH AVENUE
WAUWATOSA, WI 53213

RENDERING

DATE: 09.26.23
PROJECT #: 22.38

P101

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IDYLL COFFEE

6330 W. NORTH AVE WAUWATOSA, WI 53213

PERSPECTIVES USED TO CONVEY GENERAL LOOK OF THE DESIGN.
SEE SUBSEQUENT DRAWINGS FOR DETAILS AND DIMENSIONS.

CONTACT INFORMATION

OWNER:

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davetambo@yahoo.com

CONTRACTOR:

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joes@dahlmancc.com

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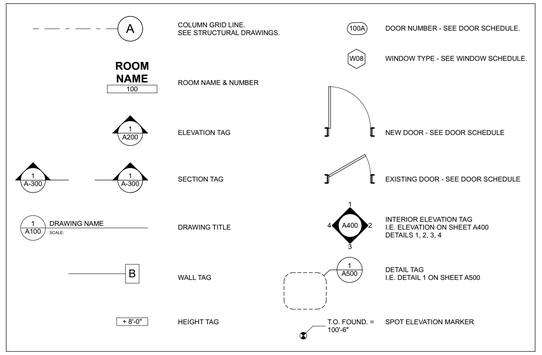
MILWAUKEE, WI 53222
(414) 443-1312

CONTACT:
CHRIS JACKSON
chris@cj-engineering.com

ABBREVIATIONS

#	POUND OR NUMBER
&	AND
@	AT
A	
ACT	ACOUSTIC CEILING TILE
AD	AREA DRAIN
AFF	ABOVE FINISHED FLOOR
ALUM	ALUMINUM
ANOD	ANODIZED
APPROX	APPROXIMATELY
B	
BLKG	BLOCKING
BLKHD	BULKHEAD
BRG	BEARING
BSMT	BASEMENT
BT	BASE TILE
BYND	BEYOND
BO	BOTTOM OF
BOT	BOTTOM
C	
CABT	CABINET
CIP	CAST IN PLACE
CHNL	CHANNEL
CJ	CONTROL JOINT
CL	CLOSET
CLG	CEILING
CLR	CLEAR
CM	CONSTRUCTION MANAGER
CMU	CONCRETE MASONRY UNIT
COL	COLUMN
COMPR	COMPRESSIBLE
CONC	CONCRETE
CONT	CONTINUOUS
CONTR	CONTRACTOR
CPT	CARPET
CRS	COURSE
CT	CERAMIC TILE
CTB	CERAMIC TILE BASE
CTYD	COURTYARD
D	
DBL	DOUBLE
DEMO	DEMOLISH OR DEMOLITION
DIA	DIAMETER
DIM	DIMENSION
DIMS	DIMENSIONS
DISP	DISPENSER
DN	DOWN
DR	DOOR
DRWR	DRAWER
DS	DOWNSPOUT
DTL	DETAIL
DW	DISHWASHER
DWG	DRAWING
E	
EA	EACH
EIFS	EXTERIOR INSULATION FINISH SYSTEM
EJ	EXPANSION JOINT
EL	ELEVATION
ELEC	ELECTRICAL
ELEV	ELEVATOR OR ELEVATION
EPDM	ETHYLENE PROPYLENE DIENE M-CLASS
EQ	EQUAL
ETR	EXISTING TO REMAIN
EXIST	EXISTING
EXP	EXPANSION
EXT	EXTERIOR
F	
FD	FLOOR DRAIN OR FIRE DEPARTMENT
FE	FIRE EXTINGUISHER
FEC	FIRE EXTINGUISHER CABINET
FIN FLR	FINISHED FLOOR
FIXT	FIXTURE
FLR	FLOOR
FLSHG	FLASHING
FM	FILLED METAL
FO	FACE OF
FT	FOOT
FTG	FOOTING
FND	FOUNDATION
G	
GA	GAUGE
GALV	GALVANIZED
GB	GRAB BAR
GWB	GYPSUM WALL BOARD
H	
HC	HOLLOW CORE
HDWD	HARDWOOD
HDR	HEADER
HI	HIGH
HM	HOLLOW METAL
HORIZ	HORIZONTAL
HP	HIGH POINT
HR	HOUR
HT	HEIGHT
HRDBD	HARDBOARD
HVAC	HEATING, VENTILATING, AND AIR CONDITIONING
I	
IRGWB	IMPACT RESISTANT GYPSUM WALL BOARD
ILO	IN LIEU OF
INSTR	INSTRUCTIONS
INSUL	INSULATED OR INSULATION
INT	INTERIOR
J	
JNT	JOINT
L	
LHB	LOCKABLE HOSE BIBB
M	
MAX	MAXIMUM
MFR	MANUFACTURER
MO	MASONRY OPENING
MECH	MECHANICAL
MEMBR	MEMBRANE
MICRO	MICROWAVE
MIN	MINIMUM
MISC	MISCELLANEOUS
MRDW	MOISTURE RESISTANT DRY WALL
MRGWB	MOISTURE RESISTANT GYPSUM WALL BOARD
MTL	METAL
MTR	MORTAR
MTRL	MATERIAL
N	
NIC	NOT IN CONTRACT
NO	NUMBER
NOM	NOMINAL
O	
OC	ON CENTER
OH	OPPOSITE HAND
OPNG	OPENING
OZ	OUNCE
P	
PCC	PRE-CAST CONCRETE
PLUMB	PLUMBING
PLAM	PLASTIC LAMINATE
PLYWD	PLYWOOD
P&SH	POLE & SHELVES / SHELF
PREFIN	PRE-FINISHED
PT	PRESSURE TREATED
PNT	PAINT OR PAINTED
PVC	POLYVINYL CHLORIDE
R	
RB	RUBBER BASE
RBR	RUBBER
RC	RAIN CHAIN
RCP	REFLECTD CEILING PLAN
RD	ROOF DRAIN
REF	REFRIGERATOR
REINF	REINFORCED
REQD	REQUIRED
RM	ROOM
RO	ROUGH OPENING
S	
SHTHG	SHEATHING
SF	SHEET FLOORING
SIM	SIMILAR
SPEC	SPECIFIED OR SPECIFICATION
SPK	SPRINKLER OR SPEAKER
SS	STAINLESS STEEL
ST	STAIN
STC	SOUND TRANSMISSION COEFFICIENT
STL	STEEL
STRUCT	STRUCTURE OR STRUCTURAL
T	
T&G	TONGUE AND GROOVE
TELE	TELEPHONE
TLT	TOILET
TO	TOP OF
TOC	TOP OF CONCRETE
TOS	TOP OF STEEL
TPD	TOILET PAPER DISPENSER
T/D	TELEPHONE/DATA
TYP	TYPICAL
U	
UNO	UNLESS NOTED OTHERWISE
U/S	UNDERSIDE
V	
VB	VINYL BASE
VCT	VINYL COMPOSITIONTILE
VERT	VERTICAL
VIF	VERIFY IN FIELD
VP	VISION PANEL
VWC	VINYL WALL COVERING
W	
W/	WITH
WD	WOOD
WDW	WINDOW

SYMBOL KEY



SHEET INDEX

ID	NAME
G100	COVER SHEET
C1.0	SITE PLAN
A100	LOWER LEVEL FLOOR PLAN
A101	FIRST FLOOR PLAN
A102	SECOND FLOOR PLAN
A103	ROOF PLAN
A200	ELEVATIONS
A201	ELEVATIONS
A202	ELEVATIONS

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CONSULTANTS:

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6330 W. NORTH AVENUE
WAUWATOSA, WI 53213
TAX KEY: 330-0171-000

DRAWING ISSUE	DATE
EXISTING BASE PLANS	10.20.22
PRE-APPLICATION DRAWINGS	05.17.23
CONDITIONAL USE / SITE PLAN APPLICATION	06.06.23
50% CD'S	08.24.23
APPRAISAL SET	09.15.23
ARB SET	09.22.23

PROJECT # 22.38

COVER SHEET

G100

NOT FOR CONSTRUCTION

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LEGEND

BASKETBALL HOOP (BH)	LIGHT POLE	**ABBREVIATIONS**	**LINE TYPES (CONT.)**
BENCHMARK (BM)	MAIL BOX (MB)	F.L. FLOW LINE	METAL FENCE
BOLLARD (BO)	MANHOLE (MH)	I.E. INVERT ELEVATION	WOOD FENCE
BUSH, SHRUB, ETC.	MONITORING WELL (MW)	FND FOUND	GUARD RAIL
CATCH BASIN ROUND (CB)	SIGN (TRAFFIC, ETC.)	MLP METAL LIGHT POLE	BURIED CABLE TV
CATCH BASIN SQUARE (CB)	SOIL BORING (SB)	CLP CONCRETE LIGHT POLE	BURIED COMMUNICATIONS
CLEAN OUT (CO)	TRAFFIC LIGHT (TL)	WLP WOOD LIGHT POLE	COMBINATION SEWER
CURB INLET (CB)	DECIDUOUS TREE (TR)	FGLP FIBERGLASS LIGHT POLE	BURIED ELECTRIC
EVERGREEN TREE (EG)	UTILITY MARKER	MS METAL SIGN	BURIED FIBER OPTIC
FIRE HYDRANT (HYD)	UTILITY METER	GM GAS METER	BURIED GAS SERVICE
FLAG POLE (FP)	UTILITY PEDESTAL	EM ELECTRIC METER	OVERHEAD UTILITY LINES
GUY WIRE (GW)	UTILITY POLE (UP)	D.S.E. DOOR SILL ELEVATION	SANITARY SEWER
HANDICAP	UTILITY VALVE	EP ELECTRIC PEDESTAL	STORM SEWER
IRON PIPE (I.P.)	WATER WELL	F.F.E. FIRST FLOOR ELEVATION	BURIED TELEPHONE
		FO FIBER OPTIC CABLE	WATER MAIN / SERVICE
		GV GAS VALVE	
		WV WATER VALVE	
		CTP CABLE TV PEDESTAL	
		WLF WETLAND FLAG	
		YL YARD LIGHT	
		LINE TYPES	
		SANITARY FORCE MAIN	

LEGAL DESCRIPTION

LOTS 22, 23, AND 24, IN BLOCK 3, IN J.F. LABOULE SUBDIVISION NO. 1, IN THE SOUTHEAST 1/4 OF SECTION 15, IN TOWNSHIP 7 NORTH, RANGE 21 EAST, IN THE CITY OF WAUWATOSA, COUNTY OF MILWAUKEE, STATE OF WISCONSIN.

SURVEYOR'S NOTES

1) TITLE POLICY INFORMATION - PER FIRST AMERICAN TITLE INSURANCE COMPANY, FILE NO: NCS-932066-MKE, COMMITMENT DATE OF OCTOBER 22, 2018.

2) FLOOD PLAIN INFORMATION - PROPERTY IS IN ZONE X (AREA OF 0.2% ANNUAL CHANCE OF FLOOD) PER FIRM MAP NO. 55079C0086E, EFFECTIVE DATE OF SEPTEMBER 26, 2008

3) ZONING INFORMATION & BASIS - PER CITY OF WAUWATOSA ZONING DEPARTMENT - ZONED C1 DISTRICT/NORTH AVENUE OVERLAY (C1/NOR)

4) BUILDING SETBACKS, HEIGHT RESTRICTIONS & BASIS OF EACH - PER CITY OF WAUWATOSA ZONING DEPARTMENT

FRONT SET BACK - 0 FEET
SIDE STREET SET BACK - 0 FEET
INTERIOR SIDE SET BACK - 0 FEET
REAR - 0 FEET

5) LAND AREA - 10,800 SQUARE FEET

6) BUILDING AREA - 4,767 SQUARE FEET

7) BUILDING HEIGHT - 22' +/-

8) BASIS OF BEARINGS - NORTH LINE OF W. NORTH AVENUE - ASSUMED WEST

9) PARKING INFORMATION - PARKING STRIPING TO VAGUE TO LOCATE

10) UNDERGROUND SEWER AND UTILITY INFORMATION AS SHOWN IS OBTAINED FROM THE RECORDS OF MUNICIPALITY AND LOCAL UTILITY COMPANIES. THE ACCURACY OF WHICH CAN NOT BE GUARANTEED OR CERTIFIED TO.

11) THE LOCATIONS OF EXISTING UTILITY INSTALLATIONS AS SHOWN ON THIS SURVEY ARE APPROXIMATE. THERE MAY BE OTHER UNDERGROUND UTILITY INSTALLATIONS WITHIN THE PROJECT AREA THAT ARE NOT SHOWN.

12) WINDOW WELLS AROUND BUILDING NOT SHOWN.

SCHEDULE B - EXCEPTIONS

10) AT&T WISCONSIN GENERAL EASEMENT GRANTED IN WISCONSIN BELL INC. d/b/a AT&T - WISCONSIN IN INSTRUMENT DATED NOVEMBER 29, 2006 AND RECORDED ON MARCH 1, 2007, AS DOCUMENT NO. 09393225 - AS SHOWN ON SURVEY

SURVEYOR'S CERTIFICATION

To First American Title Insurance Company:

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2016 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 2, 3, 4, 5, 6, 8, 9, 11, and 13 of Table A thereof. The fieldwork was completed on June 5, 2019

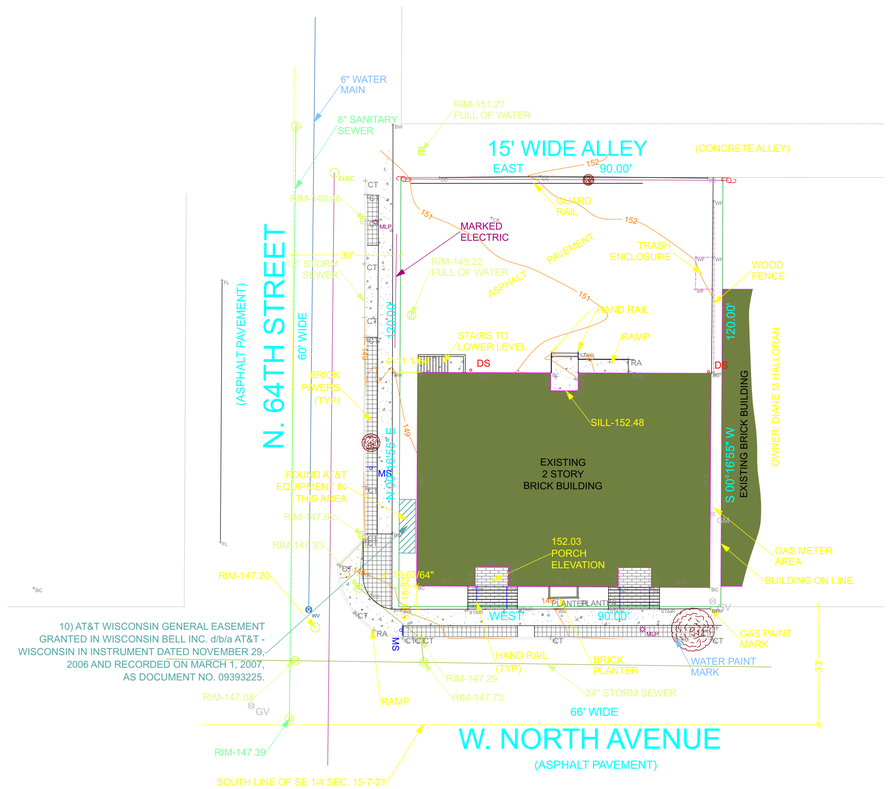
Date: June 7, 2019

Mark L. Wertz -

Professional Land Surveyor

Registration No.

S-1915



GRAPHIC SCALE

20' 0 10' 20' 40'

1 inch = 20ft

VICINITY MAP

SOUTHEAST 1/4 SEC. 15-7-21

NOT TO SCALE

LIS
LAND INFORMATION SERVICES, INC.
ENGINEERS, SURVEYORS & CONSULTANTS
9110 W. STICKNEY AVENUE
WAUWATOSA, WI 53226
T 262.312.9000
www.lisinc.net

DIGGERS HOTLINE

CALL DIGGERS HOTLINE
811 or 1-800-242-8511 / MILW. AREA 259-1181
WIS STATUTE 182.0175(1974) REQUIRES MIN. 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE

ALTA / NSPS LAND TITLE SURVEY
6330 W. NORTH AVENUE
WAUWATOSA, WISCONSIN

DRAWN BY: M.D.N.
CHECKED BY: M.L.W.
DATE: 6.5.19
JOB NUMBER: S19036R0AL

REVISIONS

SHEET 1 OF 1

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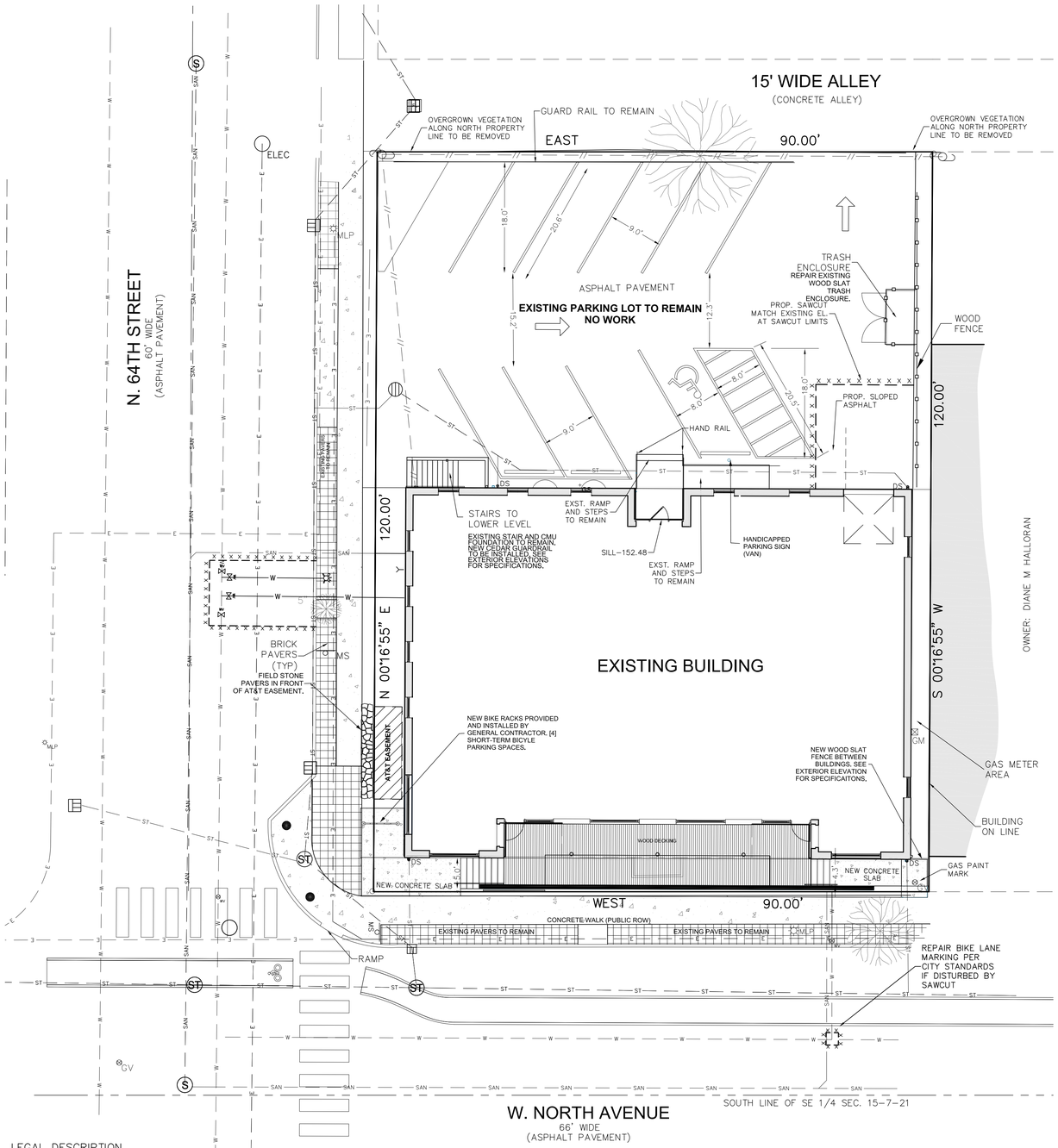

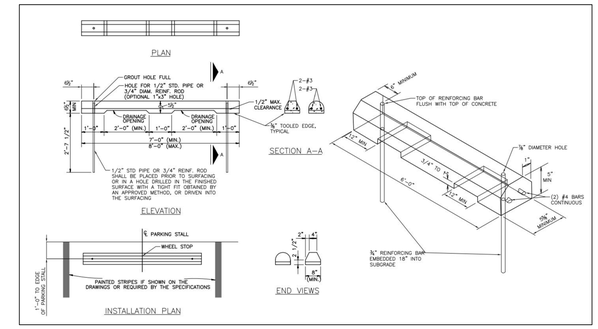

CONCRETE WHEEL STOP DETAIL

NOT TO SCALE

CJ engineering
civil design and consulting
9205 W. Center Street
Suite 214
Milwaukee, WI 53222
PH. (414) 443-1312
FAX (414) 443-1317
www.cj-engineering.com

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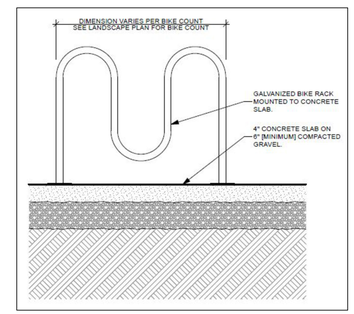
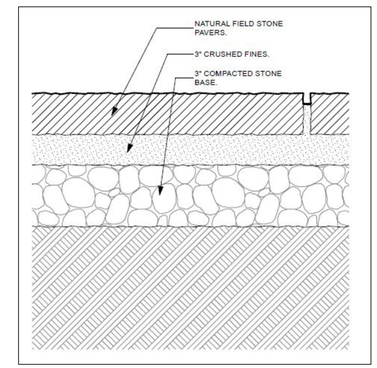


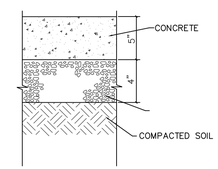
BIKE RACK

NOT TO SCALE



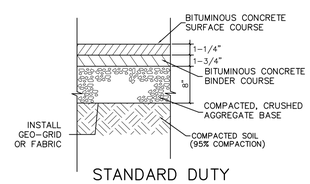
FIELD STONE PAVERS

NOT TO SCALE



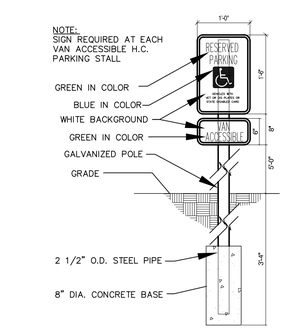
CONCRETE SIDEWALK

NOT TO SCALE



STANDARD DUTY ASPHALT PAVEMENT (PARKING AREA)

NOT TO SCALE



HANDICAPPED PARKING SIGN DETAIL (VAN ACCESSIBLE)

NOT TO SCALE

IDYLL COFFEE

TAX KEY: 3300171000

6330 W. NORTH AVENUE WAUWATOSA, WI

CJE NO.: 2342R0-EC

AUGUST 24, 2023

LEGAL DESCRIPTION

LOTS 22, 23, AND 24, IN BLOCK 3, IN J.F. LABOULE SUBDIVISION NO. 1, IN THE SOUTHEAST 1/4 OF SECTION 15, IN TOWNSHIP 7 NORTH, RANGE 21 EAST, IN THE CITY OF WAUWATOSA, COUNTY OF MILWAUKEE, STATE OF WISCONSIN.

CONTAINING: 10,800 S.F. (0.25 ACRES)

NOTES:

1. DISTURBED AREA = 1,543 S.F. (0.035 ACRES)

2. THERE IS AN INCREASE OF 348 S.F. OF IMPERVIOUS SURFACE ON THE SITE.

3. TAX ID NUMBERS: 3300171000

4. ALL WORK IN THE RIGHT OF WAY SHALL BE DONE IN ACCORDING TO THE CITY REQUIREMENTS AND SPECIFICATIONS AND REQUIRES A STREET OCCUPANCY PERMIT FROM THE CITY.

5. PAVEMENT MARKINGS SHALL BE 3" WIDE STRIPED IN WHITE OR YELLOW TRAFFIC PAINT.

6. PROPOSED DEVELOPMENT WILL NOT DISTURB MORE THAN 1 ACRE AND WILL INCREASE THE AMOUNT OF IMPERVIOUS SURFACE BY 348 S.F. THEREFORE A STORM WATER MANAGEMENT PLAN IS NOT REQUIRED.

SITE AREAS: EXISTING

PROPERTY AREA = 10,800 S.F. (0.248 ACRES)

EXISTING BUILDING = 4,767 S.F. (0.109 ACRES)
EXISTING PAVEMENT = 5,166 S.F. (0.119 ACRES)

EXISTING IMPERVIOUS = 9,933 S.F. (0.228 ACRES)
EXISTING OPEN = 867 S.F. (0.020 ACRES)

EXISTING DESIGNATED ON SITE SURFACE PARKING (TO BE RESTRIPED)
8 REGULAR STALLS
1 ADA ACCESSIBLE STALL
9 TOTAL PARKING STALLS

0 BIKE PARKING STALLS

SITE AREAS: PROPOSED

PROPOSED BUILDING FOOTPRINT = 4,271 S.F. (0.098 ACRES)
PROPOSED PAVEMENT = 6,010 S.F. (0.138 ACRES)

PROPOSED IMPERVIOUS = 10,281 S.F. (0.236 ACRES)
PROPOSED OPEN = 519 S.F. (0.012 ACRES)

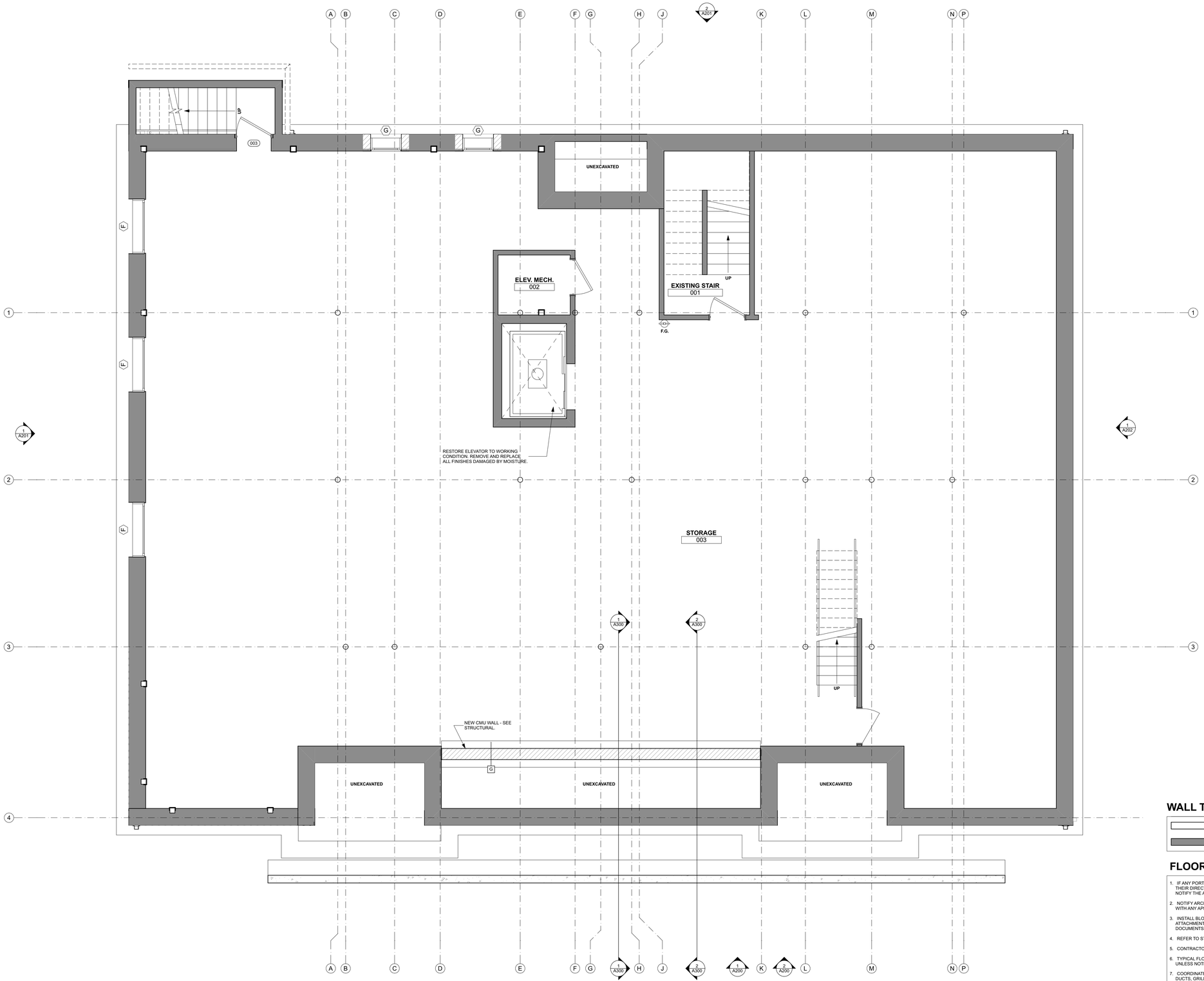
PROPOSED ON SITE SURFACE PARKING:
7 REGULAR STALLS
1 ACCESSIBLE STALL
8 TOTAL STALLS

4 SHORT TERM BIKE PARKING STALLS
2 LONG TERM BIKE PARKING STALLS (SEE ARCHITECTURAL PLANS FOR INTERIOR LOCATION)

GRAPHIC SCALE

1 inch = 10 ft

SITE PLAN C1.0



NORTH

1 A100 LOWER LEVEL PLAN
SCALE: 1/4" = 1'-0"

WALL TYPE LEGEND

NEW WALL

EXISTING WALL TO REMAIN

FLOOR PLAN - GENERAL NOTES

1. IF ANY PORTION OF THE CONSTRUCTION DOCUMENTS ARE UNCLEAR, INCOMPLETE IN THEIR DIRECTION, OR CONFLICTS WITH OTHER PORTIONS OF THE WORK; PLEASE NOTIFY THE ARCHITECT PRIOR TO EXECUTING THAT WORK.
2. NOTIFY ARCHITECT PROMPTLY IF THE CONSTRUCTION DOCUMENTS ARE INCONSISTENT WITH ANY APPLICABLE CODES OR REGULATIONS.
3. INSTALL BLOCKING IN WALLS, CEILING AND FLOORS AS REQUIRED FOR THE ATTACHMENT OF ANY ITEMS OR EQUIPMENT SHOWN IN THE CONSTRUCTION DOCUMENTS.
4. REFER TO STRUCTURAL PLANS, FOR FRAMING SIZE & ORIENTATION.
5. CONTRACTOR TO VERIFY ALL DIMENSIONS IN FIELD PRIOR TO EXECUTION OF WORK.
6. TYPICAL FLOOR PLAN DIMENSIONS ARE SHOWN TO THE EXTERIOR FACE OF STUDS, UNLESS NOTED OTHERWISE.
7. COORDINATE EXACT LOCATION OF LIGHT FIXTURES, ACCESS PANELS, SPEAKERS, HVAC DUCTS, GRILLS, DIFFUSERS AND OTHER SUCH CEILING ITEMS WITH MECHANICAL, ELECTRICAL, AND OTHER PERTINENT TRADES. NOTIFY ARCHITECT IF ANY LOCATIONS OR CONDITIONS CONFLICT WITH THE DESIGN INTENT SHOWN IN THESE CONSTRUCTION DOCUMENTS.
8. SEE SHEET A500 FOR WALL, FLOOR, AND ROOF ASSEMBLY TYPES.
9. SEE SHEET A600 FOR DOOR AND WINDOW TYPES.

NOT FOR CONSTRUCTION

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DRAWING ISSUE	DATE
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CONDITIONAL USE / SITE PLAN APPLICATION	06.06.23
50% CD'S	08.24.23
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PROJECT # 22.38

LOWER LEVEL FLOOR PLAN

A100

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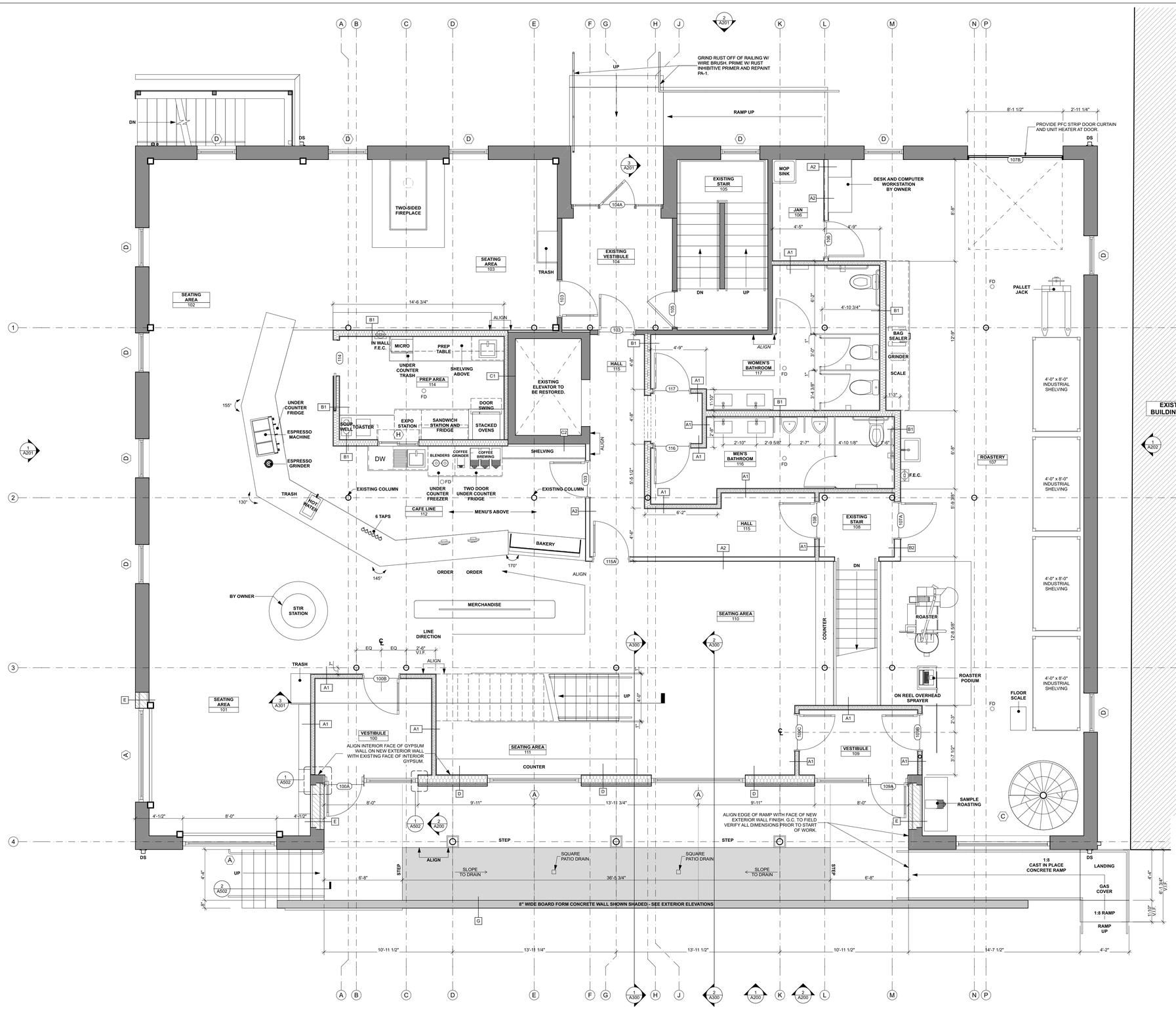

1 A101 FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

WALL TYPE LEGEND

NEW WALL

EXISTING WALL TO REMAIN

FLOOR PLAN - GENERAL NOTES

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2. NOTIFY ARCHITECT PROMPTLY IF THE CONSTRUCTION DOCUMENTS ARE INCONSISTENT WITH ANY APPLICABLE CODES OR REGULATIONS.
3. INSTALL BLOCKING IN WALLS, CEILING AND FLOORS AS REQUIRED FOR THE ATTACHMENT OF ANY ITEMS OR EQUIPMENT SHOWN IN THE CONSTRUCTION DOCUMENTS.
4. REFER TO STRUCTURAL PLANS, FOR FRAMING SIZE & ORIENTATION.
5. CONTRACTOR TO VERIFY ALL DIMENSIONS IN FIELD PRIOR TO EXECUTION OF WORK.
6. TYPICAL FLOOR PLAN DIMENSIONS ARE SHOWN TO THE EXTERIOR FACE OF STUDS, UNLESS NOTED OTHERWISE.
7. COORDINATE EXACT LOCATION OF LIGHT FIXTURES, ACCESS PANELS, SPEAKERS, HVAC DUCTS, GRILLS, DIFFUSERS AND OTHER SUCH CEILING ITEMS WITH MECHANICAL, ELECTRICAL, AND OTHER PERTINENT TRADES. NOTIFY ARCHITECT IF ANY LOCATIONS OR CONDITIONS CONFLICT WITH THE DESIGN INTENT SHOWN IN THESE CONSTRUCTION DOCUMENTS.
8. SEE SHEET A500 FOR WALL, FLOOR, AND ROOF ASSEMBLY TYPES.
9. SEE SHEET A600 FOR DOOR AND WINDOW TYPES.

GALBRAITH CARNAHAN ARCHITECTS
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(414) 291-0772 phone
www.galbraithcarnahan.com

CONSULTANTS:

IDYLL COFFEE

6330 W. NORTH AVENUE
WAUWATOSA, WI 53213
TAX KEY: 330-0171-000

DRAWING ISSUE	DATE
EXISTING BASE PLANS	10.20.22
PRE-APPLICATION DRAWINGS	05.17.23
CONDITIONAL USE / SITE PLAN APPLICATION	06.06.23
50% CD'S	08.24.23
APPRAISAL SET	09.15.23
ARB SET	09.22.23

PROJECT # 22.38

FIRST FLOOR PLAN

A101

NOT FOR CONSTRUCTION

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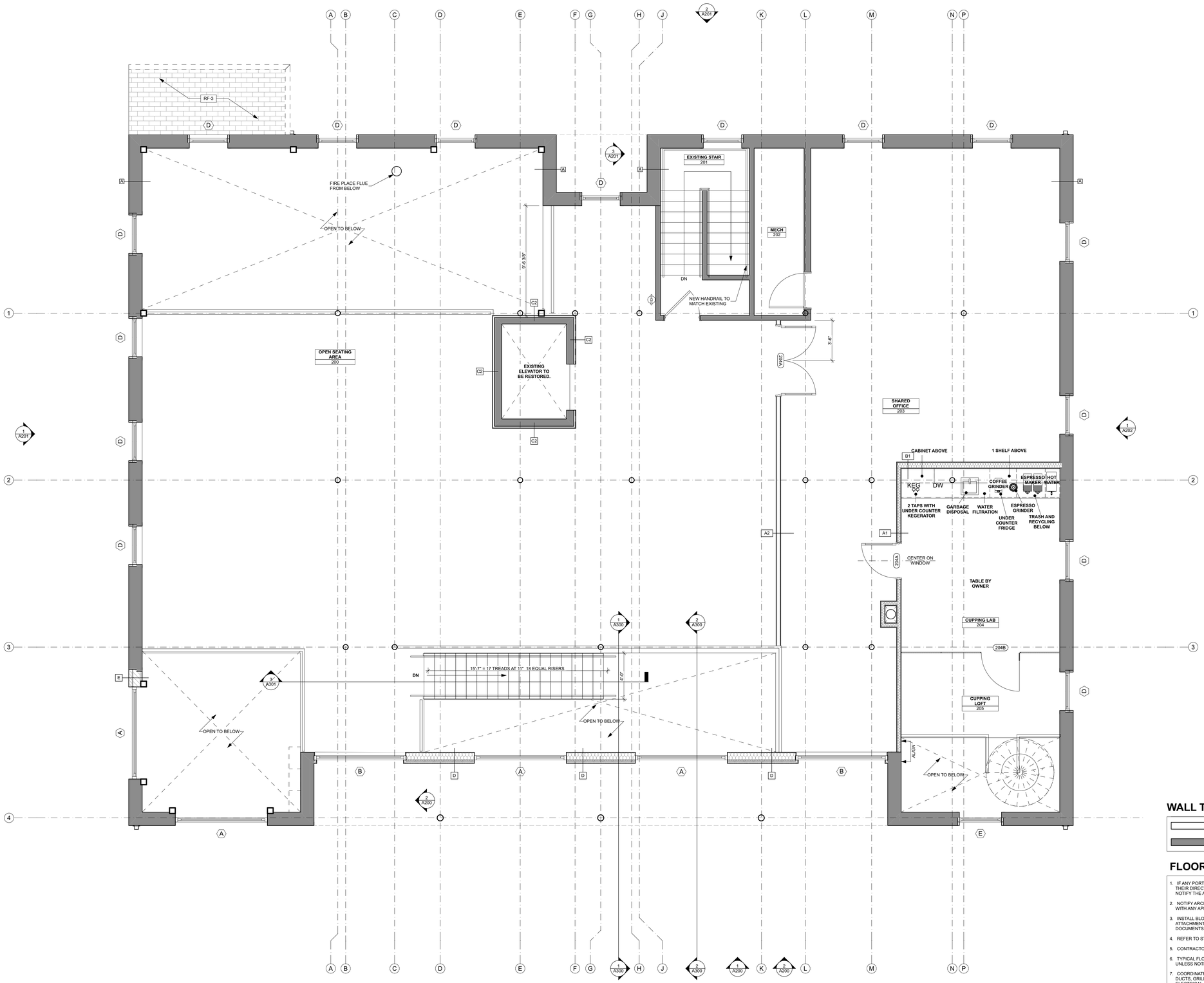

NORTH

1 A102 SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"

WALL TYPE LEGEND

	NEW WALL
	EXISTING WALL TO REMAIN

FLOOR PLAN - GENERAL NOTES

1. IF ANY PORTION OF THE CONSTRUCTION DOCUMENTS ARE UNCLEAR, INCOMPLETE IN THEIR DIRECTION, OR CONFLICTS WITH OTHER PORTIONS OF THE WORK; PLEASE NOTIFY THE ARCHITECT PRIOR TO EXECUTING THAT WORK.
2. NOTIFY ARCHITECT PROMPTLY IF THE CONSTRUCTION DOCUMENTS ARE INCONSISTENT WITH ANY APPLICABLE CODES OR REGULATIONS.
3. INSTALL BLOCKING IN WALLS, CEILING AND FLOORS AS REQUIRED FOR THE ATTACHMENT OF ANY ITEMS OR EQUIPMENT SHOWN IN THE CONSTRUCTION DOCUMENTS.
4. REFER TO STRUCTURAL PLANS, FOR FRAMING SIZE & ORIENTATION.
5. CONTRACTOR TO VERIFY ALL DIMENSIONS IN FIELD PRIOR TO EXECUTION OF WORK.
6. TYPICAL FLOOR PLAN DIMENSIONS ARE SHOWN TO THE EXTERIOR FACE OF STUDS, UNLESS NOTED OTHERWISE.
7. COORDINATE EXACT LOCATION OF LIGHT FIXTURES, ACCESS PANELS, SPEAKERS, HVAC DUCTS, GRILLS, DIFFUSERS AND OTHER SUCH CEILING ITEMS WITH MECHANICAL, ELECTRICAL, AND OTHER PERTINENT TRADES. NOTIFY ARCHITECT IF ANY LOCATIONS OR CONDITIONS CONFLICT WITH THE DESIGN INTENT SHOWN IN THESE CONSTRUCTION DOCUMENTS.
8. SEE SHEET A500 FOR WALL, FLOOR, AND ROOF ASSEMBLY TYPES.
9. SEE SHEET A600 FOR DOOR AND WINDOW TYPES.

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SECOND FLOOR PLAN

A102

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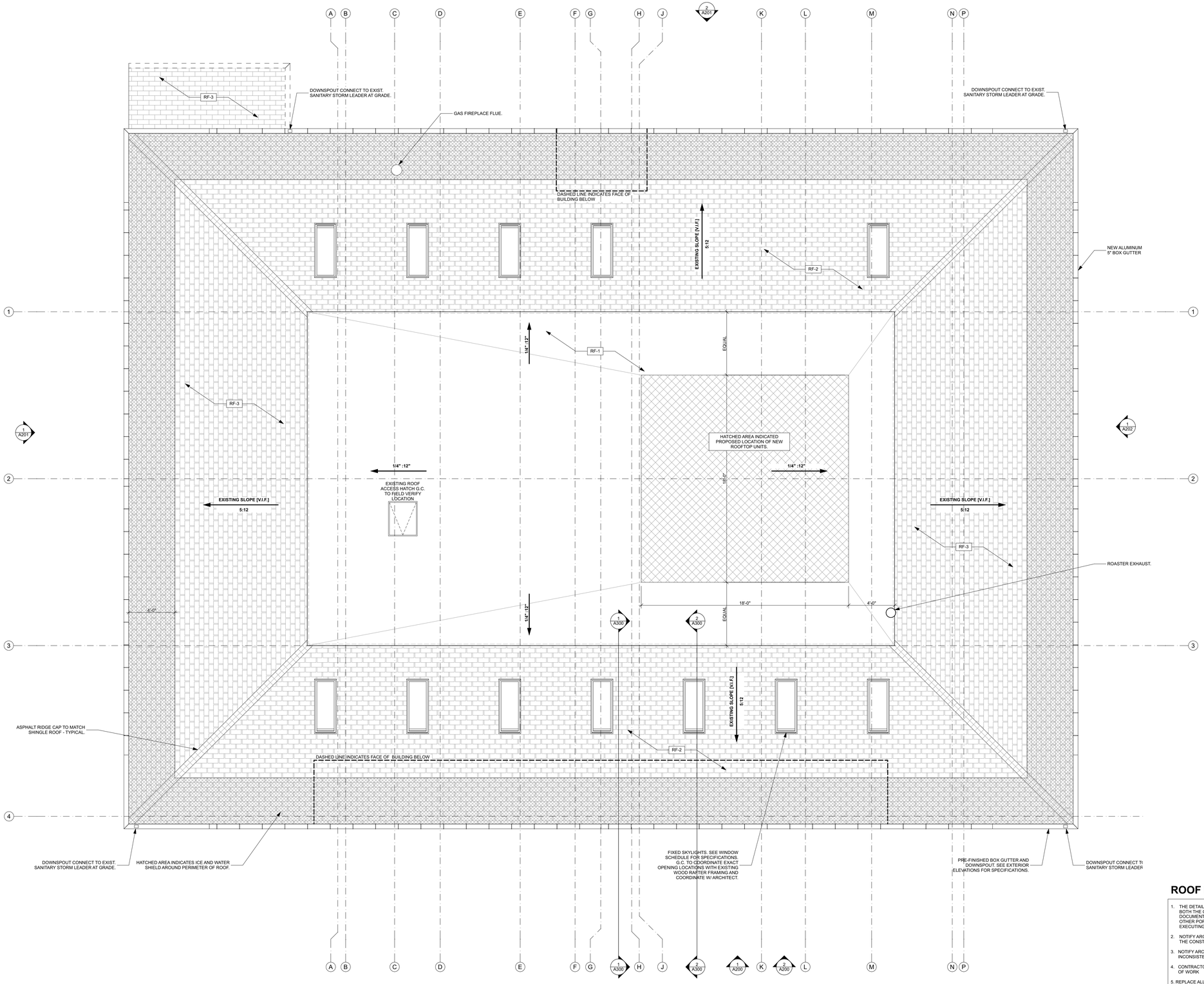

1 A103 ROOF PLAN
SCALE: 1/4" = 1'-0"

ROOF PLAN - GENERAL NOTES

1. THE DETAILS OF CONSTRUCTION IN THIS PROJECT ARE OF CRITICAL IMPORTANCE TO BOTH THE CLIENT AND ARCHITECT. IF ANY PORTION OF THE CONSTRUCTION DOCUMENTS IS UNCLEAR, INCOMPLETE IN IT'S DIRECTION, OR CONFLICTS WITH OTHER PORTIONS OF THE WORK, PLEASE NOTIFY THE ARCHITECT PRIOR TO EXECUTING THAT WORK
2. NOTIFY ARCHITECT PROMPTLY IF THE INFORMATION SHOWN IN ONE PORTION OF THE CONSTRUCTION DOCUMENTS CONFLICTS WITH THAT SHOWN IN ANOTHER
3. NOTIFY ARCHITECT PROMPTLY IF THE CONSTRUCTION DOCUMENTS ARE INCONSISTENT WITH ANY APPLICABLE CODES OR REGULATIONS
4. CONTRACTOR TO VERIFY ALL DIMENSIONS IN FIELD PRIOR TO EXECUTION OF WORK
5. REPLACE ALL AREA OF ROTTED SHEATHING W/ NEW PLYWOOD TO MATCH EXIST. THICKNESS

PAINT ALL ROOF PENETRATIONS TO MATCH ADJACENT ROOFING MATERIAL.

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TAX KEY: 330-0171-000

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ARB SET	09.22.23

PROJECT # 22.38

ROOF PLAN

A103

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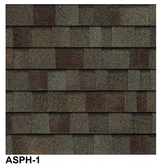


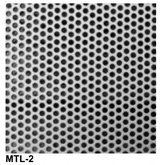
ASPH-1
OWENS CORNING DRIFTWOOD

CONC-1
BOARD FORM CONCRETE

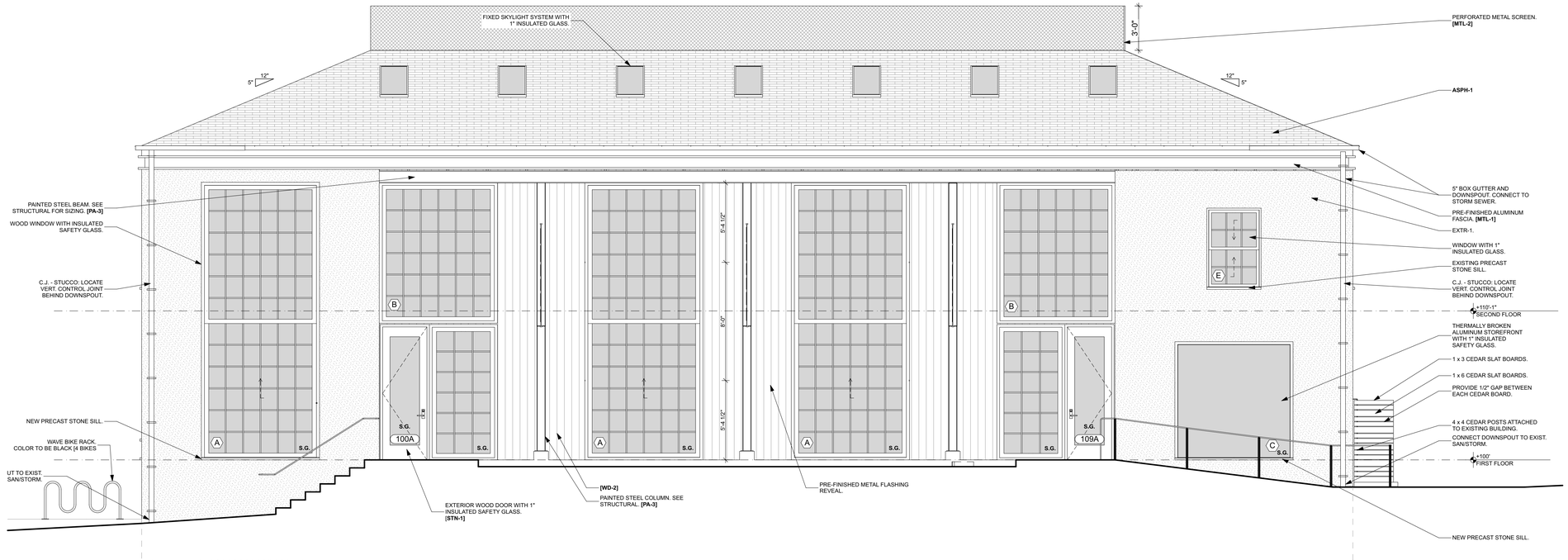
EXTR-1
CEMENT STUCCO FINISH - SANDY TAN

EXTR-2
VERTICAL WOOD SIDING - 1x6 CEDAR PLANKS

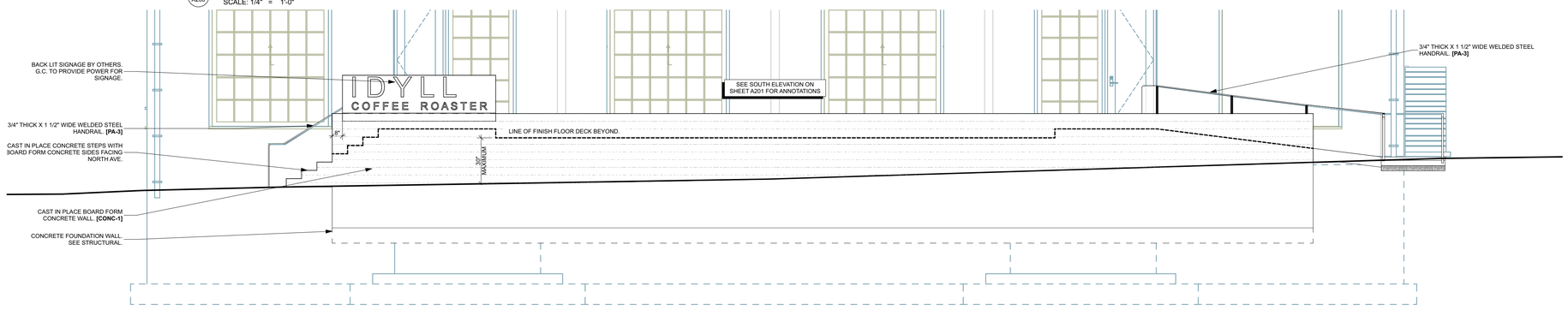
MTL-1 / PA-3
BRAKE METAL / WINDOW FRAME/ PAINT - SLATE GREY



MTL-2
PERFORATED METAL PANEL - GALVANIZED STEEL



1 A200 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



2 A200 SOUTH CONCRETE WALL ELEVATION
SCALE: 1/4" = 1'-0"

LITHONIA LIGHTING

Catalog Number:
Notes:
Type: LT-G ALTERNATE

AFFINITY®
Premium Die-Cast Architectural Emergency Light

AFF

FEATURES & SPECIFICATIONS

INTENDED USE — Back-lit application requiring low profile, attractive emergency lighting with optional normally off or normally on with photocell control. Provides a minimum of 90 minutes of emergency lighting when AC power is interrupted. **Caution:** Avoid contact with **cyanoacrylate** cyanoacrylate (super glue) and other adhesives. Contact Lithonia Lighting for more information. **Consult the manufacturer of sealants and/or adhesives prior to use. Click here for Acrylic Polycarbonate Compatibility table for available uses.**

CONSTRUCTION — Compact, low profile, architectural design with die-cast aluminum housing. Finishes are textured powder-coat paint for dark bronze, white, black and non-textured for natural aluminum. Back-lit, edge-lit acrylic lens is installed and located on the bottom of the housing and are easily accessible and visible from the floor.

OPTICS — LEDs with CRI of 70,000 hours. Delivers 0.0 lumens in Normal (On and) Emergency operation. Lens is UV stabilized to prevent yellowing and maintain light output. **Exceeds the 10 FC AS/NZS 2293.1** Outdoor wide-throw distribution. 90 (2 pole of spacing) at a 7.5' mounting height can 1.9 (Average) 0.0008 correlated color temperature (CCT).

70.CRI.

ELECTRICAL — 6W@7.2Q0 Max 347V, 50/60hz. Current limiting charger maximizes battery life and provides a consistent charge. Low voltage disconnect for operating cells. Small Battery charger Certified in the U.S Title 20 Appliance Efficiency Database.

Short circuit protection — current limiting charger circuitry protects against circuit board from shorts. Regulated charge voltage maintains a stable charge voltage even a wide range of line voltages.

Prevents overcharging that shortens battery life and reduces capacity. Filtered charger input minimizes noise and extends battery life and capacity.

Photocell option (PC): for normally on product in order to discontinue illumination during periods when ambient light is present. Photocell option (PCL): for normally on products allow the user to force lamp to turn off during periods when ambient light is present. Photocell option (PCD): for normally off product with self-sagnerin internal daylight sensor. For switched fan applications, no other type of products shall be connected on the switched leg.

Lamp units (ERUD) are normally off. Emergency only functionality with DC power from an external battery.

BATTERY: Sealed, maintenance-free Lithium Iron Phosphate battery.

SELF-DIAGNOSTICS AND REMOTE TEST (SMT OPTION): Automatic 24-hour recharge after a 90 minute discharge. Advanced electrical design provides constant light output throughout the entire rated emergency life, even as the battery ages. Self-diagnostic microprocessor initiates a full 90 minute discharge/recharge cycle. Brownout protection is automatically switched to emergency mode when supply voltage drops below approximately 80 percent nominal AC (VL,120, 277 or 347 Ellen Brooks Drive, Aurora, ON, L4G 3V7 Allowed accuracy varies but also for 5 years or applicable jurisdiction battery storage from deep discharge.

Self-Diagnostics: Continuously monitors AC functionality. Standard decomponent monitoring will initiate a full 90 minute test if AC power fails within 24 hours of the last test to verify the unit is in emergency mode. Single multi-chemistry LED indicator to display two-color charging, test scheme and three-color self-diagnostics.

Remote Test (RT): Initiates a 90 minutes every 30 days and 90 minutes annually. Diagnostic evaluation of lamp, AC to DC transfer, battery charging and condition of emergency power. Automatic test is easily postponed for eight hours by activating manual test switch or use of remote tester (RTAT accessory).

Manual test switch initiates a 90 minute test when switch is held for one second and release. Test will abort if switch is held down. Annual test switch initiates a 90 minute test when switch is held down for more than one second but less than 20 seconds. Minimum annual testing and manual test switch initiates the test switch again while in test mode.

INSTALLATION — Wall mount: typically mounts 2.5' to 14' mounting height from ground to floor. Ceiling mount: typically mounts 7' to 14' mounting height. Wall mount: direct to wall or optional 90 degrees, 45 degrees and 90 degrees wall mount.

LISTINGS — UL and Canadian listed standard at 25 C (77° F) 40°C. Unit with CR Rated and weather/wet benefits -22°F to 122°F (-30°C). Remote/transfer -40°F to 122°F (-40°C). Meets or exceeds requirements of NFPA 101 Life Safety Code, NFPA 70 National Electric Code, and CBC Chapter 10 Means of Egress. California Energy Commission Title 20 section 1605.3 (NEW), 1621 Title 24, Part 12, Subpart 3 and 6100. Unit are labeled to comply with Canadian Standards C22.2 No. 141-15. Meets City of New York Code.

BUY AMERICAN ACT — Product with the ERUD option is assembled in the USA and meets the Buy American Act government procurement requirements under FAR, DFARS and DOT regulations. Contact factory for specific country of origin and BAA compliance.

WARRANTY — 5-year limited warranty. This is the sole warranty provided and no other statements in this specification sheet create any warranty of any kind. All other express and implied warranties are hereby disclaimed. Full warranty terms located at: www.acuitybrands.com/support/warranty/terms-and-conditions

Note: Actual performance may differ as a result of end-user environment and application. All values are design or typical values, measured under laboratory conditions at 25 °C. Specifications subject to change without notice.

† Small Battery Chargers Certified in the U.S Title 20 Appliance Efficiency Database.

DMERLENCY 6/07

MOUNTING

All dimensions are inches (centimeters).
Shipping weight: 1.5 lbs. (0.59 kgs.)

Length: 6.5 (16.51)
Width: 3.5 (8.89)
Height: 10.2 (8.89)
Weight: 1.5 lbs (.5.9kg)

EXTERIOR MATERIALS LEGEND

CODE	MATERIAL	MANUFACTURER	ITEM #	DESCRIPTION	COLOR	NOTES
ASPH-1		OWENS CORNING	-	ASPHALT ROOFING SHINGLES	DRIFTWOOD	
CONC-1	CONCRETE	-	-	BOARD FORM CONCRETE WALL	STANDARD MIX	USE ROUGH SAWN BOARDS IN FORM LINERS. GAP BOARDS BY 3/16"
EXTR-1	CEMENT STUCCO FINISH	SOURCING BY CONTRACTOR	-		SANDY TAN	PROVIDE 4'-0" x 4'-0" SAMPLE FOR APPROVAL.
EXTR-2	VERTICAL WOOD SIDING	SOURCING BY CONTRACTOR	-	1 x 6 VERTICAL CEDAR PLANKS	UNFINISHED	ALLOW TO 'GRAY OUT'
MTL-1	-	-	-	PRE-FINISHED BREAK METAL	MATCH PA-1	PROVIDE SAMPLES FOR ARCHITECT'S APPROVAL.
MTL-2	PERFORATED METAL PANEL	MCNICHOLS	-	ROUND, GALVANIZED STEEL, 20 GAUGE, 1'8" ROUND ON 3/16" STAGGERED CENTERS, 40% OPEN AREA	PA-4	-
PA-3	PAINT	SHERWIN WILLIAMS	SATIN FINISH	OIL BASED EXTERIOR PAINT	MATCH WINDOW FRAME COLOR	
STN-1	STAIN	-	-	-	-	COLOR TO MATCH EXISTING WOOD DOOR STAIN. PROVIDE SAMPLE FOR ARCHITECT'S APPROVAL.

NOT FOR CONSTRUCTION

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CONSULTANTS:

IDYLL COFFEE

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PROJECT # 22.38

ELEVATIONS

A200

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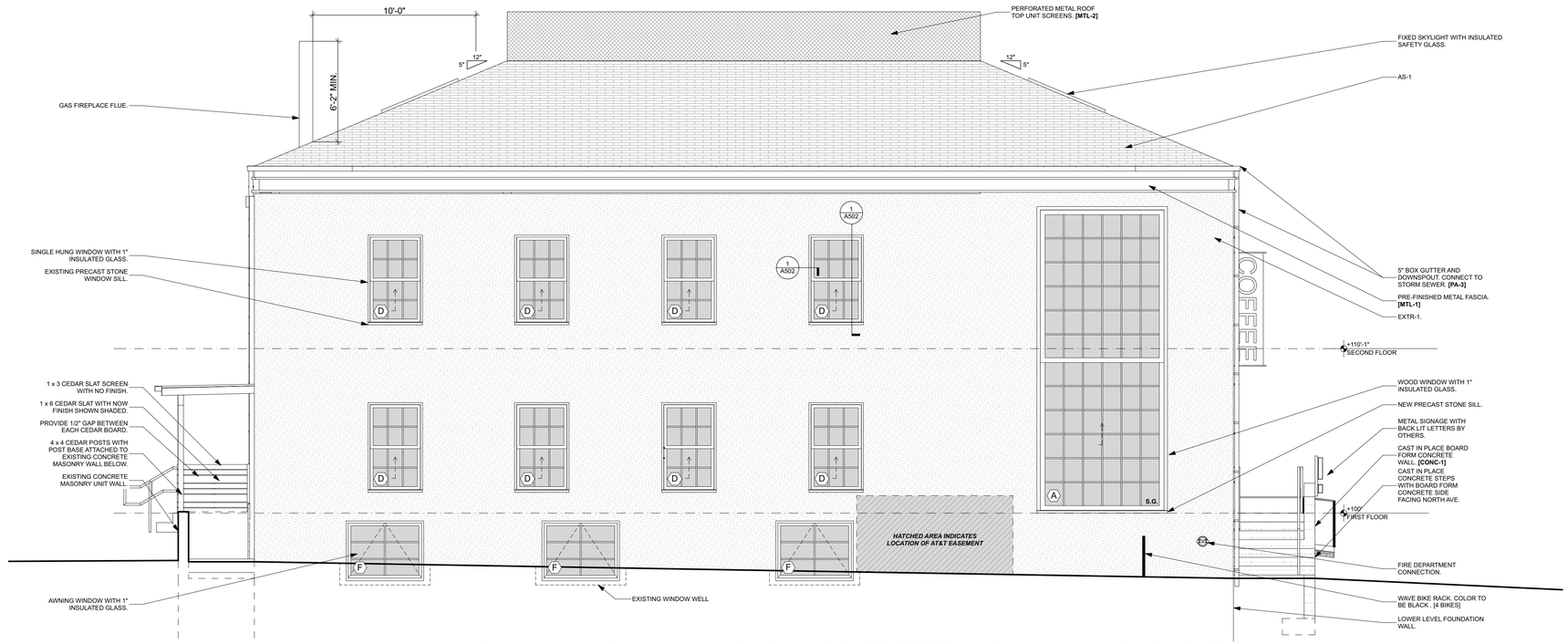
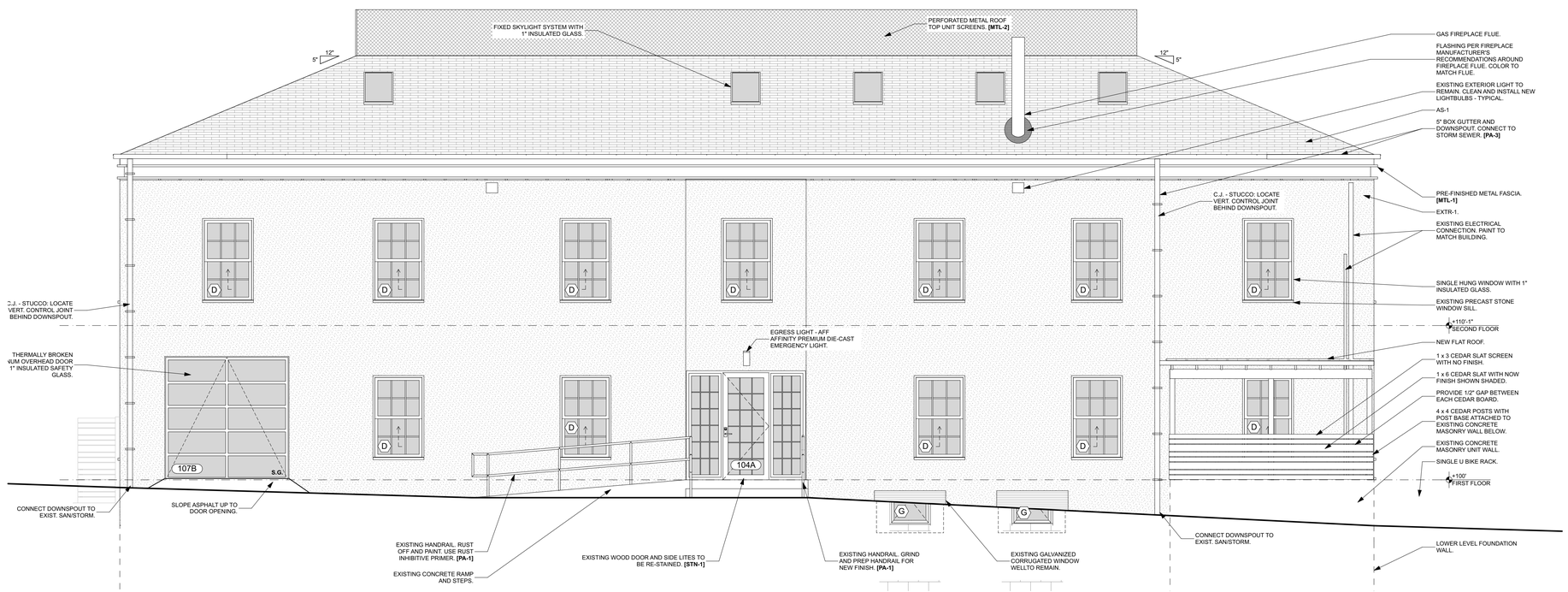


1 A201 WEST ELEVATION
SCALE: 1/4" = 1'-0"



2 A201 NORTH ELEVATION
SCALE: 1/4" = 1'-0"

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PROJECT # 22.38

ELEVATIONS

A201

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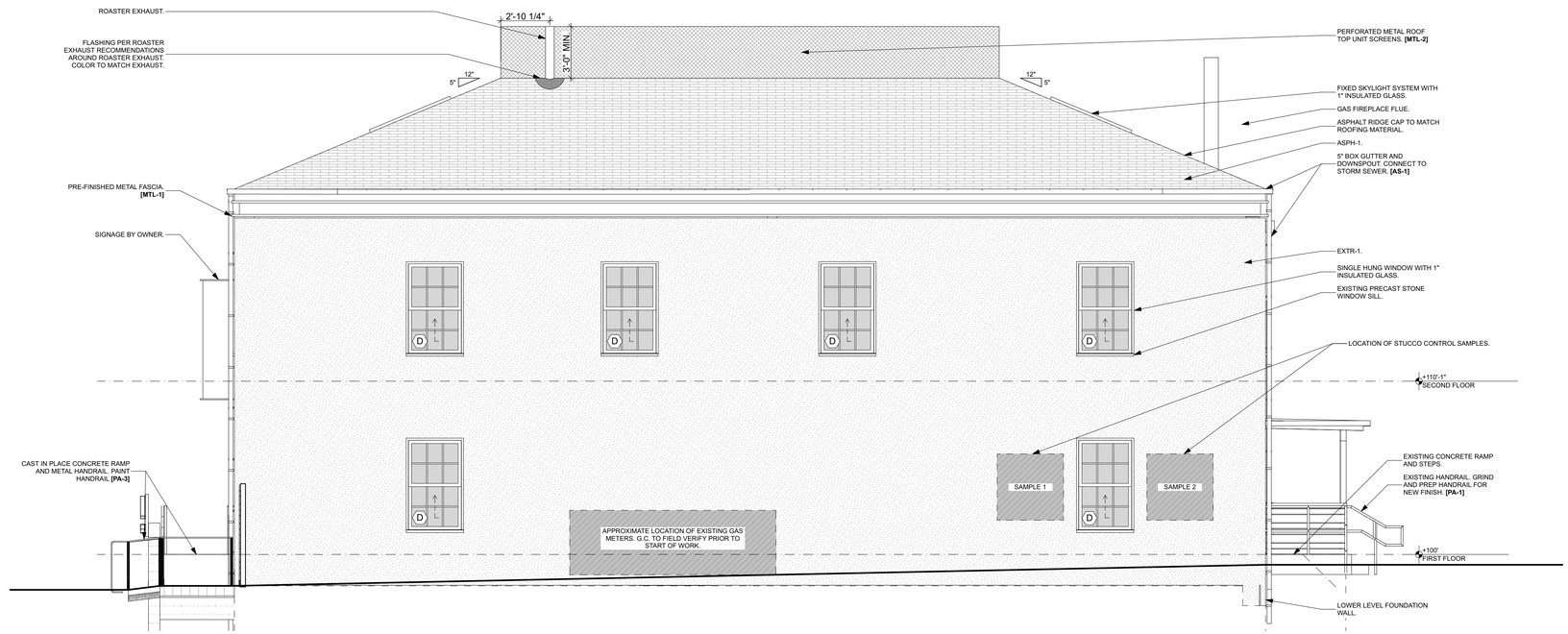

1 A202 EAST ELEVATION
SCALE: 1/4" = 1'-0"

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PROJECT # 22.38

ELEVATIONS

A202

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DIMENSION IV
Madison Design Group

architecture · interior design · planning

6515 Grand Teton Plaza, Suite 120, Madison, Wisconsin 53719
p608.829.4444 f608.829.4445 dimensionivmadison.com

THE MAYFAIR COLLECTION

3325 & 3375 FOUNDRY WAY
WAUWATOSA, WI 53222

BUILDING A PROJECT/BUILDING DATA

NEW 4 STORY MULTI-FAMILY BUILDING WITH UNDERGROUND PARKING

BUILDING GROSS AREAS *

TOTAL BUILDING AREA (EXCLUDING BASEMENT)	49,668 SQFT
TOTAL BUILDING AREA (INCLUDING BASEMENT)	62,224 SQFT
BASEMENT TOTAL AREA	12,556 SQFT
FIRST FLOOR TOTAL AREA	12,417 SQFT
SECOND FLOOR TOTAL AREA	12,417 SQFT
THIRD FLOOR TOTAL AREA	12,417 SQFT
FOURTH FLOOR TOTAL AREA	12,417 SQFT

* BUILDING GROSS AREA IS MEASURED TO THE EXTERIOR FACE OF CONCRETE AND CMU WALLS OR TO EXTERIOR FACE OF STUDS AT EACH FLOOR LEVEL. UNENCLOSED BALCONIES, ALCOVES, CANOPIES, AND ROOFS ARE EXCLUDED.

PARKING COUNTS

TOTAL SURFACE PARKING SPACES = 49 (SHARED WITH BUILDING B)
TOTAL GARAGE PARKING SPACES = 33

BICYCLE PARKING (1 STALL REQUIRED FOR EVERY 4 UNITS) = 11 PROVIDED
- 3 STALLS PROVIDED IN BASEMENT PARKING GARAGE
- 8 BICYCLE SPACES ACCOMMODATED THROUGH TENANT STORAGE

BUILDING B PROJECT/BUILDING DATA

NEW 4 STORY SENIOR-LIVING BUILDING WITH UNDERGROUND PARKING

BUILDING GROSS AREAS *

TOTAL BUILDING AREA (EXCLUDING BASEMENT)	41,840 SQFT
TOTAL BUILDING AREA (INCLUDING BASEMENT)	52,423 SQFT
BASEMENT TOTAL AREA	10,583 SQFT
FIRST FLOOR TOTAL AREA	10,460 SQFT
SECOND FLOOR TOTAL AREA	10,460 SQFT
THIRD FLOOR TOTAL AREA	10,460 SQFT
FOURTH FLOOR TOTAL AREA	10,460 SQFT

* BUILDING GROSS AREA IS MEASURED TO THE EXTERIOR FACE OF CONCRETE AND CMU WALLS OR TO EXTERIOR FACE OF STUDS AT EACH FLOOR LEVEL. UNENCLOSED BALCONIES, ALCOVES, CANOPIES, AND ROOFS ARE EXCLUDED.

PARKING COUNTS

TOTAL SURFACE PARKING SPACES = 49 (SHARED WITH BUILDING A)
TOTAL GARAGE PARKING SPACES = 27

BICYCLE PARKING (1 STALL REQUIRED FOR EVERY 10 UNITS) = 4 PROVIDED
- 3 STALLS PROVIDED IN BASEMENT PARKING GARAGE
- 1 BICYCLE SPACE ACCOMMODATED THROUGH TENANT STORAGE

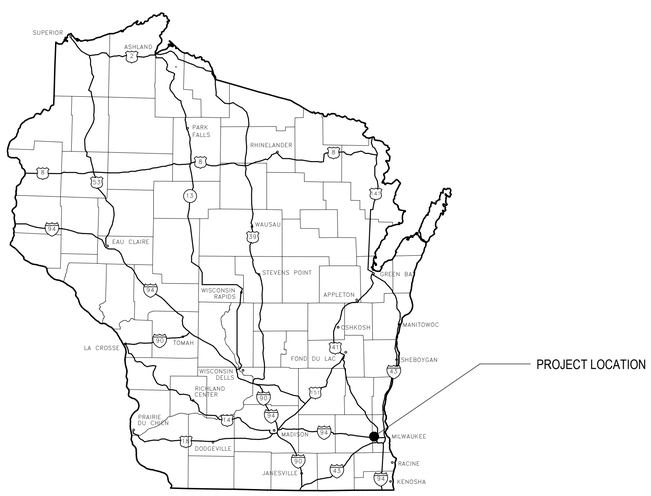
THE MAYFAIR COLLECTION - BUILDING A UNIT MATRIX

	1-BEDROOM						2-BEDROOM		3-BEDROOM				
	1A-AWU	1B-WU	1B-W	1C	1D	1E	2A	2D	3A	3B	3C	3D	TOTAL
1ST	0	0	0	0	0	0	1	0	6	2	1	0	10
2ND	0	0	0	0	1	1	1			2	1	0	6
3RD	1	1	4	1	1	1	1	1	0	2	0	0	13
4TH	0	0	2	4	1	0	1	1	0	2	0	1	12
TOTAL	1	1	6	5	3	2	4	2	6	8	2	1	41

THE MAYFAIR COLLECTION - BUILDING B UNIT MATRIX

	1-BEDROOM						2-BEDROOM				
	1A-AWU	1B-WU	1B-W	1B-UHVI	1C	1D	2A	2A-U	2B	2C	TOTAL
1ST	0	0	4	0	1	1	2	0	0	1	9
2ND	1	0	1	1	1	1	2	1	1	1	10
3RD	0	0	1	0	3	1	3	0	1	1	10
4TH	0	0	0	0	4	1	3	0	1	1	10
TOTAL	1	0	6	1	9	4	10	1	3	4	39

Legend:
AWU - Type-A, WHEDA, UFAS mobile impaired unit
U - UFAS mobile impaired unit
UHVI - UFAS hearing and visually impaired unit
WU - WHEDA, UFAS mobile impaired unit
W - WHEDA unit
All other units are designed to Type-B accessibility standards



STATE MAP

STATE MAP
12" = 1'-0"

Architecture : **Dimension IV - Madison Design Group**
6515 Grand Teton Plaza, Suite 120, Madison, WI 53719
p: 608.829.4444 www.dimensionivmadison.com

Civil Engineer: **CJ Engineering**
9205 wect Center Street, Suite 214, Milwaukee, WI 53222
p: 414.443.1312 www.cj-engineering.com/

Landscape Architect: **raSmith**
221 South 2nd Street, Suite 214, Milwaukee, WI 53204
p: 262.781.1000 www.rasmith.com/

Lighting Designer: **Hein Electric Supply Company**
515 W Cherry St, Milwaukee, WI 53212
p: 414.274.6250 www.hein.com/

Structural Engineer: **OTIE**
5100 Eastpark Blvd., Ste. 300, Madison WI, 53718
p: 608.243.6470 www.oescgroup.com

LIST OF DRAWINGS

SHEET NO.	SHEET NAME
G-0.1	COVER SHEET
G-0.2	PROJECT LOCATION
G-0.3	EXISTING CONTEXT PHOTOS
AL-0	ALTA SURVEY
C1.0	SITE PLAN
C2.0	SITE GRADING PLAN
C3.0	SITE UTILITY PLAN
C4.0	SITE EROSION CONTROL PLAN
L1.0	LANDSCAPE PLAN
L2.0	LANDSCAPE DETAILS AND NOTES
SL1.0	SITE LIGHTING
A-1.0	BUILDING A - BASEMENT FLOOR PLAN
A-1.1	BUILDING A - FIRST FLOOR PLAN
A-1.2	BUILDING A - SECOND FLOOR PLAN

LIST OF DRAWINGS

SHEET NO.	SHEET NAME
A-1.3	BUILDING A - THIRD FLOOR PLAN
A-1.4	BUILDING A - FOURTH FLOOR PLAN
A-1.5	BUILDING B - BASEMENT FLOOR PLAN
A-1.6	BUILDING B - FIRST FLOOR PLAN
A-1.7	BUILDING B - SECOND FLOOR PLAN
A-1.8	BUILDING B - THIRD FLOOR PLAN
A-1.9	BUILDING B - FOURTH FLOOR PLAN
A-2.0	BUILDING A - BUILDING ELEVATIONS
A-2.1	BUILDING A - BUILDING ELEVATIONS
A-2.2	BUILDING B - BUILDING ELEVATIONS
A-2.3	BUILDING B - BUILDING ELEVATIONS
A-3.0	BUILDING A - PERSPECTIVE VIEWS
A-3.1	BUILDING A - PERSPECTIVE VIEWS
A-3.2	BUILDING A - PERSPECTIVE VIEWS
A-3.3	BUILDING B - PERSPECTIVE VIEWS
A-3.4	BUILDING B - PERSPECTIVE VIEWS
A-4.0	MATERIAL SAMPLES

09/28/2023 PROJECT # 21151

G-0.1

PROJECT LOCATION

1 **Project Location**

0' 15' 30' 60'

N

DIMENSION IV
Madison Design Group
architecture · interior design · planning
6515 Grand Teton Plaza, Suite 120
Madison, Wisconsin 53719
p608.829.4444 f608.829.4445 dimensionivmadison.com

THE MAYFAIR COLLECTION

3325 & 3375 FOUNDRY WAY
WAUWATOSA, WI 53222

DATE OF ISSUE: 09/28/2023

REVISIONS:

PROJECT # 211151

PROJECT LOCATION

G0.2

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THE MAYFAIR COLLECTION

3325 & 3375 FOUNDRY WAY
WAUWATOSA, WI 53222

DATE OF ISSUE: 09/28/2023

REVISIONS:

PROJECT # 211151

SITE CONTEXT PHOTOS

G0.3

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LEGAL DESCRIPTION:

LOT _____ OF CERTIFIED SURVEY MAP NO. _____ RECORDED _____ AS DOCUMENT NO._____ BEING PART OF LOT 3 OF CERTIFIED SURVEY MAP NO. 8481, RECORDED ON SEPTEMBER 19, 2012, AS DOCUMENT NO. 10162141, BEING PART OF THE SOUTHWEST 1/4 AND NORTHWEST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 7, TOWNSHIP 7 NORTH, RANGE 21 EAST, IN THE CITY OF WAUWATOSA, COUNTY OF MILWAUKEE, STATE OF WISCONSIN.

FOR REFERENCE ONLY: THE FOLLOWING DESCRIPTION HAS BEEN PROVIDED TO THE COMPANY FOR UNDERWRITING PURPOSES AND IS SAID TO CONSTITUTE THE LANDS OF THE PROPOSED CERTIFIED SURVEY MAP LOT TO BE INSURED.

PART OF LOT 3 OF CERTIFIED SURVEY MAP NO. 8481, BEING PART OF THE NORTHWEST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 7, TOWNSHIP 7 NORTH, RANGE 21 EAST, IN THE CITY OF WAUWATOSA, MILWAUKEE COUNTY, WISCONSIN, BOUNDED AND DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHWEST CORNER OF SAID 1/4 SECTION; THENCE NORTH 87°25'44" EAST ALONG THE SOUTH LINE OF SAID 1/4 SECTION 135.86 FEET TO A POINT; THENCE NORTH 05°55'09" WEST 166.89 FEET TO A POINT ON THE NORTH LINE OF WEST BURLEIGH STREET; THENCE CONTINUING NORTH 05°55'09" WEST 334.26 FEET TO A POINT ON THE EAST LINE OF U.S.H. "45" (ALSO KNOWN AS S.T.H. "100", ZOO FREEWAY); THENCE NORTH 05°59'44" WEST ALONG SAID EAST LINE 334.26 FEET A POINT; THENCE NORTH 05°38'18" WEST ALONG SAID EAST LINE 595.94 FEET TO A POINT; THENCE NORTH 01°01'06" WEST ALONG SAID EAST LINE 810.77 FEET TO A POINT; THENCE NORTH 10°17'30" EAST ALONG SAID EAST LINE 152.97 FEET TO A POINT; THENCE NORTH 17°40'50" EAST ALONG SAID EAST LINE 343.11 FEET TO A POINT; THENCE NORTH 28°02'11" EAST ALONG SAID EAST LINE 205.91 FEET THE NORTHWEST CORNER OF LOT 4 OF CERTIFIED SURVEY MAP 8884; THENCE NORTH 07°26'42" EAST ALONG SAID EAST LINE FOR A DISTANCE OF 134.11 FEET TO A POINT ON THE NORTH LINE OF SAID SOUTHEAST ¼ SECTION; THENCE NORTH 86°36'18" EAST ALONG SAID NORTH LINE FOR A DISTANCE OF 29.29 FEET TO A POINT ON THE WEST LINE OF THE UNION PACIFIC RAILROAD RIGHT OF WAY; THENCE SOUTH 35°35'41" EAST ALONG SAID WEST LINE 563.18 FEET TO THE POINT OF BEGINNING OF SAID LANDS TO BE DESCRIBED; THENCE SOUTH 35°35'41" EAST CONTINUING ALONG SAID WEST LINE 352.30 FEET TO A POINT; THENCE SOUTH 01°24'54" EAST 146.60 FEET TO A POINT; THENCE SOUTH 87°25'04" WEST 375.64 FEET TO A POINT ON THE EAST LINE OF LOT 4 IN CSM 8884; THENCE NORTH 01°01'05" WEST ALONG SAID EAST LINE 413.93 FEET TO THE NORTHEAST CORNER OF SAID LOT 4; THENCE NORTH 89°02'54" EAST 117.83 FEET TO A POINT; THENCE NORTH 72°52'42" EAST 15.57 FEET TO A POINT; THENCE NORTH 54°22'51" EAST 50.74 FEET TO THE POINT OF BEGINNING.

MISCELLANEOUS NOTES

1. THIS SURVEY WAS MADE IN ACCORDANCE WITH LAWS AND/OR MINIMUM STANDARDS OF THE STATE OF WISCONSIN.

2. THE PROPERTY DESCRIBED HEREON IS THE SAME AS THE PROPERTY DESCRIBED IN FIRST AMERICAN TITLE COMMITMENT NO. NCS–1102026–MAD, WITH A COMMITMENT DATE: NOVEMBER 29, 2021 AT 7:30 AM AND THAT ALL EASEMENTS, COVENANTS AND RESTRICTIONS REFERENCED IN SAID TITLE COMMITMENT OR APPARENT FROM A PHYSICAL INSPECTION OF THE PROPERTY OR OTHERWISE KNOWN TO ME HAVE BEEN PLOTTED HEREON OR OTHERWISE NOTED AS TO THEIR EFFECT ON THE PROPERTY.

3. THE UNDERGROUND UTILITY INFORMATION AS SHOWN HEREON IS BASED, IN PART, ON INFORMATION FURNISHED BY THE UTILITY COMPANIES, DIGGERS HOTLINE AND THE LOCAL MUNICIPALITY. WHILE THIS INFORMATION IS BELIEVED TO BE RELIABLE, ITS ACCURACY AND COMPLETENESS CANNOT BE GUARANTEED NOR CERTIFIED TO.

4. NO ZONING INFORMATION PROVIDED BY INSURER AT THE TIME OF SURVEY. FOLLOWING ZONING NOTES 5–6 FOR INFORMATIONAL PURPOSES ONLY AND CANNOT BE CERTIFIED TO.

5. SUBJECT PROPERTY ZONED: M1/PUD – LIGHT INDUSTRIAL/PLANNED UNIT DEVELOPMENT.

6. SETBACKS BASED ON CITY WAUWATOSA ZONING CODE AND ARE AS FOLLOWS:

MINIMUM SETBACKS (FEET)
FRONT – 10[1]
SIDE, STREET – 10
SIDE, INTERIOR – 10[2]
REAR – 25
MAXIMUM HEIGHT (FEET) NO MAX.
MAXIMUM BUILDING COVERAGE (% OF LOT AREA) 80.

7. THE ABOVE DESCRIBED PROPERTY AS SHOWN HEREON CONTAINS: (INSERT AREA) SQUARE FEET OR (INSERT AREA) ACRES.

9. ALL UTILITIES SERVING THE PROPERTY ENTER THROUGH ADJOINING PUBLIC STREETS AND/OR EASEMENTS OF RECORD.

10. SUBJECT PROPERTY HAS ACCESS TO WEST BURLEIGH STREET, A DEDICATED PUBLIC STREET OR HIGHWAY, THROUGH RECIPROCAL EASEMENT AND OPERATION AGREEMENT RECORDED AS DOC. NO. 10641155 AND EASMENT AGREEMENT REORDED AS DOC. NO 331478.

11. THE TOTAL NUMBER OF STRIPED PARKING SPACES ON THE PROPERTY IS 57, OF WHICH 57 ARE REGULAR PARKING SPACES AND 0 ARE DESIGNATED DISABLED SPACES, AND TO THE EXTENT POSSIBLE, ARE GRAPHICALLY SHOWN HEREON.

12. SUBJECT PROPERTY IS LOCATED WITHIN AN AREA HAVING A ZONE DESIGNATION X: AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOOD PLAIN. PER INFORMATION FROM THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA), ON FLOOD INSURANCE RATE MAP NO. 55079C0058E, WITH A DATE OF IDENTIFICATION OF 9/26/2008, IN COMMUNITY NO. 550284, CITY OF WAUWATOSA, WHICH IS THE COMMUNITY IN WHICH THE SUBJECT PROPERTY IS SITUATED.

13. THERE IS NO OBSERVED EVIDENCE OF CURRENT EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS ON THE PROPERTY AT TIME OF SURVEY.

14. THERE IS NO INFORMATION AVAILABLE FROM THE CITY OF WAUWATOSA REGARDING PROPOSED CHANGES IN STREET RIGHT OF WAY LINES ADJOINING THE PROPERTY AT THE TIME OF SURVEY.

15. THERE IS NO OBSERVED EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS OCCURRING ON OR ADJOINING THE PROPERTY AT TIME OF SURVEY.

16. THERE IS NO OBSERVED EVIDENCE OF USE OF THE PROPERTY AS A SOLID WASTE DUMP, SUMP OR SANITARY LANDFILL AT TIME OF SURVEY.

17. THERE IS NO OBSERVED EVIDENCE OF DELINEATED WETLANDS EXISTING ON SUBJECT PROPERTY AT TIME OF SURVEY.

18. ALL FIELD MEASUREMENTS MATCHED RECORD DIMENSIONS WITHIN THE PRECISION REQUIREMENTS OF ALTA/NSPS SPECIFICATIONS UNLESS OTHERWISE SHOWN.

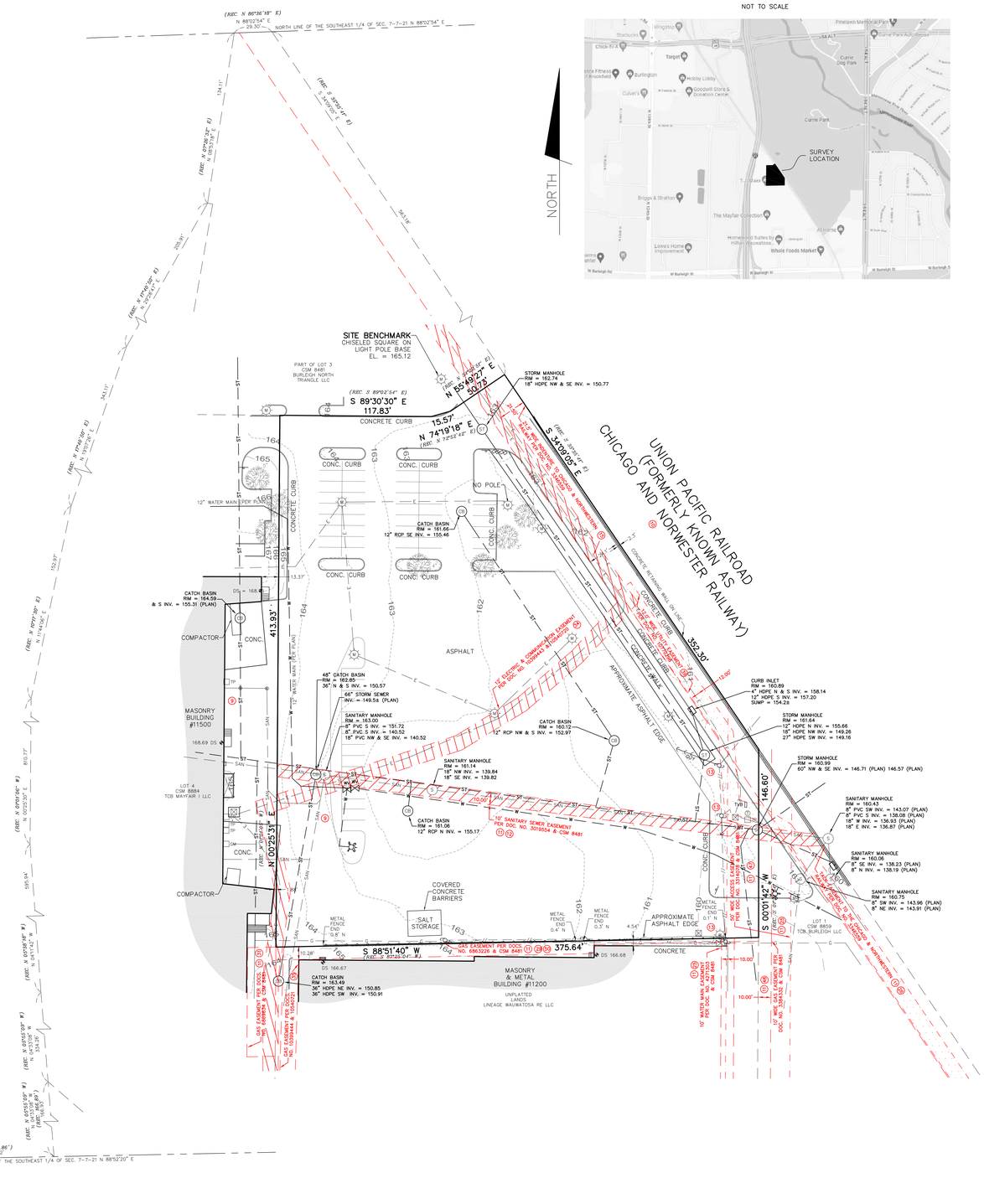
19. THERE IS NO EVIDENCE OF CEMETERIES, GRAVESITES, OR BURIAL GROUNDS EXISTING ON SUBJECT PROPERTY AS DISCLOSED IN THE RECORD DOCUMENTS OR OBSERVED IN THE PROCESS OF CONDUCTING THIS SURVEY.

20. SURVEY DATUM:
COORDINATES ARE BASED ON THE WISCONSIN COUNTY COORDINATE SYSTEM (WCCS), MILWAUKEE COUNTY. NORTH AMERICAN DATUM OF 1983, 2011 ADJUSTMENT (NAD83(2011)).

21. PROJECT BENCHMARK – CONCRETE MONUMENT WITH BRASS CAP FOUND AT THE SOUTHEAST CORNER OF THE SOUTHEAST 1/4 OF SEC. 7–7–21 WITH AN ELEVATION OF 730.97 (N.G.V.D29) = 150.69 (CITY DATUM)

22. SITE BENCHMARK – CHISELED SQUARE ON LIGHT POLE BASE WITH AN ELEVATION OF 165.12 (AS SHOWN).

23. ELEVATIONS BASED ON INFORMATION FROM SEWRPC AND THE CITY OF WAUWATOSA ARE AT THE CITY OF WAUWATOSA OF DATUM WHICH HAS AN ADJUSTMENT OF –580.28 FROM NGVD 1929 DATUM.



VICINITY MAP
NOT TO SCALE

NORTH

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PH. (414) 443-1312
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BROOKFIELD, WI 53045
Ph: (262) 786-6600
Fax: (414) 786-6608
WWW.CAPITOLSURVEY.COM

SCHEDULE B–II EXCEPTIONS:

10. RIGHTS AND EASEMENTS, IF ANY, IN AND TO ANY AND ALL RAILROAD SWITCHES, SIDETRACKS, SPUR TRACKS AND RIGHTS OF WAY LOCATED UPON OR APPURTENANT TO THE SUBJECT PREMISES. SHOWN HEREON.

11. ACCESS RESTRICTIONS AND EASEMENTS AS SET FORTH ON CERTIFIED SURVEY MAP NO. 8481. SHOWN HEREON.

12. EASEMENT FOR SANITARY SEWER INTO BY AND BETWEEN MOHAWK REFRIGERATING COMPANY, A P CONTROLS CORPORATION AND BRIGGS & STRATTON CORPORATION, DATED APRIL 18, 1951 AND RECORDED APRIL 19, 1951 IN VOLUME 2871 OF DEEDS ON PAGE 603, AS DOCUMENT NO. 3019445, THE TERMS BEING MODIFIED BY THAT INSTRUMENT RECORDED AS DOCUMENT NO. 3409545. SHOWN HEREON.

13. UTILITY EASEMENT GRANTED TO WISCONSIN ELECTRIC POWER COMPANY RECORDED AS DOCUMENT NO. 3330933. SHOWN HEREON.

14. RESTRICTIONS CONTAINED IN A WARRANTY DEED RECORDED ON JULY 12, 1954 AS DOCUMENT NO. 3309845. AREA OF RESTRICTION AS DESCRIBED NOT ON, DOES NOT TOUCH SUBJECT PROPERTY.

15. RIGHTS OF THE CHICAGO AND NORTH WESTERN RAILWAY COMPANY, A WISCONSIN CORPORATION, UNDER AN INDENTURE RECORDED ON NOVEMBER 19, 1954, AS DOCUMENT NO. 3346559. SHOWN HEREON.

16. UTILITY EASEMENT GRANTED TO WISCONSIN ELECTRIC POWER COMPANY DOCUMENT NO. 3356612. LOCATION OF STRUCTURE CANNOT BE DETERMINED FROM DOCUMENT PROVIDED OR OBSERVED EVIDENCE IN FIELD. NOT SHOWN HEREON.

17. COVENANTS, CONDITIONS, RESTRICTIONS, EASEMENTS AND CHARGES SET FORTH IN WARRANTY DEED PROVIDED FOR IN AN INSTRUMENT RECORDED AS DOCUMENT NO. 3409545.
RELEASE OF RESTRICTIONS CONTAINED IN AN INSTRUMENT RECORDED AS DOCUMENT NO. 3625602.
RELEASE OF RESTRICTIONS CONTAINED IN AN INSTRUMENT RECORDED AS DOCUMENT NO. 3681997. BLANKET EASEMENT. NOT SHOWN HEREON.

18. WISCONSIN ELECTRIC POWER COMPANY RECORDED MARCH 27, 1958 ON DEED 3798, PAGE 419 AS DOCUMENT NO. 3645992. LINE OF POLES AS DESCRIBED IN DOCUMENT NOT ON DOES NOT TOUCH SUBJECT PROPERTY. NOT SHOWN HEREON.

19. UTILITY EASEMENT GRANTED TO WISCONSIN ELECTRIC POWER COMPANY RECORDED AS DOCUMENT NO. 3645993. LINE OF POLES AS DESCRIBED IN DOCUMENT NOT ON DOES NOT TOUCH SUBJECT PROPERTY. NOT SHOWN HEREON.

20. EASEMENT GRANTED TO WISCONSIN ELECTRIC POWER COMPANY AND WISCONSIN TELEPHONE COMPANY RECORDED AS DOCUMENT NO. 3657838. LINE OF POLES AS DESCRIBED IN DOCUMENT NOT ON DOES NOT TOUCH SUBJECT PROPERTY. NOT SHOWN HEREON.

21. UTILITY EASEMENT TO WISCONSIN ELECTRIC POWER COMPANY AND WISCONSIN TELEPHONE COMPANY RECORDED AS DOCUMENT NO. 3683185. LOCATION OF STRUCTURE CANNOT BE DETERMINED FROM DOCUMENT PROVIDED OR OBSERVED EVIDENCE IN FIELD. NOT SHOWN HEREON.

22. UTILITY EASEMENT GRANTED TO WISCONSIN ELECTRIC POWER COMPANY RECORDED ON APRIL 13, 1959 AS DOCUMENT NO. 3727116. NOT ON, DOES NOT TOUCH, SUBJECT PROPERTY. NOT SHOWN HEREON.

23. EASEMENT GRANTED TO WISCONSIN ELECTRIC POWER COMPANY AND WISCONSIN TELEPHONE COMPANY RECORDED AS DOCUMENT NO. 3847693. LOCATION OF STRUCTURE CANNOT BE DETERMINED FROM DOCUMENT PROVIDED OR OBSERVED EVIDENCE IN FIELD. NOT SHOWN HEREON.

24. EASEMENTS RECORDED IN INSTRUMENT RECORDED AS DOCUMENT NO. 3923550. NOT ON, DOES NOT TOUCH, SUBJECT PROPERTY. NOT SHOWN HEREON.

25. WATERMAIN EASEMENTS GRANTED TO CITY OF WAUWATOSA RECORDED AS DOCUMENT NO. 3941267, DOCUMENT NO. 4076990 AND DOCUMENT NO. 4271303. SHOWN HEREON.

26. EASEMENT DEED BY AND BETWEEN ROUNDY'S, INC. AND CHICAGO AND NORTHWESTERN RAILWAY COMPANY RECORDED ON NOVEMBER 5, 1962 AS DOCUMENT NO. 3985559. SHOWN HEREON.

27. LIMITATIONS ON ACCESS AS SET FORTH IN AWARD OF DAMAGES RECORDED ON APRIL 7, 1966, AS DOCUMENT NO. 4247574. SUBJECT PROPERTY DOES NOT ABUT INTERSTATE MENTIONED IN DOCUMENT. NOT SHOWN HEREON.

28. EASEMENT GRANTED TO WISCONSIN TELEPHONE COMPANY RECORDED ON JUNE 29, 1966 AS DOCUMENT NO. 4263615. CABLE DESCRIBED IN DOCUMENT NOT ON, DOES NOT TOUCH SUBJECT PROPERTY. NOT SHOWN HEREON.

29. WISCONSIN GAS CORPORATION EASEMENT GRANTED TO WISCONSIN GAS COMPANY, A WISCONSIN CORPORATION RECORDED ON NOVEMBER 29, 1993 AS DOCUMENT NO. 6863226. SHOWN HEREON.

30. UTILITY EASEMENT GRANTED TO WISCONSIN ELECTRIC POWER COMPANY RECORDED AS DOCUMENT NO. 4535959. NOT ON, DOES NOT TOUCH SUBJECT PROPERTY. NOT SHOWN HEREON.

31. WISCONSIN GAS COMPANY CORPORATION EASEMENT RECORDED ON DECEMBER 10, 1993 AS DOCUMENT NO. 6869634. SHOWN HEREON.

32. TERMS, CONDITIONS, RESTRICTIONS AND PROVISIONS RELATING TO THE USE AND MAINTENANCE OF THE EASEMENT AGREEMENT RECORDED ON JANUARY 4, 2007, AS DOCUMENT NO. 9363400. NOT ON DOES NOT TOUCH SUBJECT PROPERTY. NOT SHOWN HEREON.

33. DISTRIBUTION EASEMENT FOR UNDERGROUND ELECTRIC AND COMMUNICATIONS GRANTED TO WISCONSIN ELECTRIC POWER COMPANY, A WISCONSIN CORPORATION DOING BUSINESS AS WE ENERGIES, TIME WARNER ENTERTAINMENT COMPANY, LP AND WISCONSIN BELL, INC., DOING BUSINESS AS AT&T WISCONSIN, A WISCONSIN CORPORATION RECORDED ON SEPTEMBER 30, 2014 AS DOCUMENT NO. 10399442. NOT ON, DOES NOT TOUCH SUBJECT PROPERTY. NOT SHOWN HEREON.

34. DISTRIBUTION EASEMENT UNDERGROUND ELECTRIC AND COMMUNICATIONS GRANTED TO WISCONSIN ELECTRIC POWER COMPANY, A WISCONSIN CORPORATION DOING BUSINESS AS WE ENERGIES, TIME WARNER ENTERTAINMENT COMPANY, LP AND WISCONSIN BELL, INC. DOING BUSINESS AS AT&T WISCONSIN, A WISCONSIN CORPORATION, RECORDED ON SEPTEMBER 30, 2014 AS DOCUMENT NO. 10399443.
AFFIDAVIT OF CORRECTION, RECORDED FEBRUARY 17, 2016 AS DOCUMENT NO. 10540720. SHOWN HEREON.

35. DISTRIBUTION EASEMENT GAS AND COMMUNICATIONS GRANTED TO WISCONSIN GAS LLC, A WISCONSIN LIMITED LIABILITY COMPANY DOING BUSINESS AS WE ENERGIES, TIME WARNER ENTERTAINMENT COMPANY, LP WISCONSIN BELL, INC. DOING BUSINESS AS AT&T WISCONSIN, A WISCONSIN CORPORATION, RECORDED ON SEPTEMBER 30, 2014 AS DOCUMENT NO. 10399444.
AFFIDAVIT OF CORRECTION, RECORDED FEBRUARY 17, 2016 AS DOCUMENT NO. 10540721. SHOWN HEREON.

36. DISTRIBUTION EASEMENT UNDERGROUND ELECTRIC AND COMMUNICATIONS GRANTED TO WISCONSIN ELECTRIC POWER COMPANY, A WISCONSIN CORPORATION DOING BUSINESS AS WE ENERGIES AND WISCONSIN BELL, INC. DOING BUSINESS AS AT&T WISCONSIN, A WISCONSIN CORPORATION, RECORDED ON MARCH 07, 2016 AS DOCUMENT NO. 10545013. NOT ON, DOES NOT TOUCH, SUBJECT PROPERTY. NOT SHOWN HEREON.

SCHEDULE B–II EXCEPTIONS (CONT'D):

37. WATER MAIN EASEMENT GRANTED TO CITY OF WAUWATOSA RECORDED ON NOVEMBER 21, 2016 AS DOCUMENT NO. 10625233. NOT ON, DOES NOT TOUCH, SUBJECT PROPERTY.

38. TERMS, CONDITIONS, RESTRICTIONS AND PROVISIONS RELATING TO THE USE AND MAINTENANCE OF THE RECIPROCAL EASEMENT AND OPERATION AGREEMENT RECORDED ON JANUARY 17, 2017, AS DOCUMENT NO. 10641155. BLANKET EASEMENT. NOT SHOWN HEREON.

39. UTILITY EASEMENT TO WISCONSIN ELECTRIC POWER COMPANY, A WISCONSIN CORPORATION AND WISCONSIN GAS LLC, A WISCONSIN LIMITED LIABILITY COMPANY, BOTH DOING BUSINESS AS WE ENERGIES, DATED JULY 7, 2015, RECORDED/FILED APRIL 24, 2018 AS DOCUMENT NO. 10770298. SHOWN HEREON.

40. TERMS AND PROVISIONS OF AN UNRECORDED LEASE DATED AUGUST 12, 2013, BY AND BETWEEN BURLEIGH 45, LLC, AN ILLINOIS LIMITED LIABILITY COMPANY, IN AND TO AN UNDIVIDED 16% INTEREST, JES BURLEIGH 45, LLC, A DELAWARE LIMITED LIABILITY COMPANY, IN AND TO AN UNDIVIDED 15% INTEREST, FOREST BURLEIGH 45, LLC, A DELAWARE LIMITED LIABILITY COMPANY, IN AND TO AN UNDIVIDED 16% INTEREST, RES BURLEIGH 45, LLC, A DELAWARE LIMITED LIABILITY COMPANY, IN AND TO AN UNDIVIDED 7% INTEREST, WARWICK BURLEIGH 45, LLC, A DELAWARE LIMITED LIABILITY COMPANY, IN AND TO AN UNDIVIDED 6% INTEREST, TCB BURLEIGH 45, LLC, AN ILLINOIS LIMITED LIABILITY COMPANY, IN AND TO AN UNDIVIDED 23% INTEREST, MSP BURLEIGH 45, LLC, A DELAWARE LIMITED LIABILITY COMPANY, IN AND TO AN UNDIVIDED 5% INTEREST, DFM BURLEIGH 45, LLC, A
DELAWARE LIMITED LIABILITY COMPANY, IN AND TO AN UNDIVIDED 6% INTEREST, AND EEO BURLEIGH 45, LLC, A DELAWARE LIMITED LIABILITY COMPANY, IN AND TO AN UNDIVIDED 6% INTEREST AS LESSOR AND SAKS FIFTH AVENUE, INC., A MASSACHUSETTS CORPORATION AS LESSEE, AS DISCLOSED BY A MEMORANDUM OF LEASE RECORDED SEPTEMBER 9, 2013 AS DOCUMENT NO. 10291497 OF OFFICIAL RECORDS.
AFFECTS: THE LAND AND OTHER PROPERTY. NOT A SURVEY MATTER. NOT SHOWN HEREON.

41. TERMS AND PROVISIONS OF AN UNRECORDED LEASE DATED SEPTEMBER 12, 2013, BY AND BETWEEN BURLEIGH 45, LLC, AN ILLINOIS LIMITED LIABILITY COMPANY, JES BURLEIGH 45, LLC, A DELAWARE LIMITED LIABILITY COMPANY, RES BURLEIGH 45, LLC, A DELAWARE LIMITED LIABILITY COMPANY, MSP BURLEIGH 45, LLC, A DELAWARE LIMITED LIABILITY COMPANY, FOREST BURLEIGH 45, LLC, A DELAWARE LIMITED LIABILITY COMPANY, WARWICK BURLEIGH 45, LLC, A DELAWARE LIMITED LIABILITY COMPANY, DFM BURLEIGH 45, LLC, A DELAWARE LIMITED LIABILITY COMPANY, EEO BURLEIGH 45, LLC, A DELAWARE LIMITED LIABILITY COMPANY, AND TCB BURLEIGH 45, LLC, A DELAWARE LIMITED LIABILITY COMPANY, ALL AS TENANTS–IN–COMMON AS LESSOR AND ULTA SALON, COSMETIC & FRAGRANCE, INC., A DELAWARE CORPORATION AS LESSEE, AS DISCLOSED BY A MEMORANDUM OF LEASE RECORDED OCTOBER 1, 2013 AS DOCUMENT NO. 10299029 OF OFFICIAL RECORDS.
AFFECTS: THE LAND AND OTHER PROPERTY.
NOT A SURVEY MATTER. NOT SHOWN HEREON.

42. TERMS AND PROVISIONS OF AN UNRECORDED LEASE DATED DECEMBER 2, 2015, BY AND BETWEEN BURLEIGH MAYFAIR, LLC, AN ILLINOIS LIMITED LIABILITY COMPANY, JES BURLEIGH MAYFAIR, LLC, AN ILLINOIS LIMITED LIABILITY COMPANY, RES BURLEIGH MAYFAIR, LLC, AN ILLINOIS LIMITED LIABILITY COMPANY, DFM BURLEIGH MAYFAIR, LLC, AN ILLINOIS LIMITED LIABILITY COMPANY, EEO BURLEIGH MAYFAIR, LLC, AN ILLINOIS LIMITED LIABILITY COMPANY AND TCB BURLEIGH MAYFAIR, LLC, AN ILLINOIS LIMITED LIABILITY COMPANY AS LESSOR AND KOHL'S VALUE SERVICES, INC., A VIRGINIA CORPORATION AS LESSEE, AS DISCLOSED BY A MEMORANDUM OF LEASE RECORDED FEBRUARY 16, 2016 AS DOCUMENT NO. 10540380 OF OFFICIAL RECORDS.
AFFECTS: THE LAND AND OTHER PROPERTY.
NOT A SURVEY MATTER. NOT SHOWN HEREON.

43. TERMS AND PROVISIONS OF AN UNRECORDED LEASE DATED MAY 26, 2016, BY AND BETWEEN BURLEIGH 45, LLC, AN ILLINOIS LIMITED LIABILITY COMPANY, AS TO AN UNDIVIDED 16.8699% JES BURLEIGH RETAIL, LLC, A DELAWARE LIMITED LIABILITY COMPANY, AS TO AN UNDIVIDED 30.903% TCB BURLEIGH RETAIL, LLC, AN ILLINOIS LIMITED LIABILITY COMPANY, AS TO AN UNDIVIDED 27.531% RES BURLEIGH RETAIL, LLC, A DELAWARE LIMITED LIABILITY COMPANY, AS TO AN UNDIVIDED 12.903% DFM BURLEIGH RETAIL, LLC, A DELAWARE LIMITED LIABILITY COMPANY, AS TO AN UNDIVIDED 5.903% AND EEO BURLEIGH RETAIL, LLC, A DELAWARE LIMITED LIABILITY COMPANY, AS TO AN UNDIVIDED 5.903% AS LESSOR AND WHOLE FOODS MARKET GROUP, INC., A DELAWARE CORPORATION AS LESSEE, AS DISCLOSED BY A MEMORANDUM OF LEASE RECORDED JUNE 22, 2016 AS DOCUMENT NO. 10575930 OF OFFICIAL RECORDS.
AFFECTS: THE LAND AND OTHER PROPERTY.
NOT A SURVEY MATTER. NOT SHOWN HEREON.

44. TERMS AND PROVISIONS OF AN UNRECORDED LEASE DATED AUGUST 16, 2016, BY AND BETWEEN BURLEIGH MAYFAIR, LLC, AN ILLINOIS LIMITED LIABILITY COMPANY, RES BURLEIGH MAYFAIR, LLC, AN ILLINOIS LIMITED LIABILITY COMPANY, DFM BURLEIGH MAYFAIR, LLC, AN ILLINOIS LIMITED LIABILITY COMPANY, EEO BURLEIGH MAYFAIR, LLC, AN ILLINOIS LIMITED LIABILITY COMPANY, TCB BURLEIGH MAYFAIR, LLC, AN ILLINOIS LIMITED LIABILITY COMPANY AND JES BURLEIGH MAYFAIR, AN ILLINOIS LIMITED LIABILITY COMPANY AS LESSOR AND PHOENIX WAUWATOSA HOTEL LLC, A WISCONSIN LIMITED LIABILITY COMPANY AS LESSEE, AS DISCLOSED BY A MEMORANDUM OF GROUND LEASE RECORDED AUGUST 23, 2016 AS DOCUMENT NO. 10595597 OF OFFICIAL RECORDS.
AFFECTS: THE LAND AND OTHER PROPERTY.
SAID LEASE, AMONG OTHER THINGS, PROVIDES FOR RIGHTS OF FIRST REFUSAL TO PURCHASE.
NOT A SURVEY MATTER. NOT SHOWN HEREON.

45. THIS ITEM HAS BEEN INTENTIONALLY DELETED.

46. RIGHTS OF TENANTS IN POSSESSION UNDER UNRECORDED LEASES. NOT A SURVEY MATTER. NOT SHOWN HEREON.

47. EASEMENT AND CONDITIONS AS SET FORTH IN INSTRUMENT RECORDED AS DOCUMENT NO. 3314078, AND AS REFERENCED ON CERTIFIED SURVEY MAP NO. 8481. SHOWN HEREON.

48. EASEMENT AND CONDITIONS AS SET FORTH IN INSTRUMENT RECORDED AS DOCUMENT NO. 3384332, AND AS REFERENCED ON CERTIFIED SURVEY MAP NO. 8481. SHOWN HEREON.

49. EASEMENT AND CONDITIONS AS SET FORTH IN INSTRUMENT RECORDED AS DOCUMENT NO. 4315443, AND AS REFERENCED ON CERTIFIED SURVEY MAP NO. 8481. EASEMENT LOCATION CANNOT BE DETERMINED FROM DOCUMENT PROVIDED. NOT SHOWN HEREON.

50. EASEMENT AND CONDITIONS AS SET FORTH IN INSTRUMENT RECORDED AS DOCUMENT NO. 6863226, AND AS REFERENCED ON CERTIFIED SURVEY MAP NO. 8481. SHOWN HEREON.

TO; MSP REAL EASTATE, INC. A MINNESOTA CORPORATION; BURLEIGH NORTH TRIANGLE, LLC, AN ILLINOIS LIMITED LIABILITY COMPANY; FIRST AMERICAN TITLE INSURANCE COMPANY:

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE "MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS," JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS IN 2016, AND INCLUDES ITEMS 1, 2, 3, 4, 5, 6, 7a, 7b1, 7c, 8, 9, 11, 13, 16, 17, AND 18 OF TABLE A THEREOF. PURSUANT TO THE ACCURACY STANDARDS AS ADOPTED BY ALTA AND NSPS AND IN EFFECT ON THE DATE OF THIS CERTIFICATION, UNDERSIGNED FURTHER CERTIFIES THAT IN MY PROFESSIONAL OPINION, AS A LAND SURVEYOR REGISTERED IN THE STATE OF WISCONSIN, THE RELATIVE POSITIONAL ACCURACY OF THIS SURVEY DOES NOT EXCEED THAT WHICH IS SPECIFIED THEREIN.

FEBRUARY 1, 2022
DATE

MICHAEL J. BERRY, PLS

WISCONSIN
MICHAEL J. BERRY
S–2545
BROOKFIELD, WI
LAND SURVEYOR

GRAPHIC SCALE
40 0 20 40 80
(IN FEET)
1 INCH = 40 FT.

www.DiggersHotline.com
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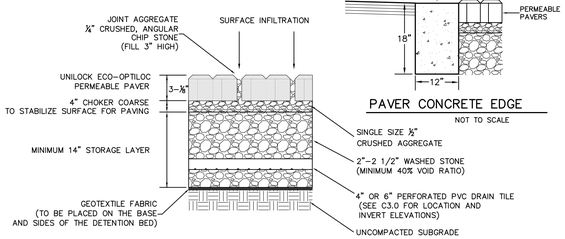
DIAL 811 OR (800) 242-8511

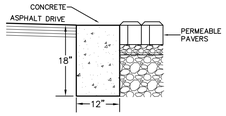
LEGEND

SAN	SANITARY SEWER
ST	STORM SEWER
W	WATER MAIN
G	BURIED GAS LINE
TEL	BURIED TELEPHONE LINE
E	BURIED ELECTRIC LINE
FO	BURIED FIBER OPTIC LINE
//	OVERHEAD UTILITY LINES
CATV	BURIED CABLE TELEVISION LINES
COMB	COMBINATION SEWER
	WOOD FENCE
	METAL FENCE
	EDGE OF TREES AND BRUSH
994.32 DS	DOOR SILL ELEVATION
	FIRE DEPARTMENT CONNECTION
	ELECTRIC TRANSFORMER
	ELECTRIC METER
	ELECTRIC PEDESTAL
	ELECTRIC BOX AT GRADE
	TELEPHONE BOX AT GRADE
	TELEPHONE PEDESTAL



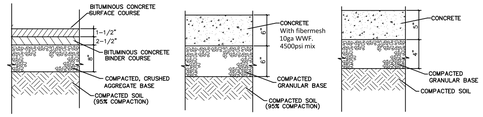
PERMEABLE PAVER TYPICAL DESIGN X-SECTION

NOT TO SCALE



PAVER CONCRETE EDGE

NOT TO SCALE



ASPHALT PAVEMENT

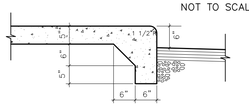
NOT TO SCALE

CONCRETE PAVEMENT

NOT TO SCALE

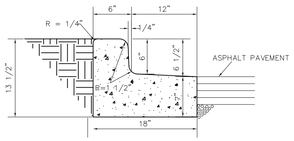
CONCRETE SIDEWALK

NOT TO SCALE



CONCRETE WALK WITH INTEGRAL CURB

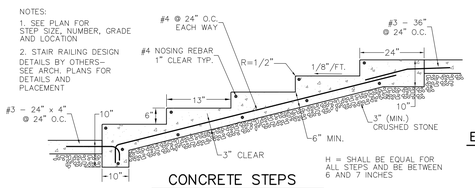
NOT TO SCALE



CONCRETE CURB

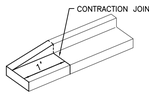
NOT TO SCALE

NOTES:
1. SEE PLAN FOR STEP SIZE, NUMBER, GRADE AND LOCATION
2. STAIR RAILING DESIGN DETAILS BY OTHERS– SEE ARCH. PLANS FOR DETAILS AND PLACEMENT



CONCRETE STEPS

NOT TO SCALE

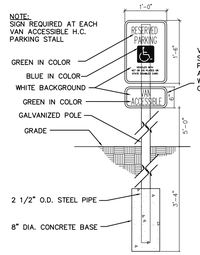


END SECTION CURB TAPER

NOT TO SCALE

Label	Quantity	Manufacturer	Catalog Number	Description	Number Lamps	Lumens Per Lamp	Light Loss Factor	Wattage
A	1	COOPER LIGHTING SOLUTIONS - LUMARK (FORMERLY EATON)	PRV-P-PA1C-740-U-T3	PREVAIL AREA AND WALL LUMINAIRE (1) 70-CRI, 4000K, 9-30mA LIGHT ENGINE WITH 24 LEDS AND TYPE III OPTICS	24	390	1	72.1
A2	4	COOPER LIGHTING SOLUTIONS - LUMARK (FORMERLY EATON)	PRV-P-PA1C-740-U-T3	PREVAIL AREA AND WALL LUMINAIRE (1) 70-CRI, 4000K, 9-30mA LIGHT ENGINE WITH 24 LEDS AND TYPE III OPTICS	24	390	1	144.2
B	4	COOPER LIGHTING SOLUTIONS - LUMARK (FORMERLY EATON)	PRV-P-PA1C-740-U-T3H	PREVAIL AREA AND WALL LUMINAIRE (1) 70-CRI, 4000K, 9-30mA LIGHT ENGINE WITH 24 LEDS AND THREE II U OPTICS	24	395	1	72.1
E	1	COOPER LIGHTING SOLUTIONS - LUMARK (FORMERLY EATON)	PRV-P-PA1B-740-U-T3	PREVAIL AREA AND WALL LUMINAIRE (1) 70-CRI, 4000K, 670mA LIGHT ENGINE WITH 24 LEDS AND TYPE III OPTICS	24	303	1	52.8
F	2	COOPER LIGHTING SOLUTIONS - LUMARK (FORMERLY EATON)	PRV-P-PA1C-740-U-T3-HSS	PREVAIL AREA AND WALL LUMINAIRE (1) 70-CRI, 4000K, 930mA LIGHT ENGINE WITH 24 LEDS AND TYPE III OPTICS WITH HOUSE SIDE SHIELD	24	299	1	72.1
H	5	COOPER LIGHTING SOLUTIONS - LUMARK (FORMERLY EATON)	PRV-P-PA1C-740-U-T4H-HSS	PREVAIL AREA AND WALL LUMINAIRE (1) 70-CRI, 4000K, 930mA LIGHT ENGINE WITH 24 LEDS AND TYPE IV WIDE OPTICS	24	382	1	72.1
I	2	COOPER LIGHTING SOLUTIONS (FORMERLY EATON)	XTOR3B-W	CROSSTOUR 3W WALL MOUNT LED	1	2102	1	18.2
J	2	RAB LIGHTING INC. RC LIGHTING	BLBOR24YSS (42" ROUND BOLLARD)	EXTRUDED BROWN PAINTED CYLINDRICAL METAL LOWER HOUSING, CAST METAL TOP, CAST FINNED METAL HEAT SINK, ANODIZED ALUMINUM REFLECTOR, ANODIZED CIRCULAR FINISHED PLASTIC REFLECTOR, 4 WHITE CIRCUIT BOARDS EACH WITH 3 LEDS	20	129	1	23.3
D	1	COOPER LIGHTING SOLUTIONS - LUMARK (FORMERLY EATON)	PRV-P-PA1C-740-U-T3-HSS	PREVAIL AREA AND WALL LUMINAIRE (1) 70-CRI, 4000K, 930mA LIGHT ENGINE WITH 24 LEDS AND TYPE III OPTICS WITH HOUSE SIDE SHIELD	24	299	1	72.1

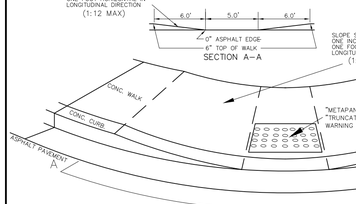
NOTE:
SIGN REQUIRED AT EACH VAN ACCESSIBLE H.C. PARKING STALL



ACCESSIBLE PARKING SIGN DETAIL (VAN ACCESSIBLE)

NOT TO SCALE

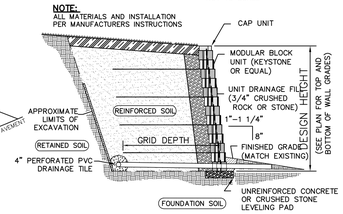
SLOPE SHALL NOT EXCEED ONE INCH VERTICAL IN ONE FOOT HORIZONTAL IN LONGITUDINAL DIRECTION (1:12 MAX)



HANDICAP CURB AND SIDEWALK RAMP TYPE III

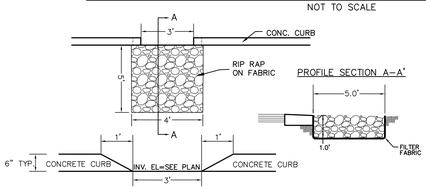
NOT TO SCALE

NOTE:
ALL MATERIALS AND INSTALLATION PER MANUFACTURERS INSTRUCTIONS



TYPICAL RETAINING WALL SECTION

NOT TO SCALE



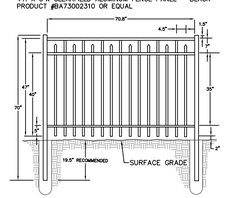
CURB CUT DETAIL W/RIP RAP

NOT TO SCALE

CONSTRUCTION SPECIFICATIONS

1. EXCAVATE BELOW CHANNEL OUTLET AND WIDEN CHANNEL TO THE REQUIRED RIP RAP THICKNESS FOR EACH APRON. FOUNDATION TO BE CUT TO ZERO GRADE AND SMOOTHED.
2. PLACE FILTER CLOTH ON BOTTOM AND SIDES OF PREPARED FOUNDATION. ALL JOINTS TO OVERLAP A MINIMUM OF 1.0'.
3. EXERCISE CARE IN RIP RAP PLACEMENT TO AVOID DAMAGE TO FILTER FABRIC.
4. PLACE RIP RAP ON ZERO GRADE – TOP OF RIP RAP TO BE LEVEL WITH EXISTING OUTLET – NO OVERFALL AT ENDS.
5. RIP RAP TO BE HARD, ANGULAR, WELL GRADE STONE OF 6" TO 10" DIA.
6. IMMEDIATELY AFTER CONSTRUCTION, STABILIZE ALL DISTURBED AREAS WITH VEGETATION.

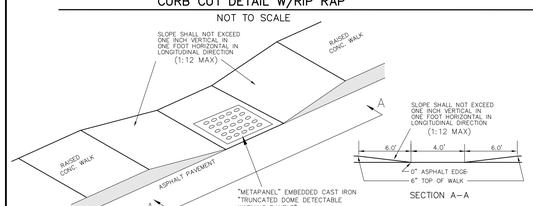
PRODUCT DETAIL:
MANUFACTURER – FENCING DIRECT:
4'H X 6'W CLEARFIELD ALUMINUM FENCE PANEL – BLACK
PRODUCT #BA73002310 OR EQUAL



NOTE: INSTALL PER MANUFACTURER SPECIFICATIONS

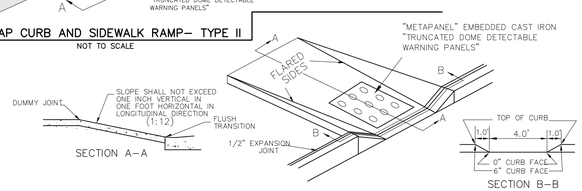
FENCING DETAIL

NOT TO SCALE



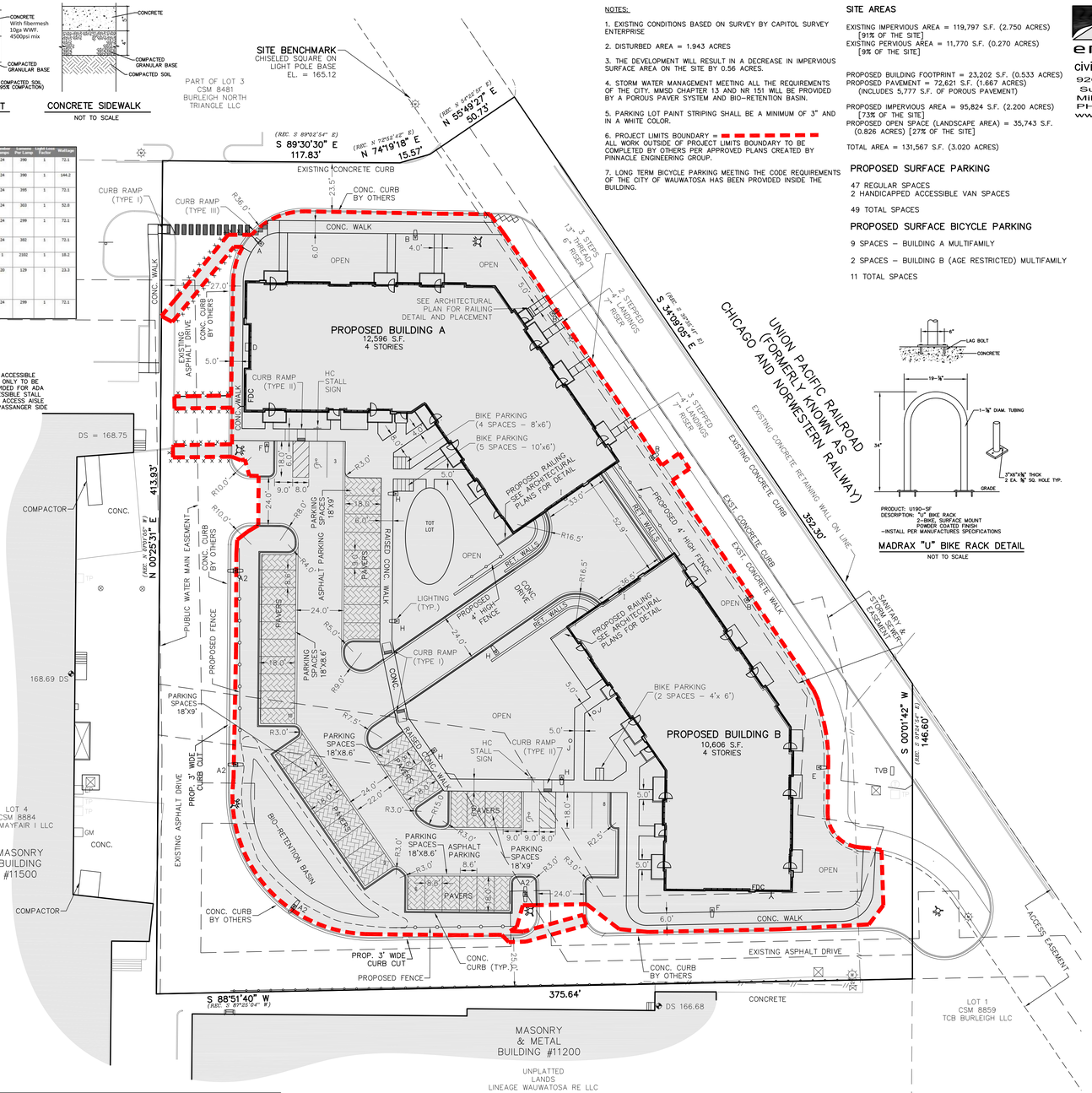
HANDICAP CURB AND SIDEWALK RAMP– TYPE II

NOT TO SCALE



HANDICAP CURB AND SIDEWALK RAMP TYPE 1

NOT TO SCALE



NOTES:

1. EXISTING CONDITIONS BASED ON SURVEY BY CAPITOL SURVEY ENTERPRISE
2. DISTURBED AREA = 1.943 ACRES
3. THE DEVELOPMENT WILL RESULT IN A DECREASE IN IMPERVIOUS SURFACE AREA ON THE SITE BY 0.56 ACRES.
4. STORM WATER MANAGEMENT MEETING ALL THE REQUIREMENTS OF THE CITY. MMSD CHAPTER 13 AND NR 151 WILL BE PROVIDED BY A POROUS PAVER SYSTEM AND BIO–RETENTION BASIN.
5. PARKING LOT PAINT STRIPING SHALL BE A MINIMUM OF 3" AND IN A WHITE COLOR.
6. PROJECT LIMITS BOUNDARY = ALL WORK OUTSIDE OF PROJECT LIMITS BOUNDARY TO BE COMPLETED BY OTHERS PER APPROVED PLANS CREATED BY PINNACLE ENGINEERING GROUP.
7. LONG TERM BICYCLE PARKING MEETING THE CODE REQUIREMENTS OF THE CITY OF WAUWATOSA HAS BEEN PROVIDED INSIDE THE BUILDING.

SITE AREAS

EXISTING IMPERVIOUS AREA = 119,797 S.F. (2.750 ACRES) [91% OF THE SITE]
EXISTING PERVIOUS AREA = 11,770 S.F. (0.270 ACRES) [9% OF THE SITE]

PROPOSED BUILDING FOOTPRINT = 23,202 S.F. (0.533 ACRES)
PROPOSED PAVEMENT = 72,621 S.F. (1.667 ACRES) (INCLUDES 5,777 S.F. OF POROUS PAVEMENT)

PROPOSED IMPERVIOUS AREA = 95,824 S.F. (2.200 ACRES) [73% OF THE SITE]
PROPOSED OPEN SPACE (LANDSCAPE AREA) = 35,743 S.F. (0.826 ACRES) [27% OF THE SITE]

TOTAL AREA = 131,567 S.F. (3.020 ACRES)

PROPOSED SURFACE PARKING

47 REGULAR SPACES
2 HANDICAPPED ACCESSIBLE VAN SPACES

49 TOTAL SPACES

PROPOSED SURFACE BICYCLE PARKING

9 SPACES – BUILDING A MULTIFAMILY

2 SPACES – BUILDING B (AGE RESTRICTED) MULTIFAMILY

11 TOTAL SPACES

PRODUCT: U190–SF
DESCRIPTION: "U" BIKE RACK
2–BIKE, SURFACE MOUNT
–POWDER COATED FINISH
–INSTALL PER MANUFACTURES SPECIFICATIONS

MADRAX "U" BIKE RACK DETAIL

NOT TO SCALE

CJ engineering
civil design and consulting
9205 W. Center Street
Suite 214
Milwaukee, WI 53222
PH. (414) 443-1312
www.cj-engineering.com

MSP - MAYFAIR COLLECTION

11450 W BURLEIGH STREET - TAX KEY:2969992003

WAUWATOSA, WI

CJE NO.:2176RI6
FEBRUARY 14, 2023
REV.: 3/14/2023
REV.: 3/24/2023
REV.: 4/06/2023
REV.: 4/11/2023
REV.: 5/02/2023
REV.: 5/11/2023
REV.: 6/14/2023
REV.: 7/07/2023
REV.: 8/07/2023

THE MAYFAIR COLLECTION - BUILDING B UNIT MATRIX											
	1-BEDROOM						2-BEDROOM				
	1A-AWU	1B-WU	1B-W	1B-UHVI	1C	1D	2A	2A-U	2B	2C	TOTAL
1ST	0	0	4	0	1	1	2	0	0	1	9
2ND	1	0	1	1	1	1	2	1	1	1	10
3RD	0	0	1	0	3	1	3	0	1	1	10
4TH	0	0	0	0	4	1	3	0	1	1	10
TOTAL	1	0	6	1	9	4	10	1	3	4	39

Legend:
AWU - Type-A, WHEDA, UFAS mobile impaired unit
U - UFAS mobile impaired unit
UHVI - UFAS hearing and visually impaired unit
WU - WHEDA, UFAS mobile impaired unit
W - WHEDA unit
All other units are designed to Type-B accessibility standards

THE MAYFAIR COLLECTION - BUILDING A UNIT MATRIX														
	1-BEDROOM						2-BEDROOM		3-BEDROOM					
	1A-AWU	1B-WU	1B-W	1C	1D	1E	2A	2D	3A	3B	3C	3D	TOTAL
1ST	0	0	0	0	0	0	1	0	6	2	1	0	10
2ND	0	0	0	0	1	1	1			2	1	0	6
3RD	1	1	4	1	1	1	1	1	0	2	0	0	13
4TH	0	0	2	4	1	0	1	1	0	2	0	1	12
TOTAL	1	1	6	5	3	2	4	2	6	8	2	1	41

Legend:
AWU - Type-A, WHEDA, UFAS mobile impaired unit
WU - WHEDA, UFAS mobile impaired unit
W - WHEDA unit
All other units, except type 3A, are designed to Type-B accessibility standards

GRAPHIC SCALE

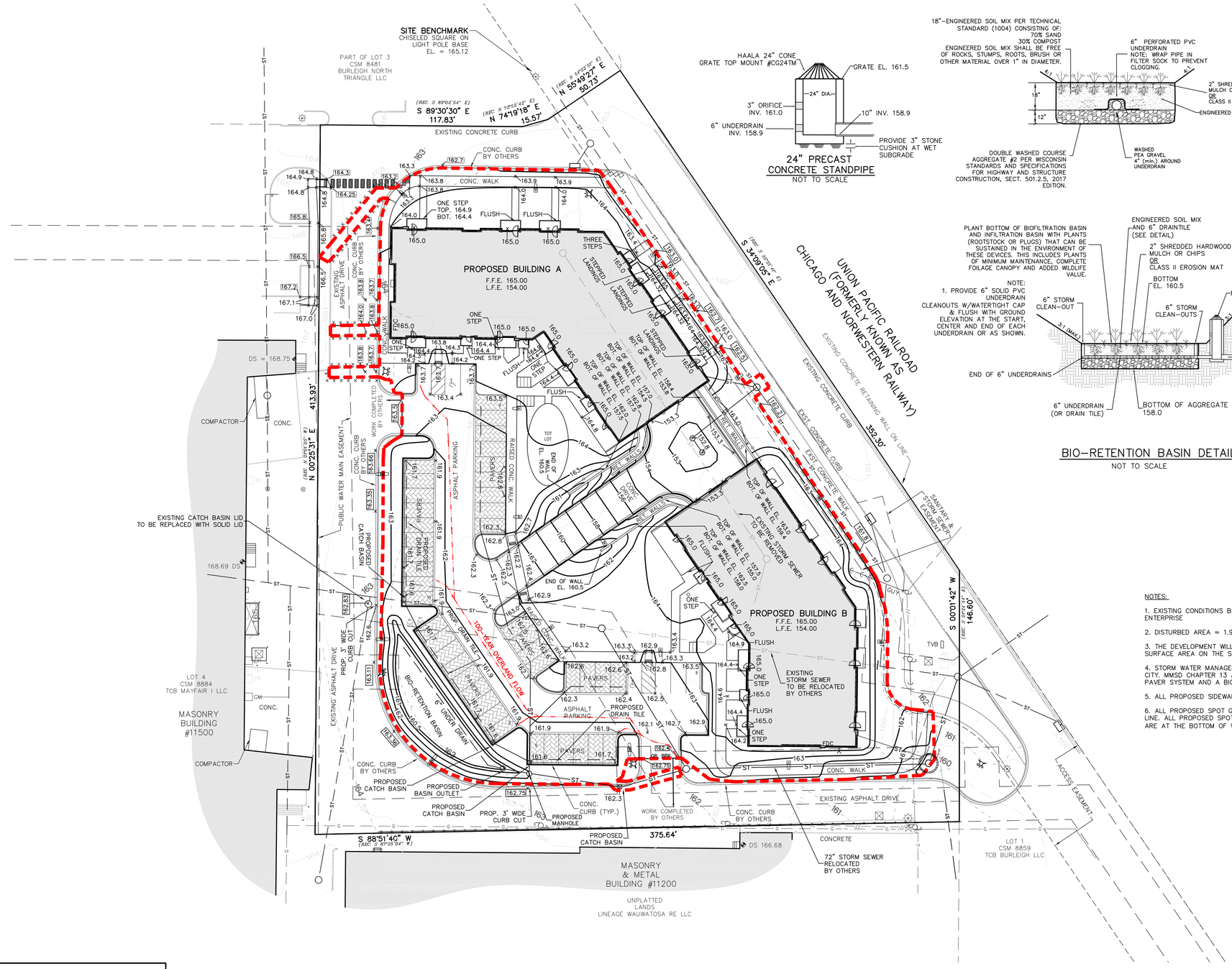
30 0 15 30 60

1 inch = 30 ft

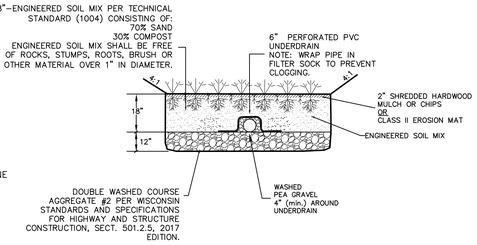
WISCONSIN
CHRISTOPHER A. JACKSON
E-34614
WAUWATOSA, WI
PROFESSIONAL ENGINEER

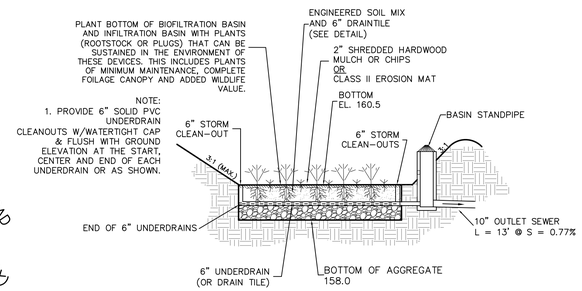
SITE PLAN

C1.0



24" PRECAST CONCRETE STANDPIPE
NOT TO SCALE





BIO-RETENTION BASIN DETAIL
NOT TO SCALE

NOTES:

1. EXISTING CONDITIONS BASED ON SURVEY BY CAPITOL SURVEY ENTERPRISE

2. DISTURBED AREA = 1.943 ACRES

3. THE DEVELOPMENT WILL RESULT IN A DECREASE IN IMPERVIOUS SURFACE AREA ON THE SITE BY 0.59 ACRES.

4. STORM WATER MANAGEMENT MEETING ALL THE REQUIREMENTS OF THE CITY, MMSD CHAPTER 13 AND NR 151 WILL BE PROVIDED BY A POROUS PAVER SYSTEM AND A BIO-RETENTION BASIN.

5. ALL PROPOSED SIDEWALK MAX 2% CROSS SLOPE.

6. ALL PROPOSED SPOT GRADES ALONG THE CURB ARE AT THE FLANGE LINE. ALL PROPOSED SPOT GRADES ALONG THE FACE OF A RAISED WALK ARE AT THE BOTTOM OF WALK (ASPH.).

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N

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REV.: 8/07/2023

WISCONSIN
CHRISTOPHER A. JACKSON
E-34614
WAUWATOSA, WI
PROFESSIONAL ENGINEER

LEGEND

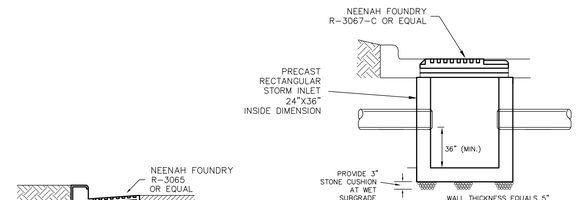
732	EXISTING CONTOUR
733	PINNACLE DESIGN CONTOUR (BY OTHERS)
733	PROPOSED CONTOUR
x-734.5	PROPOSED ELEVATION
x 734.5	PINNACLE DESIGN ELEVATION (BY OTHERS)
ST	PROPOSED STORM SEWER
x x x x x x x x x x x x	PROPOSED SAWCUT
	PROJECT LIMITS

www.DiggersHotline.com
DIGGERS HOTLINE
DIAL 811 OR (800) 242-8511

GRAPHIC SCALE
30 0 15 30 60
1 inch = 30 ft

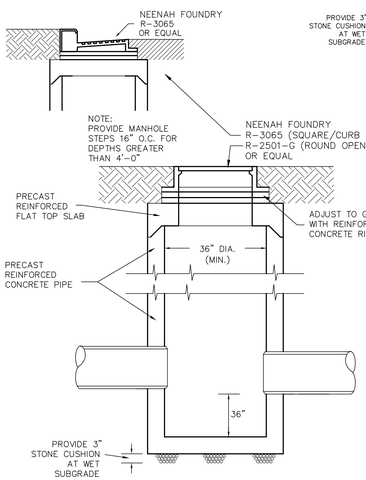
SITE GRADING PLAN

C2.0



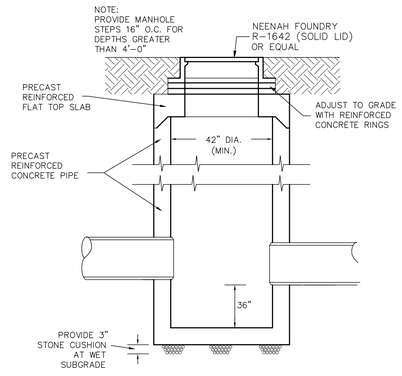
24" CATCH BASIN

NOT TO SCALE



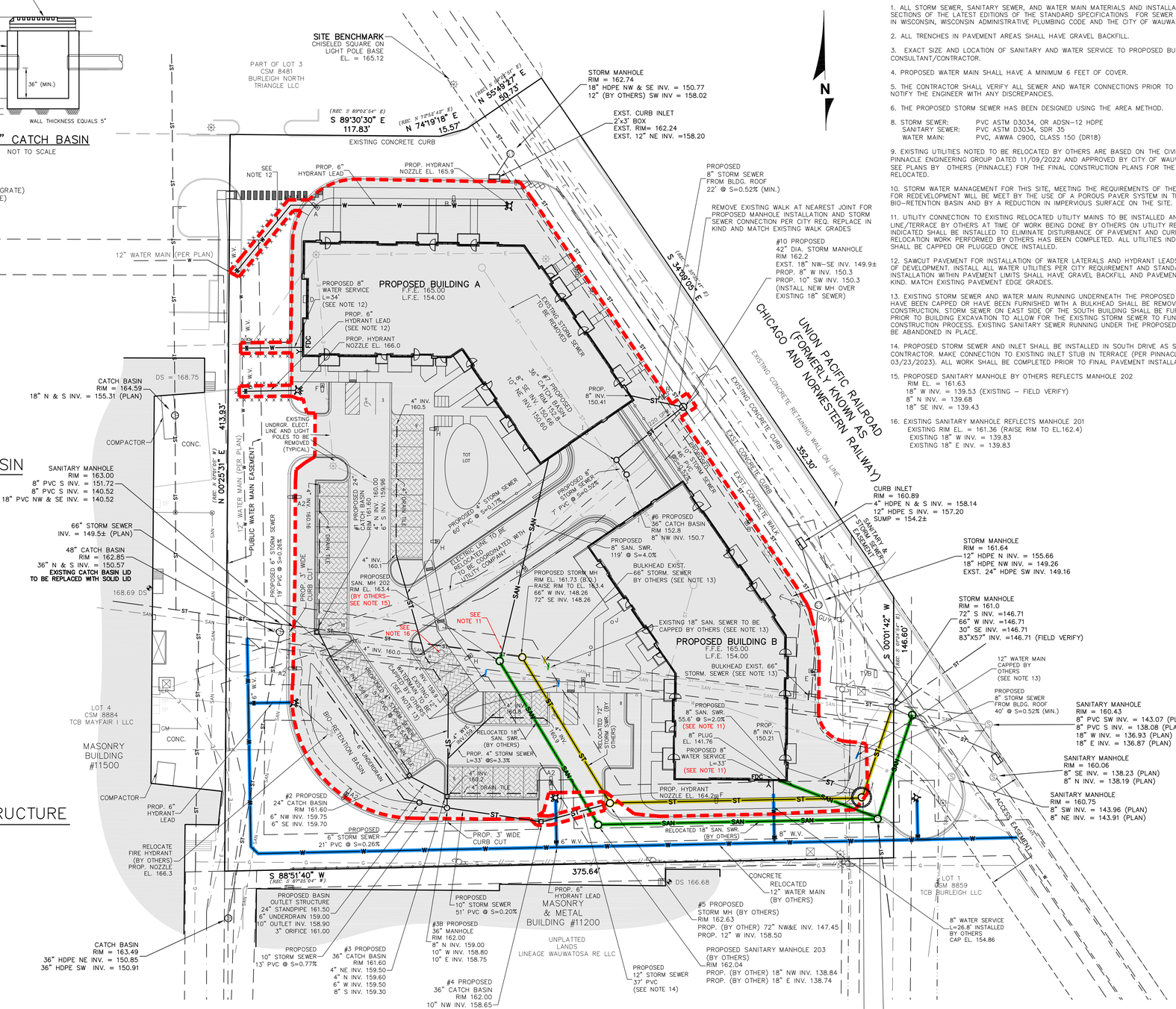
PRECAST 36" STORM CATCH BASIN

NOT TO SCALE



PRECAST 42" STORM MANHOLE STRUCTURE

NOT TO SCALE



LEGEND

ST	EXISTING STORM SEWER
ST	PROPOSED STORM SEWER
ST	PROPOSED STORM SEWER BY OTHERS
SAN	EXISTING SANITARY SEWER
SAN	PROPOSED SANITARY SEWER
SAN	PROPOSED SANITARY SEWER BY OTHERS
W	EXISTING WATER MAIN
W	PROPOSED WATER MAIN
W	PROPOSED WATER MAIN BY OTHERS
G	BURIED GAS MAIN
//	OVER HEAD WIRE
E	BURIED ELECTRIC
X X X X X X X X	PROPOSED SAWCUT
	PROJECT LIMITS

www.DiggersHotline.com

DIGGERS HOTLINE

DIAL 811 OR (800) 242-8511

GRAPHIC SCALE

30 0 15 30 60

1 inch = 30 ft

NOTES:

1. ALL STORM SEWER, SANITARY SEWER, AND WATER MAIN MATERIALS AND INSTALLATION PER APPLICABLE SECTIONS OF THE LATEST EDITIONS OF THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN, WISCONSIN ADMINISTRATIVE PLUMBING CODE AND THE CITY OF WAUWATOSA REQUIREMENTS.

2. ALL TRENCHES IN PAVEMENT AREAS SHALL HAVE GRAVEL BACKFILL.

3. EXACT SIZE AND LOCATION OF SANITARY AND WATER SERVICE TO PROPOSED BUILDINGS BY PLUMBING CONSULTANT/CONTRACTOR.

4. PROPOSED WATER MAIN SHALL HAVE A MINIMUM 6 FEET OF COVER.

5. THE CONTRACTOR SHALL VERIFY ALL SEWER AND WATER CONNECTIONS PRIOR TO UTILITY CONSTRUCTION. NOTIFY THE ENGINEER WITH ANY DISCREPANCIES.

6. THE PROPOSED STORM SEWER HAS BEEN DESIGNED USING THE AREA METHOD.

8. STORM SEWER: PVC ASTM D3034, OR ADSN-12 HDPE
SANITARY SEWER: PVC ASTM D3034, SDR 35
WATER MAIN: PVC, AWWA C900, CLASS 150 (DR18)

9. EXISTING UTILITIES NOTED TO BE RELOCATED BY OTHERS ARE BASED ON THE CIVIL PLAN SET FURNISHED BY PINNACLE ENGINEERING GROUP DATED 11/09/2022 AND APPROVED BY CITY OF WAUWATOSA ON 12/16/2022. SEE PLANS BY OTHERS (PINNACLE) FOR THE FINAL CONSTRUCTION PLANS FOR THE UTILITIES TO BE RELOCATED.

10. STORM WATER MANAGEMENT FOR THIS SITE, MEETING THE REQUIREMENTS OF THE CITY, MMSD AND WI DNR FOR REDEVELOPMENT WILL BE MEET BY THE USE OF A POROUS PAVER SYSTEM IN THE PARKING LOT, A BIO-RETENTION BASIN AND BY A REDUCTION IN IMPERVIOUS SURFACE ON THE SITE.

11. UTILITY CONNECTION TO EXISTING RELOCATED UTILITY MAINS TO BE INSTALLED AND EXTENDED TO CURB LINE/TERRACE BY OTHERS AT TIME OF WORK BEING DONE BY OTHERS ON UTILITY RELOCATION. UTILITIES INDICATED SHALL BE INSTALLED TO ELIMINATE DISTURBANCE OF PAVEMENT AND CURB AFTER UTILITY RELOCATION WORK PERFORMED BY OTHERS HAS BEEN COMPLETED. ALL UTILITIES INDICATED BY A RED CALLOUT SHALL BE CAPPED OR PLUGGED ONCE INSTALLED.

12. SAWCUT PAVEMENT FOR INSTALLATION OF WATER LATERALS AND HYDRANT LEADS SHOWN ON NORTH SIDE OF DEVELOPMENT. INSTALL ALL WATER UTILITIES PER CITY REQUIREMENT AND STANDARDS. ALL UTILITY INSTALLATION WITHIN PAVEMENT LIMITS SHALL HAVE GRAVEL BACKFILL AND PAVEMENT SHALL BE REPLACED IN KIND. MATCH EXISTING PAVEMENT EDGE GRADES.

13. EXISTING STORM SEWER AND WATER MAIN RUNNING UNDERNEATH THE PROPOSED SOUTH BUILDING THAT HAVE BEEN CAPPED OR HAVE BEEN FURNISHED WITH A BULKHEAD SHALL BE REMOVED PRIOR TO BUILDING CONSTRUCTION. STORM SEWER ON EAST SIDE OF THE SOUTH BUILDING SHALL BE FURNISHED WITH BULKHEAD PRIOR TO BUILDING EXCAVATION TO ALLOW FOR THE EXISTING STORM SEWER TO FUNCTION THROUGHOUT THE CONSTRUCTION PROCESS. EXISTING SANITARY SEWER RUNNING UNDER THE PROPOSED SOUTH BUILDING SHALL BE ABANDONED IN PLACE.

14. PROPOSED STORM SEWER AND INLET SHALL BE INSTALLED IN SOUTH DRIVE AS SOON AS FEASIBLE BY CONTRACTOR. MAKE CONNECTION TO EXISTING INLET STUB IN TERRACE (PER PINNACLE PLANS – DATED: 03/23/2023). ALL WORK SHALL BE COMPLETED PRIOR TO FINAL PAVEMENT INSTALLATION.

15. PROPOSED SANITARY MANHOLE BY OTHERS REFLECTS MANHOLE 202
RIM EL. = 161.63
18" W INV. = 139.53 (EXISTING – FIELD VERIFY)
8" N INV. = 139.68
18" SE INV. = 139.43

16. EXISTING SANITARY MANHOLE REFLECTS MANHOLE 201
EXISTING RIM EL. = 161.36 (RAISE RIM TO EL.162.4)
EXISTING 18" W INV. = 139.83
EXISTING 18" E INV. = 139.83

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11450 W BURLEIGH STREET - TAX KEY:2969992003

WAUWATOSA, WI

CJE NO.:2176RI6

FEBRUARY 14, 2023

REV.: 3/14/2023
REV.: 3/24/2023
REV.: 4/06/2023
REV.: 4/11/2023
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REV.: 7/07/2023
REV.: 8/07/2023

WISCONSIN
CHRISTOPHER A. JACKSON
E-34614
WAUWATOSA, WI
PROFESSIONAL ENGINEER

SITE UTILITY PLAN

C3.0

NOTES:

1. EXISTING CONDITIONS BASED ON SURVEY BY CAPITOL SURVEY ENTERPRISES.

2. DISTURBED AREA = 84,633 S.F. (1.943 ACRES)

3. THE DEVELOPMENT WILL RESULT IN A DECREASE IN IMPERVIOUS SURFACE AREA ON THE SITE BY 0.59 ACRES.

4. STORM WATER MANAGEMENT MEETING ALL THE REQUIREMENTS OF THE CITY. MMSD CHAPTER 13 AND NR 151 WILL BE PROVIDED BY A PROPOSED STORM WATER PERMEABLE PAVER SYSTEM LOCATED SOUTHWEST OF THE PROPOSED BUILDINGS ALONG WITH A BIO–RETENTION BASIN.

5. ALL CONSTRUCTION MATERIALS TO BE STORED ON–SITE.

6. THE CONTRACTOR IS RESPONSIBLE FOR ANY CITY AND/OR STATE PERMITS FOR ALL WORK IN THE PUBLIC RIGHT OF WAY. ALL WORK IN THE PUBLIC RIGHT OF WAY REQUIRES A STREET OCCUPANCY PERMIT FROM THE CITY.

7. ALL CONTRACTOR PARKING TO BE LOCATED ON SITE. ALL CONSTRUCTION PARKING ACTIVITIES TO FOLLOW CITY OF WAUWATOSA PARKING REGULATIONS.

8. APPROXIMATE START DATE: MAY 2023
APPROXIMATE COMPLETION DATE: MAY 2024

9. CONTRACTOR TO LIMIT ANY CRANE MOVEMENTS THAT INVOLVE OVERHAND ONTO THE ADJACENT RAILROAD RIGHT–OF–WAY

TRUCKING ROUTE

FROM I–94 EAST/WEST BOUND: TAKE EXIT 305A/B TO I–41. HEAD NORTHBOUND ONTO I–41 TO EXIT 43. TAKE EXIT 43 AND CONTINUE EAST ON TO W BURLEIGH ST. CONTINUE ON EAST ON W BURLEIGH ST TO N 112TH ST. THEN HEAD NORTH ON N 112TH ST. CONTINUE ON N 112TH ST TO THE PROJECT LOCATION.

FROM I–41: TAKE EXIT 43. TAKE EXIT 43 AND CONTINUE EAST ON TO W BURLEIGH ST. CONTINUE ON EAST ON W BURLEIGH ST TO N 112TH ST. THEN HEAD NORTH ON N 112TH ST. CONTINUE ON N 112TH ST TO THE PROJECT LOCATION.

CONSTRUCTION SCHEDULE

1. OBTAIN PLAN APPROVAL AND OTHER APPLICABLE PERMITS.
2. FLAG THE WORK LIMIT AREA FOR PROTECTION.
3. INSTALL SILT WATTLES AND TREE PROTECTION.
4. INSTALL INLET GRATE SCREENS IN ALL INLETS ADJACENT TO SITE. AS SHOWN ON PLAN
5. DEMO SITE AND REMOVE ALL EXCESS MATERIAL.
6. INSTALL CONSTRUCTION EXIT.
7. ROUGH GRADE SITE. REMOVE ANY EXCESS MATERIAL FROM SITE IMMEDIATELY
8. BEGIN BUILDING CONSTRUCTION.
9. INSTALL PROPOSED UTILITIES.
10. INSTALL INLET GRATE SCREENS IN ALL NEW STORM INLETS.
11. PROVIDE IMMEDIATE TEMPORARY STABILIZATION OF ANY DISTURBED AREAS WHICH WILL REMAIN INACTIVE FOR A PERIOD EXCEEDING 7 DAYS.
12. INSTALL CURB, WALK AND BASE COURSE OF PAVEMENT.
13. FINAL GRADE SLOPES AND TOPSOIL CRITICAL SLOPES; VEGETATE AND MAT ALL DISTURBED AREAS FOR FINAL STABILIZATION.
14. ALL EROSION CONTROL PRACTICES WILL BE INSPECTED WEEKLY AND AFTER RAINFALL, NEEDED REPAIRS WILL BE PERFORMED IMMEDIATELY.
15. AFTER SITE IS STABILIZED, REMOVE ALL TEMPORARY MEASURES AND VEGETATE THE DISTURBED AREAS.
16. ESTIMATED TIME BEFORE FINAL STABILIZATION – 12 MONTHS.
ESTIMATED START DATE: MAY 2023
ESTIMATED END DATE: MAY 2024

MAINTENANCE PLAN

1. ALL EROSION AND SEDIMENT CONTROL PRACTICES WILL BE CHECKED FOR STABILITY AND OPERATION FOLLOWING EVERY ½" RUNOFF–PRODUCTION RAINFALL BUT IN NO CASE LESS THAN ONCE EVERY WEEK. ANY NEEDED REPAIRS WILL BE MADE IMMEDIATELY TO MAINTAIN ALL PRACTICES AS DESIGNED.

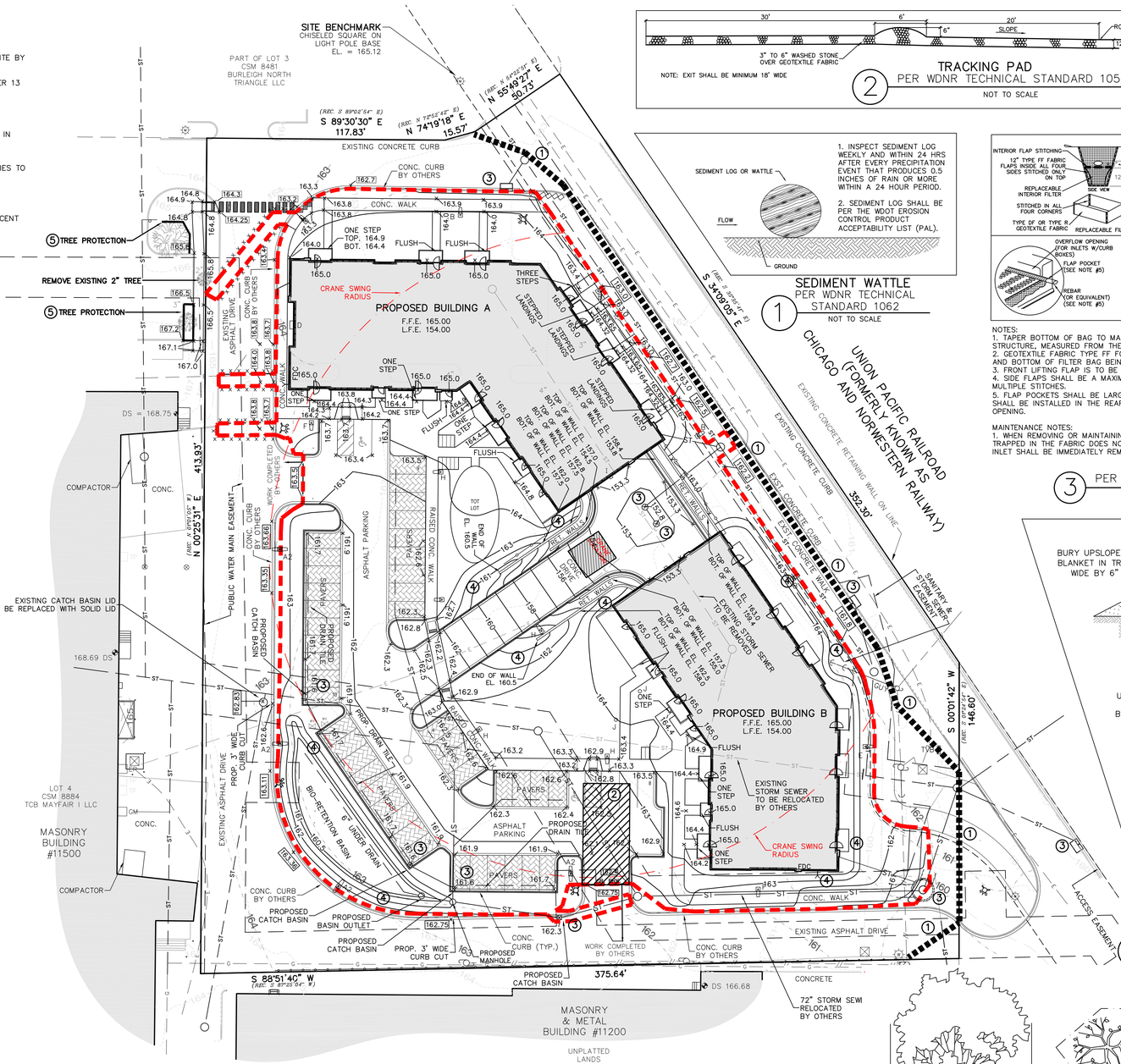
2. SEDIMENT WILL BE REMOVED FROM BEHIND THE SILT FENCE WHEN IT BECOMES ABOUT 0.5 FT. DEEP AT THE FENCE. THE SILT FENCE WILL BE REPAIRED AS NECESSARY TO MAINTAIN A BARRIER.

3. ALL SEEDED AREAS WILL BE WATERED, FERTILIZED, RESEEDED AS NECESSARY, AND MULCHED TO MAINTAIN A VIGOROUS, DENSE VEGETATIVE COVER.

4. ANY SEDIMENT REACHING A PUBLIC OR PRIVATE ROAD SHALL BE REMOVED BY STREET CLEANING BEFORE THE END OF EACH DAY.

THE CITY OF WAUWATOSA EROSION CONTROL NOTES:

1. Site Dewatering. Water pumped from the site shall be treated by sediment basins or other appropriate best management practices specified in the Wisconsin Construction Site Best Management Practices (BMP) Handbook. Water may not be discharged in a manner that causes erosion of the site, adjacent sites, or receiving channels.
2. Waste and Material Disposal. All waste and unused building materials (including garbage, debris, cleaning wastes, wastewater, toxic materials, or hazardous materials) shall be properly disposed and not allowed to be carried off-site by runoff or wind.
3. Tracking. Each site shall have graveled roads, access drives and parking areas of sufficient width and length to prevent sediment from being tracked onto public or private roadways. Any sediment reaching a public or private road shall be removed by street cleaning, to the satisfaction of the city, before the end of each workday. Flushing may not be used unless sediment will be controlled by a sediment basin or other appropriate best management practice specified in the BMP Handbook.
4. Sediment Cleanup. All off-site sediment deposits occurring as a result of a storm event shall be cleaned up by the end of the next work day. All other off-site sediment deposits occurring as a result of construction activities shall be cleaned up by the end of the work day.
5. All activities on the site shall be conducted in a logical sequence to minimize the area of bare soil exposed at any one time.
6. All disturbed ground left inactive for seven or more days shall be stabilized by temporary or permanent seeding, temporary or permanent seeding and mulching, sodding, covering with tarps, or equivalent best management practices. If temporary seeding is used, a permanent cover shall also be required as part of the final site stabilization. Seeding or sodding shall be required as part of the final site stabilization.
7. Soil or dirt storage piles shall be located a minimum of twenty-five feet from any downslope road, lake, stream, wetland, or drainage channel. Straw bale or filter fabric fences shall be placed on the down slope side of the piles. If remaining for more than seven days, piles shall be stabilized by mulching, vegetative cover, tarps or other means.
8. When the disturbed area has been stabilized by permanent vegetation or other means, temporary best management practices such as filter fabric fences, straw bales, sediment and sediment traps shall be removed.
9. Notify the city engineering department (479-8934) within two working days of commencing any land development or land disturbing activity.
10. Notify the city of completion of any best management practices within the next working day after their installation.
11. Obtain permission in writing from the City of Wauwatosa engineering department prior to modifying the erosion control plan.
12. Repair any siltation or erosion damage to adjoining surfaces and drainage ways resulting from land development or land disturbing activities.
13. Inspect the best management practices after each rain of 0.5 inch or more and at least once each week and make needed repairs.
14. Keep a copy of the erosion control plan on the site.

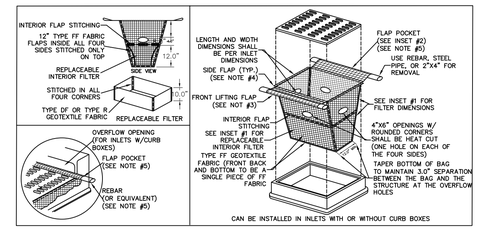


2 TRACKING PAD
PER WDNR TECHNICAL STANDARD 1057
NOT TO SCALE

1. INSPECT SEDIMENT LOG WEEKLY AND WITHIN 24 HRS AFTER EVERY PRECIPITATION EVENT THAT PRODUCES 0.5 INCHES OF RAIN OR MORE WITHIN A 24 HOUR PERIOD.

2. SEDIMENT LOG SHALL BE PER THE WDOT EROSION CONTROL PRODUCT ACCEPTABILITY LIST (PAL).

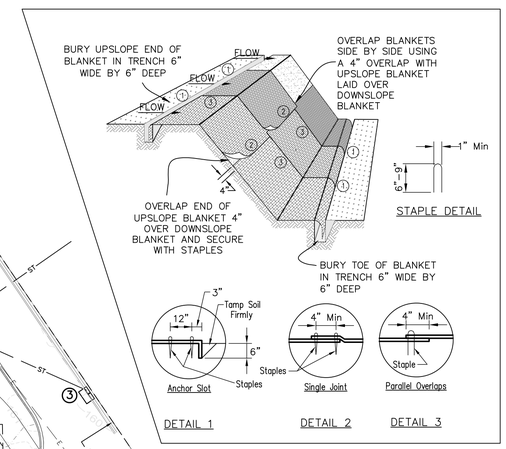
1 SEDIMENT WATTLE
PER WDNR TECHNICAL STANDARD 1062
NOT TO SCALE



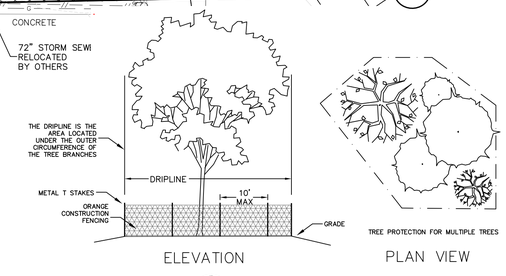
NOTES:
1. TAPER BOTTOM OF BAG TO MAINTAIN THREE INCHES OF CLEARANCE BETWEEN THE BAG AND THE STRUCTURE, MEASURED FROM THE BOTTOM OF THE OVERFLOW OPENINGS TO GHT STRUCTURE WALL.
2. GEOTEXTILE FABRIC TYPE FF FOR FLAPS, TOP AND BOTTOM OF OUTSIDE OF FILTER BAG. FRONT, BACK AND BOTTOM OF FILTER BAG BEING ONE PIECE.
3. FRONT LIFTING FLAP IS TO BE USED WEN REMOVING AND MAINTAINING FILTER BAG.
4. SIDE FLAPS SHALL BE A MAXIMUM OF TWO INCHES LONG. FOLD THE FABRIC OVER AND REINFORCE WITH MULTIPLE STITCHES.
5. FLAP POCKETS SHALL BE LARGE ENOUGH TO ACCEPT WOOD 2"X4". THE REBAR, STEEL PIPE, OR WOOD SHALL BE INSTALLED IN THE REAR FLAP AND SHALL NOT BLOCK THE TOP HALF OF THE CURB FACE OPENING.

MAINTENANCE NOTES:
1. WHEN REMOVING OR MAINTAINING INLET PROTECTION, CARE SHALL BE TAKEN SO THAT THE SEDIMENT TRAPPED IN THE FABRIC DOES NOT FALL INTO THE STRUCTURE. MATERIAL THAT HAS FALLEN INTO THE INLET SHALL BE IMMEDIATELY REMOVED.

3 INLET PROTECTION
PER WDNR TECHNICAL STANDARD 1060
NOT TO SCALE



EROSION MATTING TYPICAL INSTALLATION
PER WDNR TECHNICAL STANDARD 1053
FOR CLASS 1, TYPE B EROSION MAT
INSTALL PER MANUFACTURERS SPECIFICATIONS
4 NOT TO SCALE



NOTES:
1. INSTALL 4' HIGH ORANGE VINYL SNOW/CONSTRUCTION FENCING OR SIMILAR FENCING AT OR BEYOND THE DRIPLINE OF ALL TREES TO BE SAVED
2. ERECT FENCE WITH 5' METAL T–STAKED AT LEAST EVERY 10'
3. THE FENCING SHALL BE IN PLACE BEFORE CONSTRUCTION ACTIVITY BEGINS AND REMAIN UNTIL ALL EXTERIOR WORK HAS BEEN COMPLETED.
4. NO CONSTRUCTION ACTIVITY SHALL TAKE PLACE NOR SHALL ANY EQUIPMENT BE STORED INSIDE THE FENCING
5. TO THE GREATEST EXTENT POSSIBLE, CONTRACTORS SHALL BE RESPONSIBLE FOR EXERCISING GREAT CARE TO RETAIN AND PROTECT ALL EXISTING TREES

5 TREE PROTECTION
NOT TO SCALE

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WISCONSIN
CHRISTOPHER A. JACKSON
E-34614
WAUWATOSA, WI
PROFESSIONAL ENGINEER

LEGEND

732	EXISTING CONTOUR
733	PROPOSED CONTOUR
x 734.5	PROPOSED ELEVATION
ST	PROPOSED STORM SEWER
	PROPOSED SEDIMENT WATTLE

EROSION CONTROL PRACTICES SCHEDULE

1. SEDIMENT WATTLE
2. CONSTRUCTION EXIT
3. INLET PROTECTION
4. EROSION MATTING
5. TREE PROTECTION

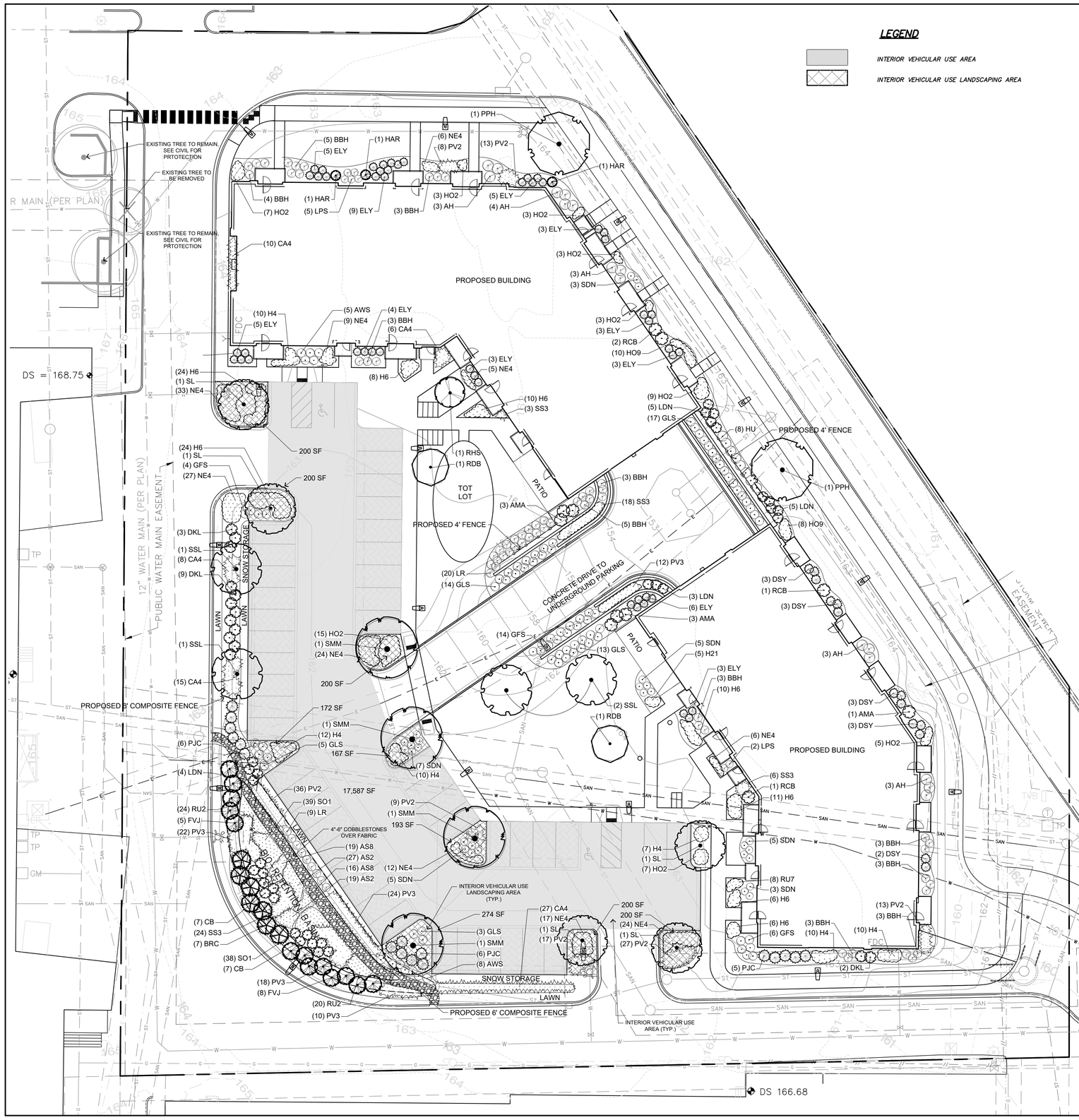
AFTER FINISH GRADING AND TOPSOILING AND FOR FINAL STABILIZATION, PROVIDE CLASS I, TYPE B EROSION MAT PER 'WISDOT EROSION CONTROL PAL' (OR EQUAL) IN ALL ROADSIDE DITCHES, DEFINED SWALES, SIDE SLOPES, BERMS AND ALL OTHER SLOPES 4:1 OR GREATER. INSTALL PER MANUFACTURERS SPECIFICATIONS.

www.DiggersHotline.com
DIGGERS HOTLINE
DIAL 811 OR (800) 242-8511

GRAPHIC SCALE
30 0 15 30 60
1 inch = 30 ft

SITE EROSION CONTROL PLAN

C4.0



LEGEND

INTERIOR VEHICULAR USE AREA

INTERIOR VEHICULAR USE LANDSCAPING AREA

PLANT SCHEDULE

DECIDUOUS TREES	QTY	COMMON NAME	BOTANICAL NAME	SIZE	ROOT	REMARKS
SMM	4	State Street Miyabei Maple	Acer miyabei `Morton` TM	2 1/2" CAL	B&B	
PPH	2	Prairie Pride Hackberry	Celtis occidentalis `Prairie Pride`	2 1/2" CAL	B&B	
SL	5	Street Keeper Honey Locust	Gleditsia triacanthos `Draves` PPAF	2 1/2" CAL	B&B	Full, matching heads
SSL	4	Sweet Street Linden	Tilia americana `Kromm`	2 1/2" CAL	B&B	

EVERGREEN TREES	QTY	COMMON NAME	BOTANICAL NAME	SIZE	ROOT	REMARKS
FVJ	13	Fairview Juniper	Juniperus chinensis `Fairview`	6` HT	B&B	Semi-sheared, fully branched to ground
BRC	7	Burk Red Cedar	Juniperus virginiana `Burkii`	6` HT	B&B	Semi-sheared, fully branched to ground
HAR	3	Holmstrup Arborvitae	Thuja occidentalis `Holmstrup`	4` HT	B&B	Semi-sheared, fully branched to ground

ORNAMENTAL TREES	QTY	COMMON NAME	BOTANICAL NAME	SIZE	ROOT	REMARKS
RHS	1	Robin Hill Serviceberry	Amelanchier x grandiflora `Robin Hill`	2" CAL	B&B	Full, matching heads
RDB	2	Eastern Redbud	Cercis canadensis	2" CAL	B&B	Full, matching heads. Northern grown

EVERGREEN SHRUBS	QTY	COMMON NAME	BOTANICAL NAME	SIZE	ROOT	REMARKS
PJC	17	Kallay Compact Pfitzer Juniper	Juniperus chinensis `Kallays Compact`	18"SPD	CONT.	
DSY	14	Dense Yew	Taxus x media `Densiformis`	18"SPD	CONT.	
ELY	49	Everlow Yew	Taxus x media `Everlow`	18" HT	B&B	

LARGE DECIDUOUS SHRUBS	QTY	COMMON NAME	BOTANICAL NAME	SIZE	ROOT	REMARKS
RCB	4	Brilliant Red Chokeberry	Aronia arbutifolia `Brillantissima`	24" HT	CONT.	
AMA	7	Autumn Magic Black Chokeberry	Aronia melanocarpa `Autumn Magic`	24" HT	CONT.	
LDN	17	Little Devil Dwarf Ninebark	Physocarpus opulifolius `Little Devil` TM	24" HT	CONT.	
DKL	14	Dwarf Korean Lilac	Syringa meyeri `Palibin`	36"HT	CONT.	

MEDIUM DECIDUOUS SHRUBS	QTY	COMMON NAME	BOTANICAL NAME	SIZE	ROOT	REMARKS
CB	14	Firedance™ Red Twig Dogwood	Cornus sericea 'Baladeline'	18" HT		
SDN	28	Nikko Slender Deutzia	Deutzia gracilis `Nikko`	15" HT	CONT.	
LR	29	Kodiak® Orange Diervilla	Diervilla x `G2X88544`	15" HT	CONT.	
AH	16	Annabelle Smooth Hydrangea	Hydrangea arborescens `Annabelle`	24" HT	CONT.	
BBH	38	BoBo Hydrangea	Hydrangea paniculata `ILVOBO`	15" HT	CONT.	
HU	8	Cobalt n Gold St. Johnswort	Hypericum kalmianum 'PIIHYP-I'	15" HT	CONT.	

LOW DECIDUOUS SHRUBS	QTY	COMMON NAME	BOTANICAL NAME	SIZE	ROOT	REMARKS
GLS	52	Gro-Low Fragrant Sumac	Rhus aromatica `Gro-Low`	15" HT	CONT.	
AWS	13	Anthony Waterer Spiraea	Spiraea x bumalda `Anthony Waterer`	15" HT	CONT.	
GFS	24	Goldflame Spirea	Spiraea x bumalda `Goldflame`	15" HT	CONT.	
LPS	7	Little Princess Spirea	Spiraea x japonica `Little Princess`	15" HT	CONT.	

ORNAMENTAL GRASSES	QTY	COMMON NAME	BOTANICAL NAME	SIZE	ROOT	REMARKS
CA4	66	Karl Foerster Feather Reed Grass	Calamagrostis x acutiflora `Karl Foerster`	1 GAL	POT	24" Spacing
PV2	123	Cheyenne Sky Switch Grass	Panicum virgatum `Cheyenne Sky`	1 GAL	POT	18" Spacing
PV3	86	Heavy Metal Switch Grass	Panicum virgatum `Heavy Metal`	1 GAL	POT	30" Spacing
SS3	51	Carousel Little Bluestem Grass	Schizachyrium scoparium `Carousel`	1 GAL	POT	24" Spacing

PERENNIALS	QTY	COMMON NAME	BOTANICAL NAME	SIZE	ROOT	REMARKS
AS2	46	Swamp Milkweed	Asclepias incarnata	4 1/2"	POT	18" Spacing
AS8	35	Alma Potschke New England Aster	Aster novae-angliae `Alma Potschke`	4 1/2"	POT	18" Spacing
H4	59	Happy Returns Daylily	Hemerocallis x `Happy Returns`	4 1/2"	POT	18" Spacing
H6	99	Little Business Daylily	Hemerocallis x `Little Business`	4 1/2"	POT	24" Spacing
H21	5	Stella de Oro Daylily	Hemerocallis x `Stella de Oro`	4 1/2"	POT	18" Spacing
HO2	55	Gold Standard Hosta	Hosta fortunei `Gold Standard`	4 1/2"	POT	18" Spacing
HO9	18	Blue Cadet Hosta	Hosta x `Blue Cadet`	1 GAL	POT	24" Spacing
NE4	163	Kit Cat Catmint	Nepeta x faassenii `Kit Cat`	4 1/2"	POT	18" Spacing
RU2	44	Showy Coneflower	Rudbeckia fulgida speciosa	4 1/2"	POT	18" Spacing
RU7	8	Little Goldstar Black-eyed Susan	Rudbeckia fulgida var. sullivantii `Little Goldstar`	4 1/2"	POT	18" Spacing
SO1	77	Zigzag Goldenrod	Solidago flexicaulis	4 1/2"	POT	18" Spacing

LANDSCAPE CALCULATIONS

INTERIOR VEHICULAR USE AREA LANDSCAPE: 5 OR MORE PARKING STALLS

AREA = PARKING, DRIVE AISLES, DRIVEWAYS AND DRIVE THROUGH LANES
(DOES NOT INCLUDE PARKING IN A STRUCTURE)

PAVED AREA = 15,950 LANDSCAPE AREA REQUIRED = 1,595 SF
PROVIDED: 1806 SF

REQUIRED: AT LEAST 10% OF USE AREA MUST BE LANDSCAPED
ISLANDS AND MEDIANS MUST HAVE AT LEAST 135 SF AND BE 10' WIDE
AREAS OUTSIDE THE VUA DON'T COUNT TOWARD INTERIOR.
CORNERS MAX 200 SF, IF AT LEAST 1 SHADE TREE IS INCLUDED
1 SHADE TREE PER 180 SF OF INTERIOR LANDSCAPE AREA
1,595 / 180 =9 TREES REQUIRED
PROVIDED: 9 TREES

SNOW SHALL NOT BE PUSHED ONTO LANDSCAPE ISLANDS.

WISCONSIN
ROB WILLIAMS
464-014
GLENDALE, WI
LANDSCAPE ARCHITECT

DATE: 07-07-2023

NORTH

0 10 20 40
GRAPHIC SCALE

811
Know what's below.
Call before you dig.

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MSP - MAYFAIR COLLECTION
WAUWATOSA,WI

LANDSCAPE PLAN

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DATE: 07/07/2023

SCALE: 1" = 20'

JOB NO. 3220089

PROJECT MANAGER:
ROB WILLIAMS, PLA

DESIGNED BY: ERM/REW

CHECKED BY: REW

SHEET NUMBER
L1.0

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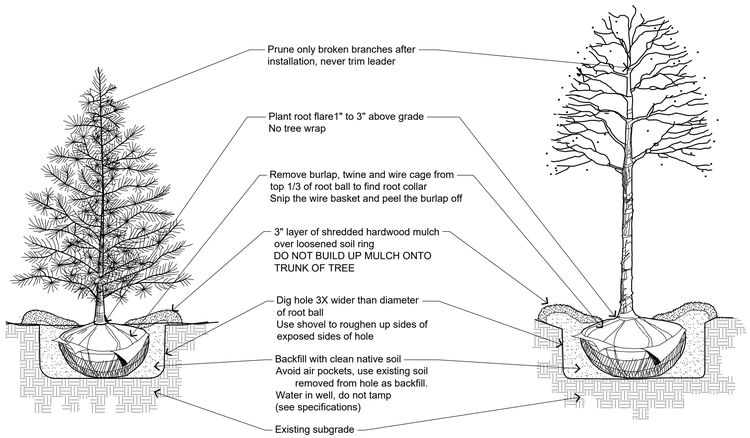
PLANTING DETAILS



1 TREE PLANTING DETAIL

NOT TO SCALE

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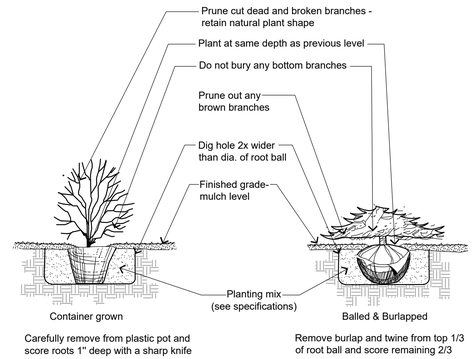
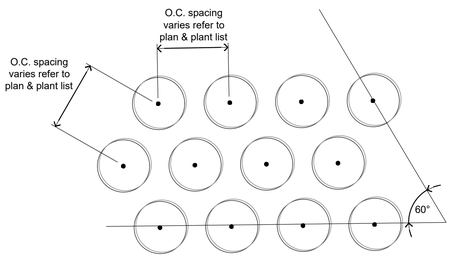


2 SHRUB PLANTING DETAIL

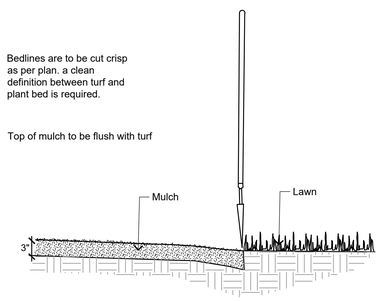
NOT TO SCALE



3 PLANTING LAYOUT

NOT TO SCALE

ras-1-3220089-01



4 SHOVEL OR MECHANICAL CUT PLANT BED EDGE DETAIL

NOT TO SCALE

GENERAL LANDSCAPE NOTES

1. Contractor responsible for contacting public and private underground utility locating service to have site marked prior to any digging or earthwork.
2. Contractor to verify all plant quantities shown on plant list and verify with plan. Report any discrepancies immediately to general contractor.
3. All plantings shall comply with standards as described in American Standard of Nursery Stock - ANSI Z60.1 (latest version). General contractor or owner's representative reserves the right to inspect and potentially reject any plants that are inferior, compromised, undersized, diseased, improperly transported, installed incorrectly or damaged.
4. Any potential plant substitutions must be submitted in writing to the general contractor and approved by the owner's representative or landscape architect prior to installation. All plants must be installed as per sizes and quantities shown on plant material schedule, unless approved by the owner's representative or landscape architect. Any potential changes to sizes shown on plan and appropriate cost credits / adjustments must be submitted in writing to the general contractor and approved by the owner's representative or landscape architect prior to installation.
5. The subsequent requirements regarding topsoil should be coordinated between the general contractor, grading contractor and landscape contractor.
6. Subgrade areas shall be graded to within 1", more or less, of proposed subgrade. Deviations shall not be consistent in one direction.
7. Topsoil shall be placed to meet proposed finished grade. Planting islands to be backfilled with clean topsoil free of debris (per note below) to a minimum depth of 18" by general / grading contractor to insure long term plant health. All other landscaped areas to receive a minimum depth of 3" of clean topsoil (per note below).
8. Topsoil shall be: screened existing stockpiled topsoil, existing in-place soil, or screened soil from an off-site source that will support plant growth, and meets the following requirements. Clean topsoil shall be free of rocks, coarse fragments, gravel, sticks, trash, roots, debris over 3/4" and any substances harmful to plant growth. It also must be free of plants or plant parts of any noxious weeds. Topsoil shall contain 3 to 5 percent decomposed organic matter and a pH between 5.5 and 7.0.
9. Planting beds and parking lot islands: Landscape contractor is responsible for ensuring that unwanted material (gravel, debris, roots and other extraneous material harmful to plant growth) has been removed from the topsoil and for the fine grading of all landscaped areas. The fine grading of planting beds and parking lot islands may require additional topsoil to bring to finish grade, allowing for mulch depth. Crown all planting islands and planting beds not adjacent to buildings, a minimum of 6" to provide proper drainage, unless otherwise specified. All other finished landscaped areas to be smooth, uniform and provide positive drainage away from structures and pavement.
10. Seeded areas: to receive a settled minimum depth of 3" of blended, prepared and non-compacted topsoil. Landscape contractor is responsible for excavation and removal of unwanted material (gravel, debris, roots and other extraneous material harmful to plant growth) to the specified depth, supplementing with additional topsoil (if necessary) and the fine grading of all seeded areas.
11. Tree planting (see planting detail): plant all trees slightly higher than finished grade at root flare. Remove excess soil from top of root ball, if needed. Scarify side walls of tree pit prior to installation. Remove and discard non-biodegradable ball wrapping and support wire. Remove biodegradable burlap and wire cage (if applicable) from top one-third of rootball. Carefully bend remaining wire down to the bottom of hole once the tree has been placed into the hole and will no longer be moved. Score the remaining two-thirds of burlap and remove twine. Backfill pit with 75% existing soil removed from excavation and 25% compost blended prior to backfilling holes. Discard any gravel, heavy clay or stones. Avoid any air pockets and do not tamp soil down. When hole is two-thirds full, trees shall be watered thoroughly, and water left to soak in before proceeding.

    Provide a 3" deep, 4 ft. diameter shredded hardwood bark mulch ring around all trees in lawn areas. Do not build up any mulch onto trunk of any tree. Trees that are installed incorrectly will be replaced at the time and expense of the landscape contractor. Trees too large for two people to lift in and out of holes, shall be placed with sling. Do not rock the trees in holes to raise them.
12. Shrub planting (see planting detail): all shrubs to be pocket planted with a mix of 75% existing soil removed from excavation and 25% compost, blended prior to backfilling holes. When hole is two-thirds full, shrubs shall be watered thoroughly and water left to soak in before proceeding.
13. Mulching: all tree and shrub planting beds to receive a 3" deep layer of high-quality shredded hardwood bark mulch (not enviromulch or wood chips). Mulch shall be uniform in size, color, quality and overall appearance. Mulch shall be free of debris, large wood chunks, soil, rocks, weeds, invasive plant parts or seeds and any other material injurious to plant growth. All perennial and ornamental grass planting areas to receive a 2" layer and groundcover areas a 1-2" layer of the same mulch. Do not mulch annual flower beds (if applicable). Do not allow mulch to contact plant stems and tree trunks.
14. Edging: edge all planting beds with a 4" deep spaded edge (shovel cut or mechanical). Bedlines are to be cut crisp, as per plan. A clean definition between lawn area and plant bed is required.
15. Plant bed preparation: the soil in all perennial, ornamental grass, annual and groundcover areas shall be amended with compost prior to plant installation. Spread a 2" layer of compost (per note below) on top of clean topsoil and rototill to a depth of approximately 8".
16. Compost shall be stable, and weed-free organic matter. It shall be resistant to further decomposition and free of compounds, such as ammonia and organic acids, in concentrations toxic to plant growth. The compost shall contain no pathogens or other chemical contaminants and meet the requirements of WisDNR S100 Compost Specification.
17. Lawn installation for all seeded turfgrass areas: remove / kill off any existing unwanted vegetation prior to seeding. Prepare the topsoil and seed bed by removing all surface stones 1" or larger and grading lawn areas to finish grade. Apply a starter fertilizer and specified seed, to ensure good seed to soil contact, and provide mulch covering suitable to germinate and establish turf. Provide seed and fertilizer mix information to general contractor prior to installation. Erosion control measures are to be used in swales and on steep grades, where applicable. Methods of installation may vary at the discretion of the landscape contractor on his/her responsibility to establish and guarantee a smooth, uniform, quality turf. If straw mulch is used as a mulch covering, a tackifier may be necessary to avoid wind damage. Marsh hay containing reed canary grass is not acceptable as a mulch covering.

    An acceptable quality turf is defined as having no more than 5% of the total area with bare spots larger than 1/2 square foot and uniform coverage throughout all turf areas.
18. Seed mix for lawn areas - use only a premium quality seed mix. Premium blend seed mix (or equivalent): 50% blended bluegrass, 25% creeping red fescue, 25% perennial rye applied at 5 lbs per 1,000 SF or at recommended rates from supplier. Provide seed specifications to general contractor prior to installation.
19. Lawn installation for all sodded turfgrass areas: remove / kill off any existing unwanted vegetation prior to sodding. Prepare the topsoil and sod bed by removing all surface stones 1" or larger and grading lawn areas to finish grade, allowing for thickness of sod. Use only premium sod blend according to TPI (revised 1995) and ASPA standards. Install sod uniformly with staggered joints, laid tightly end to end and side to side. Roll sod with a walk behind roller and water immediately upon installation to a 3" depth. Stake any sod installed on steep slopes or in swales, etc. Landscape contractor is responsible to provide a smooth, uniform, healthy turf. Landscape contractor shall repair and re-sod any eroded, sunken or bare spots (larger than ½ square foot) until acceptance by owner.
20. Warranty and replacements: All plants (trees, evergreens, shrubs, perennials, ornamental grasses and groundcovers) shall be warranted by the landscape contractor to be in healthy and flourishing condition for a period of one calendar year after the date of acceptance. This assumes the owner performs required maintenance (i.e. regular watering) after the landscape contractor's maintenance period has been completed. Landscape contractor shall inform owner when required maintenance has concluded. Only one replacement per plant will be required during the warranty period, except for losses or replacements due to failure to comply with specified requirements. Replacements shall be plants of the same variety specified on the plan and closely match adjacent specimens in size.
21. The landscape contractor is responsible for the watering and maintenance of all landscape areas at time of planting and throughout construction until the substantial completion of the installation and acceptance by the owner. This includes all trees, evergreens, shrubs, perennials, ornamental grasses, turf grass areas and native seeding areas (if applicable). Work also includes weeding, edging, mulching (only if required), watering, fertilizing, trimming, mowing lawn areas, sweeping up grass clippings, pruning and deadheading.
22. Project completion: upon substantial completion of the project, the landscape contractor is responsible to conduct a final review with the owner's representative and the general contractor to answer questions and ensure that all specifications have been met. The landscape contractor is to provide watering and general ongoing maintenance instructions (in writing) for the new plantings and lawn to the owner and general contractor.

Know what's **below.**
Call before you dig.

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Brookfield, WI 53005-5938
(262) 781-1000
rasmith.com
Brookfield, WI | Milwaukee, WI | Appleton, WI | Madison, WI
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MSP - MAYFAIR COLLECTION
WAUWATOSA,WI

LANDSCAPE DETAILS AND NOTES

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DATE: 07/07/2023

SCALE: NTS

JOB NO. 3220089

PROJECT MANAGER: ROB WILLIAMS, PLA

DESIGNED BY: ERM/REW

CHECKED BY: REW

SHEET NUMBER

L2.0

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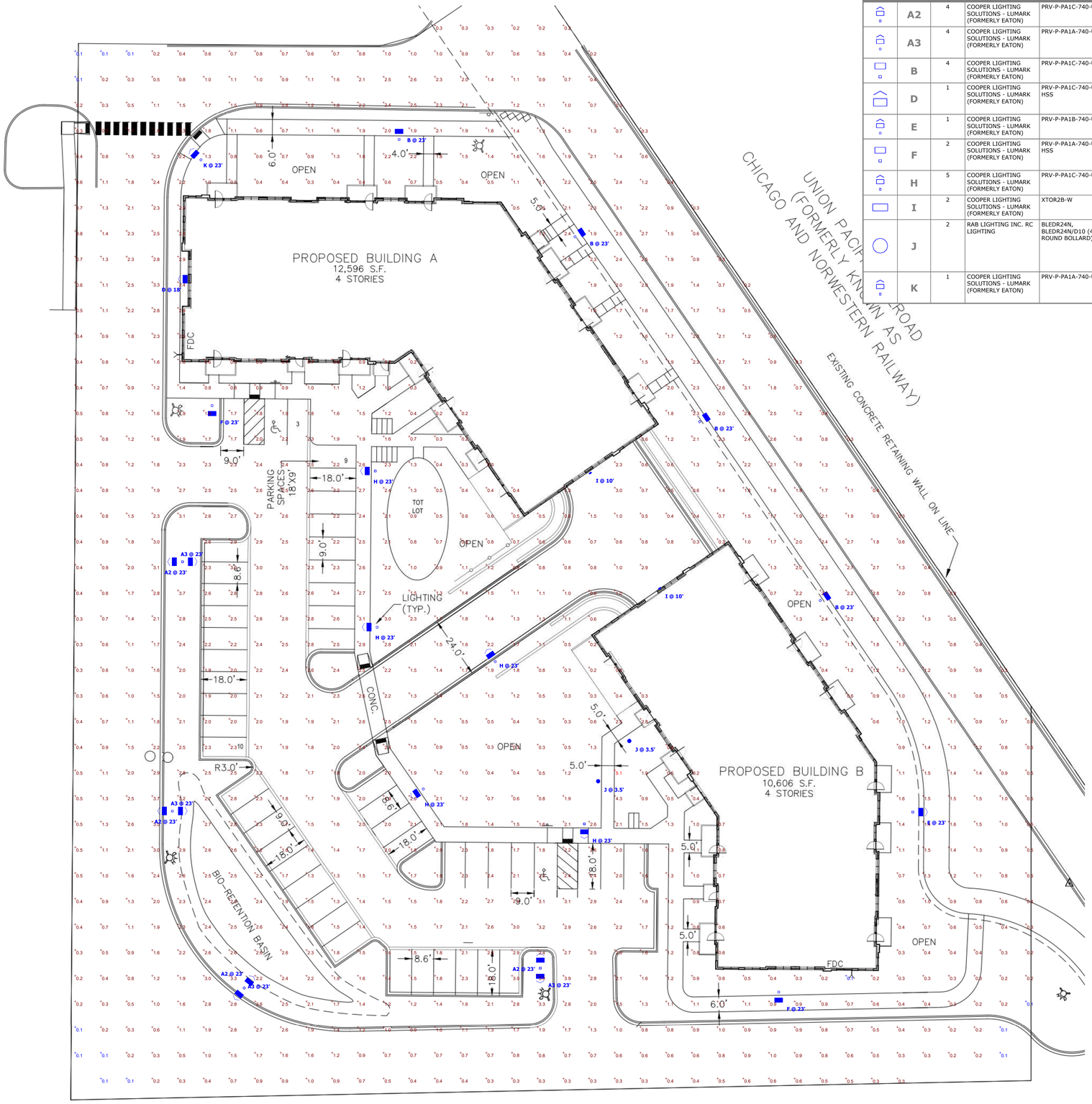


Schedule

Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Number Lamps	Lumens Per Lamp	Light Loss Factor	Wattage
	A2	4	COOPER LIGHTING SOLUTIONS - LUMARK (FORMERLY EATON)	PRV-P-PA1C-740-U-T3	PREVAIL AREA AND WALL LUMINAIRE (1) 70 CRI, 4000K, 930mA LIGHT ENGINE WITH 24 LEDS AND TYPE III OPTICS	24	390	1	72.1
	A3	4	COOPER LIGHTING SOLUTIONS - LUMARK (FORMERLY EATON)	PRV-P-PA1A-740-U-T2R	PREVAIL AREA AND WALL LUMINAIRE (1) 70 CRI, 4000K, 375mA LIGHT ENGINE WITH 24 LEDS AND TYPE II ROADWAY OPTICS	24	188	1	30.7
	B	4	COOPER LIGHTING SOLUTIONS - LUMARK (FORMERLY EATON)	PRV-P-PA1C-740-U-T2U	PREVAIL AREA AND WALL LUMINAIRE (1) 70 CRI, 4000K, 930mA LIGHT ENGINE WITH 24 LEDS AND TYPE II U OPTICS	24	395	1	72.1
	D	1	COOPER LIGHTING SOLUTIONS - LUMARK (FORMERLY EATON)	PRV-P-PA1C-740-U-T3-HSS	PREVAIL AREA AND WALL LUMINAIRE (1) 70 CRI, 4000K, 930mA LIGHT ENGINE WITH 24 LEDS AND TYPE III OPTICS WITH HOUSE SIDE SHIELD	24	299	1	72.1
	E	1	COOPER LIGHTING SOLUTIONS - LUMARK (FORMERLY EATON)	PRV-P-PA1B-740-U-T3	PREVAIL AREA AND WALL LUMINAIRE (1) 70 CRI, 4000K, 670mA LIGHT ENGINE WITH 24 LEDS AND TYPE III OPTICS	24	303	1	52.8
	F	2	COOPER LIGHTING SOLUTIONS - LUMARK (FORMERLY EATON)	PRV-P-PA1A-740-U-T3-HSS	PREVAIL AREA AND WALL LUMINAIRE (1) 70 CRI, 4000K, 375mA LIGHT ENGINE WITH 24 LEDS AND TYPE III OPTICS WITH HOUSE SIDE SHIELD	24	142	1	30.7
	H	5	COOPER LIGHTING SOLUTIONS - LUMARK (FORMERLY EATON)	PRV-P-PA1C-740-U-T4W	PREVAIL AREA AND WALL LUMINAIRE (1) 70 CRI, 4000K, 930mA LIGHT ENGINE WITH 24 LEDS AND TYPE IV WIDE OPTICS	24	382	1	72.1
	I	2	COOPER LIGHTING SOLUTIONS - LUMARK (FORMERLY EATON)	XTOR2B-W	CROSSTOUR 18W WALL MOUNT LED	1	2102	1	18.2
	J	2	RAB LIGHTING INC. RC LIGHTING	BLEDR24N, BLEDR24N/D10 (42" ROUND BOLLARD)	EXTRUDED BROWN PAINTED CYLINDRICAL METAL LOWER HOUSING, CAST METAL TOP, CAST FINNED METAL HEAT SINK WITH WHITE PAINTED INTERIOR, MOLDED SPECULAR FINISHED PLASTIC REFLECTOR, 4 WHITE CIRCUIT BOARDS EACH WITH 3 LEDS	20	129	1	23.3
	K	1	COOPER LIGHTING SOLUTIONS - LUMARK (FORMERLY EATON)	PRV-P-PA1A-740-U-T2R	PREVAIL AREA AND WALL LUMINAIRE (1) 70 CRI, 4000K, 375mA LIGHT ENGINE WITH 24 LEDS AND TYPE II ROADWAY OPTICS	24	188	1	30.7

Statistics

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Calc Zone #1	+	1.4 fc	5.1 fc	0.1 fc	51.0:1	14.0:1

Note

FC Measured at 0' AFG

Pole mounting height is a 20' pole on a 3' base.

Types A2 and A3 will be mounted back to back on one pole.

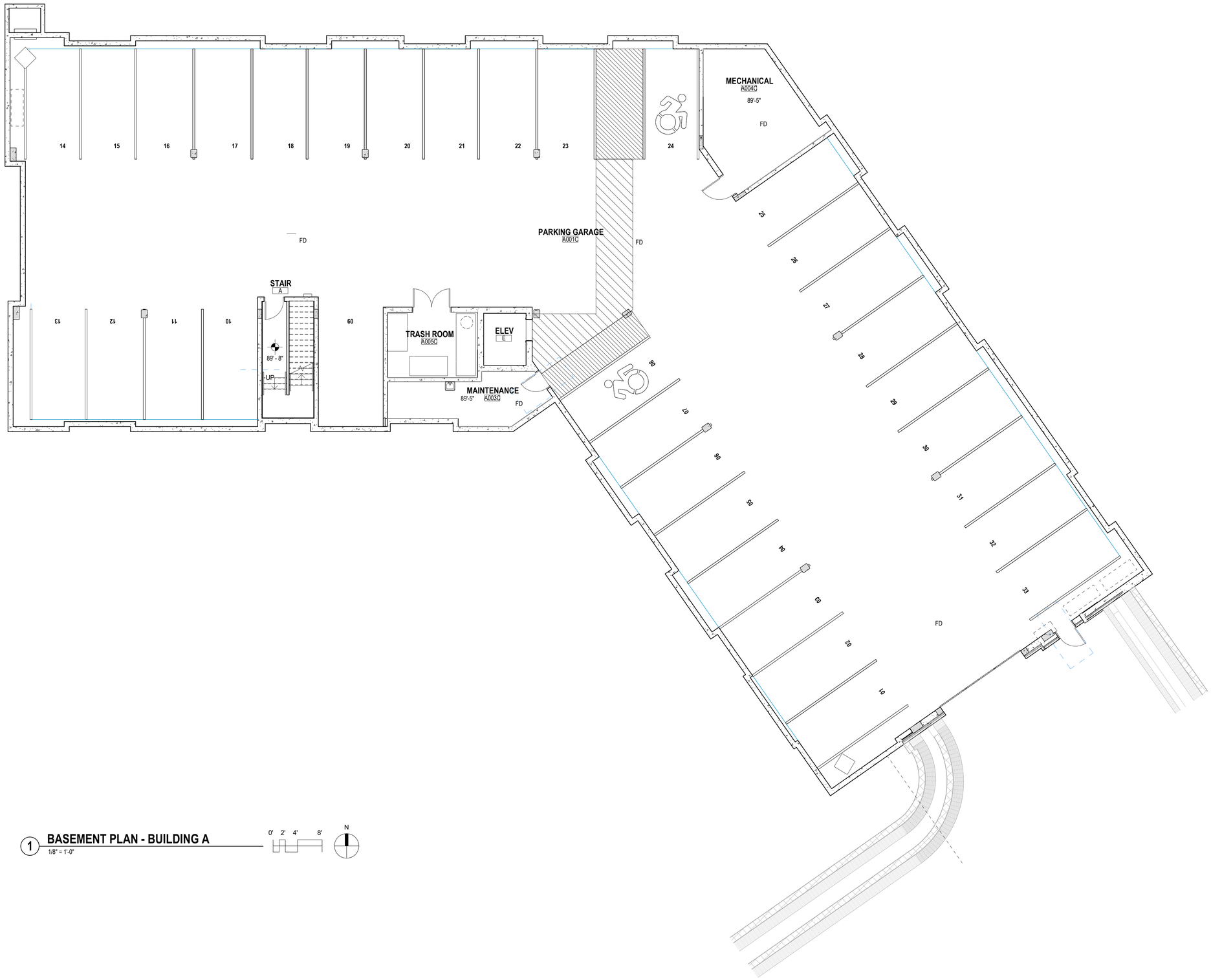
Plan View
Scale - 1" = 20ft

HEIN ELECTRIC SUPPLY COMPANY

MSP CONSTRUCTION
MAYFAIR COLLECTION - REV4
WAUWATOSA, WI.

Designer
RJE
Date
6/15/23
Scale
Not to Scale
Drawing No.

Summary



1 **BASEMENT PLAN - BUILDING A**
1/8" = 1'-0"

0' 2' 4' 8'

N

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PROJECT # 21151

BUILDING A - BASEMENT FLOOR PLAN

A-1.0

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2 **FIRST FLOOR PLAN - BUILDING A**
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BUILDING A - FIRST FLOOR PLAN

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1 **SECOND FLOOR PLAN - BUILDING A**
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BUILDING A - SECOND FLOOR PLAN

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1 **THIRD FLOOR PLAN - BUILDING A**
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BUILDING A - THIRD FLOOR PLAN

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1 **FOURTH FLOOR PLAN - BUILDING A**
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BUILDING A - FOURTH FLOOR PLAN

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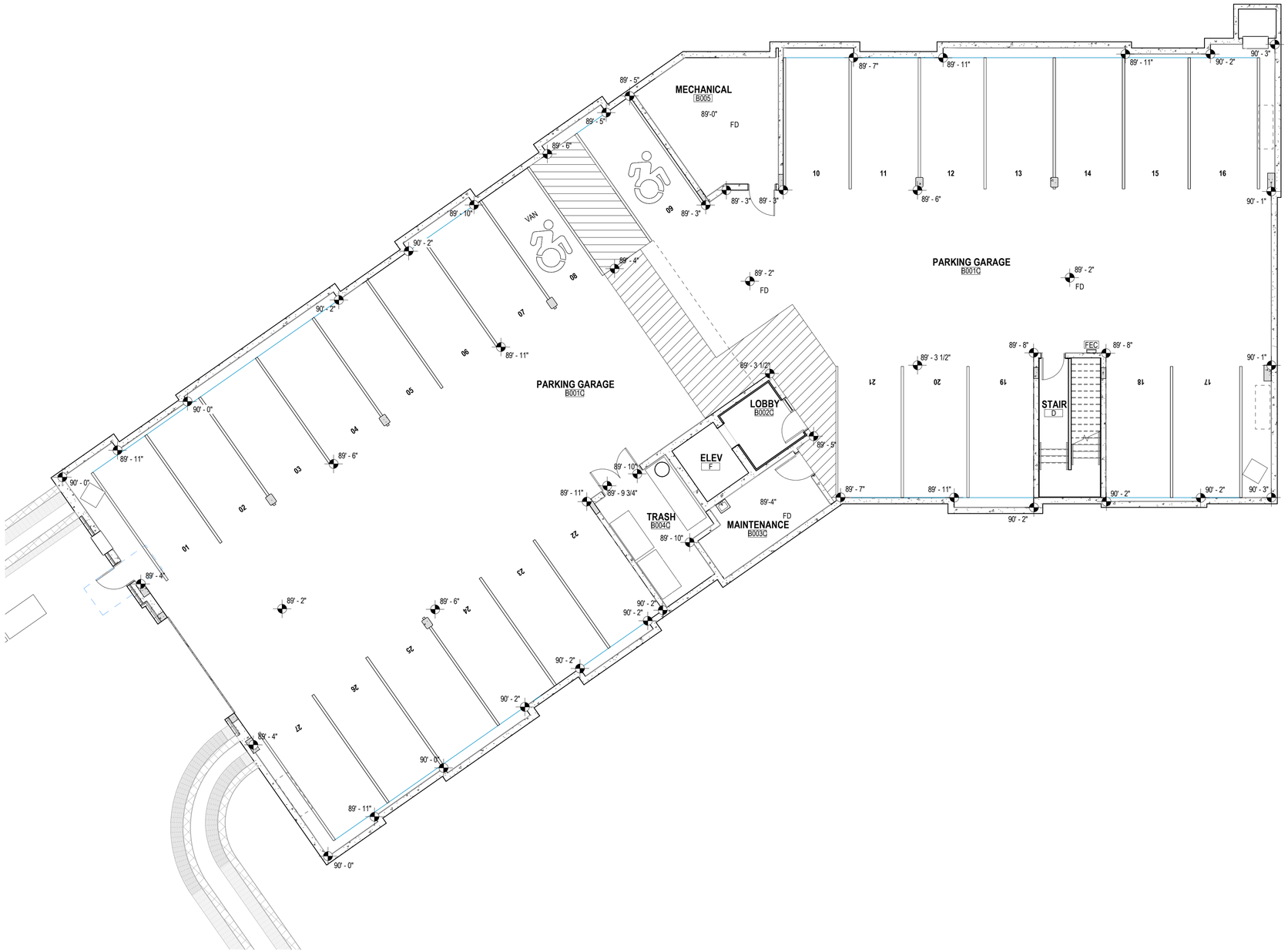

1 **BASEMENT PLAN - BUILDING B**
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BUILDING B - BASEMENT FLOOR PLAN

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1 **FIRST FLOOR PLAN - BUILDING B**
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BUILDING B - FIRST FLOOR PLAN

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1 **SECOND FLOOR PLAN - BUILDING B**
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BUILDING B - SECOND FLOOR PLAN

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1 **THIRD FLOOR PLAN - BUILDING B**
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BUILDING B - THIRD FLOOR PLAN

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1 **FOURTH FLOOR PLAN - BUILDING B**
1/8" = 1'-0"

0' 2' 4' 8'

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BUILDING B - FOURTH FLOOR PLAN

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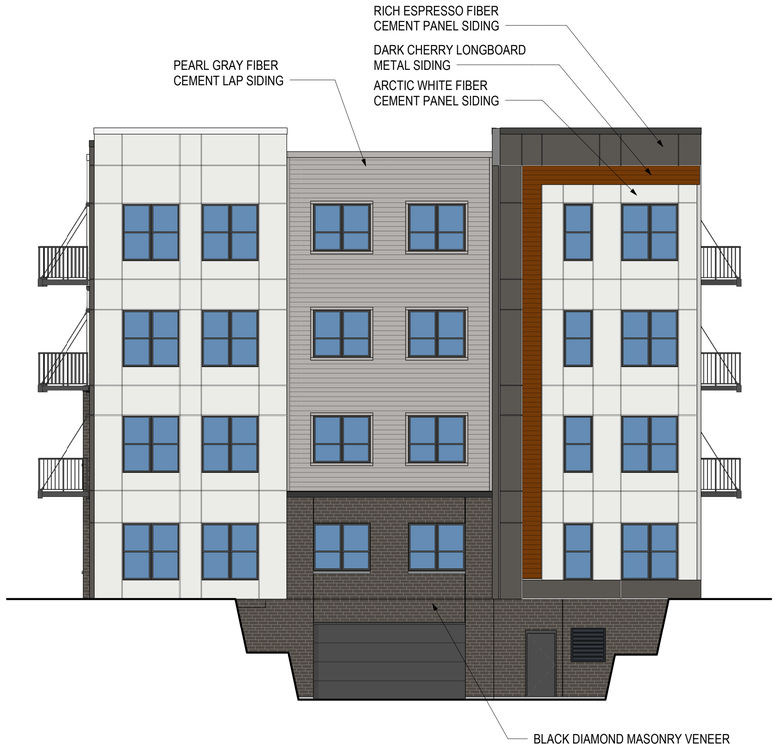
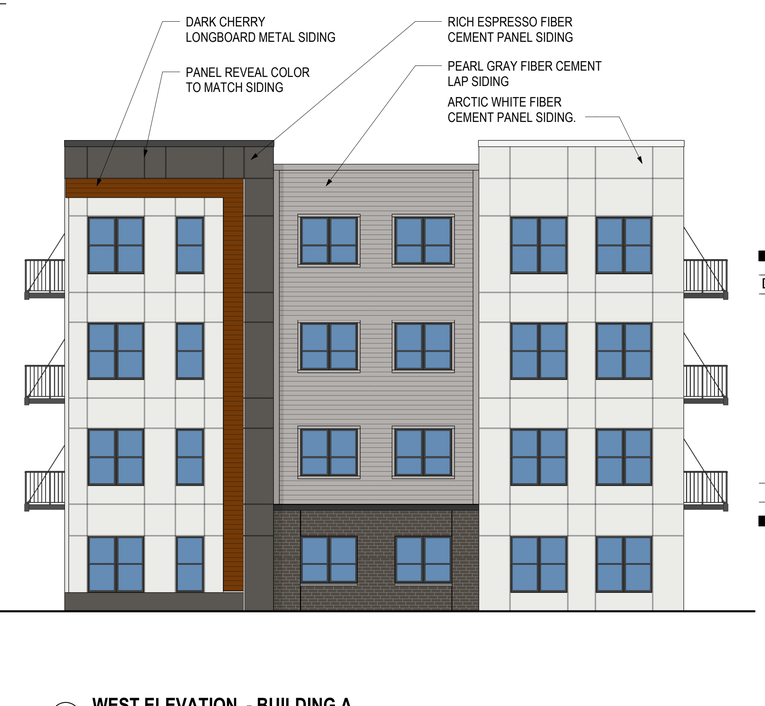


4 **NORTH-WEST ELEVATION - BUILDING A**
1/8" = 1'-0"

3 **NORTH EAST ELEVATION - BUILDING A**
1/8" = 1'-0"

2 **NORTH ELEVATION - BUILDING A**
1/8" = 1'-0"



1 **WEST ELEVATION - BUILDING A**
1/8" = 1'-0"

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BUILDING A - BUILDING ELEVATIONS

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2 **SOUTH ELEVATION - BUILDING A**
1/8" = 1'-0"

1 **SOUTH-WEST ELEVATION - BUILDING A**
1/8" = 1'-0"

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BUILDING A - BUILDING ELEVATIONS

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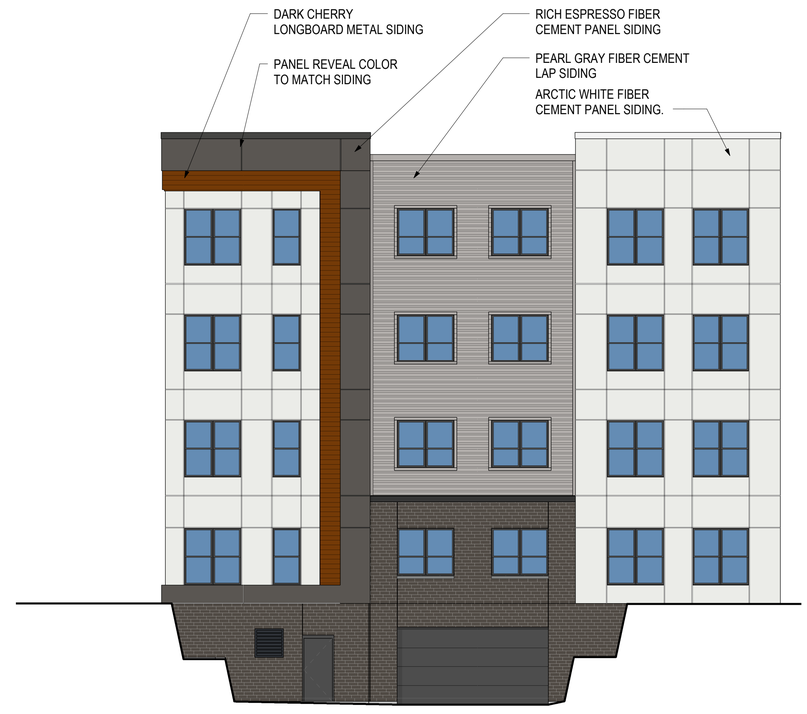
4 **SOUTH ELEVATION - BUILDING B**
1/8" = 1'-0"

3 **EAST ELEVATION - BUILDING B**
1/8" = 1'-0"

2 **NORTH - EAST ELEVATION - BUILDING B**
1/8" = 1'-0"



1 **NORTH - WEST ELEVATION - BUILDING B**
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2 **SOUTH - WEST ELEVATION - BUILDING B**
1/8" = 1'-0"

1 **WEST ELEVATION - BUILDING B**
1/8" = 1'-0"

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BUILDING B - BUILDING ELEVATIONS

A-2.3

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BUILDING A - PERSPECTIVE VIEWS

A-3.0

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BUILDING A - PERSPECTIVE VIEWS

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BUILDING A - PERSPECTIVE VIEWS

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BUILDING B - PERSPECTIVE VIEWS

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BUILDING B - PERSPECTIVE VIEWS

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MATERIAL SAMPLES

A-4.0

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Please mark your final selections for system type, panel style, trim, and colors. ***Note: Selection of a custom option or changing your selection after initial quote may have extended lead times and addition cost.***

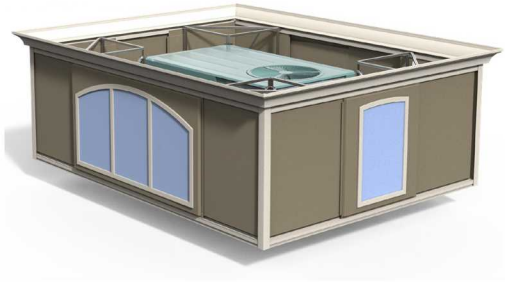
MOUNTING STYLES | SELECT THE MOUNTING SYTLE YOUR PROJECT WILL USE

UNIT-ATTACHED ☐

POST-MOUNTED ☐

SCREENING SYSTEMS | SELECT THE SCREENING SYSTEM YOUR PROJECT WILL USE

SINGLE UNIT ☐



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STACKED SYSTEM ☐

NESTED UNITS ☐

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PANEL STYLES | SELECT THE PANEL STYLE YOUR PROJECT WILL USE

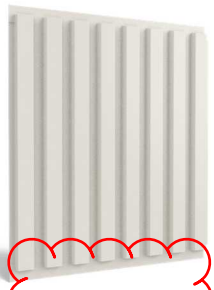
LOUVER ☐

HORIZONTAL RIB ☐

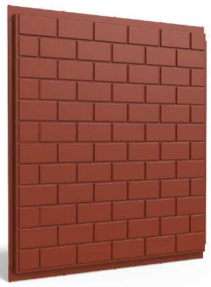
7.2 RIB ☐

FLAT PAN ☐

BATTEN ☐



VERTICAL RIB ☐



BRICK ☐

CUSTOM ☐

PANEL COLOR OPTIONS | SELECT THE PANEL COLOR PROJECT WILL USE

Standard colors are shown here. Need a custom color? Provide a Sherwin Williams, RAL, PMS or a physical paint sample and we can color match.

ALABASTER ☐

ELECTRIC BLACK ☐

SLATE BLUE ☐

FOREST GREEN ☐

SHADOW GRAY ☐

SLATE GRAY ☐

DARK BRONZE ☐

OYSTER ☐

PUTTY ☐

TERRACOTTA ☐

MANSARD BROWN ☐

CUSTOM COLOR ☐ _____

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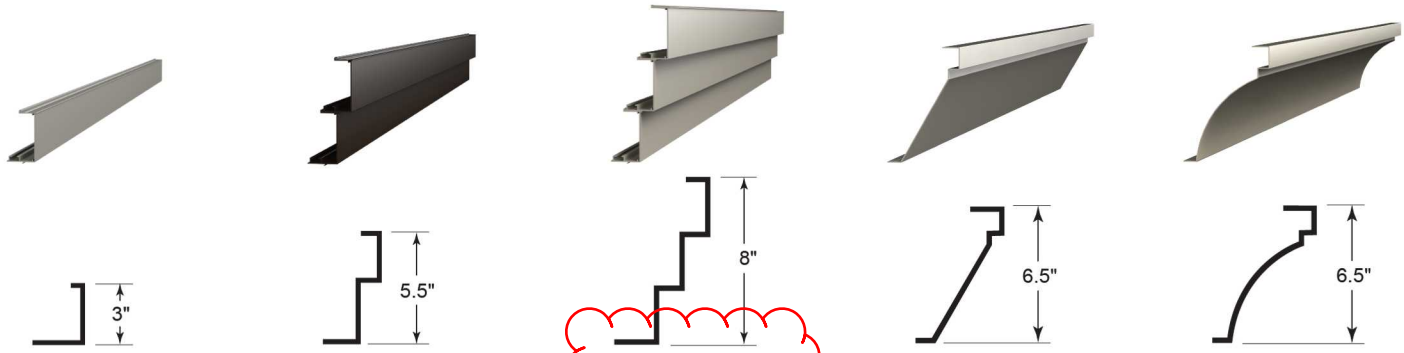
TRIM STYLES | SELECT THE TRIM STYLE YOUR PROJECT WILL USE

*Trim is optional and prices vary by sytle. If you wish to have no trim mark: No Trim. ☐



LINEAL BAND ☐ | 2-STEP ☐ | 3-STEP ☐ | ALAMO ☐ | COVE ☐

TRIM COLOR OPTIONS | SELECT THE TRIM COLOR PROJECT WILL USE

Standard colors are shown here. Need a custom color? Provide a Sherwin Williams, RAL, PMS or a physical paint sample and we can color match.

ALABASTER ☐ | ELECTRIC BLACK ☐ | SLATE BLUE ☐ | FOREST GREEN ☐ | SHADOW GRAY ☐ | SLATE GRAY ☐

DARK BRONZE ☐ | OYSTER ☐ | PUTTY ☐ | TERRACOTTA ☐ | MANSARD BROWN ☐ | CUSTOM COLOR ☐

SIGNATURE: _____ DATE: _____