



Wauwatosa, WI

Design Review Board

Meeting Agenda - Final

7725 W. North Avenue
Wauwatosa, WI 53213

Thursday, October 16, 2025

7:00 PM

Committee Room #1

ROLL CALL

NEW BUSINESS

1. 67th & Powell - New Residential Home - Return to Board [25-1516](#)
2. 7105 W North Avenue - Exterior Alteration - Flash Laundromat - Return to Board [25-1061](#)
3. Foundry Way - Mayfair 2 - New Multi-Family -Return to Board [25-1191](#)
4. 2825 Mayfair Rd - New Multi-Family - Info Only [25-1831](#)

ADJOURNMENT

NOTICE TO PERSONS WITH A DISABILITY

Persons with a disability who need assistance to participate in this meeting should call the City Clerk's office at (414) 479-8917 or send an email to tclerk@wauwatosa.net, with as much advance notice as possible.



Wauwatosa, WI

7725 W. North Avenue
Wauwatosa, WI 53213

Staff Report

File #: 25-1516

Agenda Date: 10/16/2025

Agenda #: 1.

67th & Powell - New Residential Home - Return to Board

BUILDING INFORMATION:

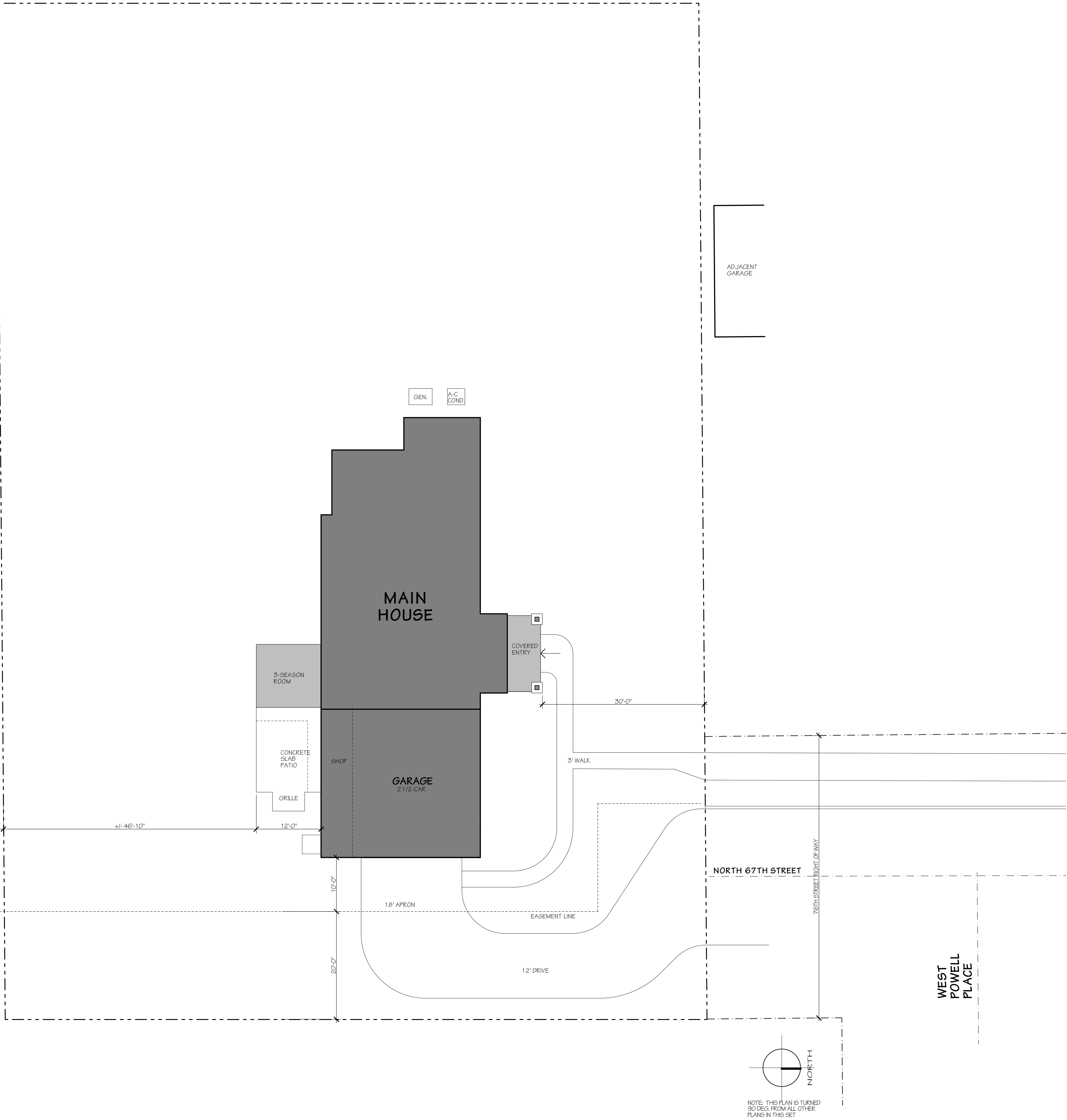
PROJECT TYPE:	NEW SINGLE-FAMILY RESIDENCE
ZONED:	SINGLE-UNIT RESIDENTIAL-6 (R1-6)
CONSTRUCTION CLASS:	WOOD FRAME
TAX KEY NUMBERS:	3690428000 3690429000 3690430000
STORIES:	1 PLUS BASEMENT
SPRINKLERED:	NO
CITY:	WAUWATOSA
COUNTY:	MILWAUKEE

AREA BREAKDOWN:

HOUSE	
FIRST FLOOR LIVING AREA:	1,550 S.F.
UNFINISHED LOWER LEVEL:	1,550 S.F.
GARAGE/SHOP	826 S.F.
3-SEASON ROOM	144 S.F.

DRAWING INDEX:

A-00.1	SITE PLAN, AND NOTES
A-1.00	LOWER LEVEL FLOOR PLAN / FOOTING & FOUNDATION PLAN
A-1.01	FIRST FLOOR PLAN
A-1.02	ROOF PLAN
A-1.11	FLOOR FRAMING PLAN
A-1.12	ROOF FRAMING PLAN
A-2.00	EXTERIOR ELEVATIONS, AND FIREPLACE SECTION
A-2.01	EXTERIOR ELEVATIONS
A-4.00	WALL SECTIONS, AND DETAILS
A-4.01	WALL SECTIONS
A-4.02	WALL SECTIONS
A-5.00	INTERIOR ELEVATIONS
A-5.01	INTERIOR ELEVATIONS
LP-1.00	LOWER LEVEL LIGHTING & POWER PLAN
LP-1.01	FIRST FLOOR LIGHTING & POWER PLAN

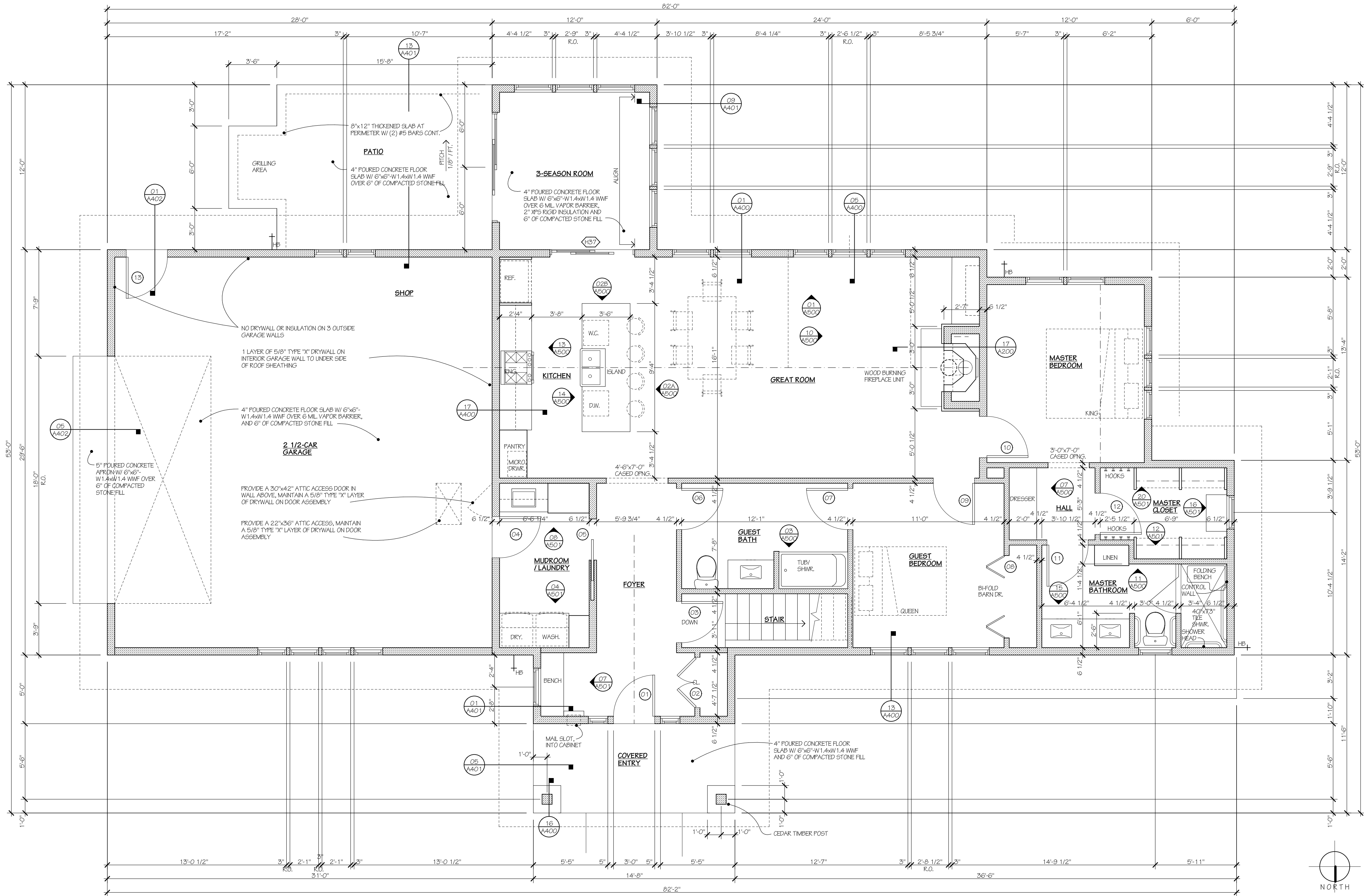


WALL LAYOUT:

- ALL EXTERIOR DIMENSIONS TO STUD WALLS ARE TO THE OUTSIDE FACE OF THE SHEATHING.
- DIMENSIONS TO TIMBER POSTS ARE TO THE CENTER OF POST
- ALL INTERIOR DIMENSIONS ARE TO THE FACE OF 1/2" GYPSUM BOARD.

DRAWING KEY:

- 11
A400
- DRAWING NUMBER
SHEET NUMBER
- 11
A500
- INTERIOR ELEVATION KEYS
- 01
- DOOR NUMBER
- 11
A500
- WINDOW NUMBER
- HB
- HOSE BB



HOUSE - FIRST FLOOR PLAN

1/4" = 1'-0"

01

CHIMNEY DISCHARGE TO BE A MINIMUM OF 24" ABOVE ROOF RIDGE

TERMINATION CAP

8" S.S. METAL CAP

2'-0" MIN.

LP COMPOSITE BOARD & BATTEN SIDING W/ 3/4"x5 1/2" LP TRIM TOP AND BOTTOM

METAL FLASHING AND COUNTER FLASHING OVER TREATED WOOD NAILERS

OFF-SET VENT PIPE, AS NEEDED

PROVIDE BLOCKING AT 24" O/C BETWEEN TRUSSES AT CHIMNEY BEARING

6" NON-COMBUSTIBLE MINERAL WOOL INSULATION AROUND CHIMNEY

ATTIC INSULATION SHIELD AND 5/8" TYPE "X" DRYWALL CLOSURE

RAKE OVERHANG FOR UPPER ROOF

2x6 STUDS AT 16" O/C

THIN-SET STONE VENEER SYSTEM OVER 5/8" MIN. CONCRETE BOARD

(2) 1 3/4"x7 1/4" LVL HEADER

8"x8" TIMBER MANTEL ABOVE, SUPPORT AT ENDS OF FIREPLACE

6"x6" TIMBER POSTS BRACKETS, EACH SIDE, BEYOND

THIN-SET STONE VENEER SYSTEM OVER 5/8" MIN. CONCRETE BOARD, SEE MANUFACTURER'S INSTRUCTIONS FOR FASTENING TO PREPLACE UNIT

NAPOLEON, HIGH COUNTRY 5000 WOOD BURNING FIREPLACE UNIT

4" OUTSIDE AIR CONNECTION, LEFT SIDE ONLY

PROTECTIVE METAL SPARK GUARD STRIP, FULL LENGTH OF HEARTH, EXTEND 2 1/2" UNDER HEARTH AND UNIT

STONE HEARTH, 2x10, OVER 5/8" MIN. CONCRETE BOARD AND WOOD BLOCKING

THIN-SET STONE VENEER SYSTEM OVER 5/8" MIN. CONCRETE BOARD

2x10 JOIST AT 16" O/C, PERPENDICULAR TO L-JOIST

METAL FLASHING

BLOCKING AT 24" O/C BETWEEN FLOOR JOIST UNDER FIREPLACE AND HEARTH

1 3/4"x11 7/8" BEAM AT END OF CONCRETE WING WALL

TREATED WOOD 2x6 LEDGER ON SILL SEAL W/ 1/2" x 8" ANCHOR BOLT AT 32" O/C

CONCRETE WING WALL BEYOND

8" POURED CONCRETE FOUNDATION WALL W/ #5 BARS AT 24" O/C VERT. AND #5 BARS AT 24" O/C HORIZ.

#5 DOWELS 8"x16" AT 24" O/C

20" x 10" POURED CONCRETE FOOTING W/ 2 #5 BARS CONT.

6" 3" 6"

GREAT ROOM FIREPLACE SECTION

1/2" = 1'-0"

17

LP FLAT PANEL SOFFIT CLOSURE, SET 5 1/2" BACK FROM GABLE END

PREFINISHED STEEL GUTTER AND DOWNSPOUT SYSTEM

2'-0" MIN.

12

7

12

4

PREFINISHED CHIMNEY CAP AND SPARK ARRESTOR

LP COMPOSITE BOARD & BATTEN SIDING

12"x30" PREFINISHED METAL LOUVER WITH 5 1/2" LP TRIM

CONTINUOUS RIDGE VENT

LP COMPOSITE BOARD & BATTEN SIDING

DIMENSIONAL ASPHALT SHINGLE ROOF SYSTEM

8" RAKE TRIM WITH PREFINISHED METAL FINISH

8" HORIZONTAL LP TRIM BOARD WITH "Z" FLASHING

8" FASCIA WITH PREFINISHED METAL FINISH

5 1/2" LP CORNER TRIM

5 1/2" LP WINDOW AND DOOR TRIM

ARCHITECTURAL VINYL WINDOW SYSTEM

LP LAP SIDING WITH 6" EXPOSURE

7 1/4" LP BASE TRIM

PREFINISHED METAL "Z" FLASHING OVER PERIMETER INSULATION

EXPOSED CONCRETE FOUNDATION WALL

7 1/4" LP BASE TRIM

PREFINISHED METAL "Z" FLASHING OVER PERIMETER INSULATION

LP LAP SIDING WITH 6" EXPOSURE

METAL "Z" FLASHING

3 1/2" LP BASE TRIM

PREFINISHED METAL BASEFLASHING, EXTEND FLASHING 6" BELOW GRADE, MIN.

FIRST FLOOR EL.

LOWER LEVEL FLOOR EL.

HOUSE - WEST ELEVATION

1/4" = 1'-0"

03

CONTINUOUS RIDGE VENT

DIMENSIONAL ASPHALT SHINGLE ROOF SYSTEM

PREFINISHED STEEL GUTTER AND DOWNSPOUT SYSTEM

8" FASCIA WITH PREFINISHED METAL FINISH

5 1/2" LP CORNER TRIM

5 1/2" LP WINDOW AND DOOR TRIM

ARCHITECTURAL VINYL WINDOW SYSTEM

LP LAP SIDING WITH 6" EXPOSURE

7 1/4" LP BASE TRIM

PREFINISHED METAL "Z" FLASHING OVER PERIMETER INSULATION

POURED CONCRETE FOUNDATION WALLS

LOWER LEVEL FLOOR EL.

LP COMPOSITE BOARD & BATTEN SIDING

9 1/4" LP COMPOSITE TRIM BOARD

8" RAKE TRIM WITH PREFINISHED METAL FINISH

CEDAR TIMBER POST

LP FLAT PANEL SOFFIT CLOSURE, SET 5 1/2" BACK FROM ENTRY WALL

GARAGE FLOOR EL.

HOUSE - NORTH ELEVATION

1/4" = 1'-0"

01

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TONY RESIDENCE

NORTH 67TH STREET
WAUWATOSA, WISCONSIN 53213

REVISIONS

REVISED 08-08-25

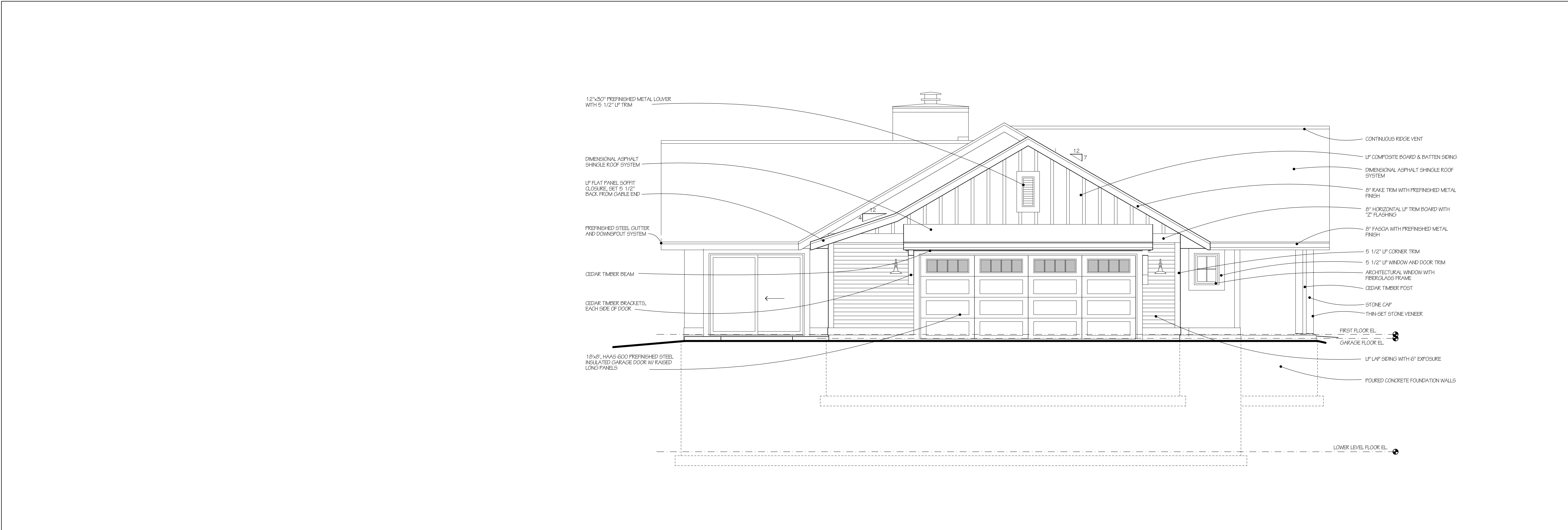
UPDATED ELEVATIONS, 09-23-25

PROJECT NO. 2310

DATE:
JANUARY 20, 2025

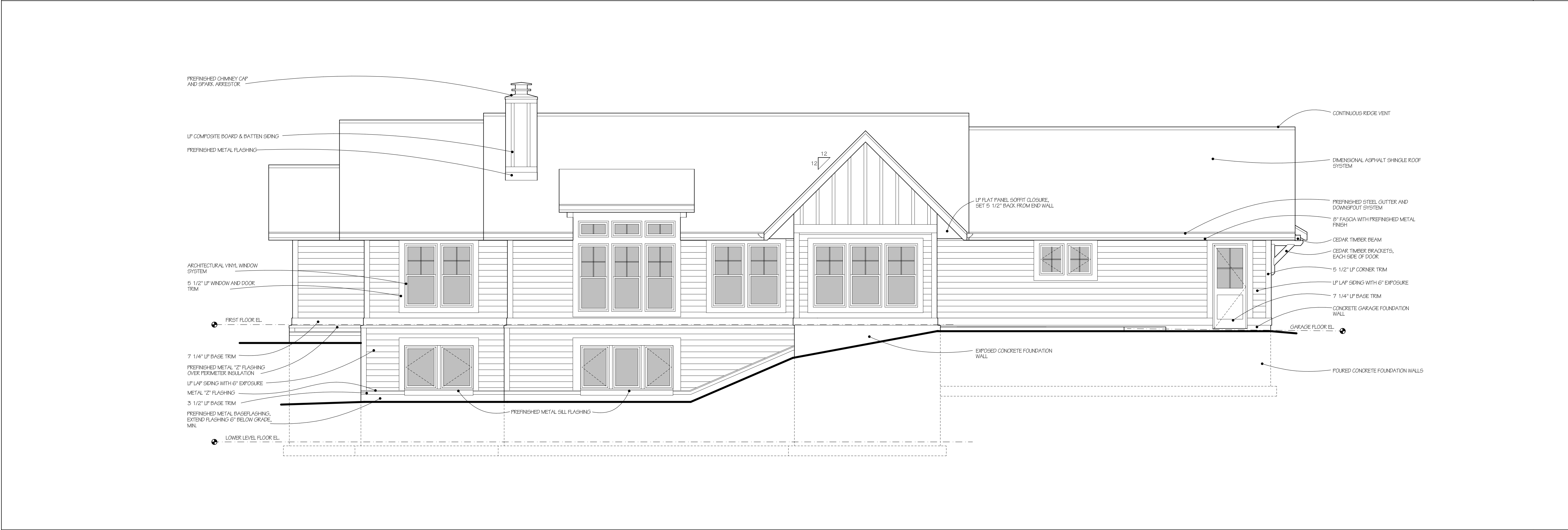
SHEET

A-2.00



HOUSE - EAST ELEVATION

1/4" = 1'-0" 03



HOUSE - SOUTH ELEVATION

1/4" = 1'-0" 01



Wauwatosa, WI

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Staff Report

File #: 25-1061

Agenda Date: 10/16/2025

Agenda #: 2.

7105 W North Avenue - Exterior Alteration - Flash Laundromat - Return to Board

LANDSCAPING SCHEDULE

TAG	BOTANICAL NAME	COMMON NAME	NATIVE	URBAN	COUNT	SIZE
T1	AMELANCHIER ARBOREA	DOWNY SERVICEBERRY	YES	YES	3	#10, 5' STEM, 2.0" CALIBER
S1	SPIRAEA JAPONICA	DOUBLE PLAY DOOZIE	YES	YES	21	#5, 2 GAL, 24"

COST ESTIMATE (24.12.70)

AMELANCHIER ARBOREA \$800 X 3 = \$2,400
SPIRAEA JAPONICA \$53 X 21 = \$1,113
TOTAL COST ESTIMATE \$3,513
*PRICES FROM HOME DEPOT AND ITREES.COM

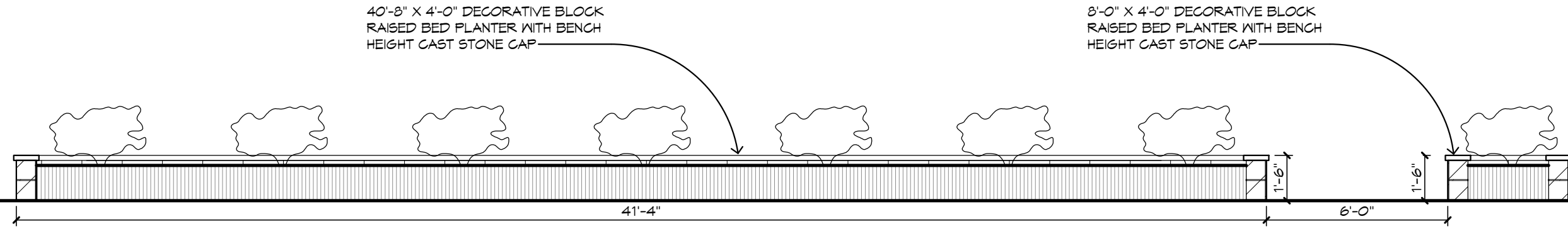
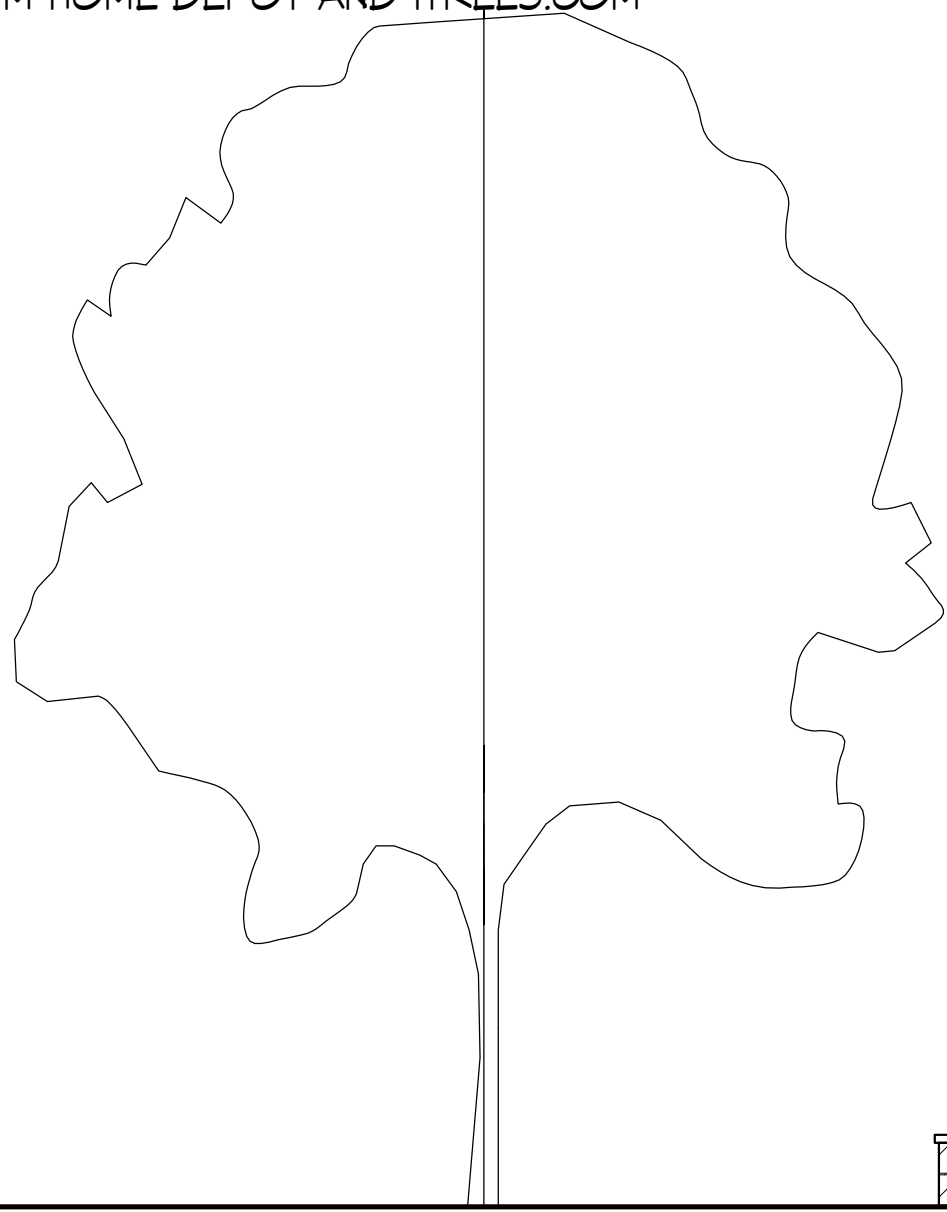
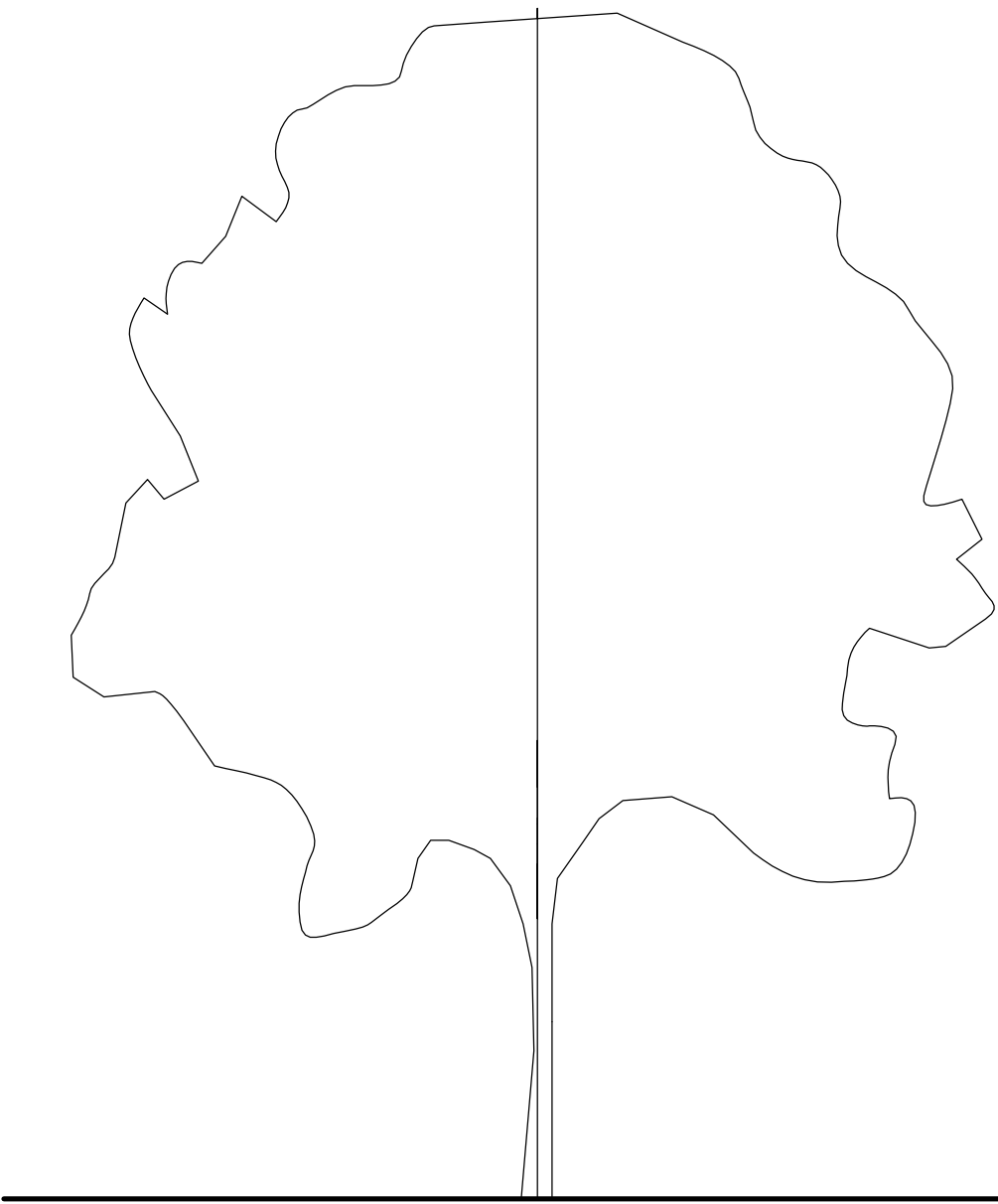
SITE AREAS:	
EXISTING IMPERVIOUS AREA	8,115 SQ FT
PROPOSED IMPERVIOUS AREA	8,115 SQ FT
*SITE IS CAPPED WITH CONTAMINATED SOIL, PERVIOUS AREA IS ABOVE GRADE PLANTERS	
EXISTING PERVIOUS AREA	32 SQ FT
PROPOSED PERVIOUS AREA	916 SQ FT
REQUIRED PARKING COUNT 9	
EXISTING PARKING COUNT	
HANDICAP STALLS	0
STANDARD STALLS	9
PROPOSED PARKING COUNT	
HANDICAP STALLS	1
STANDARD STALLS	13
SHORT TERM BIKE PARKING (24.11.08) 2 EXTERIOR	
LONG-TERM BIKE PARKING (24.11.08) 2 INTERIOR	

LANDSCAPING GENERAL NOTES

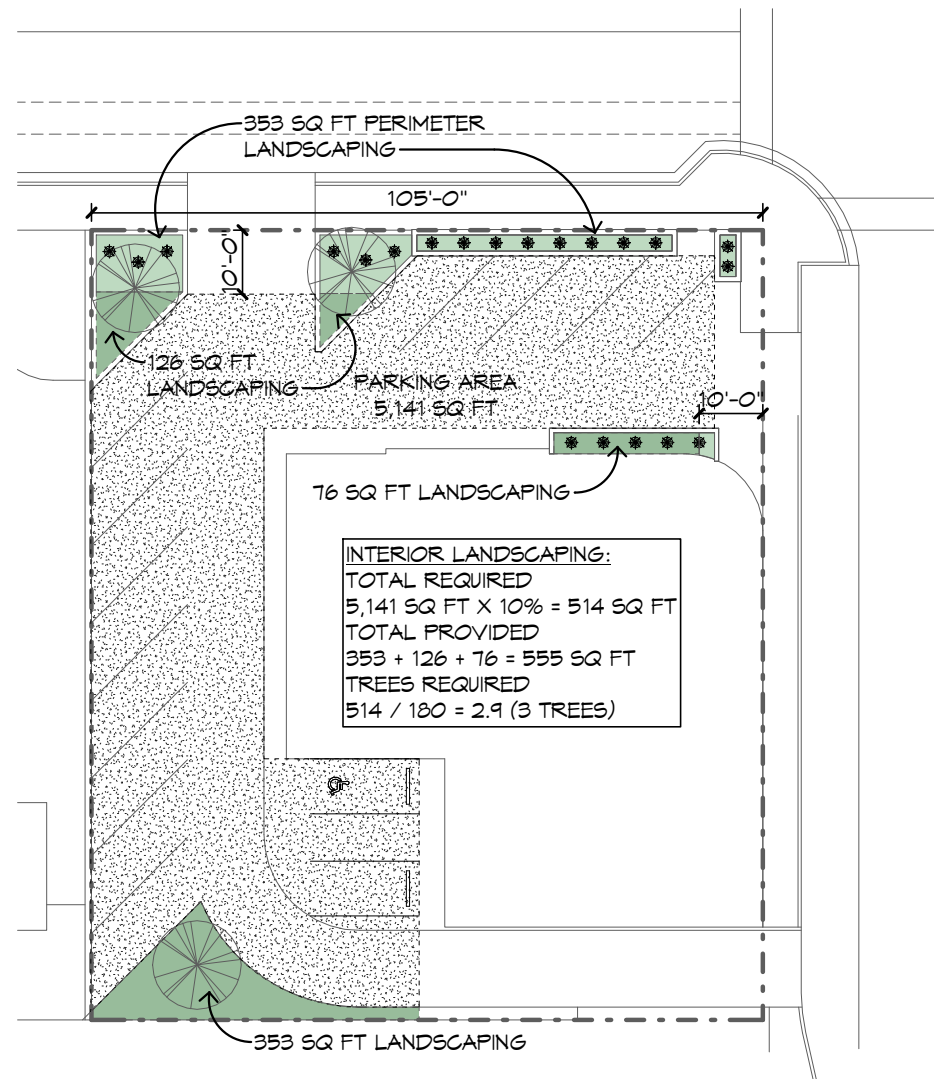
1. DESIGN IS BASED ON THE INFORMATION AVAILABLE AT TIME OF DRAWING. FIELD VERIFY ALL SITE DIMENSIONS AND CONDITIONS.
2. CONTRACTOR TO FOLLOW BEST MANAGEMENT PRACTICES DURING CONSTRUCTION AND SHALL TAKE ALL MEANS NECESSARY TO STABILIZE AND PROTECT FINAL LANDSCAPING.
3. LOCATION, SUPPORT, PROTECTION, AND RESTORATION OF ALL EXISTING UTILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
4. PRIOR TO ANY LANDSCAPING CONSTRUCTION ACTIVITIES, CONTRACTOR SHALL VERIFY THE SOIL PH, NITRATES, NUTRIENTS, TEXTURE, SALT, AND ORGANIC MATTER TO BE USED MEETS THE RECOMMENDATIONS OF THE NURSERY FOR EACH PLANT SPECIES.
5. CONTRACTOR TO FURNISH AND PLANT ALL PLANTS SHOWN ON THE DRAWINGS AS NOTED. ALL PLANTS SHALL BE NURSERY-GROWN UNDER CLIMATE CONDITIONS SIMILAR TO THE LOCALITY OF THE PROJECT. PLANTS SHALL CONFORM TO THE BOTANICAL NAMES AND STANDARDS OF SIZE, CULTURE, AND QUALITY FOR THE HIGHEST GRADES AND STANDARDS AS ADOPTED BY THE AMERICAN ASSOCIATION OF NURSERYMEN, INC. IN THE AMERICAN STANDARD OF NURSERY STOCK, AMERICAN STANDARDS INSTITUTE, INC. 290 SOUTHERN BUILDING, WASHINGTON D.C. 20009.
6. A COMPLETE LIST OF PLANTS, INCLUDING A SCHEDULE OF SIZE, QUALITIES, AND OTHER REQUIREMENTS IS SHOWN ON THE DRAWINGS. REPORT ALL DISCREPANCIES TO THE OWNER.
7. ALL PLANTS SHALL BE LEGIBLY TAGGED WITH PROPER BOTANICAL NAME.
8. CONTRACTOR SHALL GUARANTEE ALL PLANTS FOR NOT LESS THAN ONE YEAR FROM TIME OF ACCEPTANCE.
9. OWNER WILL INSPECT PLANTS UPON DELIVERY FOR CONFORMITY TO SPECIFICATION REQUIREMENTS.
10. NO SUBSTITUTIONS OF PLANTS MAY BE MADE WITHOUT PRIOR APPROVAL FROM THE OWNER.
11. IF AN AUTOMATIC IRRIGATION SYSTEM IS INSTALLED, ALL IRRIGATION VALVE BOXES SHALL BE LOCATED WITHIN PLANTING BED AREAS.
12. PLANTS SHALL BE APPROPRIATELY WATERED PRIOR TO, DURING, AND AFTER PLANTING. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE CLEAN WATER SUITABLE FOR PLANT HEALTH.
13. TREES AND SHRUBS SHALL BE MULCHED AT A DEPTH OF 2" WITH ONE-YEAR-OLD, WELL-COMPOSTED, SHREDDED NATIVE BARK NOT LARGER THAN 4" IN LENGTH AND 1/2" IN WIDTH, FREE OF WOOD CHIPS AND SAND/DUST. MULCH SHALL BE SELECTED BY THE OWNER, NOT TO BE DIED PER CITY REQUIREMENTS.
14. IN NO CASE SHALL MULCH TOUCH THE STEM OR TRUNK OF A PLANT OR BE MORE THAN 3" THICK TOTAL OVER THE ROOT BALL OF ANY PLANT.
15. SECONDARY LATERAL BRANCHES OF DECIDUOUS TREES OVERHANGING VEHICULAR AND PEDESTRIAN TRAVELWAYS SHALL BE PRUNED UP TO A HEIGHT OF 8' TO ALLOW CLEAR AND SAFE PASSAGE OF VEHICLES AND PEDESTRIANS UNDER TREE CANOPY. WITHIN THE SIGHT DISTANCE TRIANGLES AT VEHICLE INTERSECTIONS THE CANOPIES SHALL BE RAISED TO 8' MIN.
16. LANDSCAPE ARCHITECT IS NOT RESPONSIBLE FOR MEANS AND METHODS OF THE CONTRACTOR.
17. SNOW MAY NOT BE PUSHED UP AGAINST RAISED PLANTERS.
18. BIORETENTION MUST BE CONSISTENT WITH WISCONSIN DEPARTMENT OF NATURAL RESOURCES CONSERVATION PRACTICE STANDARD 1004.
19. OWNER IS RESPONSIBLE FOR ONGOING MAINTENANCE, INCLUDING AND NOT LIMITED TO: IRRIGATION OR WATERING, PEST MANAGEMENT, FERTILIZATION, PRUNING, REPLACEMENT OF LOST VEGETATION, AND WEED MANAGEMENT.
20. PROVIDE PLANTER SOIL AS RECOMMENDED BY NURSERY FOR EACH PLANT.
21. OWNER SHALL PREPARE A MAINTENANCE PLAN OR HIRE A PROFESSIONAL LANDSCAPING SERVICE TO MAINTAIN AND GUARANTEE ALL PLANTS.

PARKING GENERAL NOTES

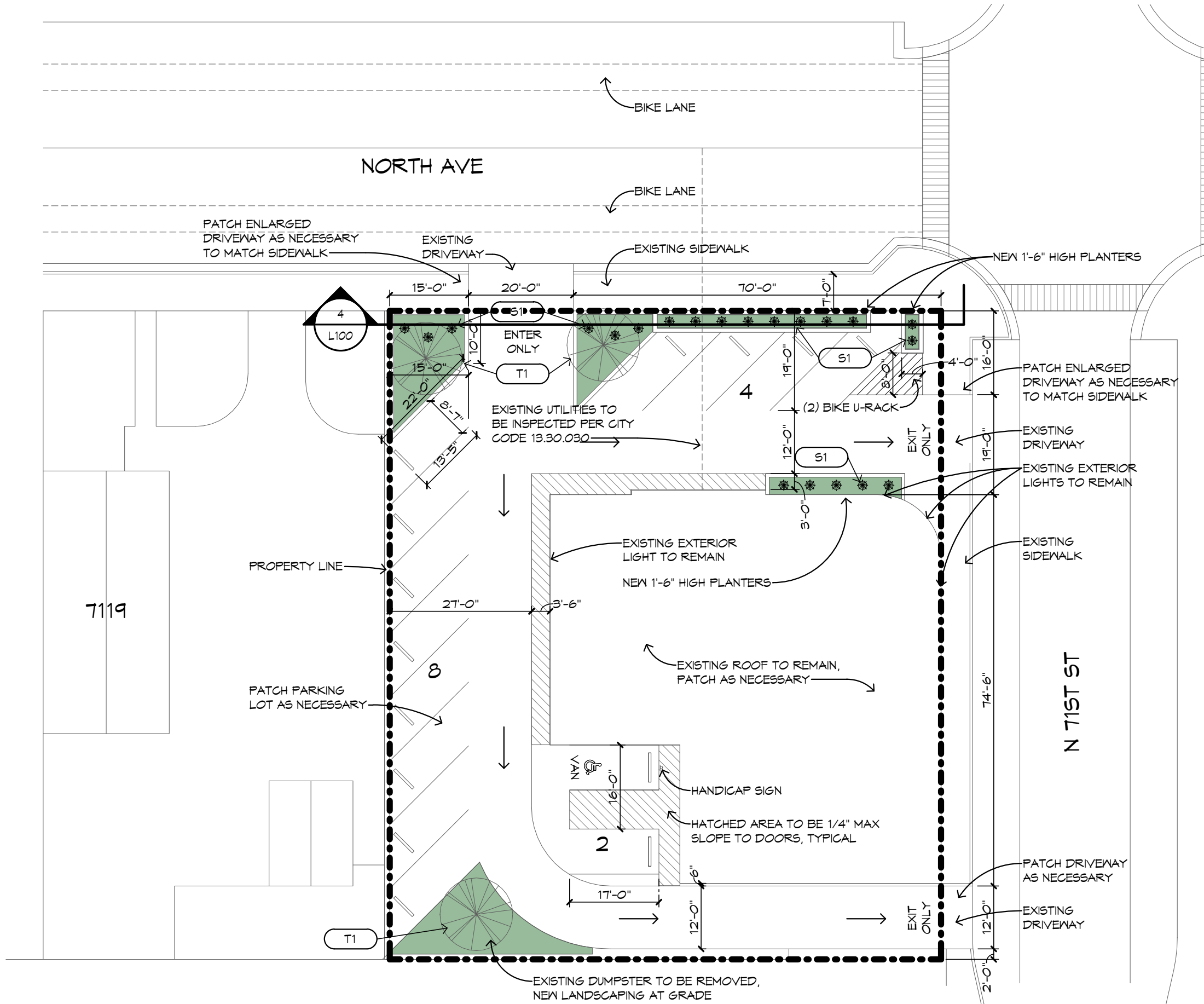
1. ALL LINES ARE TO BE PAINTED 3" WIDE WITH HIGH VISIBILITY YELLOW OR WHITE PAINT.
2. ALL ENTRANCES TO HAVE 1/4" PER FOOT MAX SLOPE FOR FULL EXTENT OF DOOR ACCESS AREA. THRESHOLDS ARE TO BE 1/2" MAXIMUM WITH 1/4" MAX VERTICAL PER CHAPTER 11 ACCESSIBILITY CODE.



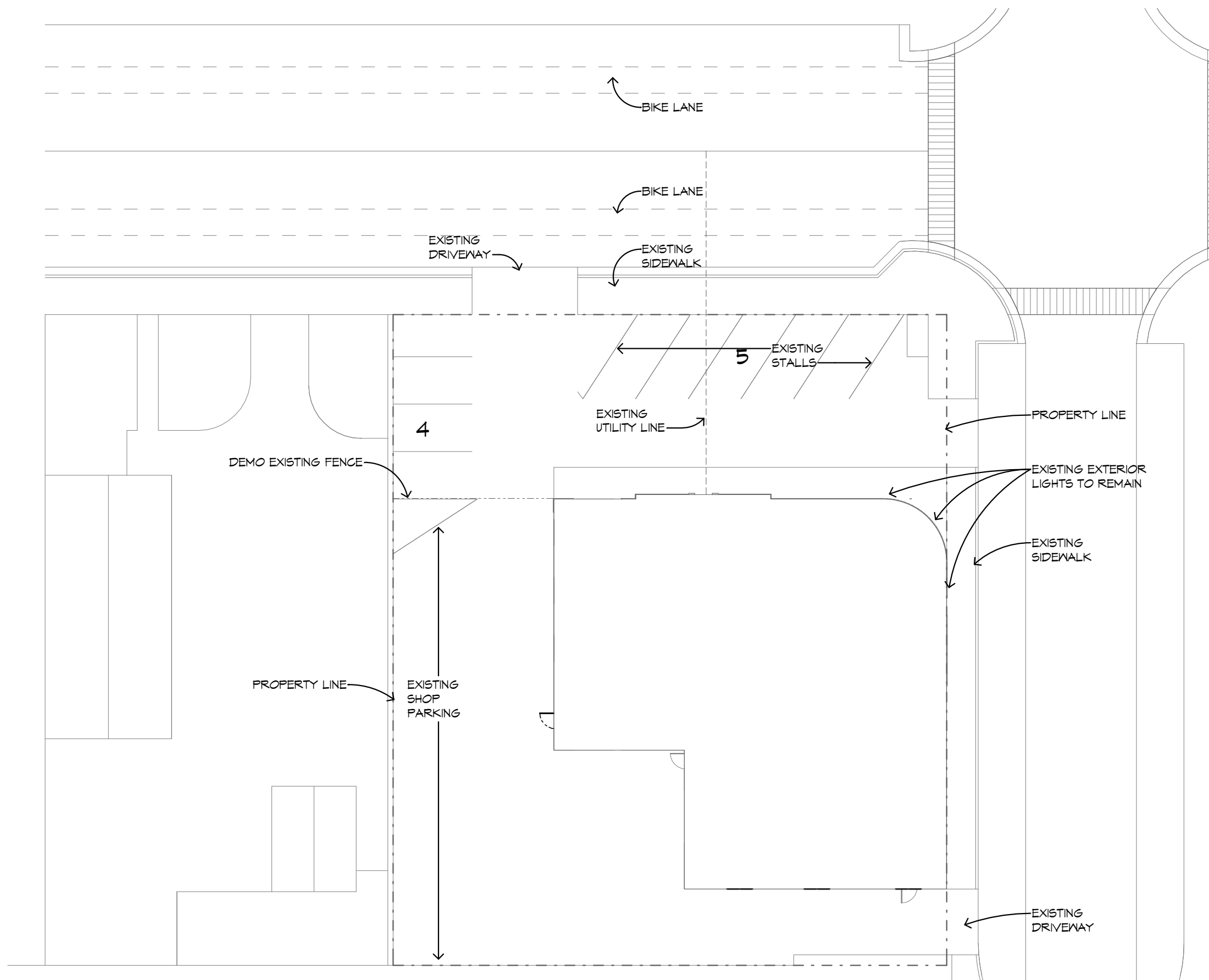
4 SITE SECTION
1/4" = 1'-0"



7 LANDSCAPE AREAS
1" = 30'-0"



NEW SITE PLAN
1" = 20'-0"



SITE DEMO PLAN
1" = 20'-0"



FLASH LAUNDROMAT

7105 W North Ave, Wauwatosa

SITE & LANDSCAPING

8/12/2025



SOUTHWEST CORNER



SOUTHEAST CORNER



NORTHEAST CORNER



FRONT FACE - NORTH AVE



NORTHWEST CORNER

REPLACE EXISTING GARAGE
DOOR WITH STOREFRONT
DOORS

ALIGN SOUTH WINDOWS WITH EAST
WINDOWS TO PROVIDE REQUIRED
EQUIPMENT INTAKE LOUVERS

REPLACE SIGNAGE

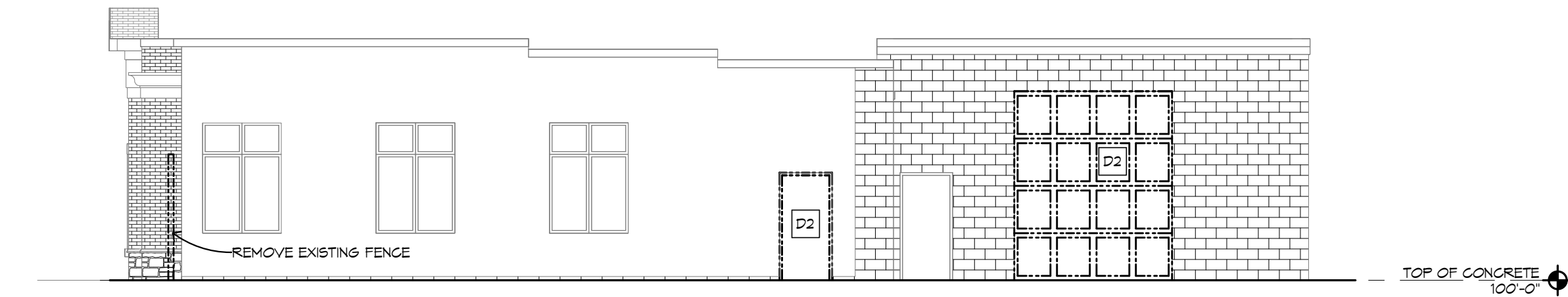
REPLACE EXISTING GARAGE
DOOR WITH STOREFRONT
DOORS

REMOVE SIGNAGE THAT
NO LONGER APPLIES

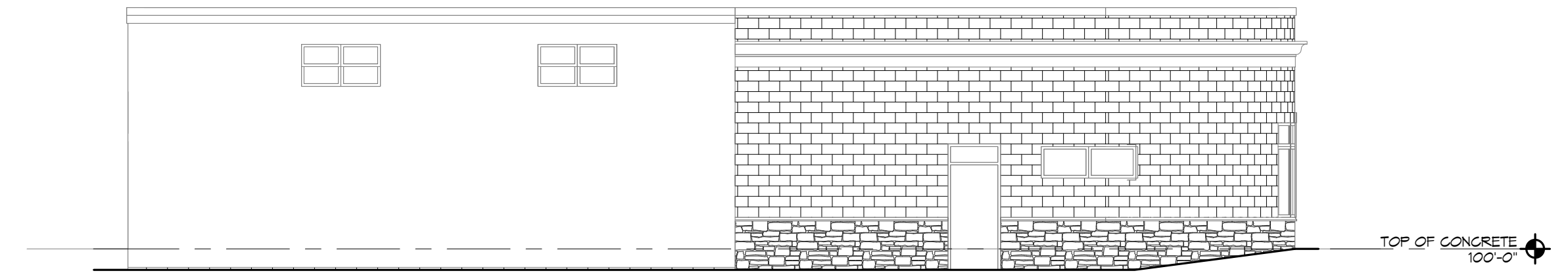
ALL EXISTING SITE
LIGHTING TO REMAIN

REMOVE EXISTING FENCE

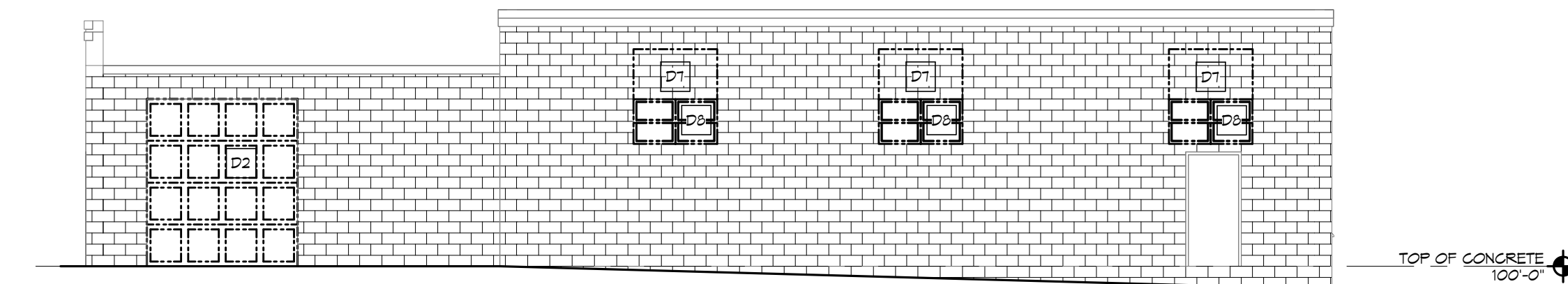
REPLACE EXISTING DOOR
WITH STOREFRONT DOOR



WEST ELEVATION



EAST ELEVATION



SOUTH ELEVATION



NORTH ELEVATION

DEMOLITION - GENERAL NOTES:

A. CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS AND CONDITIONS AT JOB SITE. EXISTING DRAWINGS REPRESENTED THE INFORMATION AVAILABLE AT THE TIME OF DRAWING PREPARATION, HOWEVER THE EXISTING DRAWINGS MAY NOT REPRESENT ALL CURRENT CONDITIONS. BRING ALL CONFLICTS TO THE ATTENTION OF THE GENERAL CONTRACTOR.

B. ALL EXISTING STRUCTURAL COMPONENTS TO REMAIN.

C. REMOVE ALL EXISTING WALL COVERINGS AND MASTIC, WALL BASE, TRIM, WALL BUMPERS, CORNER GUARDS, ETC.; PATCH, REPAIR AND PREPARE SUBSTRATE AS REQUIRED TO RECEIVE NEW FINISHES AS SCHEDULED.

D. EXISTING WALLS, DOORS, FRAMES, ETC. THAT ARE SCHEDULED TO BE REMOVED ARE DASHED LINE TYPES (SEE BELOW). SEE DEMOLITION PLANS KEY NOTES FOR SPECIFIC INSTRUCTIONS.

E. EXISTING WALLS, DOORS, FRAMES ETC. THAT ARE SCHEDULED TO REMAIN ARE SHOWN IN A LIGHT LINE WEIGHT AND ARE TO BE PROTECTED FROM DAMAGE DURING DEMOLITION AND CONSTRUCTION. PATCH, REPAIR AND PREPARE SUBSTRATE AS REQUIRED TO RECEIVE NEW FINISHES AS SCHEDULED.

F. ANY REQUIRED DEMOLITION OF PLUMBING, HVAC, AND ELECTRICAL EQUIPMENT / MATERIALS SHALL BE COORDINATED WORK WITH ASSOCIATED CONTRACTORS.

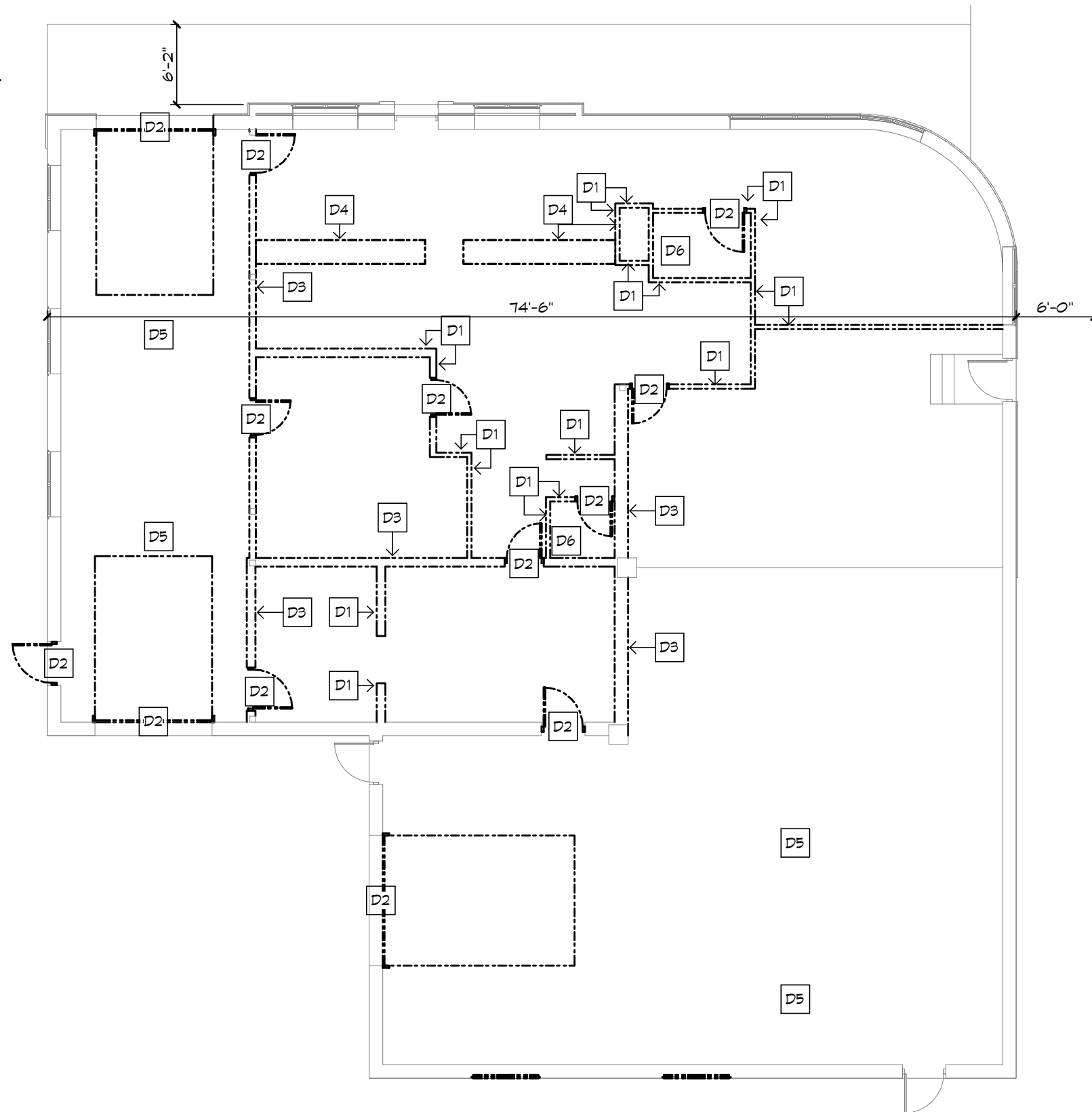
G. ALL DEMOLITION TO BE PATCHED AND REPAIRED TO MATCH EXISTING OR TO ACCOMMODATE NEW CONSTRUCTION.

INDICATES EXISTING BUILDING COMPONENT TO REMAIN

INDICATES EXISTING BUILDING COMPONENT TO BE REMOVED

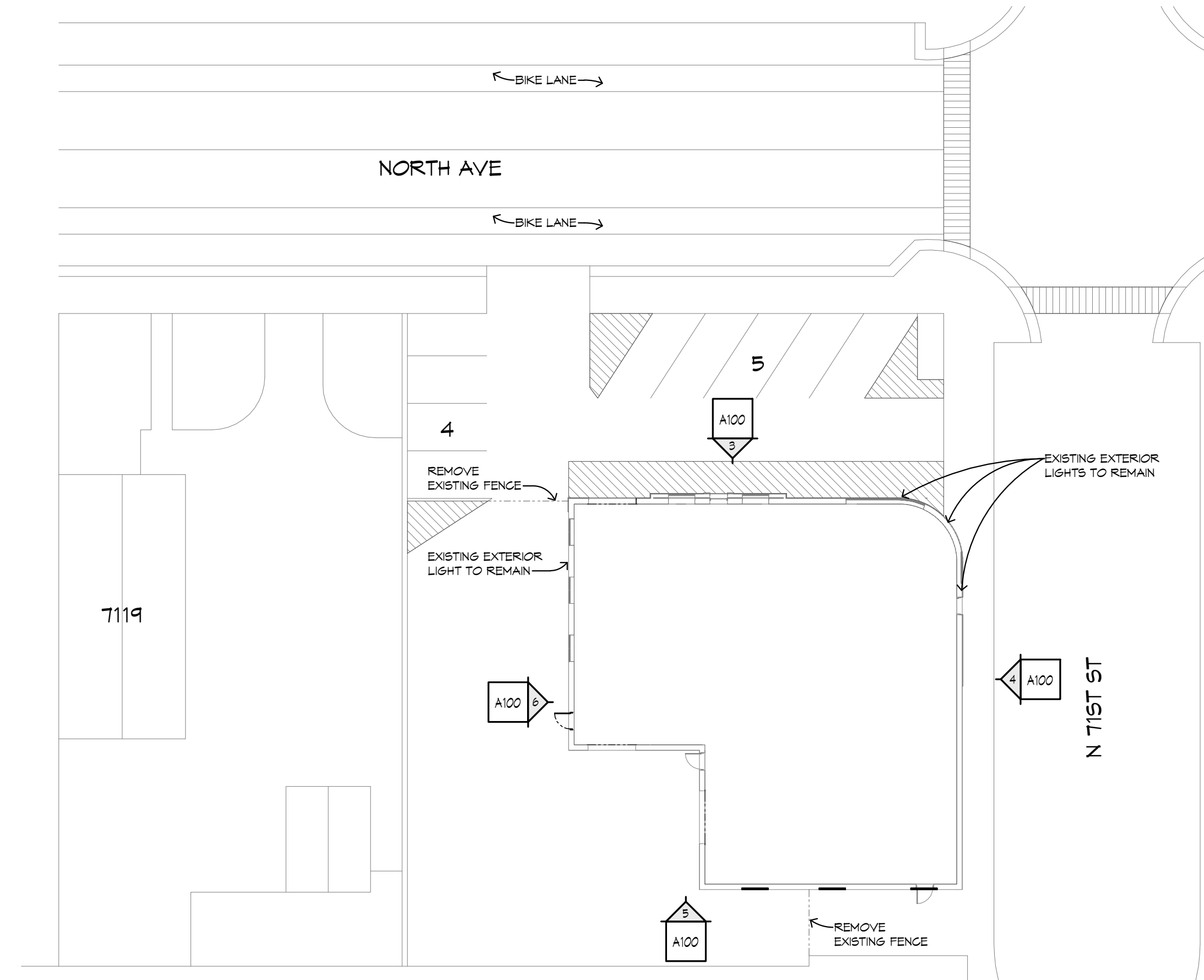
DEMOLITION PLANS KEY NOTES

- D1 REMOVE EXISTING NON-BEARING WALL ASSEMBLY IN ITS ENTIRETY UP TO CEILING OR ROOF FRAMING, AS APPLICABLE.
- D2 REMOVE EXISTING DOOR AND FRAME ASSEMBLY.
- D3 SANGUT AND REMOVE NON-LOAD BEARING PORTION OF BLOCK WALL.
- D4 REMOVE EXISTING COUNTER, MILLWORK, AND RELATED EQUIPMENT.
- D5 REMOVE EXISTING HYDRAULIC LIFT IN ITS ENTIRETY, PREPARE FLOOR FOR NEW SELF-LEVELING GYPCRETE.
- D6 REMOVE EXISTING BATHROOM FIXTURES, CAP ALL PIPES.
- D7 SANGUT AND REMOVE IDENTIFIED SECTION OF EXISTING EXTERIOR WALL, PREPARE OPENING FOR NEW INTEL TO MATCH EXISTING AND SALVAGED WINDOW BELOW.
- D8 SALVAGE EXISTING WINDOW TO BE REINSTALLED IN NEW OPENING ABOVE.



GROUND FLOOR DEMO PLAN

1" = 10'-0"



SITE DEMO PLAN

1" = 20'-0"

FLASH LAUNDROMAT

7105 W North Ave, Wauwatosa

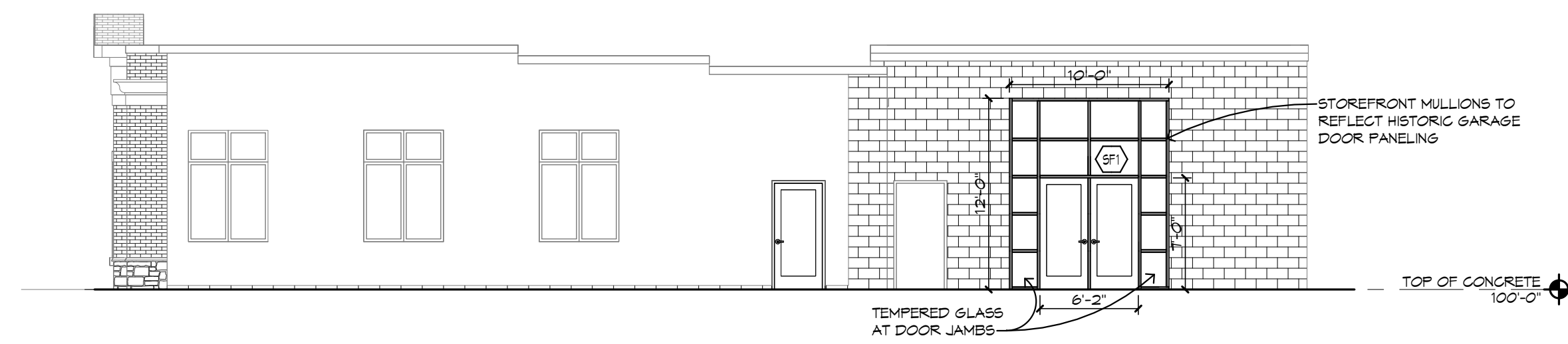
EXISTING CONDITIONS

6/17/2025

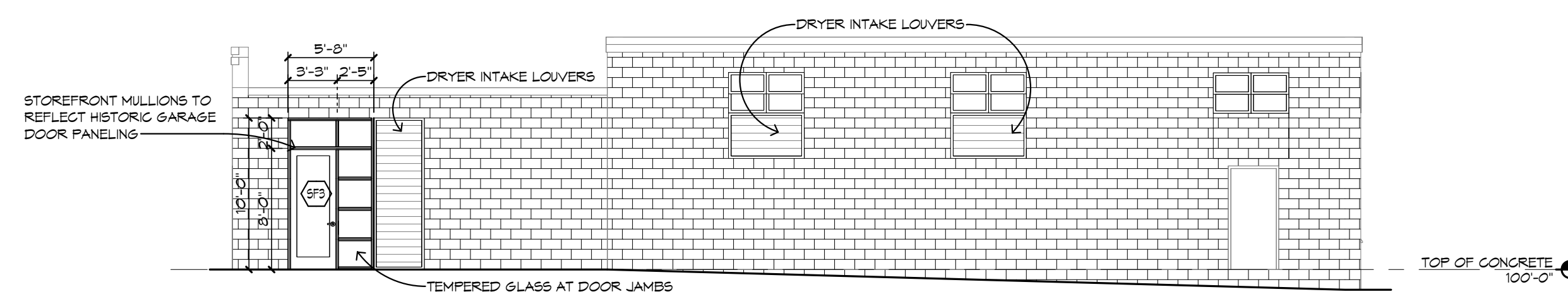
OCCUPANCY	B - BUSINESS (LAUNDRY)		
SPRINKLERS	NONE		
GROUND FLOOR AREA	4,871	SGO FT	
RENOVATION VOLUME	26,354	CU FT (2,542 SF X 4 + 1,930 SF X 12)	
APPLICABLE CODES	MCGEN EXISTING BUILDING CODE - 2015 IBC - IN SPS 366 MCGEN COMMERCIAL BUILDING CODE - 2015 IBC - IN SPS 360-366 ACCESSIBILITY CODE - 2010 IBC - IN SPS 364-368 ENERGY - ECG 2009 - MCGEN ADOPTED ECG 2015 IN AMENDMENTS PLUMBING CODE - MCGEN SPS 301-387 MECHANICAL CODE - 2010 IBC - IN SPS 364-368 ELECTRICAL CODE - NEC 2011 - SPS 316		
CONSTRUCTION TYPE	3B	FIRE RATING	
	CORRIDOR FIRE-RESISTANCE RATING	N/A	
	PRIMARY STRUCTURAL FRAME	2 HOUR	
	BEARING WALLS - EXTERIOR	2 HOUR	
	BEARING WALLS - INTERIOR	0 HOUR	
	NON-BEARING WALLS - EXTERIOR	0 HOUR	
	NON-BEARING WALLS - INTERIOR	0 HOUR	
	FLOOR CONSTRUCTION	0 HOUR	
	ROOF CONSTRUCTION	0 HOUR	
OCCUPANT LOADS	FUNCTION	LOAD FACTOR	AREA SQ. FT.
	BUSINESS	100 GROSS	36
	ACCESSORY	300 GROSS	40
		TOTAL OCCUPANTS	40
PLUMBING FIXTURE CALCULATIONS (2002.1)	OCCUPANCY	LOAD	WATER CLOSETS LAVATORIES SERVICE SINK
	BUSINESS	40 1/64	103 1
	MINIMUM REQUIRED	2	2
	NUMBER PROVIDED	2	1

EGRESS WIDTH: 34'
 MAX EGRESS LOAD: 160
 OCCUPANT LOAD SERVED: 10

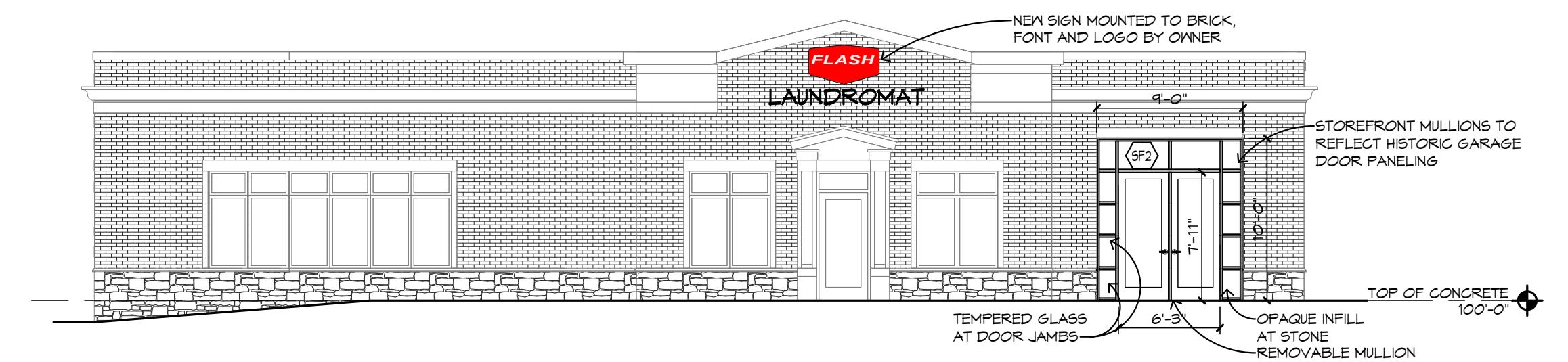
OFFICE SUITES
 B - BUSINESS
 MAXIMUM ALLOWABLE EGRESS PER IBC 1011 = 250'
 MAXIMUM EGRESS DISTANCE PROVIDED = 64'
 CONSTRUCTION TYPE = B3



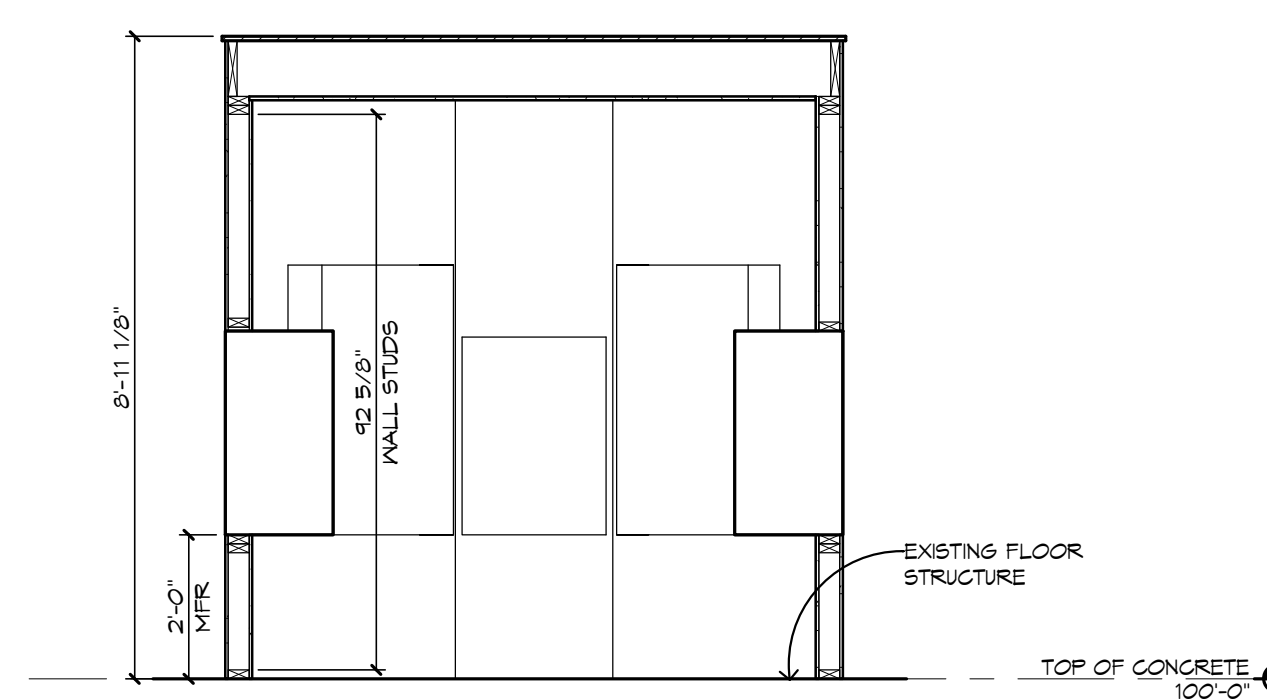
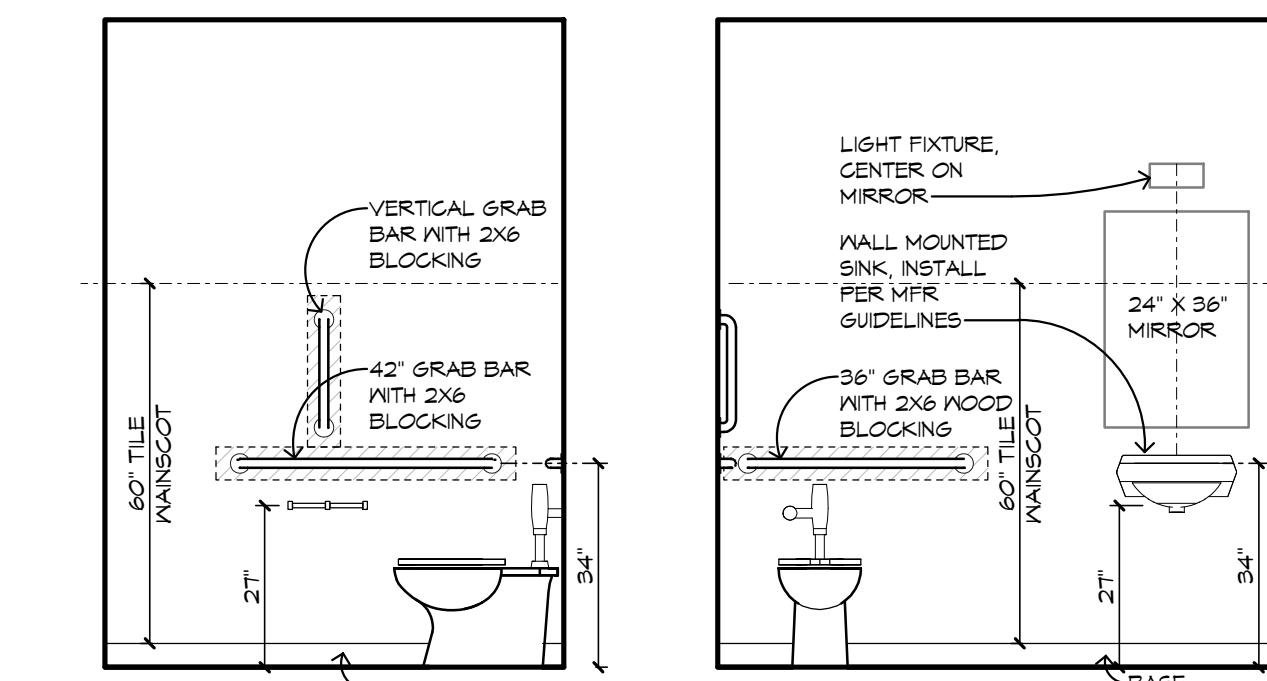
5	1/8" = 1'-0"
A200	



4	$1/8" = 1'-0"$
A200	



3	$1/8" = 1'-0"$
A200	

$$1'' = 20' - 0''$$


A200	3/8" = 1'-0"
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1. CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS AND CONDITIONS AT JOB SITE. DRAWINGS REPRESENTED THE INFORMATION AVAILABLE AT THE TIME OF DRAWING PREPARATION, HOWEVER THE EXISTING DRAWINGS MAY NOT REPRESENT ALL CURRENT CONDITIONS. BRING ALL CONFLICTS TO THE ATTENTION OF THE GENERAL CONTRACTOR.

2. DIMENSIONS AT EXISTING INTERIOR AND EXTERIOR WALLS ARE TO FINISHED FACE OF EXISTING DRYWALL OR MASONRY.
3. ALL OTHER DIMENSIONS ARE TO FACE OF STUD.
4. ALL DEMOLITION TO BE PATCHED AND REPAIRED TO MATCH EXISTING OR TO ACCOMMODATE NEW CONSTRUCTION. PREPARE SUBSTRATES AS REQUIRED FOR NEW FINISHES.
5. FILL DEPRESSIONS WHERE TILE, GROUT, MORTAR BEDS, ETC. ARE IN CONTACT WITH CONCRETE OR OTHER SUBSTRATE (SEE BONDING AGENTS) COMPATIBLE WITH THE FINISHED FLOORING.
6. COORDINATE STUD LOCATION WITH ELECTRICAL AND MECHANICAL CONTRACTORS TO ALLOW FOR ELECTRICAL PANELS, VENTS, ETC.
7. VERIFY WALL CONSTRUCTION WITH WALL TYPE.
8. FIELD VERIFY EXISTING WALL CONSTRUCTION, PROVIDE 2x4 WOOD BLOCKING AS REQUIRED WHERE NEW CONSTRUCTION, ETC. IS SHOWN ATTACHING TO EXISTING WALLS.

DIMENSIONS SHOWN AS ROUGH OPENINGS
 FOR SPECIFIC PRODUCTS BASED ON
 CURRENT INFORMATION AVAILABLE AT TIME
 OF DRAWING PREPARATION. CONTRACTOR
 TO VERIFY AS APPROPRIATE.

WALL TYPES

DOOR SCHEDULE

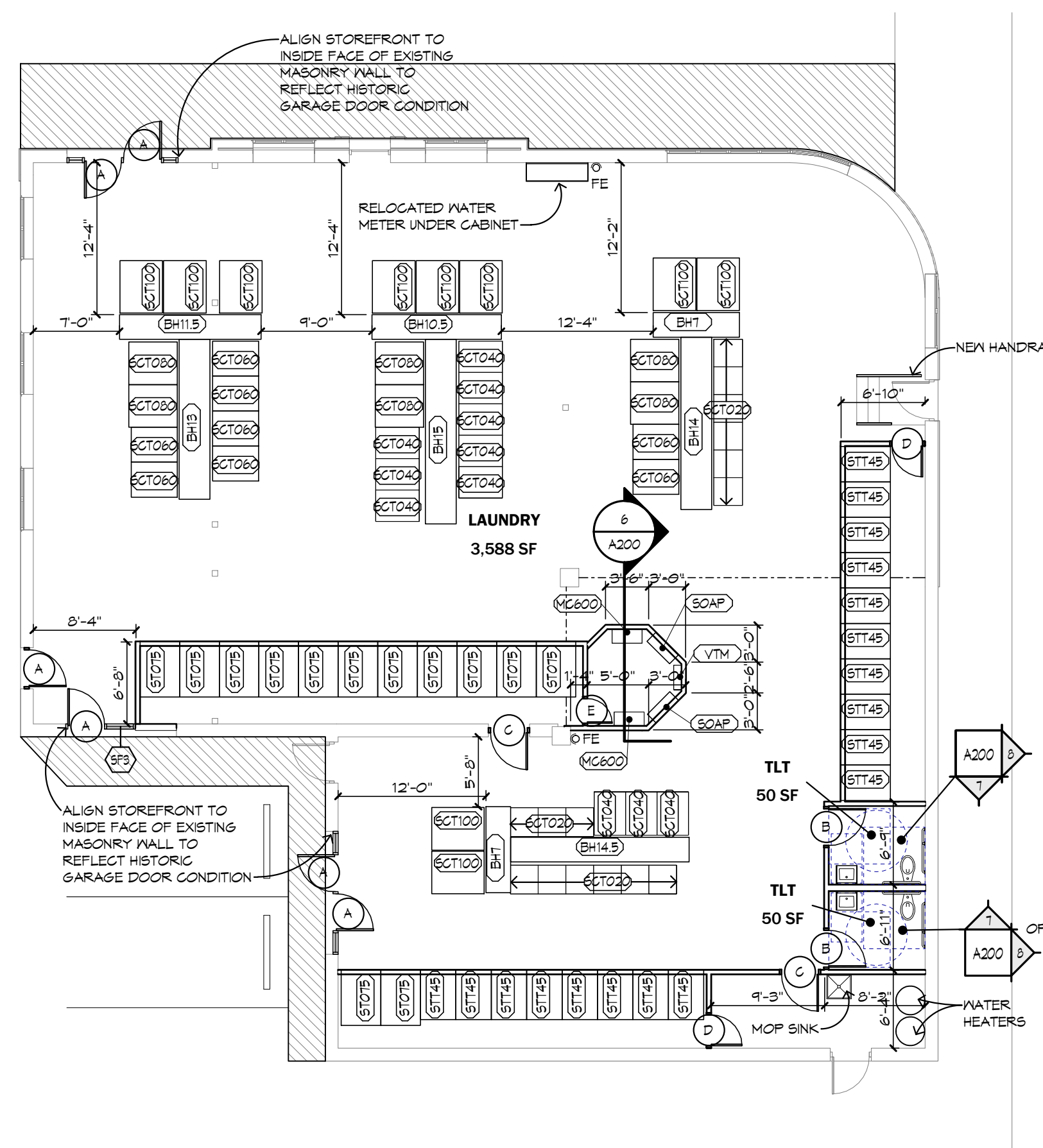
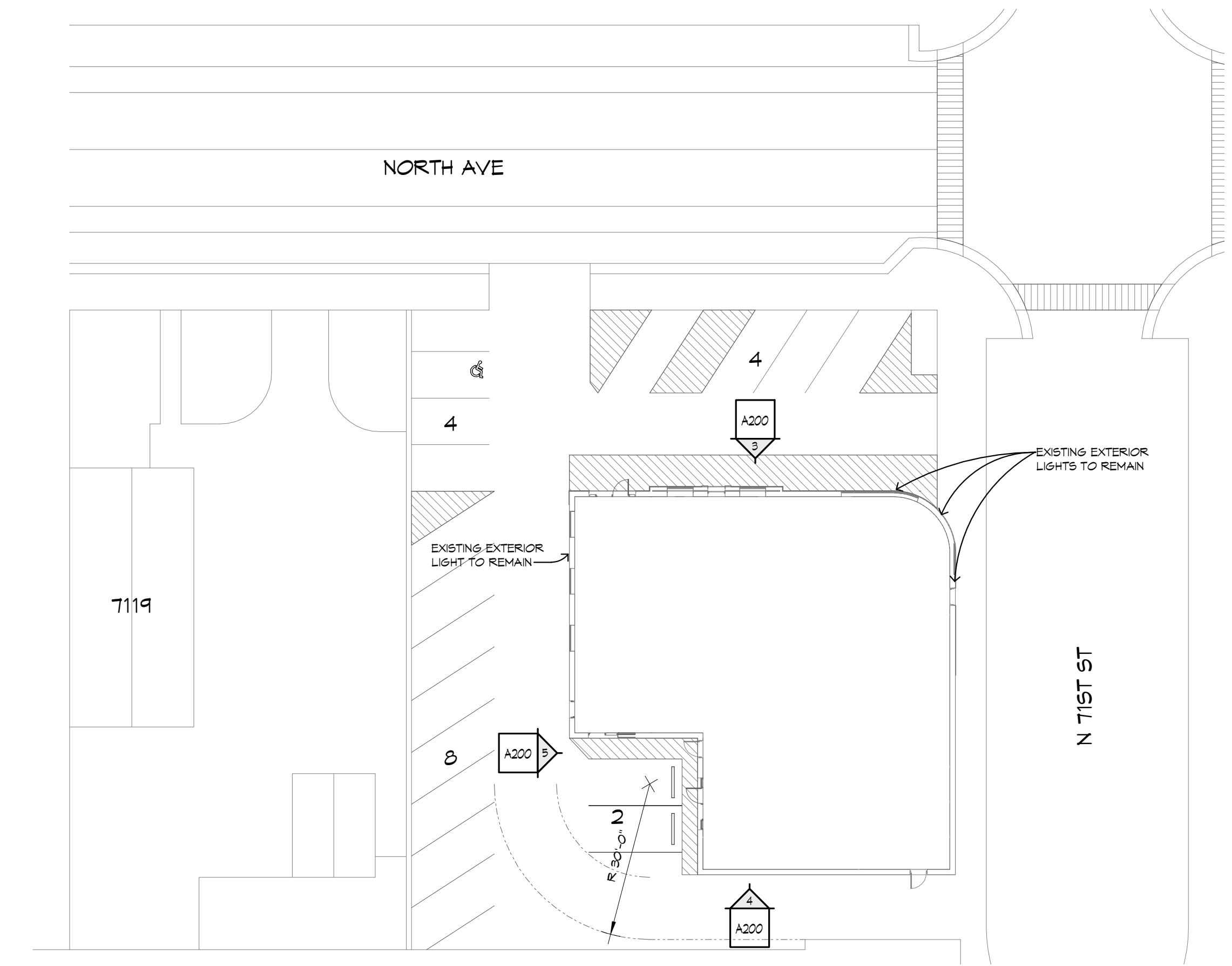
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INDICATES EXISTING BUILDING

INDICATES EXISTING BUILDING
COMPONENT TO REMAIN

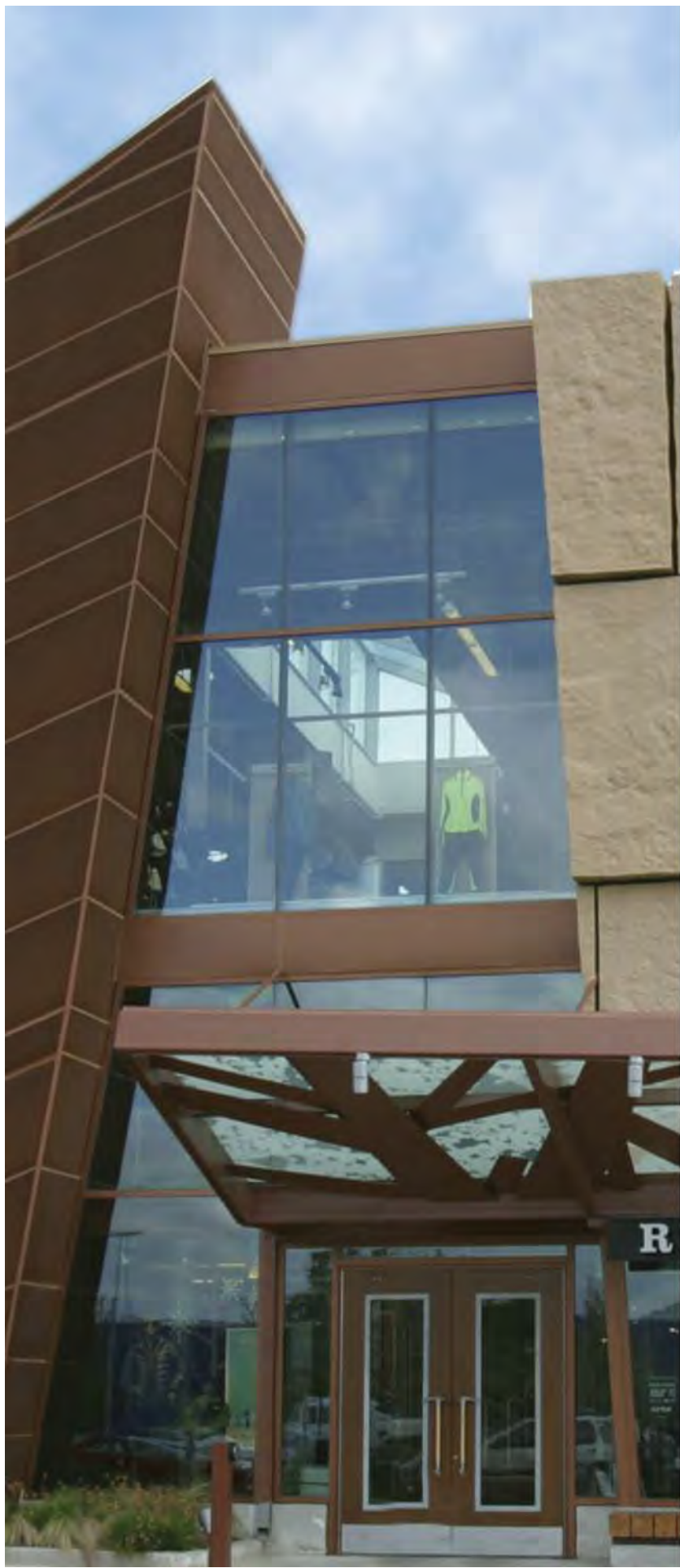
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Journal compilation © 2006 Blackwell Publishing Ltd

1. MOUNT WASHROOM ACCESSORIES AT HEIGHTS AS RECOMMENDED BY MANUFACTURER FOR ADA COMPLIANCE.
2. FIELD VERIFY ALL TOPS, MIRRORS AND CABINETRY DIMENSIONS.
3. PROVIDE 2 X 6 WOOD BLOCKING FOR ALL GRAB BARS. PROVIDE 2 X 4 WOOD BLOCKING AS REQUIRED FOR MIRRORS, ETC.


$$1^\circ = 10^\circ - 0^\circ$$

$$1'' = 20' - 0''$$


7105 W North Ave, Wauwatosa

6/17/2025



B

STOREFRONTS

- Series 400/450 Center Glaze
- Series 451/IT451 Center Glaze
- Flush Front™
- Accessory Hardware

Toll Free Phone Service
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U.S. and Canada



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02-B1

STOREFRONTS

Specifications

SECTION 08 41 13 ALUMINUM STOREFRONTS

SERIES	FACE WIDTH	DEPTH	GLAZING INFILLS	GLAZING METHOD
400	1-3/4" (44.5)	4" (101.6)	1/4" (6) or 3/8" (10)	Exterior/Interior
450	1-3/4" (44.5)	4-1/2" (114.3)	1/4" (6) or 3/8" (10)	
451	2" (50.8)	4-1/2" (114.3)	1" (25)	

I. GENERAL DESCRIPTION
Work Included: Furnish all necessary materials, labor, and equipment for the complete installation of aluminum framing as shown on the drawings and specified herein. (Specifier Note: It is suggested that related items such as aluminum entrance doors, glass, and sealants be included whenever possible).
Work Not Included: Structural support of the framing system, interior closures, trim. (Specifier list other exclusions).
Related Work Specified Elsewhere: (Specifier list).

QUALITY ASSURANCE
Drawings and specifications are based on the Series (Specify) Center Glazed System as manufactured by U.S. Aluminum. Whenever substitute products are to be considered, supporting technical literature, samples, drawings, and performance data must be submitted 10 days prior to bid in order to make a valid comparison of the products involved. Test reports certified by an independent test laboratory must be made available upon request.

PERFORMANCE REQUIREMENTS
Air Infiltration: shall be tested in accordance with ASTM E 283. Infiltration shall not exceed .06 cfm per square foot (.0003m³/sm²) of fixed area when tested at 6.24 psf (300 Pa).
Water Infiltration: shall be tested in accordance with ASTM E 331. No water penetration at test pressure of

8 psf (384 Pa). When tested with the high performance sub sill.
Structural Performance: shall be tested in accordance with ASTM E 330 and based on:
• Maximum deflection of L/175 of the span
• Allowable stress with a safety factor of 1.65
The system shall perform to this criteria under a windload of (Specify) psf.
Testing Procedures - ASTM 283, E 331, and E 330 - Laboratory performance testing. AAMA 503-08 - Newly installed storefronts. AAMA 511-08 - Installed storefronts after six months.

II. PRODUCTS MATERIALS
Extrusions shall be 6063-T5 alloy and temper (ASTM B221 alloy T5 temper). Fasteners, where exposed, shall be aluminum, stainless steel or zinc plated steel in accordance with ASTM A 164. Perimeter anchors shall be aluminum or steel, providing the steel is properly isolated from the aluminum. Glazing gaskets shall be E.P.D.M. elastomeric extrusions.

FINISH
All exposed framing surfaces shall be free of scratches and other serious blemishes. Aluminum extrusions shall be given a caustic etch followed by an anodic oxide treatment to obtain... (Specify one of the following):
• #11 Clear anodic coating
• #22 Dark Bronze anodic coating
• #33 Black anodic coating

A Fluoropolymer paint coating conforming with the requirements of AAMA 2605. Color shall be (Specify a U.S. Aluminum standard color).
FABRICATION
The framing system shall provide for flush glazing on all sides with no projecting stops. Vertical and horizontal framing members shall have a nominal face dimension of (Specify). Overall depth shall be (Specify). Entrance framing members shall be compatible with glass framing in appearance. Provide for internal drainage of infiltrated water into an extruded aluminum sub sill channel where it is drained to the exterior through weep slots.

III. EXECUTION INSTALLATION
All glass framing shall be set in correct locations as shown in the details and shall be level, square, plumb, and in alignment with other work in accordance with the manufacturer's installation instructions and approved shop drawings. All joints between framing and the building structure shall be sealed in order to secure a watertight installation.

PROTECTION AND CLEANING
After installation the General Contractor shall adequately protect exposed portions of aluminum surfaces from damage by grinding and polishing compounds, plaster, lime, acid, cement or other contaminants. The General Contractor shall be responsible for final cleaning.

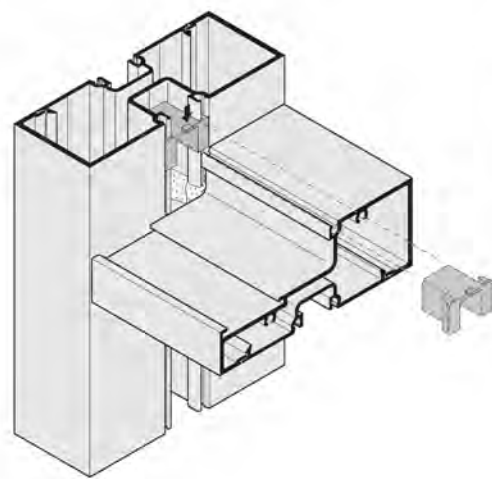
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B1



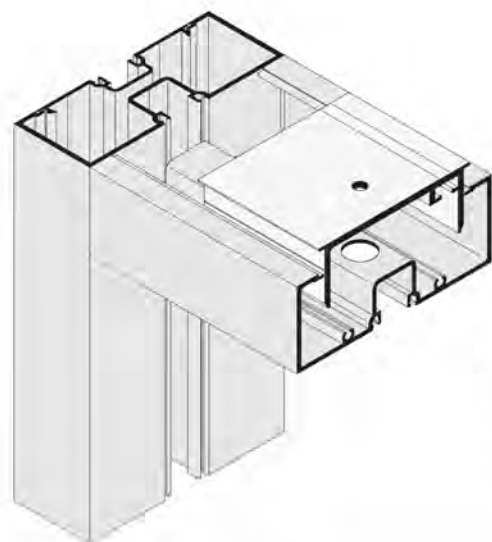
Special Features

Details show Series 450 members. Other Series are similar.



Apply silicone to two sides of glazing pocket at vertical/horizontal joint and glazing reglets. Slide Water Deflector down into position. Seal over top edges of Water Deflector leaving a gap on outside edge allowing water to drain into Sub sill.

Stretch "W" Block and slide it between glass and mullion into deep glazing pocket. Push it all the way until it clears glass and locks into place. These blocks are used to prevent glass from "walking" out of the pocket caused by extreme vibration or minor earthquakes.



When optional Head Anchors are used, fasten them to structure through head member access hole. Anchors may be shimmed as required. Use AF400 or FF400 Sub sill when using option Head Anchors.

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B1

07-B1

STOREFRONTS

- Center Glazed
- Series 400 & 400-S
- Series 450 & 450-S
- Series 451 & 451-S
- Series IT451

B

16-B1

STOREFRONTS

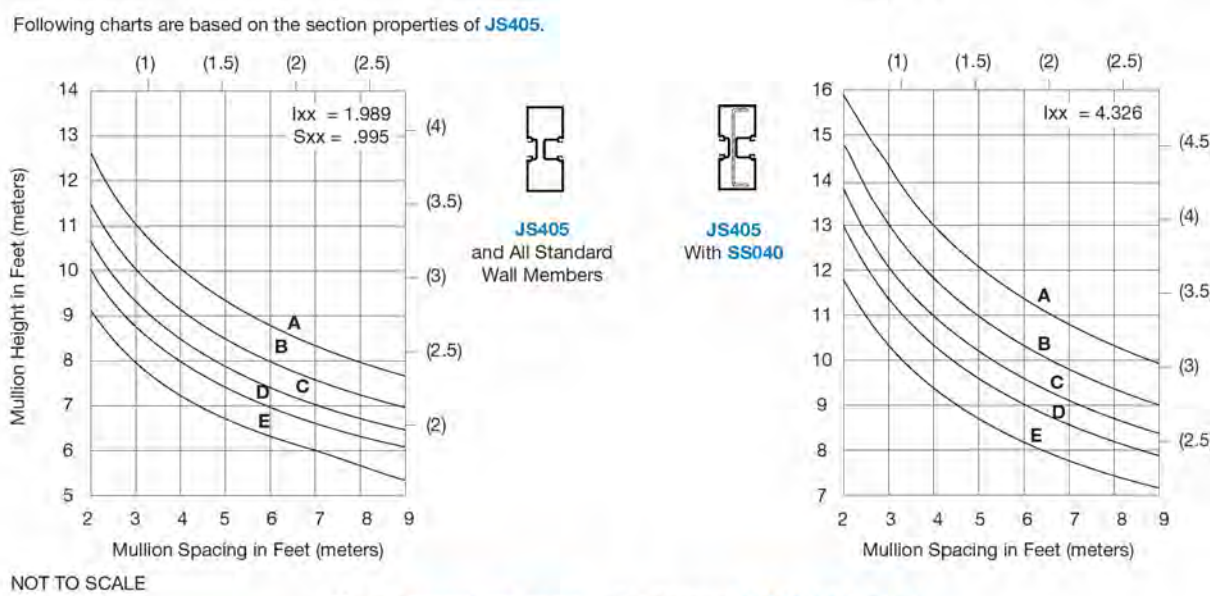
Windload Charts

STANDARD WALL VERTICAL MULLIONS FOR 1/4" (6) OR 3/8" (10) GLAZING

Deflection criteria to be in accordance with AAMA TIR-A11 - L/175 or L/240 + 1/4" (6.4 mm) for spans greater than 13'-6" (4.1 m) but less than 40'-0" (12.2 m). Codes and specifications may vary. No single lite of glass shall deflect more than 3/4" (19 mm). Glass is not considered as contributing to resistance of deflection. Aluminum alloy 6063-T6 allowable stress for windload is 15,200 psi. (89 MPa), and steel reinforcing allowable stress for windload is 21,600 psi. (150 MPa).

These charts include unbraced length analysis and are based on at least one horizontal being placed at the midpoint of the span. For other applications, please contact U.S. Aluminum Technical Sales at (800) 262-5151, or visit our web site at usalum.com.

JS401/RS200 I = 2,365 (98.44 x 10³) S = 1,185 (19.39 x 10³) IAL+STL = 4,702 (195.71 x 10³)	J-402/RS200 I = 2,054 (85.49 x 10³) S = 1,027 (16.83 x 10³) IAL+STL = 4,391 (182.77 x 10³)	JS402/RS200 I = 2,116 (88.07 x 10³) S = 1,058 (17.34 x 10³) IAL+STL = 4,453 (185.35 x 10³)
JS405 I = 1,969 (82.79 x 10³) S = 996 (16.31 x 10³) IAL+STL = 4,326 (180.08 x 10³)	JS406 I = 1,970 (82 x 10³) S = 994 (16.20 x 10³) IAL+STL = 4,307 (179.27 x 10³)	JS410/JS419 I = 2,646 (110.13 x 10³) S = 1,532 (21.68 x 10³) IAL+STL = 4,301 (179.02 x 10³) (with SS469)



NOT TO SCALE

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B1

04-B1

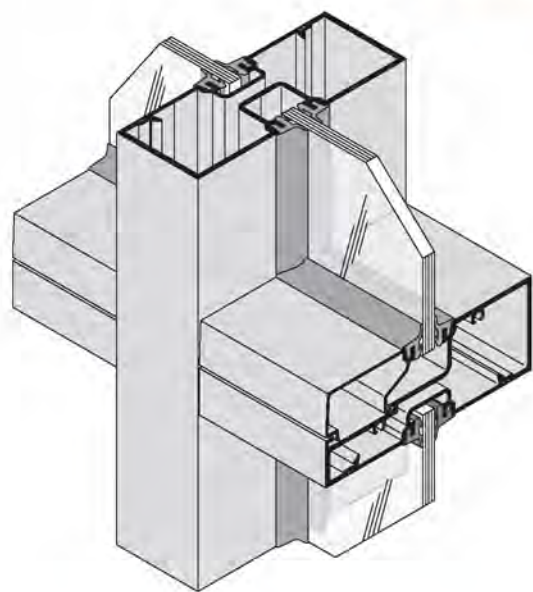
STOREFRONTS

Technical Data



- Center Glazed
- Series 400 & 400-S
- Series 450 & 450-S
- Series 451 & 451-S

Fabrication and installation labor costs have always been a decisive factor in selecting framing systems for storefront projects. U.S. Aluminum offers cost efficient versatile Center Glazed Systems with clean lines and superb performance. Series 400, 450, and 451 offer simple panel type installation. Series 400-S, 450-S, and 451-S feature stacking type installation. All series may be interior or exterior glazed. A top load E.P.D.M. gasket is used to position and weatherseal the glass in the aluminum pocket. Center Glazed Systems are compatible with most U.S. Aluminum Entrance Doors. See page 01-B3 for E.P.D.M. gasket options.



SERIES	WIDTH	DEPTH	GLAZING INFILLS	APPLICATION
400 or 400-S	1-3/4" (44.5)	4" (101.6)	1/4" (6) or 3/8" (10)	Retail Shopping Centers, Schools, Post Offices, Clinics or Any Ground Floor Application
450 or 450-S	1-3/4" (44.5)	4-1/2" (114.3)	1/4" (6) or 3/8" (10)	
451 or 451-S	2" (50.8)	4-1/2" (114.3)	1" (25)	

GLASS SIZES*	
For Series 400 and 450 Glass Width and Glass Height	= Daylight Opening + 5/8" (15.9)
For Series 451 Glass Width and Glass Height	= Daylight Opening + 7/8" (22.2)

* These formulas do not take into account glass tolerances. Consult glass manufacturer before ordering glass.

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B1

2 STOREFRONT

A300

FLASH LAUNDROMAT

7105 W North Ave, Wauwatosa



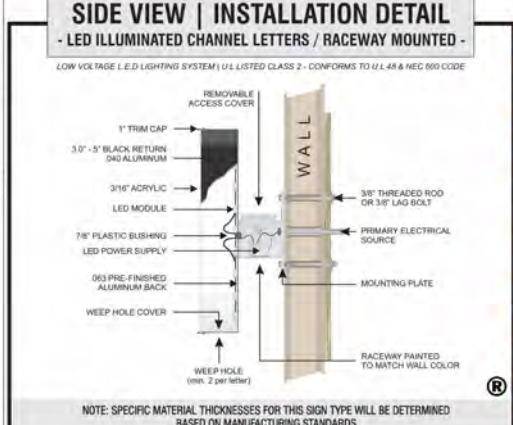
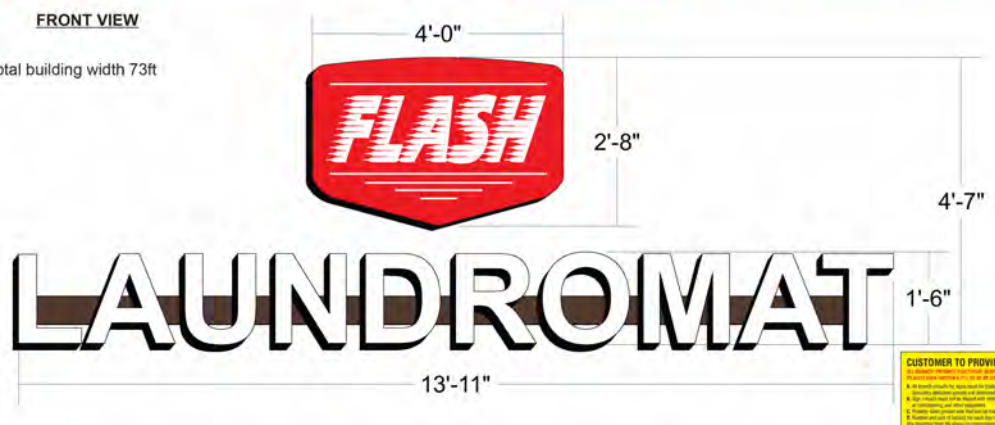
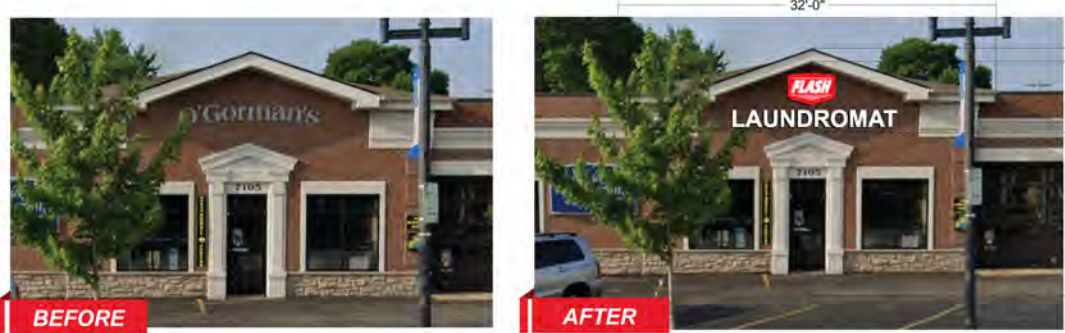
3 MECHANICAL LOUVERS

A300

PROPOSED REFACE PYLON SIGN



PROPOSED FRONT-LIT CHANNEL LETTERS - RACEWAY MOUNTED



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OVERLAYS ARE FOR ILLUSTRATIVE PURPOSES ONLY. FINAL RESULTS, SIZE OF SIGN & SCALE MAY VARY SLIGHTLY. SCALE: 1/4" = 1'-0"

1 SIGNAGE

A300

SAMPLES

6/17/2025



Wauwatosa, WI

7725 W. North Avenue
Wauwatosa, WI 53213

Staff Report

File #: 25-1191

Agenda Date: 10/16/2025

Agenda #: 3.

Foundry Way - Mayfair 2 - New Multi-Family -Return to Board

MSP - WAUWATOSA NORTH

FOUNDRY WAY, WAUWATOSA, WI



Architecture :

Developer:

Civil Engineering:

Landscape Architecture

Dimension IV - Madison Design Group

MSP Real Estate

CJ Engineering

raSmith

6515 Grand Teton Plaza, Suite 120, Madison, WI 53719

7901 West National Avenue, West Allis, WI 53214

9205 West Center Street, Suit 214, Milwaukee, WI 53222

16745 W. Bluemound Road, Brookfield, WI 53005-5938

p: 608.829.4444 www.dimensionivmadison.com

p: 414.259.2108 www.msprealestateinc.com

p: 414.443.1312 www.cj-engineering.com

p: 262.781.1000 www.rasmith.com

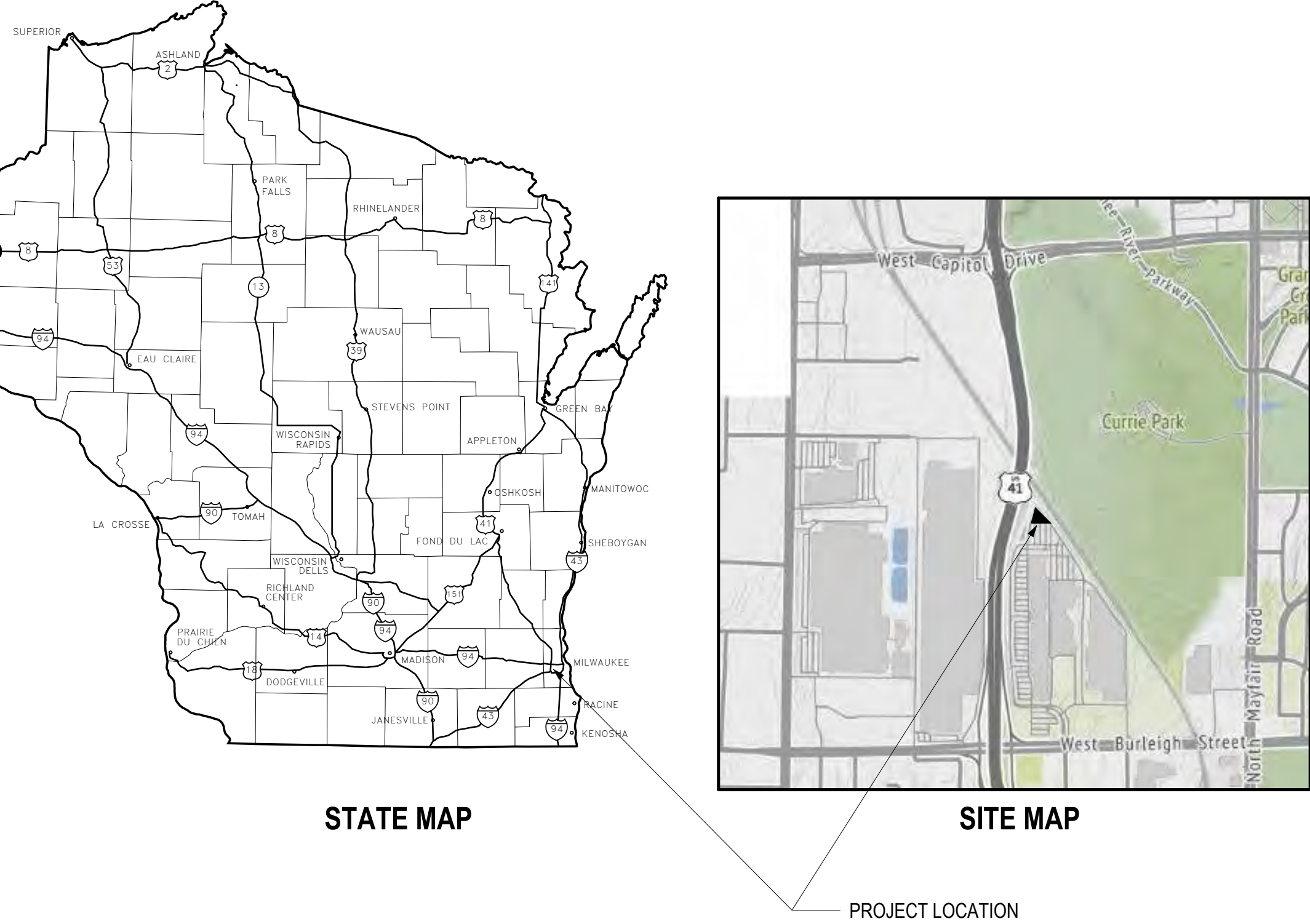
UNIT MIX					
PHASE 1 UNITS					
FLOOR	1	2	3	4	TOTAL
1 BED / 1 BATH	1	7	7	7	22
2 BED / 1 BATH	5	2	2	2	11
2 BED / 2 BATH	2	3	3	3	11
3 BED / 2 BATH	2	3	3	3	11
TOTAL					55
PHASE 2 UNITS					
FLOOR	1	2	3	4	TOTAL
STUDIO	3	2	1	1	7
1 BED / 1 BATH	11	12	13	12	48
2 BED	4	4	4	3	15
TOTAL					70
PARKING					
	PHASE 1	PHASE 2	TOTAL		
SURFACE PARKING	36	31	67		
UNDERGROUND PARKING	39	41	80		
TOTAL			147		

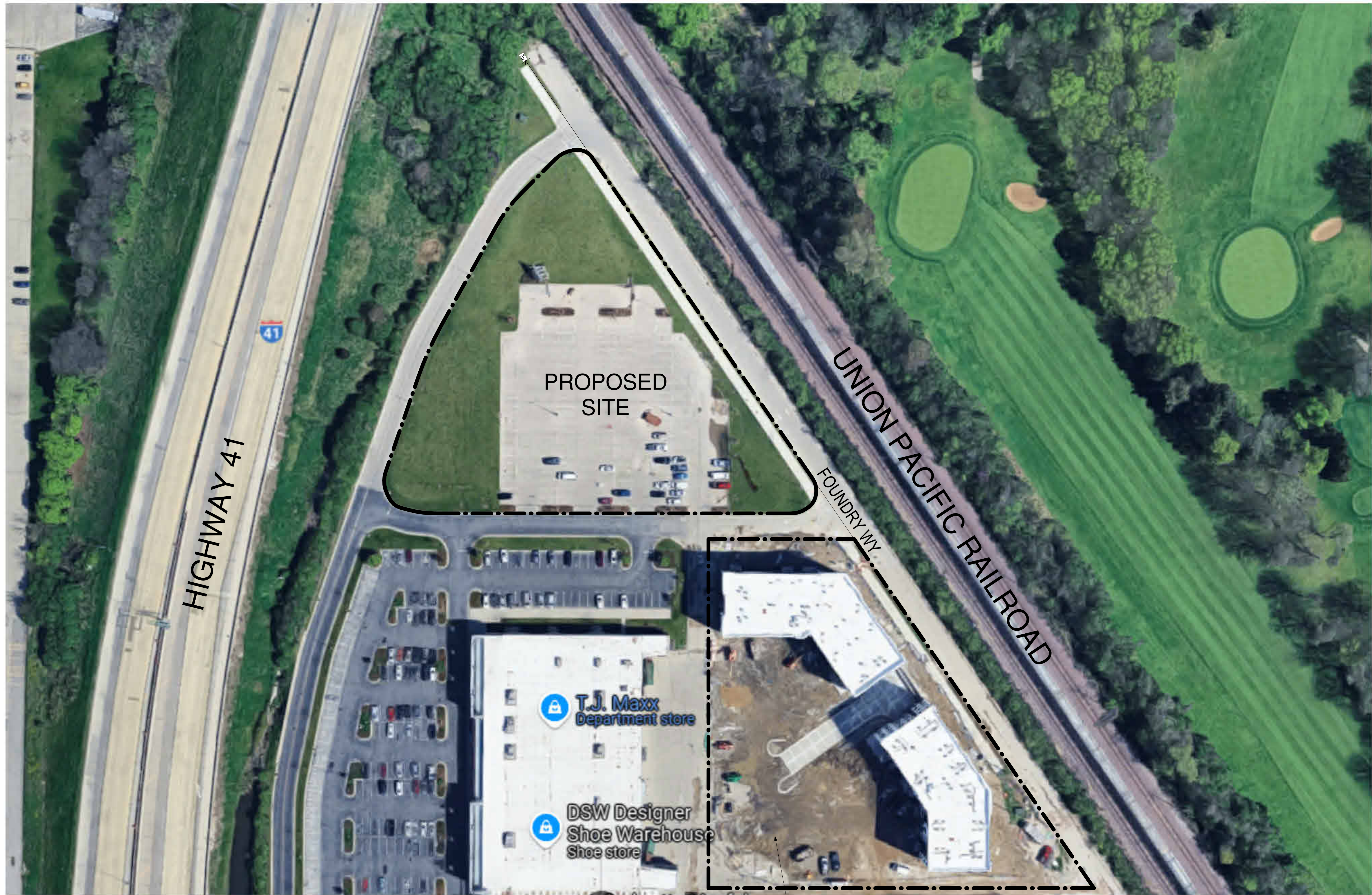
LIST OF DRAWINGS

SHEET NO.	SHEET NAME
G1-0	COVER SHEET
G2-0	SITE
G3-0	SITE PHOTOS
G4-0	EXISTING PROJECT PHOTOS
G5-0	PEDESTRIAL CONNECTIVITY PLAN
AL-0	SITE SURVEY
C200	SITE PLAN
C201	PHASE 1 SITE PLAN
L100	SITE LANDSCAPE PLAN
L200	LANDSCAPE NOTES AND DETAILS
LIGHT	SITE LIGHTING PHOTOMETRICS PLAN

LIST OF DRAWINGS

SHEET NO.	SHEET NAME
A1-0	BASEMENT FLOOR PLAN
A1-1	FIRST FLOOR PLAN
A1-2	SECOND, THIRD, & FOURTH FLOOR PLANS
A2-00	MATERIAL SAMPLES
A2-01	MATERIAL SAMPLES
A2-02	MATERIAL CALLOUT PERSPECTIVE
A2-03	PERSPECTIVE ELEVATION
A2-04	PERSPECTIVE ELEVATION
A2-05	PERSPECTIVE ELEVATION
A2-06	PERSPECTIVE ELEVATION
A2-07	PERSPECTIVE ELEVATION
A2-08	PERSPECTIVE ELEVATION
A2-09	EXTERIOR ELEVATIONS
A2-10	EXTERIOR ELEVATIONS





① SITE AERIAL VIEW
1 1/2" = 1'-0"

(The Regent & The Oxford)
EXISTING APARTMENT BUILDING



VIEW LOOKING FROM NORTH TOWARDS THE SITE



VIEW LOOKING FROM EAST TOWARDS THE SITE



VIEW LOOKING FROM SOUTH TOWARDS THE SITE



VIEW LOOKING FROM WEST TOWARDS THE SITE

PHOTOS OF *The Regent & The Oxford*, (EXISTING APARTMENT BUILDINGS AT 3325 AND 3375 FOUNDRY WAY)



VIEW LOOKING FROM WEST TOWARDS BUILDING



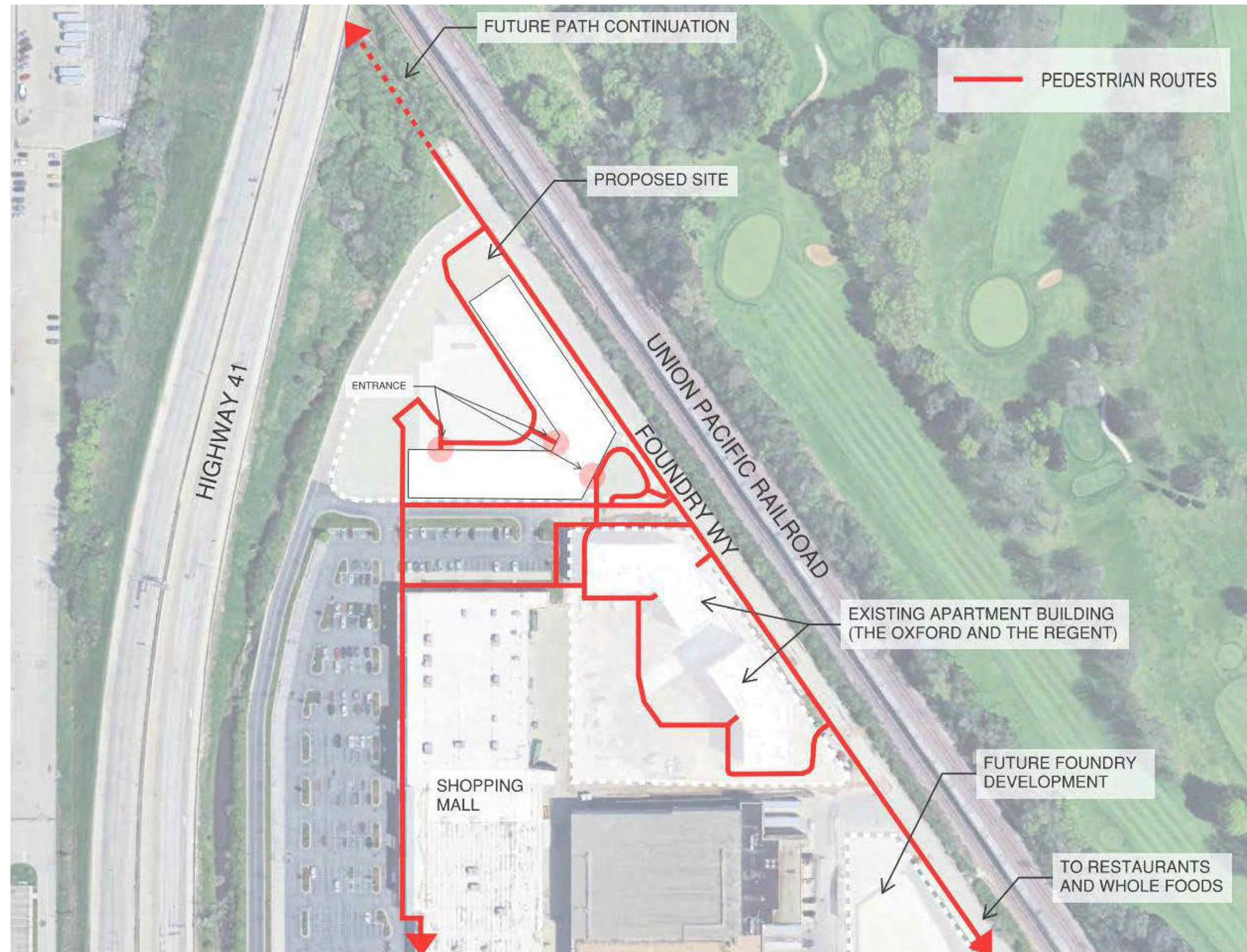
VIEW LOOKING NORTH FROM SOUTH

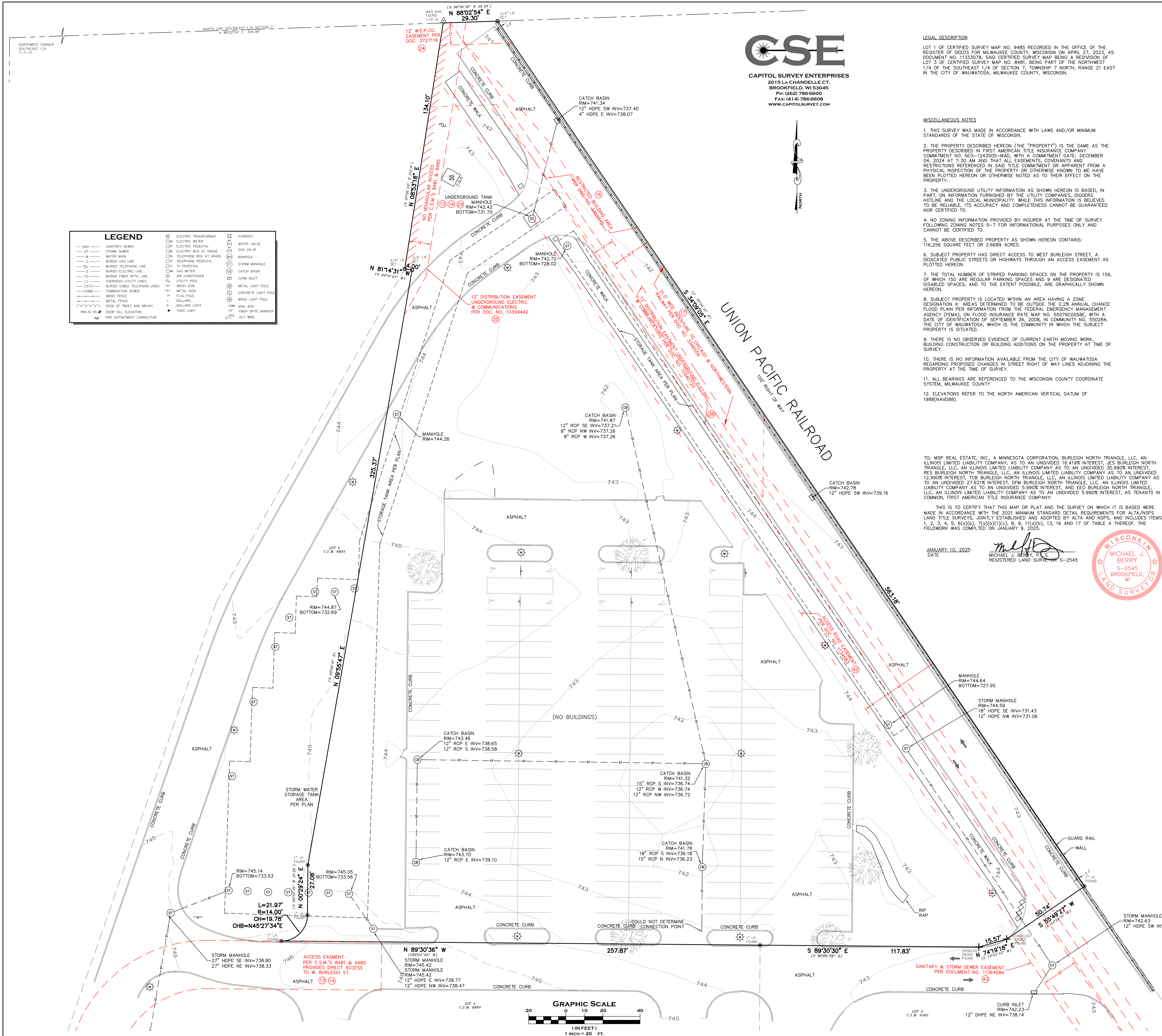


VIEW OF BUILDING A



VIEW LOOKING FROM SITE TO EXISTING BUILDING





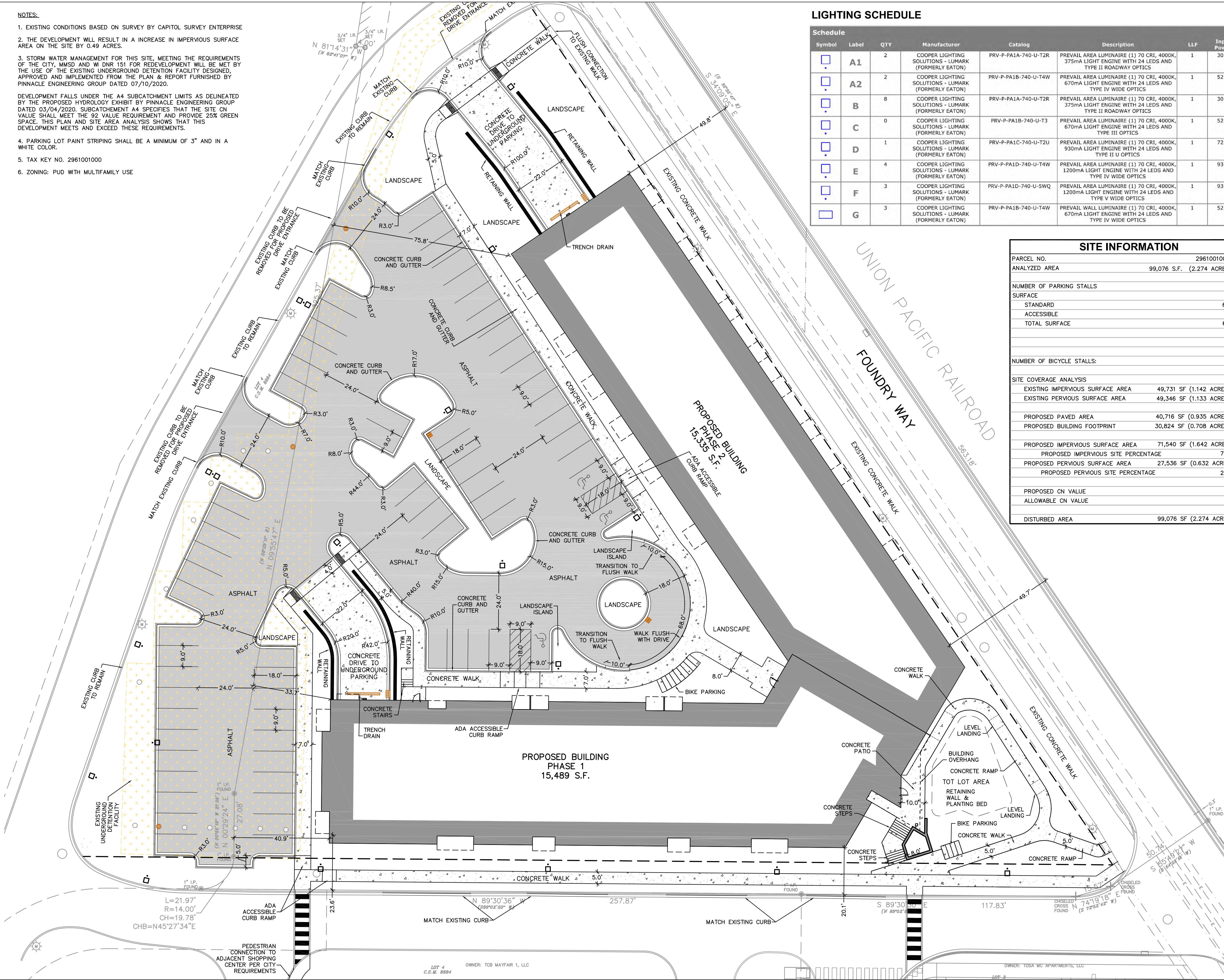
ALTA/NSPS LAND TITLE SURVEY

FOR
MSP - MAYFAIR NORTH
W. BURLEIGH ST.
WAUWATOSA, WI

DRAWN BY: DHS	DATE: JAN. 10, 2025
CHECKED BY: MJB	DRAWING No. AL - 0
CSE JOB No.: 24-147	SHEET 1 OF 1

NOTES:

1. EXISTING CONDITIONS BASED ON SURVEY BY CAPITOL SURVEY ENTERPRISE
2. THE DEVELOPMENT WILL RESULT IN A INCREASE IN IMPERVIOUS SURFACE AREA ON THE SITE BY 0.49 ACRES.
3. STORM WATER MANAGEMENT FOR THIS SITE, MEETING THE REQUIREMENTS OF THE CITY, MMSD AND WI DNR 151 FOR REDEVELOPMENT WILL BE MET BY THE USE OF THE EXISTING UNDERGROUND DETENTION FACILITY DESIGNED, APPROVED AND IMPLEMENTED FROM THE PLAN & REPORT FURNISHED BY PINNACLE ENGINEERING GROUP DATED 07/10/2020.
- DEVELOPMENT FALLS UNDER THE A4 SUBCATCHMENT LIMITS AS DELINEATED BY THE PROPOSED HYDROLOGY EXHIBIT BY PINNACLE ENGINEERING GROUP DATED 03/04/2020. SUBCATCHMENT A4 SPECIFIES THAT THE SITE ON VALUE SHALL MEET THE 92 VALUE REQUIREMENT AND PROVIDE 25% GREEN SPACE. THIS PLAN AND SITE AREA ANALYSIS SHOWS THAT THIS DEVELOPMENT MEETS AND EXCEED THESE REQUIREMENTS.
4. PARKING LOT PAINT STRIPING SHALL BE A MINIMUM OF 3" AND IN A WHITE COLOR.
5. TAX KEY NO. 2961001000
6. ZONING: PUD WITH MULTIFAMILY USE



LIGHTING SCHEDULE

Schedule						
Symbol	Label	QTY	Manufacturer	Catalog	Description	LLF Input Power
	A1	2	COOPER LIGHTING SOLUTIONS - LUMARK (FORMERLY EATON)	PRV-P-PA1A-740-U-T2R	PREVAIL AREA LUMINAIRE (1) 70 CRI, 4000K, 375ma LIGHT ENGINE WITH 24 LEDS AND TYPE II ROADWAY OPTICS	1 30.7
	A2	2	COOPER LIGHTING SOLUTIONS - LUMARK (FORMERLY EATON)	PRV-P-PA1B-740-U-T4W	PREVAIL AREA LUMINAIRE (1) 70 CRI, 4000K, 670ma LIGHT ENGINE WITH 24 LEDS AND TYPE IV WIDE OPTICS	1 52.8
	B	8	COOPER LIGHTING SOLUTIONS - LUMARK (FORMERLY EATON)	PRV-P-PA1A-740-U-T2R	PREVAIL AREA LUMINAIRE (1) 70 CRI, 4000K, 375ma LIGHT ENGINE WITH 24 LEDS AND TYPE II ROADWAY OPTICS	1 30.7
	C	0	COOPER LIGHTING SOLUTIONS - LUMARK (FORMERLY EATON)	PRV-P-PA1B-740-U-T3	PREVAIL AREA LUMINAIRE (1) 70 CRI, 4000K, 670ma LIGHT ENGINE WITH 24 LEDS AND TYPE III OPTICS	1 52.8
	D	1	COOPER LIGHTING SOLUTIONS - LUMARK (FORMERLY EATON)	PRV-P-PA1C-740-U-T2U	PREVAIL AREA LUMINAIRE (1) 70 CRI, 4000K, 930ma LIGHT ENGINE WITH 24 LEDS AND TYPE II U OPTICS	1 72.1
	E	4	COOPER LIGHTING SOLUTIONS - LUMARK (FORMERLY EATON)	PRV-P-PA1D-740-U-T4W	PREVAIL AREA LUMINAIRE (1) 70 CRI, 4000K, 1200ma LIGHT ENGINE WITH 24 LEDS AND TYPE IV WIDE OPTICS	1 93.4
	F	3	COOPER LIGHTING SOLUTIONS - LUMARK (FORMERLY EATON)	PRV-P-PA1D-740-U-SWQ	PREVAIL AREA LUMINAIRE (1) 70 CRI, 4000K, 1200ma LIGHT ENGINE WITH 24 LEDS AND TYPE V WIDE OPTICS	1 93.4
	G	3	COOPER LIGHTING SOLUTIONS - LUMARK (FORMERLY EATON)	PRV-P-PA1B-740-U-T4W	PREVAIL WALL LUMINAIRE (1) 70 CRI, 4000K, 670ma LIGHT ENGINE WITH 24 LEDS AND TYPE IV WIDE OPTICS	1 52.8

SITE INFORMATION

PARCEL NO.	2961001000
ANALYZED AREA	99,076 S.F. (2.274 ACRES)
NUMBER OF PARKING STALLS	
SURFACE	
STANDARD	64
ACCESSIBLE	3
TOTAL SURFACE	67
NUMBER OF BICYCLE STALLS:	13
SITE COVERAGE ANALYSIS	
EXISTING IMPERVIOUS SURFACE AREA	49,731 SF (1.142 ACRES)
EXISTING PERVIOUS SURFACE AREA	49,346 SF (1.133 ACRES)
PROPOSED PAVED AREA	40,716 SF (0.935 ACRES)
PROPOSED BUILDING FOOTPRINT	30,824 SF (0.708 ACRES)
PROPOSED IMPERVIOUS SURFACE AREA	71,540 SF (1.642 ACRES)
PROPOSED IMPERVIOUS SITE PERCENTAGE	72%
PROPOSED PERVIOUS SURFACE AREA	27,536 SF (0.632 ACRES)
PROPOSED PERVIOUS SITE PERCENTAGE	28%
PROPOSED CN VALUE	91
ALLOWABLE CN VALUE	92
DISTURBED AREA	99,076 SF (2.274 ACRES)

DIMENSION **Madison Design Group**
architecture · interior design · planning

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Madison, Wisconsin 53719
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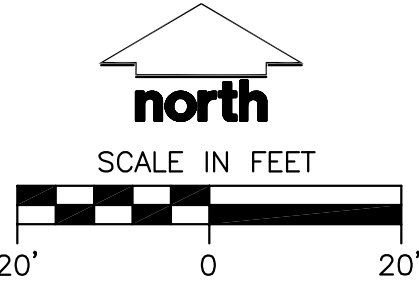
jsdinc.com

MILWAUKEE REGIONAL OFFICE
W238 N1610 BUSSE ROAD, SUITE 100
WAUKESHA, WISCONSIN 53188
P. 262.513.0666

JSD PROJECT NO: 25-15011

MSP MAYFAIR
NORTH

FOUNDRY WAY, WAUWATOSA, WI
53222



DIGGERS & HOTLINE
Toll Free (800) 242-8511

DATE OF ISSUE: 10/07/2025

REVISIONS:

PRELIMINARY
NOT FOR
CONSTRUCTION

PROJECT # 24106

SITE PLAN

C200

NOTES:

- EXISTING CONDITIONS BASED ON SURVEY BY CAPITOL SURVEY ENTERPRISE
- THE ULTIMATE DEVELOPMENT WILL RESULT IN A INCREASE IN IMPERVIOUS SURFACE AREA ON THE SITE BY 0.50 ACRES.
- STORM WATER MANAGEMENT FOR THIS SITE, MEETING THE REQUIREMENTS OF THE CITY, MMSD AND W DNR 151 FOR REDEVELOPMENT WILL BE MET BY THE USE OF THE EXISTING UNDERGROUND DETENTION FACILITY DESIGNED, APPROVED AND IMPLEMENTED FROM THE PLAN & REPORT FURNISHED BY PINNACLE ENGINEERING GROUP DATED 07/10/2020.
- DEVELOPMENT FALLS UNDER THE A4 SUBCATCHMENT LIMITS AS DELINEATED BY THE PROPOSED HYDROLOGY EXHIBIT BY PINNACLE ENGINEERING GROUP DATED 03/04/2020. SUBCATCHMENT A4 SPECIFIES THAT THE SITE ON VALUE SHALL MEET THE 92 VALUE REQUIREMENT AND PROVIDE 25% GREEN SPACE. THIS PLAN AND SITE AREA ANALYSIS SHOWS THAT THIS DEVELOPMENT MEETS AND EXCEED THESE REQUIREMENTS.
- PARKING LOT PAINT STRIPING SHALL BE A MINIMUM OF 3" AND IN A WHITE COLOR.
- TAX KEY NO. 2961001000
- ZONING: PUD WITH MULTIFAMILY USE

LIGHTING SCHEDULE

Schedule						
Symbol	Label	QTY	Manufacturer	Catalog	Description	LLF Input Power
	A1	2	COOPER LIGHTING SOLUTIONS - LUMARK (FORMERLY EATON)	PRV-P-PA1A-740-U-T2R	PREVAIL AREA LUMINAIRE (1) 70 CRI, 4000K, 375mA LIGHT ENGINE WITH 24 LEDS AND TYPE II ROADWAY OPTICS	1 30.7
	A2	2	COOPER LIGHTING SOLUTIONS - LUMARK (FORMERLY EATON)	PRV-P-PA1B-740-U-T4W	PREVAIL AREA LUMINAIRE (1) 70 CRI, 4000K, 670mA LIGHT ENGINE WITH 24 LEDS AND TYPE IV WIDE OPTICS	1 52.8
	B	8	COOPER LIGHTING SOLUTIONS - LUMARK (FORMERLY EATON)	PRV-P-PA1A-740-U-T2R	PREVAIL AREA LUMINAIRE (1) 70 CRI, 4000K, 375mA LIGHT ENGINE WITH 24 LEDS AND TYPE II ROADWAY OPTICS	1 30.7
	C	0	COOPER LIGHTING SOLUTIONS - LUMARK (FORMERLY EATON)	PRV-P-PA1B-740-U-T3	PREVAIL AREA LUMINAIRE (1) 70 CRI, 4000K, 670mA LIGHT ENGINE WITH 24 LEDS AND TYPE III OPTICS	1 52.8
	D	1	COOPER LIGHTING SOLUTIONS - LUMARK (FORMERLY EATON)	PRV-P-PA1C-740-U-T2U	PREVAIL AREA LUMINAIRE (1) 70 CRI, 4000K, 930mA LIGHT ENGINE WITH 24 LEDS AND TYPE II U OPTICS	1 72.1
	E	4	COOPER LIGHTING SOLUTIONS - LUMARK (FORMERLY EATON)	PRV-P-PA1D-740-U-T4W	PREVAIL AREA LUMINAIRE (1) 70 CRI, 4000K, 1200mA LIGHT ENGINE WITH 24 LEDS AND TYPE IV WIDE OPTICS	1 93.4
	F	3	COOPER LIGHTING SOLUTIONS - LUMARK (FORMERLY EATON)	PRV-P-PA1D-740-U-5WQ	PREVAIL AREA LUMINAIRE (1) 70 CRI, 4000K, 1200mA LIGHT ENGINE WITH 24 LEDS AND TYPE V WIDE OPTICS	1 93.4
	G	3	COOPER LIGHTING SOLUTIONS - LUMARK (FORMERLY EATON)	PRV-P-PA1B-740-U-T4W	PREVAIL WALL LUMINAIRE (1) 70 CRI, 4000K, 670mA LIGHT ENGINE WITH 24 LEDS AND TYPE IV WIDE OPTICS	1 52.8

SITE INFORMATION

PARCEL NO.	2961001000
ANALYZED AREA	99,076 S.F. (2.274 ACRES)
NUMBER OF PARKING STALLS	
SURFACE	
STANDARD	34
ACCESSIBLE	2
TOTAL PHASE 1 SURFACE	36
NUMBER OF PHASE 1 BICYCLE STALLS:	
	13
SITE COVERAGE ANALYSIS	
EXISTING IMPERVIOUS SURFACE AREA	49,731 SF (1.142 ACRES)
EXISTING PERVIOUS SURFACE AREA	49,346 SF (1.133 ACRES)
PHASE 1:	
PROPOSED PHASE 1 PAVED AREA	25,750 SF (0.591 ACRES)
PROPOSED PHASE 1 BUILDING FOOTPRINT	15,489 SF (0.356 ACRES)
PROPOSED PHASE 1 IMPERVIOUS SURFACE	41,239 SF (0.947 ACRES)
PROPOSED IMPERVIOUS SITE PERCENTAGE	42%
PROPOSED PHASE 1 PERVIOUS SURFACE	57,837 SF (1.328 ACRES)
PROPOSED PERVIOUS SITE PERCENTAGE	58%
DISTURBED AREA	
	99,076 SF (2.274 ACRES)

DIMENSION
Madison Design Group
architecture · interior design · planning

6515 Grand Teton Plaza, Suite 120
Madison, Wisconsin 53719
p608.829.4444 f608.829.4445 dimensionivmadison.com



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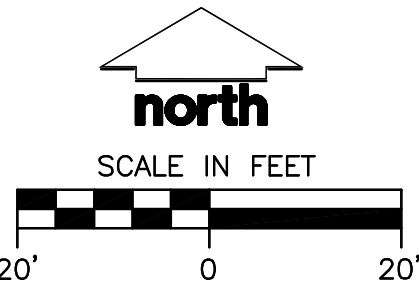
jsdinc.com

MILWAUKEE REGIONAL OFFICE
W238 N1810 BUSSE ROAD, SUITE 100
WAUKESHA, WISCONSIN 53188
P. 262.513.0666

JSD PROJECT NO: 25-15011

MSP MAYFAIR
NORTH

FOUNDRY WAY, WAUWATOSA, WI
53222



DIGGERS & HOTLINE
Toll Free (800) 242-8511

PHASE 1

DATE OF ISSUE: 10/07/2025

REVISIONS:

PRELIMINARY

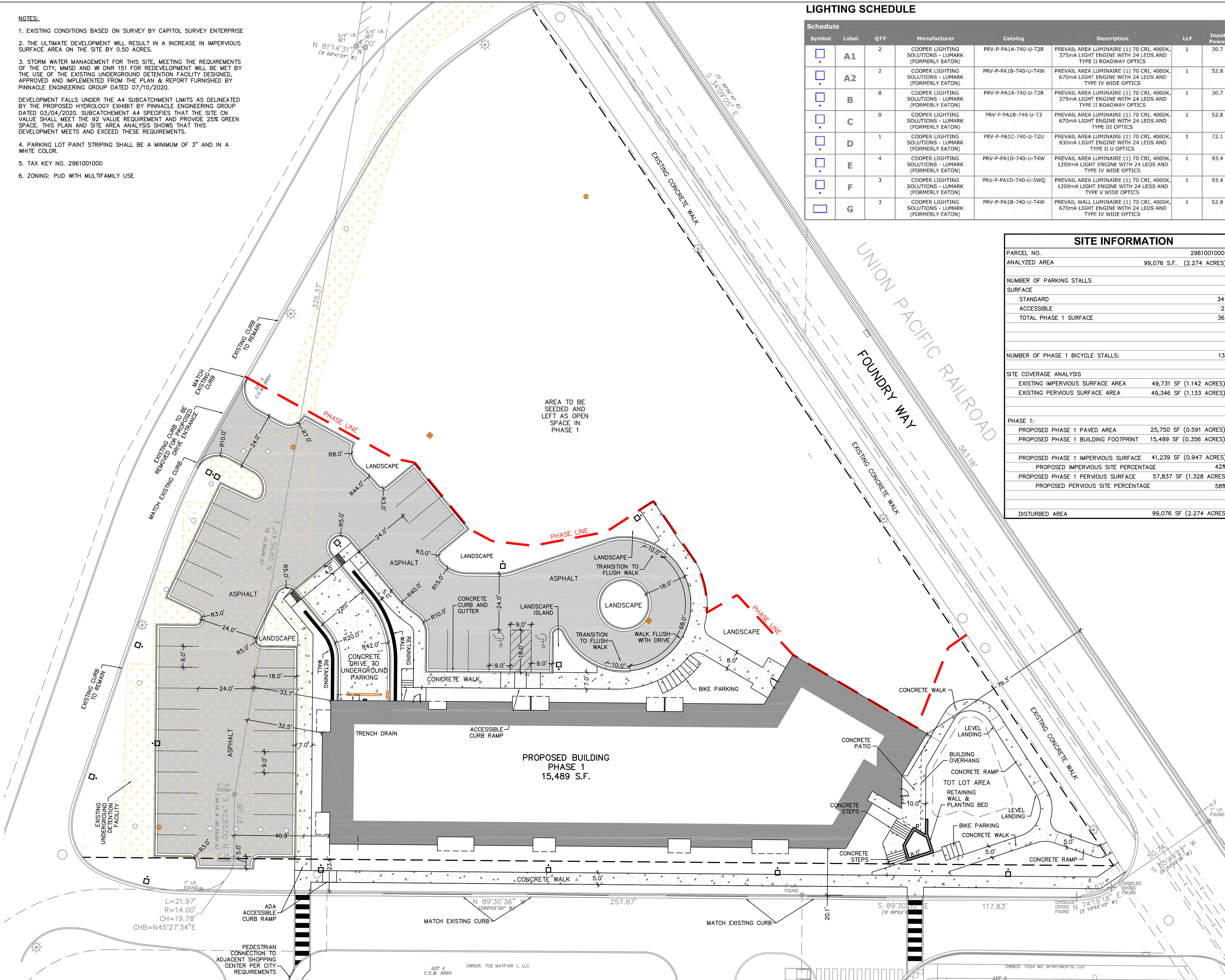
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CONSTRUCTION**

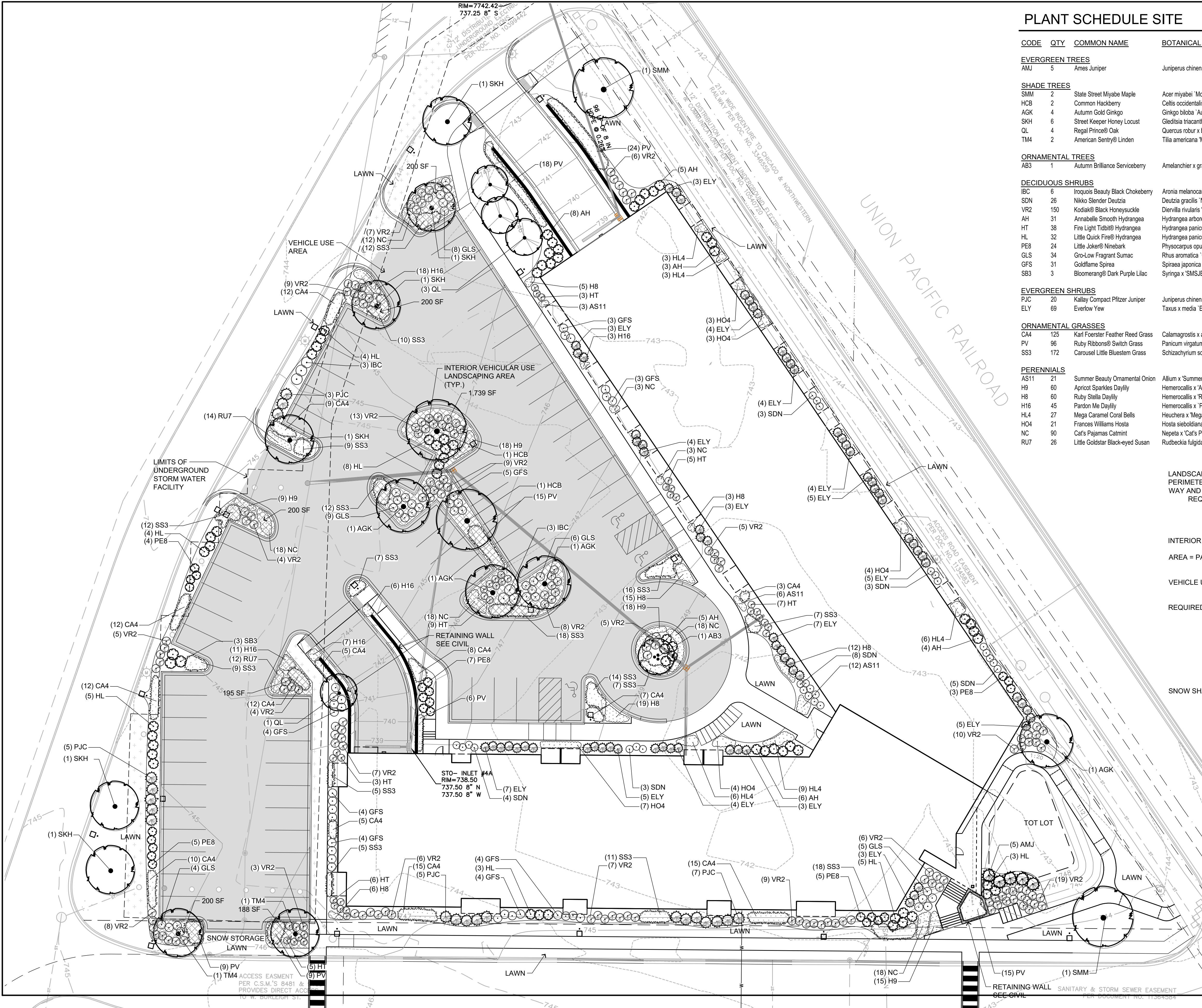
PROJECT # 24106

PHASE 1 SITE PLAN

C201

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PLANT SCHEDULE SITE

CODE	QTY	COMMON NAME	BOTANICAL NAME	INSTALLED SIZE	ROOT	SPACING	MATURE SIZE
EVERGREEN TREES							
AMJ	5	Ames Juniper	Juniperus chinensis 'Ames'	6' HT	B&B	Spacing as shown	8' x 6'
SHADE TREES							
SMM	2	State Street Miyabe Maple	Acer miyabei 'Morton' State Stree	2 1/2" CAL	B&B	Spacing as shown	35' x 35'
HCB	2	Common Hackberry	Celtis occidentalis	2 1/2" CAL	B&B	Spacing as shown	50' x 50'
AGK	4	Autumn Gold Ginkgo	Ginkgo biloba 'Autumn Gold' TM	2 1/2" CAL	B&B	Spacing as shown	45' x 30'
SKH	6	Street Keeper Honey Locust	Gleditsia triacanthos 'Draves'	2 1/2" CAL	B&B	Spacing as shown	45' x 20'
QL	4	Regal Prince® Oak	Quercus robur x bicolor 'Long'	2" CAL	CONT	Spacing as shown	45' x 18'
TM4	2	American Sentry® Linden	Tilia americana 'McKsentry'	2 1/2" CAL	B&B	Spacing as shown	55' x 25'
ORNAMENTAL TREES							
AB3	1	Autumn Brilliance Serviceberry	Amelanchier x grandiflora 'Autumn Brilliance'	7-8' CL	B&B	Spacing as shown	20' x 20'
DECIDUOUS SHRUBS							
IBC	6	Iroquois Beauty Black Chokeberry	Aronia melanocarpa 'Morton'	18" HT	CONT	Spacing as shown	2.5' x 4.5'
SDN	26	Nikko Slender Deutzia	Deutzia gracilis 'Nikko'	15" HT	CONT	Spacing as shown	2' x 4'
VR2	150	Kodiak® Black Honeysuckle	Diervilla rivularis 'SMNDRSP'	15" HT	CONT	Spacing as shown	3' x 4'
AH	31	Annabelle Smooth Hydrangea	Hydrangea arborescens 'Annabelle'	18" HT	CONT	Spacing as shown	4' x 4'
HT	38	Fire Light Tidbit® Hydrangea	Hydrangea paniculata 'SMNHPK'	15" HT	CONT	Spacing as shown	2.5' x 3'
HL	32	Little Quick Fire® Hydrangea	Hydrangea paniculata 'SMHPLQF'	18" HT	CONT	Spacing as shown	4' x 4'
PE8	24	Little Joker® Ninebark	Physocarpus opulifolius 'Hoogi021'	18" HT	CONT	Spacing as shown	3.5' x 3.5'
GLS	34	Gro-Low Fragrant Sumac	Rhus aromatica 'Gro-Low'	15" SPD	CONT	Spacing as shown	2.5' x 6'
GFS	31	Goldflame Spiraea	Spiraea japonica 'Goldflame'	15" HT	CONT	Spacing as shown	2.5' x 3.5'
SB3	3	Bloomerang® Dark Purple Lilac	Syringa x 'SMSJBFP'	18" HT	CONT	Spacing as shown	5' x 5'
EVERGREEN SHRUBS							
PJC	20	Kallay Compact Pfizer Juniper	Juniperus chinensis 'Kallays Compact'	18" SPD	CONT	Spacing as shown	2' x 5'
ELY	69	Everlow Yew	Taxus x media 'Everlow'	15" HT	B&B	Spacing as shown	1.5' x 5'
ORNAMENTAL GRASSES							
CA4	125	Karl Foerster Feather Reed Grass	Calamagrostis x acutiflora 'Karl Foerster'	1 GAL	CONT	24" Spacing	5' x 2'
PV	96	Ruby Ribbons® Switch Grass	Panicum virgatum 'RR'	1 GAL	CONT	30" Spacing	3' x 2.5'
SS3	172	Carousel Little Bluestem Grass	Schizachyrium scoparium 'Carousel'	1 GAL	CONT	24" Spacing	2.5' x 2.5'
PERENNIALS							
AS11	21	Summer Beauty Ornamental Onion	Allium x 'Summer Beauty'	1 GAL	POT	18" Spacing	1.5' x 1.5'
H9	60	Apricot Sparkles Daylily	Hemerocallis x 'Apricot Sparkles'	1 GAL	POT	18" Spacing	1.5' x 1.5'
H8	60	Ruby Stella Daylily	Hemerocallis x 'Ruby Stella'	1 GAL	POT	18" Spacing	1.5' x 1.5'
H16	45	Pardon Me Daylily	Hemerocallis x 'Pardon Me'	1 GAL	POT	18" Spacing	1.5' x 1.5'
HL4	27	Mega Caramel Coral Bells	Heuchera x 'Mega Caramel'	1 GAL	POT	24" Spacing	1.5' x 2'
HO4	21	Frances Williams Hosta	Hosta sieboldiana 'Frances Williams'	1 GAL	POT	30" Spacing	2' x 4'
NC	90	Cat's Pajamas Catmint	Nepeta x 'Cat's Pajamas'	1 GAL	POT	18" Spacing	1.25' x 1.5'
RU7	26	Little Goldstar Black-eyed Susan	Rudbeckia fulgida var. sullivantii 'Little Goldstar'	1 GAL	POT	18" Spacing	1.25' x 1.5'

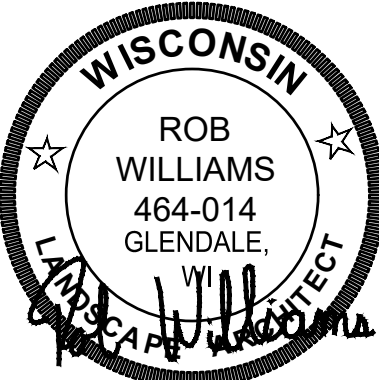
LANDSCAPE CALCULATIONS
PERIMETER VEHICULAR USE AREA - WHEN PARKING IS WITHIN 100LF OF RIGHT OF WAY AND MORE THAN 5 PARKING STALLS
REQUIRED: LANDSCAPE STRIP MIN OF 7' DEPTH MUST BE PROVIDED BETWEEN VEHICLE USE AREA, AND ROW MUST INCLUDE 3 DECIDUOUS TREES AND 10 SHRUBS PER 50LF OF VEHICULAR USE FRONTAGE NA-

INTERIOR VEHICULAR USE AREA LANDSCAPE: 5 OR MORE PARKING STALLS
AREA = PARKING, DRIVE AISLES, DRIVEWAYS AND DRIVE THROUGH LANES (DOES NOT INCLUDE PARKING IN A STRUCTURE)

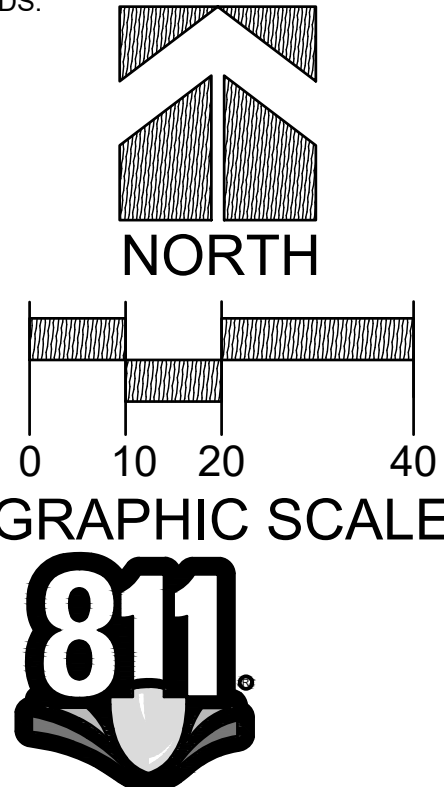
VEHICLE USE AREA = 29,198 - LANDSCAPE AREA REQUIRED = 2,920 SF
PROVIDED: 2,922 SF

REQUIRED: AT LEAST 10% OF USE AREA MUST BE LANDSCAPED
ISLANDS AND MEDIANS MUST HAVE AT LEAST 135 SF AND BE 10' WIDE AREAS OUTSIDE THE VUA DON'T COUNT TOWARD INTERIOR.
CORNERS MAX 200 SF, IF AT LEAST 1 SHADE TREE IS INCLUDED
1 SHADE TREE PER 180 SF OF INTERIOR LANDSCAPE AREA
2,920 / 180 = 17 TREES REQUIRED
PROVIDED: 9 TREES, ADDITIONAL TREES LOCATED AROUND PERIMETER, UNDER GROUND STORMWATER FACILITY LIMITS PLACEMENT WITHIN ISLANDS.

SNOW SHALL NOT BE PUSHED ONTO LANDSCAPE ISLANDS.



DATE: 10-07-2025



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DESCRIPTION

DATE

16745 W. Bluemound Road
Brookfield, WI 53005-5938
(262) 781-1000
rasmith.com

MSP - MAYFAIR NORTH
CITY OF WAUWATOSA

SITE LANDSCAPE PLAN

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R.A. Smith, Inc.

DATE: 10/07/25

SCALE: 1" = 20'

JOB NO. 3250016

PROJECT MANAGER:
ROB WILLIAMS, PLA

DESIGNED BY: REW

CHECKED BY: REW

SHEET NUMBER
L100

Prune only broken branches after installation, never trim leader

Plant root flare 1" to 3" above finish grade

Cut / completely remove burlap and twine from sides of root ball. Completely remove wire cage.

3" deep, 4' dia. shredded hardwood mulch in lawn areas, reduced to 1" of mulch on top of root ball. Keep mulch 3-5" away from trunk of tree.

Use shovel to roughen up sides of hole. Do not use auger to dig hole.

Plant bed or lawn

Finish grade

Backfill with blended 75% clean, native soil and 25% compost. Backfill in lifts, water in well and tamp lightly by hand to eliminate air pockets.

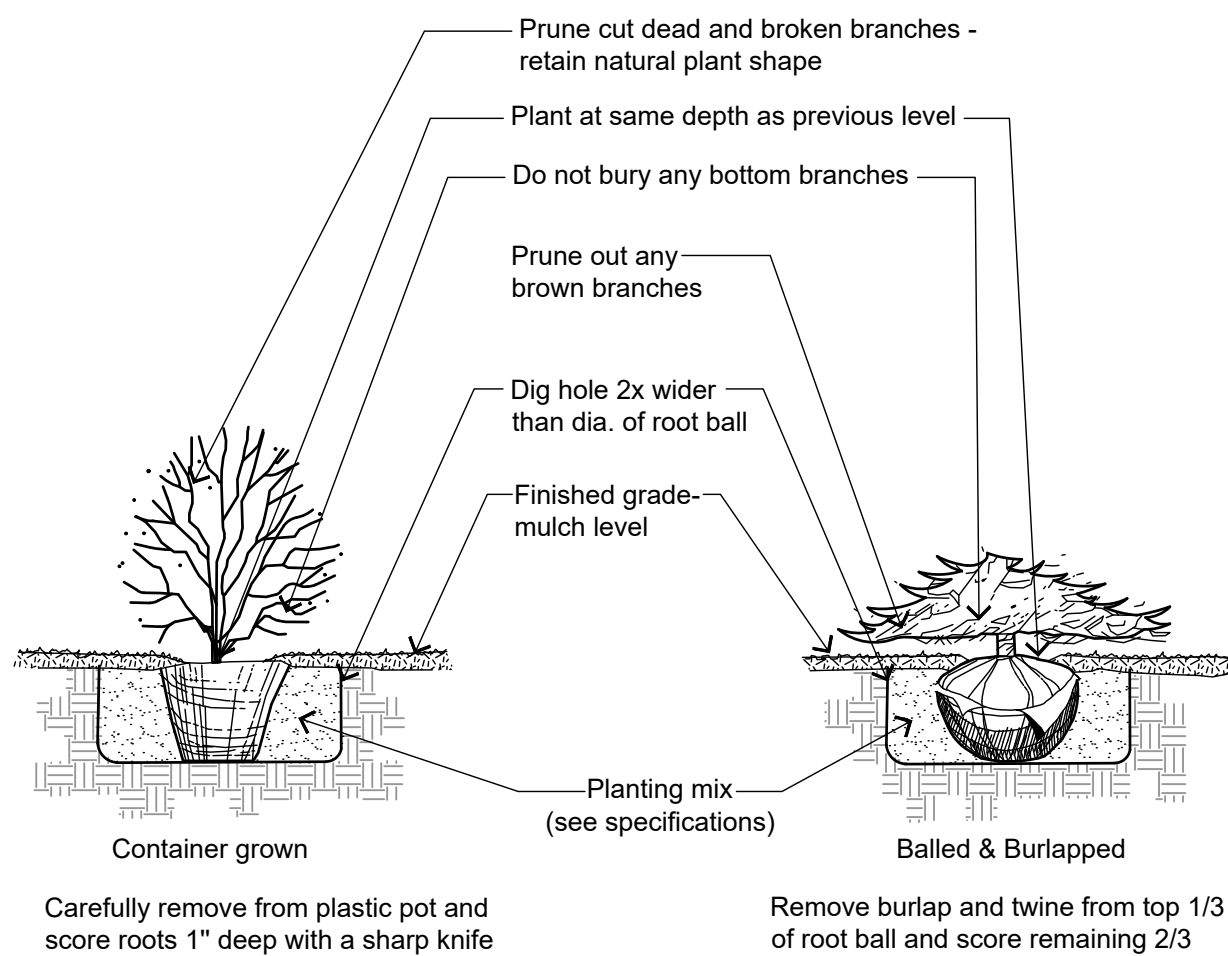
Existing, undisturbed subgrade

Dig hole 2 - 3x dia. of root ball

Dig hole 2 - 3x dia. of root ball

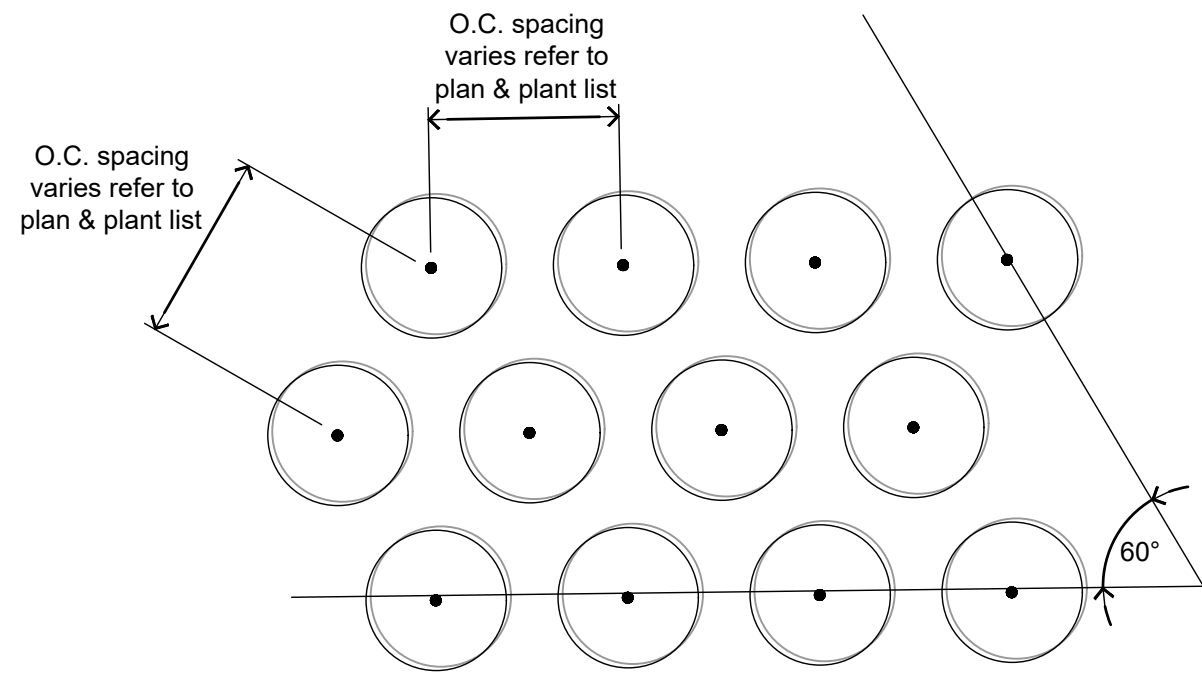
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P-PL-TREE-07



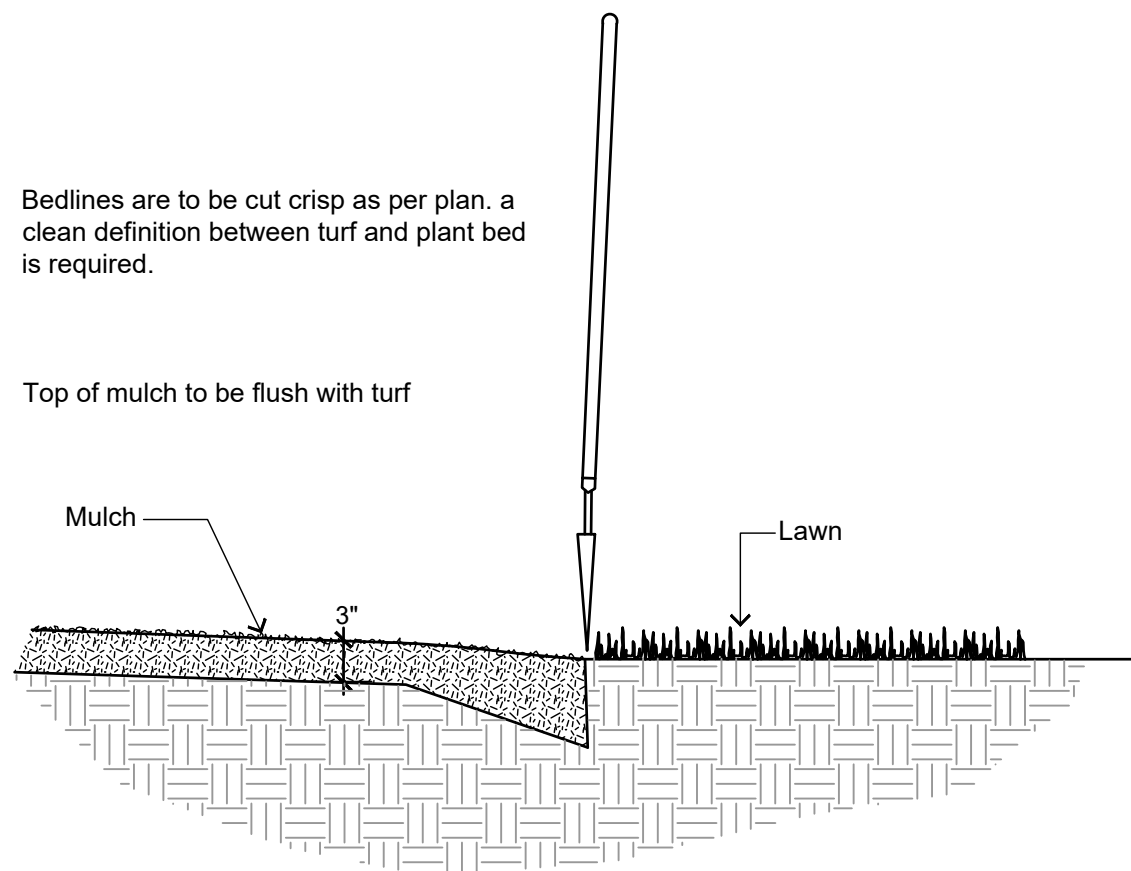
2 NOT TO SCALE

NOT TO SCALE



3 NOT TO SCALE

P-PL-PLO-01



4 NOT TO SCALE

P-PL-BDEG-01

1. Contractor responsible for contacting plan and private underground utility locating service to have site marked prior to any digging or earthwork.
2. Contractor to verify all plant quantities shown on plan list and verify with plan. Report any discrepancies immediately to general contractor.
3. All plantings shall comply with standards as described in American Standard of Nursery Stock - ANSI Z60.1 (latest version). General contractor or owner's representative reserves the right to inspect and potential reject any plants that are inferior, compromised, undersized, diseased, improperly transported, installed incorrectly or damaged.
4. Any potential plant substitutions must be submitted in writing to the general contractor and approved by the owner's representative or landscape architect prior to installation. All plants must be installed as per sizes and quantities shown on plant material schedule, unless approved by the owner's representative or landscape architect. Any potential changes to sizes shown on plan and appropriate cost credits / adjustments must be submitted in writing to the general contractor and approved by the owner's representative or landscape architect prior to installation.
5. The subsequent requirements regarding topology should be coordinated between the general contractor, grading contractor and landscape contractor.
6. Subgrade areas shall be graded to within 1", more or less, of proposed subgrade. Deviations shall not be consistent in one direction.
7. Topsoil shall be placed to meet proposed finished grade. Planting islands to be backfilled with clean topsoil free of debris (per note below) to a minimum depth of 18" by general / grading contractor to insure long term plant health. All other landscaped areas to receive a minimum depth of 6" of clean topsoil (per note below).
8. Topsoil shall be: screened existing stockpiled topsoil, existing in-place soil, or screened soil from an off-site source that will support plant growth, and meets the following requirements. Clean topsoil shall be free of rocks, coarse fragments, gravel, sticks, trash, roots, debris over 3/4" and any substances harmful to plant growth. It also must be free of plants or plant parts of any noxious weeds. Topsoil shall contain 3 to 5 percent decomposed organic matter and a pH between 5.5 and 7.0.
9. Planting beds and parking lot islands: Landscape contractor is responsible for ensuring that unwanted material (gravel, debris, roots and other extraneous material harmful to plant growth) has been removed from the topsoil and for the fine grading of all landscaped areas. The fine grading of planting beds and parking lot islands may require additional topsoil to bring to finish grade, allowing for much depth. Crown all planting islands and planting beds not adjacent to buildings, a minimum of 9" to provide proper drainage, unless otherwise specified. All other finished landscaped areas to be smooth, uniform and provide positive drainage away from structures and pavement.
10. Seeded areas: to receive a settled minimum depth of 6" of blended, prepared and non-compacted topsoil. Landscape contractor is responsible for excavation and removal of unwanted material (gravel, debris, roots and other extraneous material harmful to plant growth) to the specified depth, supplementing with additional topsoil (if necessary) and the fine grading of all seeded areas.
11. Tree planting (see planting detail): plant all trees slightly higher than finished grade at root flare. Remove excess soil from top of root ball, if needed. An auger is not an acceptable method of digging tree planting holes. Scarify side soils to top prior to installation. Once tree has been placed into hole, fill in at the correct depth and ensure alignment and will be held in place by mesh, brack root wire by tamping soil around the lower portion of the root ball. Remove and discard twine / rope, burlap and support wire fire from the sides of root ball. Backfill pit with 75% existing soil removed from excavation and 25% compost blended prior to backfilling, in six-inch lifts. Lightly tamp each lift using foot pressure or hand tools to settle backfill, support the tree and eliminate voids. Do not over compact or use mechanical or pneumatic tamping equipment. Discard any gravel, heavy clay or stones. When hole has been backfilled to three-quarters of its depth, pour water around the root ball and allow to soak into soil to settle the soil. Continue backfilling until soil is brought to grade level.
- Provide a 3" deep, 4" dia. diameter shredded hardwood bark mulch ring around all trees in lawn areas, reduced to 1" deep on top of root ball. Keep mulch 3"-5" away from trunk of tree. Trees that are installed incorrectly will be replaced at the time and expense of the landscape contractor. Trees too large for two people to lift in and out of holes, shall be placed with sling. Do not rock the trees in holes to raise them.
12. Shrub planting (see planting detail): all shrubs to be pocket planted with a mix of 75% existing soil removed from excavation and 25% compost, blended prior to backfilling holes. When hole is two-thirds full, shrubs shall be watered thoroughly and water left to soak in before proceeding.
13. Mulching: all tree and shrub planting beds to receive a 3" deep layer of high-quality shredded hardwood bark mulch (not enviro-mulch or wood chips). Mulch shall be uniform in size, color, quality and overall appearance. Mulch shall be free of debris, large wood chunks, soil, rocks, weeds, invasive plant parts or seeds and any other material injurious to plant growth and establish a firm. Promote and fertilize mix information to general contractor prior to installation. Erosion control measures are to be used in swales and on steep grades, where applicable. Methods of installation may vary at the discretion of the landscape contractor on his/her responsibility to establish and guarantee a smooth, uniform, quality turf. If straw mulch is used as a mulch covering, a tackifier may be necessary to avoid wind damage. Marsh hay containing reed canary grass is not acceptable as a mulch covering.
14. Edging: edge all planting beds with a 4" deep spaced edge (shovel cut or mechanical). Bedlines are to be cut crisp, as per plan. A clean definition between lawn area and plant bed is required.
15. Plant bed preparation: the soil in all perennial, ornamental grass, annual and groundcover areas shall be amended with compost prior to plant installation. Spread a 2" layer of compost (per note below) on top of clean topsoil and rototill to a depth of approximately 8".
16. Compost shall be stable, and weed-free organic matter. It shall be resistant to further decomposition and free of compounds, such as ammonia and organic acids, in concentrations toxic to plant growth. The compost shall contain no pathogens or other chemical contaminants and meet the requirements of WSDNR S100 Compost Specification.
17. Lawn installation for all seeded turfing areas: remove / kill off any existing unwanted vegetation prior to seeding. Prepare the topsoil and seed bed by removing all surface stones 1" or larger and grading lawn areas to finish grade. Apply a starter fertilizer and specified seed, ensure good seed to soil contact, and provide much water. Seedlings shall be watered daily for the first 14 days after installation. Watering shall be continued until seedlings are well established and ready to be used in swales and on steep grades, where applicable. Methods of installation may vary at the discretion of the landscape contractor on his/her responsibility to establish and guarantee a smooth, uniform, quality turf. If straw mulch is used as a mulch covering, a tackifier may be necessary to avoid wind damage. Marsh hay containing reed canary grass is not acceptable as a mulch covering.
18. An acceptable quality turf is defined as having no more than 5% of the total area with bare spots larger than 1/2 square foot and uniform coverage throughout all turf areas.
19. Seed mix for lawn areas: use only a premium quality seed mix. Premium blend seed mix (or equivalent): 50% blended bluegrass. 25% creeping red fescue. 25% perennial ryegrass applied at 5 lbs per 1,000 SF or at recommended rates from supplier. Provide seed specifications to general contractor prior to installation.
20. Lawn installation for all sodded turfing areas (optional): remove / kill off any existing unwanted vegetation prior to sodding. Prepare the topsoil and sod bed by removing all surface stones 1" or larger and grading lawn areas to finish grade, allowing for thickness of sod. Use only premium sod blend according to TP1 (revised 1995) and ASPA standards. Install sod uniformly with staggered joints, laid tightly end to end and side to side. Roll sod with a walk behind roller and water immediately upon installation to a 3" depth. Stake any sod installed on steep slopes or in swales, etc. Landscape contractor is responsible to provide a smooth, uniform, healthy turf. Landscape contractor shall repair and re-sod any eroded, sunken or bare spots (larger than 1/2 square foot) until acceptance by owner.
21. The landscape contractor is responsible for the watering and maintenance of all landscape areas at time of planting and throughout construction until the substantial completion of the installation and acceptance by the owner. This includes all trees, shrubs, evergreens, perennials, ornamental grasses, and seeded slopes and turf grass areas. Maintenance includes mowing, weeding, watering, mulching, edging, pruning, deadheading, raking leaves / debris, sweeping up grass clippings, fertilizing and maintaining turf areas (including applying pre and post emergent herbicides), and any other needs that are required to keep the landscape healthy and well maintained.
22. Substantial Completion of Landscape: after the landscape has been installed, the landscape contractor is responsible to conduct a final review with the owner's representative and the general contractor to ensure that all plans and specifications have been met. After this review, the landscape will be considered to be installed in substantial completion unless otherwise noted by the owner's representative and/or general contractor. Any items missing or incomplete, shall be corrected within 30 days. The landscape contractor shall provide written watering and maintenance instructions for the new plantings and lawn to the owner.
23. Warranty and Replacements: All plants (trees, evergreens, shrubs, perennials, ornamental grasses and groundcovers) shall be warranted by the landscape contractor to be in healthy and flourishing condition for a period of one year from the date of substantial completion. This assumes the owner performs required maintenance (i.e. regular watering) after substantial completion of the landscape. Only one replacement per plant will be required during the warranty period, except for losses or replacements due to failure to comply with specified requirements. Replacements shall be plants of the same variety specified on the plan and closely match adjacent specimens in size. The landscape contractor is responsible for keeping a documented record of which plants have been replaced during the warranty period.



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<div><div>MSP - MAYFAIR NORTH CITY OF WAUWATOSA</div><div>LANDSCAPE NOTES AND DETAILS</div></div>		<div><div><div>raSmith</div><div>CREATIVITY BEYOND ENGINEERING</div></div><div>16745 W. Bluemound Road Brookfield, WI 53005-5938 (262) 781-1000 rasmith.com</div><div>Brookfield, WI Appleton, WI Madison, WI Cedarburg, WI Naperville, IL Irvine, CA</div></div>		DATE	DESCRIPTION
© COPYRIGHT 2025 R.A. Smith, Inc.					
DATE: 10/07/25					
SCALE: --					
JOB NO. 3250016					
PROJECT MANAGER: ROB WILLIAMS, PLA					
DESIGNED BY: REW					
CHECKED BY: REW					
SHEET NUMBER					
L200					



All County
Electric Supply

Mayfair Collection - North

WAUWATOSA, WI

SITE LIGHTING CALCULATIONS

project info

scale

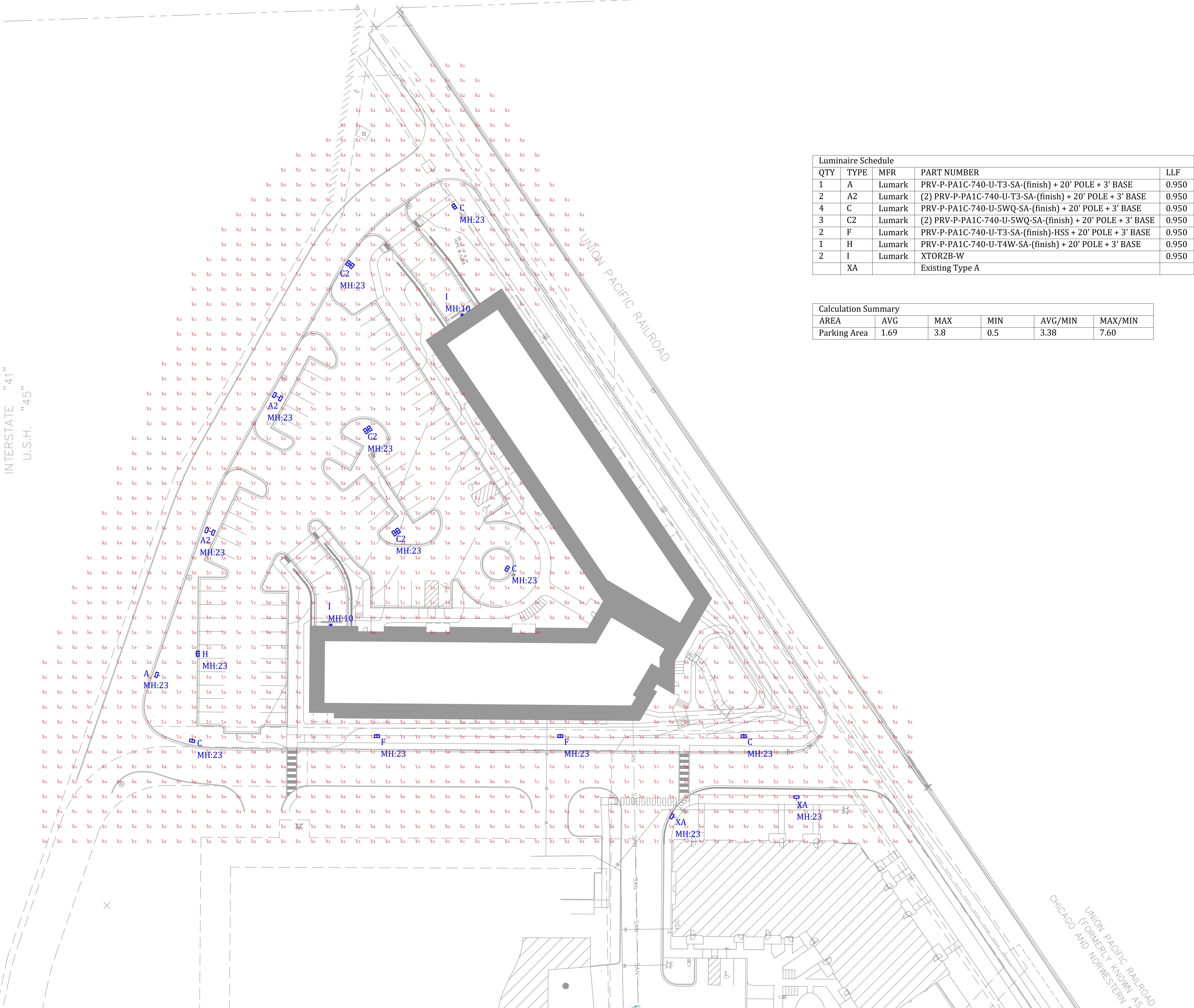
1" = 30'-0"

date

9/9/2025

designer

JS



Luminaire Schedule				
QTY	TYPE	MFR	PART NUMBER	LLF
1	A	Lumark	PRV-P-PA1C-740-U-T3-SA-(finish) + 20' POLE + 3' BASE	0.950
2	A2	Lumark	(2) PRV-P-PA1C-740-U-T3-SA-(finish) + 20' POLE + 3' BASE	0.950
4	C	Lumark	PRV-P-PA1C-740-U-5WQ-SA-(finish) + 20' POLE + 3' BASE	0.950
3	C2	Lumark	(2) PRV-P-PA1C-740-U-5WQ-SA-(finish) + 20' POLE + 3' BASE	0.950
2	F	Lumark	PRV-P-PA1C-740-U-T3-SA-(finish)-HSS + 20' POLE + 3' BASE	0.950
1	H	Lumark	PRV-P-PA1C-740-U-T4W-SA-(finish) + 20' POLE + 3' BASE	0.950
2	I	Lumark	XTOR2B-W	0.950
	XA		Existing Type A	

Calculation Summary					
AREA	AVG	MAX	MIN	AVG/MIN	MAX/MIN
Parking Area	1.69	3.8	0.5	3.38	7.60

FOUNDRY WAY, WAUWATOSA, WI

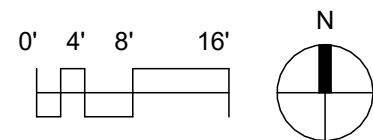
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PROJECT #	24106
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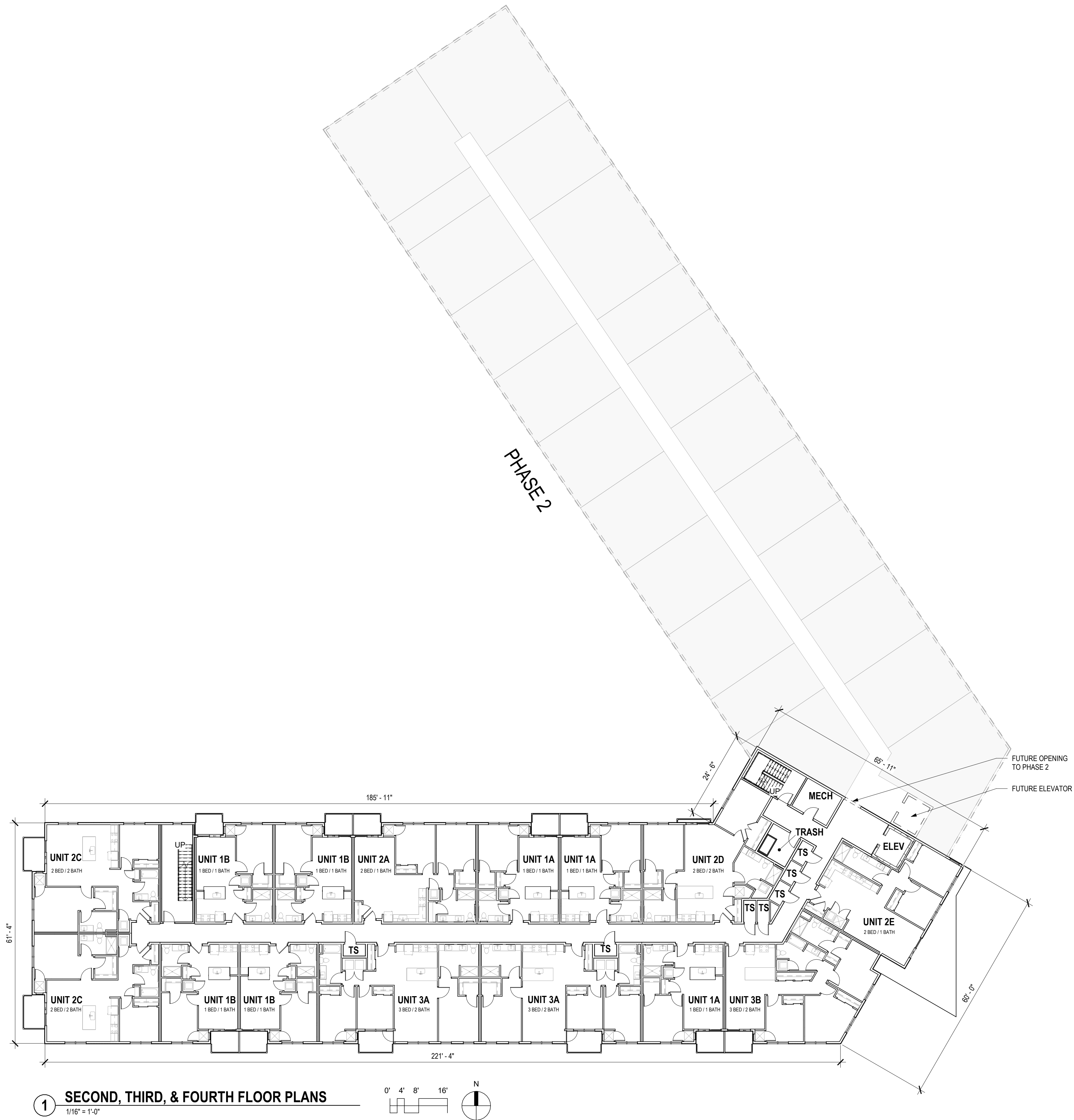
BASEMENT FLOOR PLAN

A1-0

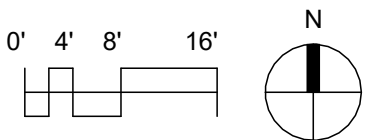
FOUNDRY WAY, WAUWATOSA, WI



13/7/2025 11:08:10 AM Autodesk Docs:724106 - MSP Wauwatosa North.dwg 13/7/2025 11:08:10 AM - MSP Wauwatosa North.dwg



1 SECOND, THIRD, & FOURTH FLOOR PLANS
1/16" = 1'-0"



**MSP - WAUWATOSA
NORTH**
FOUNDRY WAY, WAUWATOSA, WI

DATE OF ISSUE: 10/07/2025

REVISIONS:

PROJECT # 24106

**SECOND, THIRD, &
FOURTH FLOOR
PLANS**

A1-2

10/7/2025 11:08:11 AM Autodesk Docs/24106 MSP Wauwatosa North.dwg

JAMES HARDIE - 3 COLOR LAP SIDING



PS-1

6" LAP PANEL SIDING MIX
70% LIGHT MIST
15% ARCTIC WHITE
15% COBBLE STONE

COLOR 1
LIGHT MIST

COLOR 2
ARCTIC WHITE

COLOR 3
COBBLE STONE

JAMES HARDIE - LAP SIDING



LS-1

HARDIE LAP SIDING
-LIGHT MIST, SMOOTH



LS-2

HARDIE LAP SIDING
-IRON GRAY SMOOTH

WMP-1



WOOD TONE METAL PLANK SIDING

TR-1

DOOR, WINDOW &
BALCONY TRIM
SHERWIN-WILLIAMS
IRON ORE

TR-2

DOOR AND
WINDOW TRIM
SHERWIN-WILLIAMS
EXTRA WHITE

MSP - WAUWATOSA
NORTH

FOUNDRY WAY, WAUWATOSA, WI

DATE OF ISSUE: 10/07/2025

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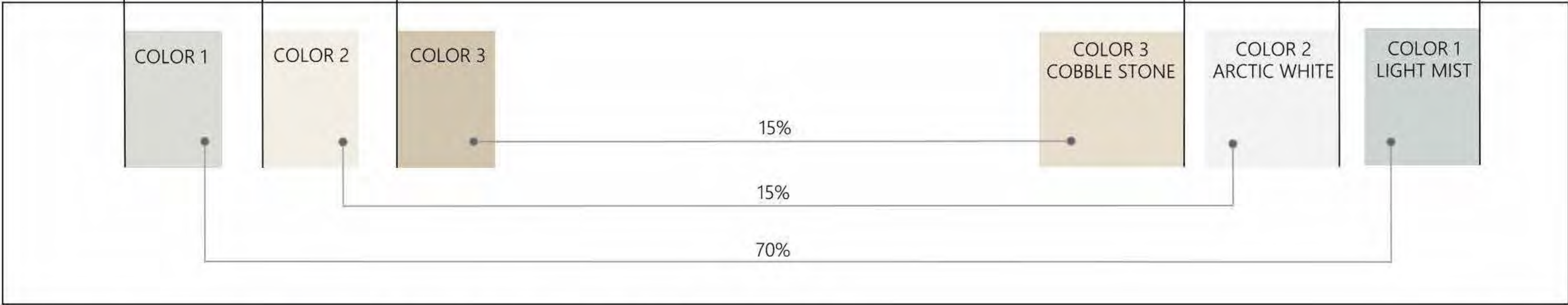
MATERIAL
SAMPLES

A2-00

3-COLOR SIDING DESIGN INSPIRATION



JAMES HARDIE - 6" LAP SIDING



1 EXTERIOR MATERIAL PALETTE Copy 1
12" = 1'-0"

MSP - WAUWATOSA
NORTH

FOUNDRY WAY, WAUWATOSA, WI

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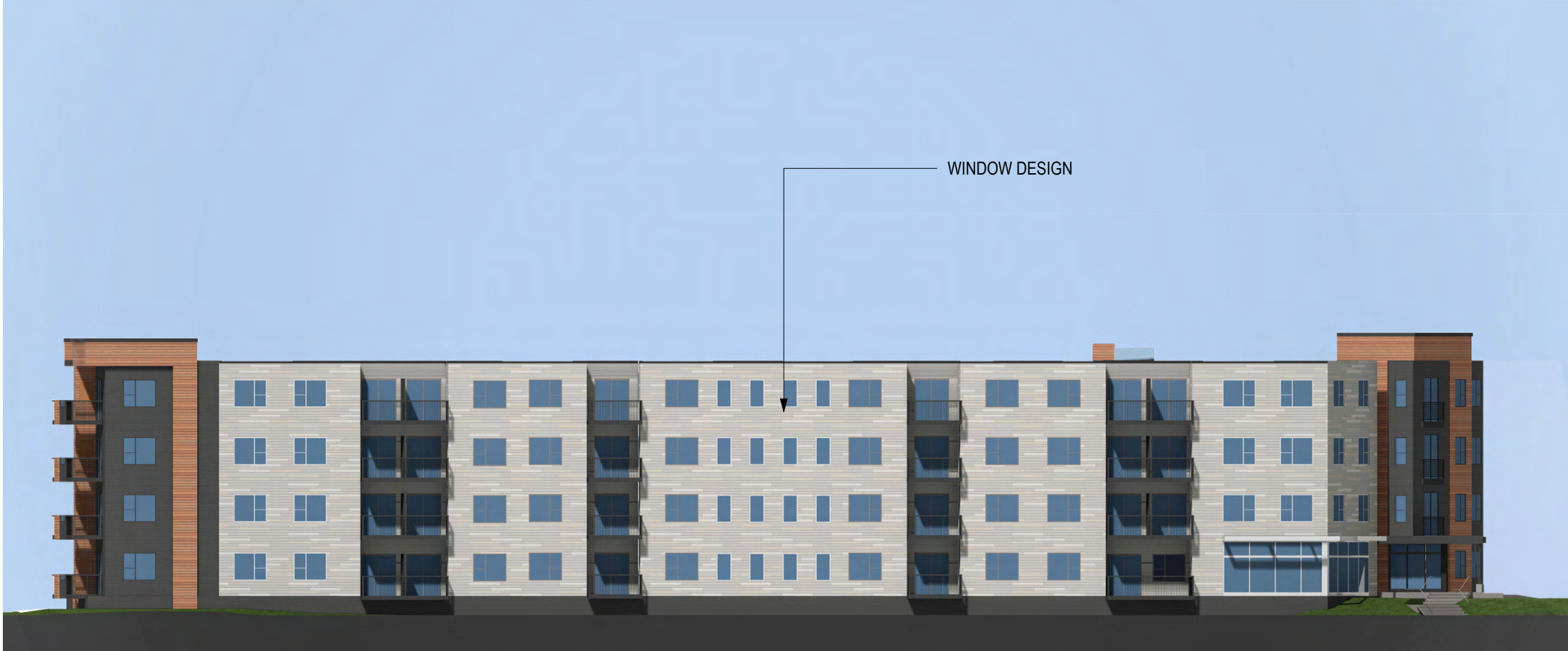
MATERIAL
SAMPLES

A2-01

1/27/2025 11:08:17 AM Autodesk Docs:024106 MSP Wauwatosa North.dwg



NEW MATERIALS



EXTERIOR ELEVATION, SOUTH
N.T.S.

3-COLOR SIDING MIX
6" LAP SIDING,
NEW COLOR MIX: 70% LIGHT MIST
15% ARCTIC WHITE
15% COBBLE STONE



OLD MATERIALS - 09/09/2025



OLD EXTERIOR ELEVATION, SOUTH - 09/09/2025
N.T.S.

3-COLOR SIDING MIX
8" PANEL SIDING,
OLD COLOR MIX: 70% ARCTIC WHITE
15% LIGHT MIST
15% COBBLE STONE

MSP - WAUWATOSA
NORTH

FOUNDRY WAY, WAUWATOSA, WI

DATE OF ISSUE: 10/07/2025

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PROJECT # 24106

MATERIAL CALLOUT
PERSPECTIVE

A2-02

10/7/2025 11:08:17 AM Autodesk Docs/24106 - MSP Wauwatosa North.dwg



VIEW FROM SOUTEAST - PHASES 1 AND 2



VIEW FROM SOUTEAST - PHASE 1 ONLY

10/7/2025 11:08:15 AM Autodesk Docs:724106 - MSP Wauwatosa North.dwg



VIEW FROM WEST - PHASES 1 AND 2



VIEW FROM WEST - PHASE 1 ONLY

MSP - WAUWATOSA
NORTH

FOUNDRY WAY, WAUWATOSA, WI

DATE OF ISSUE:		10/07/2025
REVISIONS:		
PROJECT #		24106

PERSPECTIVE
ELEVATION

A2-04

10/7/2025 11:08:15 AM Autodesk Docs:24106 MSP Wauwatosa North.dwg



VIEW FROM SOUTH - PHASES 1 AND 2



VIEW FROM SOUTH - PHASE 1 ONLY

MSP - WAUWATOSA
NORTH

FOUNDRY WAY, WAUWATOSA, WI

DATE OF ISSUE:		10/07/2025
REVISIONS:		
PROJECT #		24106

PERSPECTIVE
ELEVATION

A2-05

10/7/2025 11:08:15 AM Autodesk Docs/24106 MSP Wauwatosa North.dwg



VIEW FROM NORTHWEST - PHASES 1 AND 2



VIEW FROM NORTHWEST - PHASES 1 ONLY

MSP - WAUWATOSA
NORTH

FOUNDRY WAY, WAUWATOSA, WI

DATE OF ISSUE:		10/07/2025
REVISIONS:		
PROJECT #		24106

PERSPECTIVE
ELEVATION

A2-06

10/7/2025 11:08:19 AM Autodesk Docs:724106 MSP Wauwatosa North.dwg



VIEW FROM SOUTHWEST - PHASES 1 AND 2



VIEW FROM EAST

MSP - WAUWATOSA
NORTH

FOUNDRY WAY, WAUWATOSA, WI

DATE OF ISSUE:		10/07/2025
REVISIONS:		
PROJECT #		24106

PERSPECTIVE
ELEVATION

A2-07

10/7/2025 11:08:19 AM Autodesk Docs/24106 MSP Wauwatosa North.dwg



NW ENTRY PHASE 1 AND 2



NW ENTRY PHASE 1



12/7/2025 11:08:32 AM Autodesk Docs:024106 MSP Wauwatosa North.dwg



2 NORTH EAST ELEVATION
12" = 1'-0"



1 NORTH ELEVATION
1/16" = 1'-0"



Wauwatosa, WI

7725 W. North Avenue
Wauwatosa, WI 53213

Staff Report

File #: 25-1831

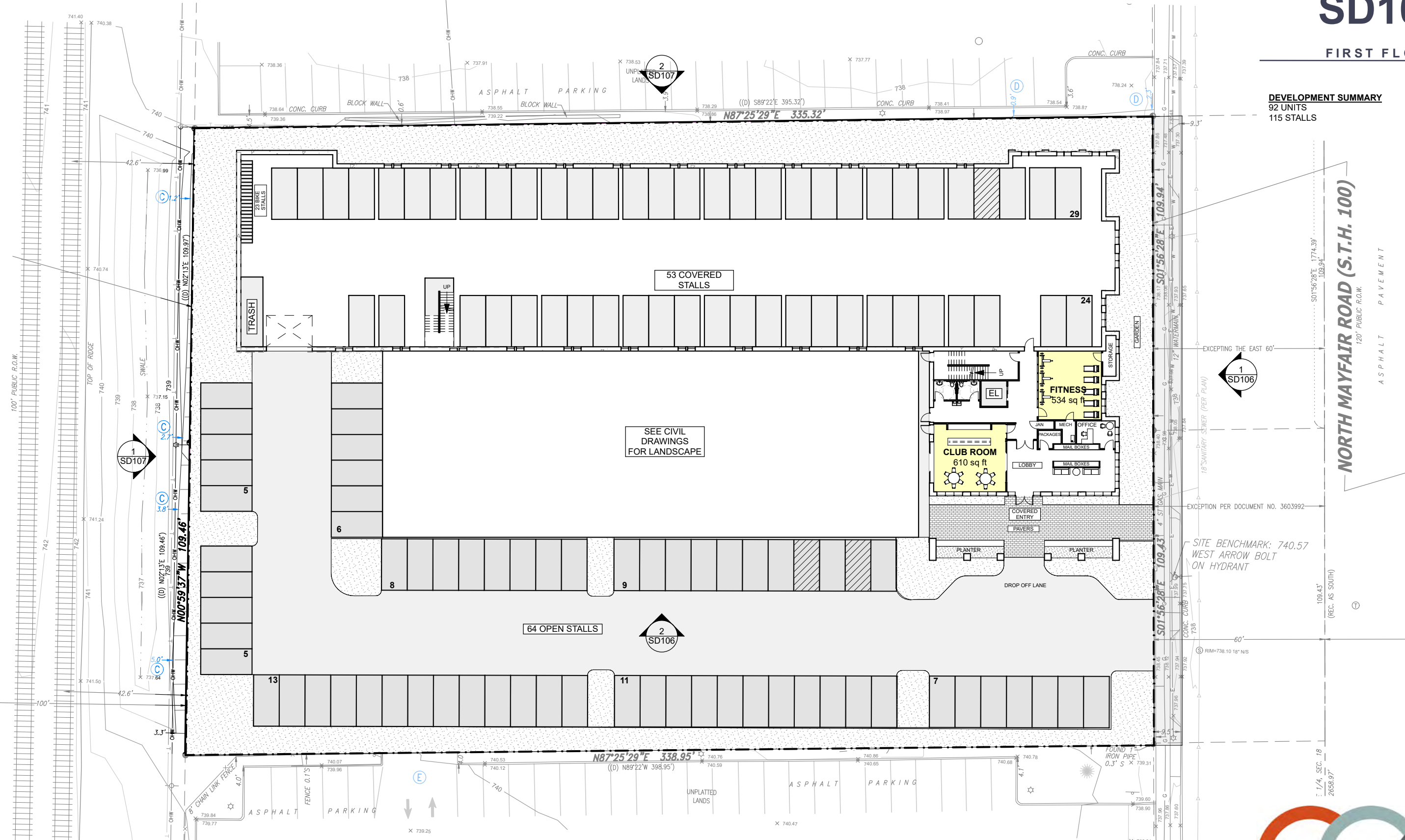
Agenda Date: 10/16/2025

Agenda #: 4.

2825 Mayfair Rd - New Multi-Family - Info Only



DEVELOPMENT SUMMARY
92 UNITS
115 STALLS



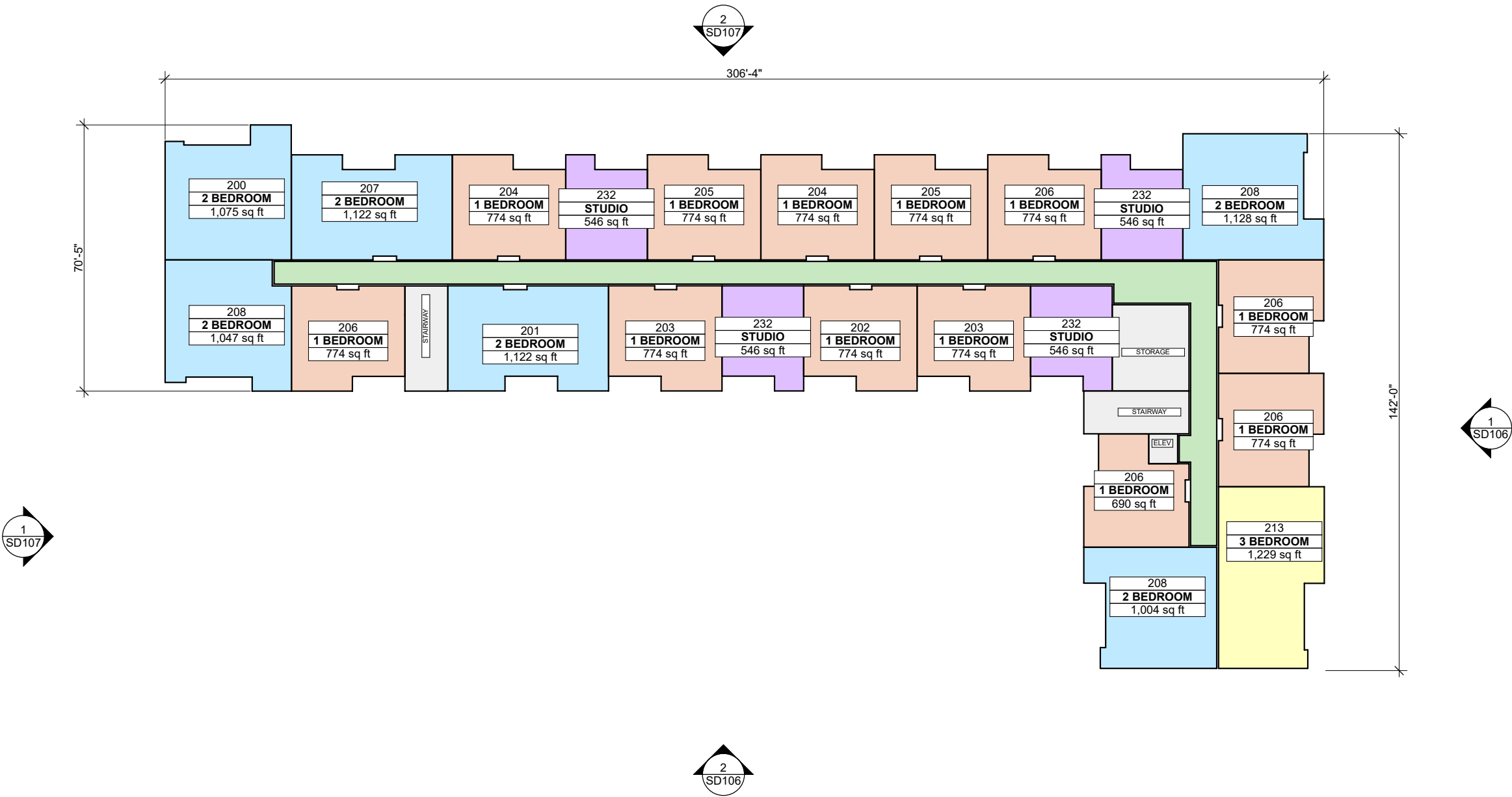
1
SD101

FIRST FLOOR

SCALE: 1/32" = 1'-0"



DEVELOPMENT SUMMARY
ONE BEDROOM : 48
TWO BEDROOM : 36
THREE BEDROOM : 4
TOTAL : 92 UNITS



1
SD102

FLOORS 2 - 5 CONCEPT PLAN
SCALE: 1/32" = 1'-0"





1
SD103

VIEW FROM MAYFAIR ROAD LOOKING NORTH



1
SD104

VIEW FROM MAYFAIR ROAD LOOKING SOUTH



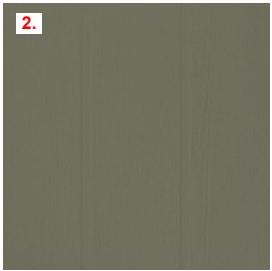
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SD105

VIEW ACROSS PARKING LOT LOOKING EAST

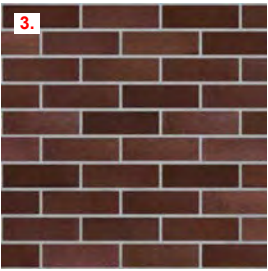




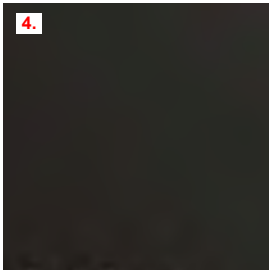
METAL PANEL SIDING
COLOR: COFFEE BROWN



FIBER CEMENT SIDING
COLOR: IRISH LOWLANDS



FIRED CLAY BRICK
COLOR: MEDIUM IRON SPOT



POLYMER WINDOWS
COLOR: DARK BRONZE



ALUMINUM BALCONY
COLOR: BLONDE OAK



BLOCK RETAINING WALL
COLOR: DUSK



ALUMINUM SOFFIT PLANKS
COLOR: BLOND OAK



1
SD106

EAST ELEVATION

SCALE: 1/32" = 1'-0"



2
SD106

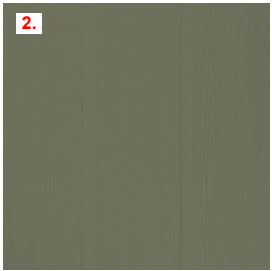
SOUTH ELEVATION

SCALE: 1/32" = 1'-0"

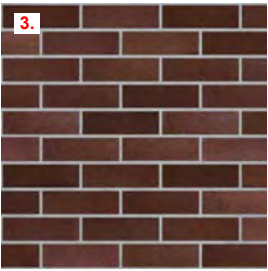




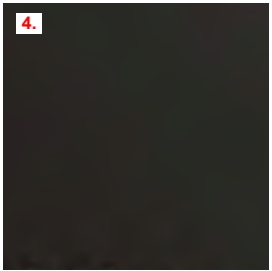
METAL PANEL SIDING
COLOR: COFFEE BROWN



FIBER CEMENT SIDING
COLOR: IRISH LOWLANDS



FIRED CLAY BRICK
COLOR: MEDIUM IRON SPOT



POLYMER WINDOWS
COLOR: DARK BRONZE



ALUMINUM BALCONY
COLOR: BLONDE OAK



BLOCK RETAINING WALL
COLOR: DUSK



ALUMINUM SOFFIT PLANKS
COLOR: BLOND OAK

+161'
TRUSS BRG.
+150'
FIFTH FLOOR
+139'
FOURTH FLOOR
+128'
THRID FLOOR
+117'
SECOND FLOOR
+100'
FIRST FLOOR



1
SD107

WEST ELEVATION
SCALE: 1/32" = 1'-0"

+161'
TRUSS BRG.
+150'
FIFTH FLOOR
+139'
FOURTH FLOOR
+128'
THRID FLOOR
+117'
SECOND FLOOR
+100'
FIRST FLOOR



2
SD107

NORTH ELEVATION
SCALE: 1/32" = 1'-0"



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DESIGNED: _____ REVIEWED: _____

DRAFTED: _____

CHICAGO & NORTHWESTERN/
UNION PACIFIC RAILROAD

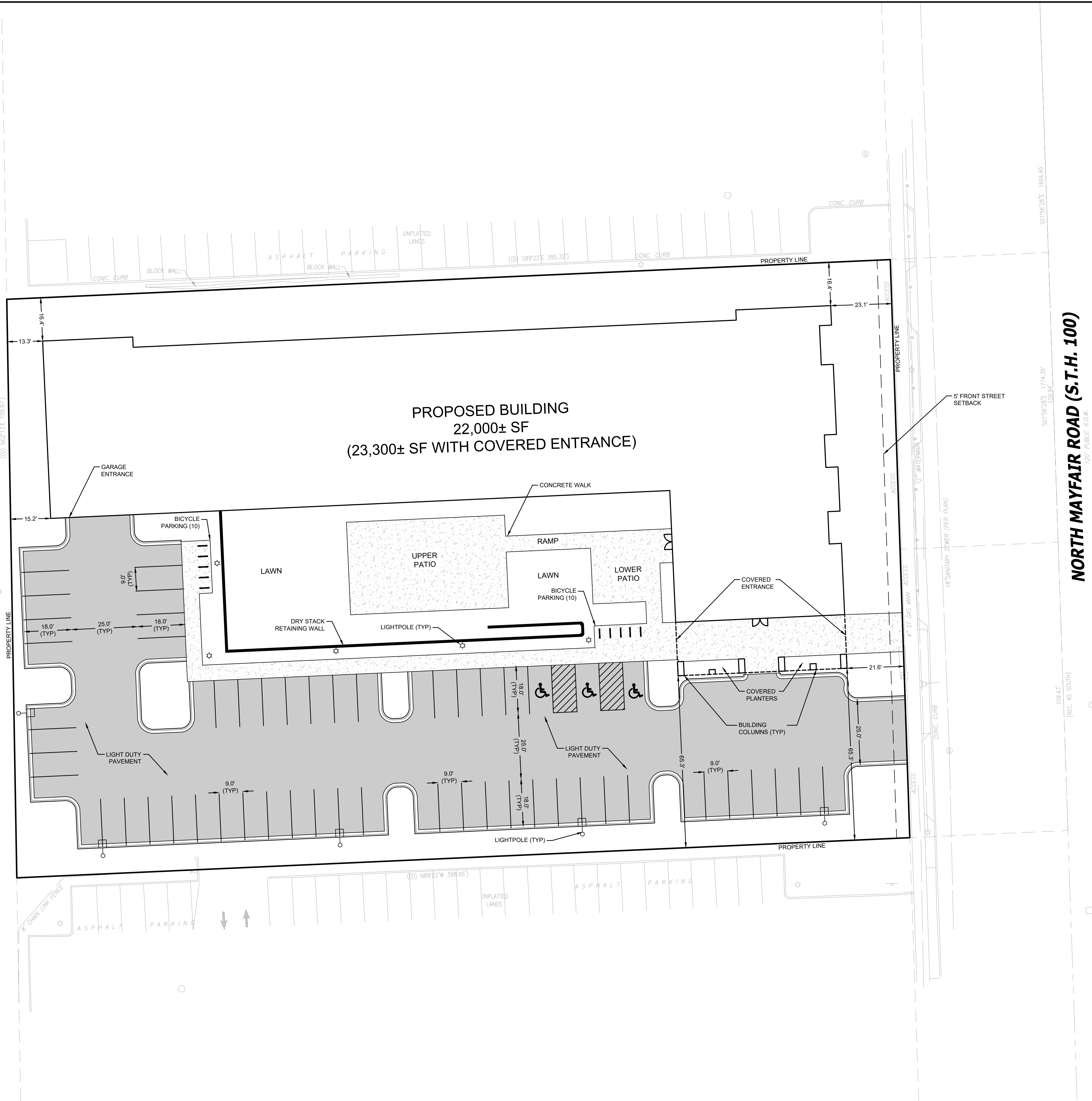
100' PUBLIC R.O.W.

TOP OF ROAD

SWALE

(10' NOTICE (10x9'7"))

(10' NOTICE (10x46'))



NORTH MAYFAIR ROAD (S.T.H. 100)

ASPHALT PAVEMENT

50°56'28"E 174.38' 103.94'

109.43' (REC. AS SOUTH)

50°56'28"E 168.45'

SITE DATA TABLE

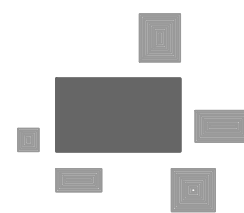
TOTAL PROPERTY AREA*:	73,951 SF (1.69 AC)
*TOTAL PROPERTY INCLUDES TAX KEYS #2999986000 & #2999987000	
EXISTING PERVIOUS AREA:	4,856 SF (0.11 AC)
EXISTING IMPERVIOUS AREA:	69,095 SF (1.58 AC)
PROPOSED PERVIOUS AREA:	23,984 SF (0.55 AC)
PROPOSED IMPERVIOUS AREA:	49,967 SF (1.14 AC)
PROPOSED PARKING STALL COUNT:	
- SURFACE PARKING:	60 STALLS
REQUIRED:	3 ADA STALLS
PROVIDED:	3 ADA STALLS (ALL VAN ACCESSIBLE)
- INTERIOR PARKING:	54 STALLS
REQUIRED:	3 ADA STALLS
PROVIDED:	4 ADA STALLS (ALL VAN ACCESSIBLE)
- TOTAL:	114 STALLS, 7 ADA
ZONING:	C2, GENERAL COMMERCIAL
MINIMUM LOT AREA:	NONE
MINIMUM LOT WIDTH:	NONE
FRONT STREET SETBACK:	5 FT
SIDE SETBACK:	NONE
REAR SETBACK:	NONE
BUILDING UNIT BREAKDOWN:	
APARTMENT:	
- STUDIO: 16 UNITS (17.4% UNIT TYPE)	
- 1 BEDROOM: 48 UNITS (52.2% UNIT TYPE)	
- 2 BEDROOM: 24 UNITS (26.1% UNIT TYPE)	
- 3 BEDROOM: 4 UNITS (4.3% UNIT TYPE)	
- TOTAL: 92 UNITS	

SIDE SETBACKS ARE NOT REQUIRED DUE TO ABUTMENTS WITH OTHER C2 DISTRICTS. A REAR SETBACK IS NOT REQUIRED DUE TO ABUTMENT WITH RAILROAD ROW.



GRAPHICAL SCALE (FEET)

0 1" = 20' 40'



PINNACLE ENGINEERING GROUP

ENGINEERING | NATURAL RESOURCES | SURVEYING

PLAN | DESIGN | DELIVER
www.pinnacle-engr.com

WISCONSIN OFFICE:
20725 WATERTOWN ROAD, SUITE 100
BROOKFIELD, WI 53186
(262) 754-8888
CHICAGO | MILWAUKEE | NATIONWIDE

MAYFAIR APARTMENTS
2825 MAYFAIR RD
WAUWATOSA, MILWAUKEE

SITE PLAN

REVISIONS

—	—	—	—
—	—	—	—
—	—	—	—

REG JOB NO. 6675.00
REG PM APM
START DATE 10/01/25
SCALE 1" = 20'

SHEET
EX-1
OF
EX-1

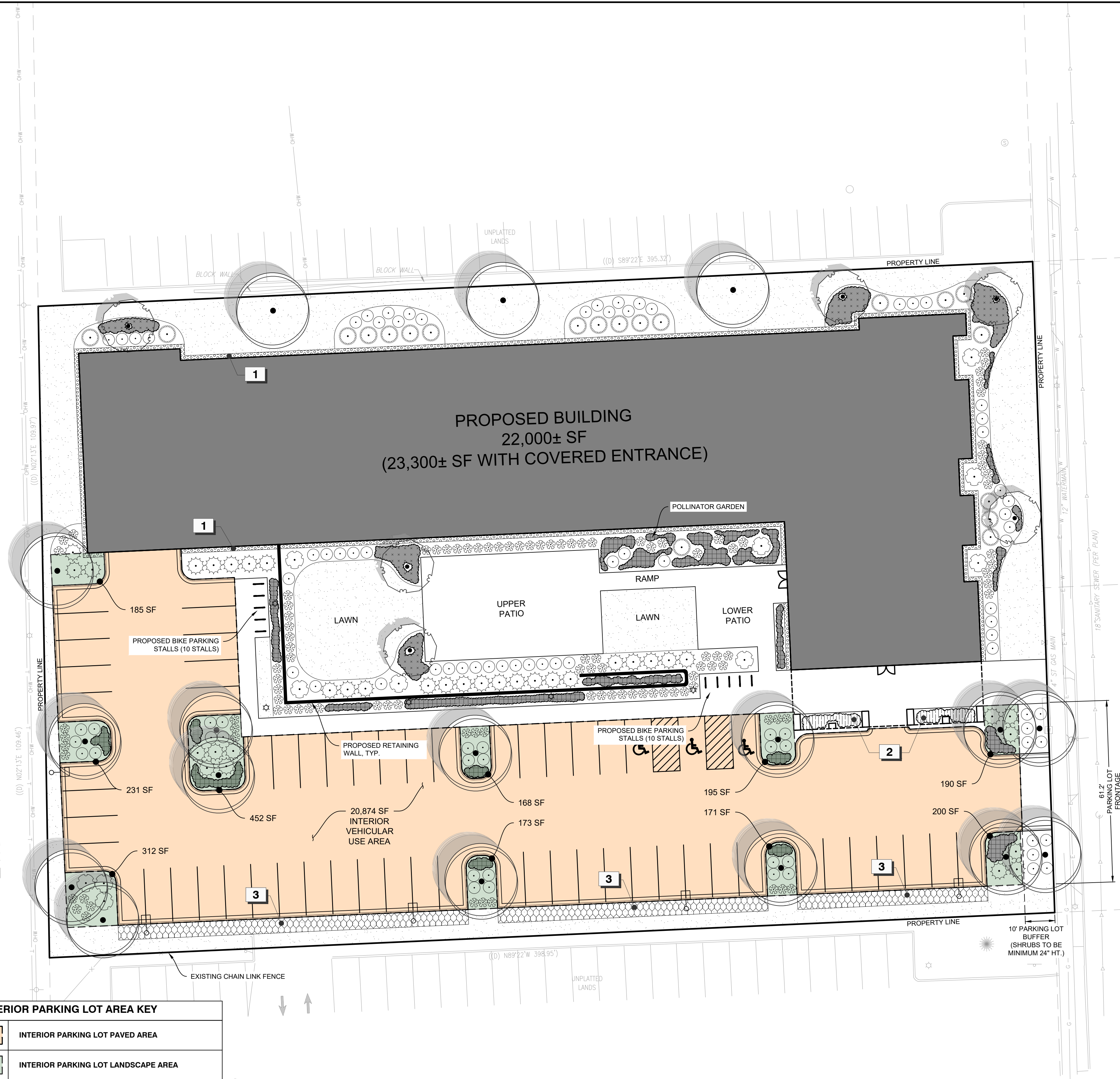
SITE PLAN

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DESIGNED: H.Y. DRAFTED: H.Y. REVIEWED: D.B.

Z:\PROJECTS\2025\6675.00-WI\CAD\SHEETS\6675.00-WI LANDSCAPE PLAN.DWG

CHICAGO & NORTHWESTERN UNION
PACIFIC RAILROAD



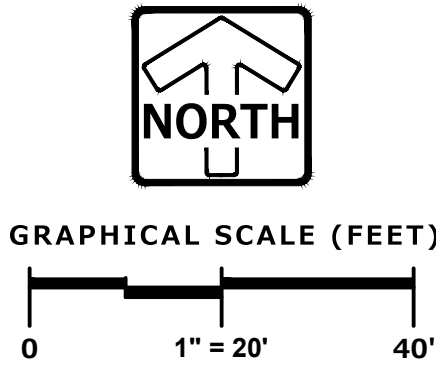
INTERIOR PARKING LOT AREA KEY	
	INTERIOR PARKING LOT PAVED AREA
	INTERIOR PARKING LOT LANDSCAPE AREA

	LANDSCAPE IMPROVEMENT TABLE	REQUIRED	PROVIDED
24.12.020(B)(1)	PERIMETER VEHICULAR USE AREA LANDSCAPING <ul style="list-style-type: none">10 FT WIDE BUFFER1 TREE / 50 LF FRONTAGE8 SHRUBS / 50 LF FRONTAGE	YES 2 TREES 10 SHRUBS	YES 2 TREES 10 SHRUBS
24.12.030(B)(2)	INTERIOR PARKING LOT LANDSCAPE AREA <ul style="list-style-type: none">10% OF THE INTERIOR VEHICULAR USE AREA	2,087 SF	2,277 SF
24.12.030(B)(3)(d)	PARKING INTERIOR TREES <ul style="list-style-type: none">1 TREE / 180 SF REQ. INTERIOR LANDSCAPE AREA	12 TREES	12 TREES

REFERENCE NOTES SCHEDULE			
SYMBOL	CODE	DESCRIPTION	QTY
	1	STONE MAINTENANCE STRIP	1,151 sf
	2	ANNUAL PLANTINGS (BY OTHERS)	150 sf
	3	SNOW STORAGE AREAS	1,366 sf

CONCEPT PLANT SCHEDULE

	DECIDUOUS TREES Celtis occidentalis 'Prairie Sentinel' / Prairie Sentinel Hackberry 45' T x 12' W Gymnocladus dioicus 'Espresso' / Espresso Kentucky Coffeetree 50' T x 35' W Ostrya virginiana / American Hophornbeam 35' T x 30' W Quercus bicolor 'Bonnie and Mike' / Beacon® Oak 40' T x 15' W	17	2" Cal. 2" Cal. 2" Cal. 2" Cal.
	ORNAMENTAL TREES Acer griseum / Paperbark Maple 25' T x 20' W Amelanchier x grandiflora 'Autumn Brilliance' / Autumn Brilliance Serviceberry 20' T x 20' W Cercis canadensis 'NC2016-2' / Flame Thrower® Eastern Redbud 20' T x 15' W Malus x 'Prairie Rose' / Prairie Rose Crabapple 20' T x 15' W	6	1.5" Cal. 1.5" Cal. 6' Ht. 1.5" Cal.
	SMALL DECIDUOUS SHRUBS Aronia melanocarpa 'SMNAPEM' / Low Scape Snowfire™ Black Chokeberry 4' T x 3' W Cornus stolonifera 'Arctic Fire' / Arctic Fire Dogwood 3' T x 3' W Diervilla lonicera / Dwarf Bush Honeysuckle 3' T x 4' W Hypericum kalmianum 'PIIHYP-1' / First Editions® Cobalt-n-Gold™ St. Johnswort 3' T x 5' W Itea virginica 'Merlot' / Merlot Sweetpire 3' T x 4' W Ribes alpinum / Alpine Currant 3' T x 5' W Spiraea betulifolia 'Tor Gold' / Glow Girl® Birchleaf Spirea 4' T x 4' W	91	2 gal. 2 gal. 2 gal. 2 gal. 2 gal. 2 gal. 2 gal.
	LARGE DECIDUOUS SHRUB Magnolia stellata / Star Magnolia 15' T x 10' W Rhus aromatica 'Gro-Low' / Gro-Low Fragrant Sumac 2' T x 7' W Rhus typhina 'Dissecta' / Cutleaf Staghorn Sumac 10' T x 15' W Sambucus nigra 'Black Lace' / Black Lace Elderberry 6' T x 6' W	11	5 gal. 5 gal. 5 gal. 5 gal.
	LOW EVERGREEN SHRUB Juniperus procumbens 'Green Mound' / Green Mound Japanese Garden Juniper 10' T x 4' W Thuja occidentalis 'Hetz Midget' / Hetz Midget Arborvitae 3' T x 3' W Tsuga canadensis 'Jeddeloh' / Jeddeloh Eastern Hemlock 24' T x 4' W	36	7 gal. 7 gal. 7 gal.
	LARGE EVERGREEN SHRUB Chamaecyparis pisifera 'Golden Mop' / Golden Mop Threadleaf Sawara Cypress 3' T x 4' W Juniperus scopulorum 'Blue Arrow' / Blue Arrow Juniper 12' T x 4' W Pinus strobus 'Fastigiata' / Pyramidal White Pine 25' T x 12' W Thuja occidentalis 'Nigra' / Dark Green Arborvitae 20' T x 8' W Tsuga canadensis 'Gentsh White' / Gentsh White Hemlock 8' T x 6' W	25	24" W 4' Ht. 4' Ht. 4' Ht. 4' Ht.
	ORNAMENTAL GRASSES Andropogon gerardii 'Blackhawks' / Blackhawks Big Bluestem 4' T x 2' W Bouteloua gracilis 'Blonde Ambition' / Blonde Ambition Blue Grama 3' T x 3' W Panicum virgatum 'Shenandoah' / Shenandoah Switch Grass 3' T x 2' W Schizachyrium scoparium 'Carousel' / Carousel Little Bluestem 2' T x 2' W	110	1 gal. 1 gal. 1 gal. 1 gal.
	PERENNIALS Agastache x 'Blue Fortune' / Blue Fortune Anise Hyssop 2' T x 2' W Coreopsis x 'Jethro Tull' / Jethro Tull Tickseed 12" T x 2' W Echinacea purpurea / Coneflower 27" T x 2' W Echinacea purpurea 'Alba' / White Coneflower 27" T x 2' W Phlox subulata 'Snowflake' / Snowflake Creeping Phlox 6" T x 2' W Symphyotrichum ericoides 'Snow Flurry' / Snow Flurry Heath Aster 12" T x 2' W	1,097 sf	4.5" cont. 4.5" cont. 4.5" cont. 4.5" cont. 4.5" cont. 4.5" cont.
	PERENNIAL GROUNDCOVER Amsonia x 'Blue Ice' / Blue Ice Bluestar 10" T x 2' W Asarum canadense / Wild Ginger 15" T x 2' W Waldsteinia ternata / Siberian Barren Strawberry 6" T x 2' W	591 sf	2.5" cont. 2.5" cont. 2.5" cont.
	TURF	13,000 sf	



MAYFAIR APARTMENTS

WAUWATOSA, WI

CONCEPT LANDSCAPE PLAN

REVISIONS

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—	—	—	—
—	—	—	—
—	—	—	—

REG JOB 146675.00-WI
REG PM AJM
START DATE 10/7/25
SCALE 1" = 20'

SHEET
L-1
OF
L-2

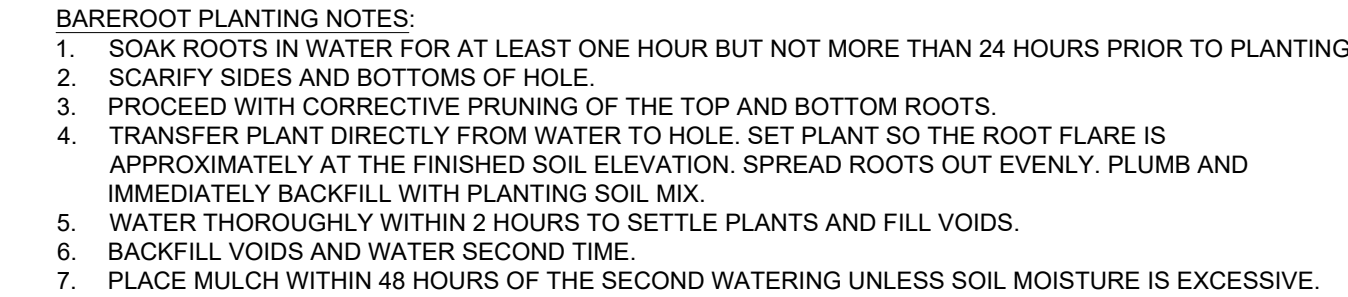
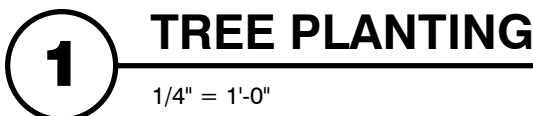
CONCEPT LANDSCAPE PLAN

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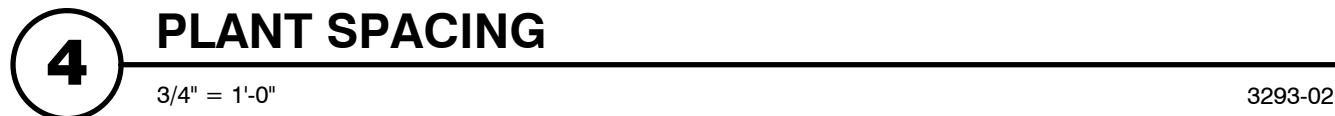
- THE LAYOUT OF ALL PLANTING BEDS AND INDIVIDUAL TREES AND SHRUBS SHALL BE STAKED BY THE CONTRACTOR IN ADVANCE OF INSTALLATION. FLAGGING, STAKES, OR PAINT MAY BE USED TO DELINEATE LOCATIONS AS SCALED FROM THE PLANS. AN APPROVED REPRESENTATIVE WILL REVIEW THESE LOCATIONS WITH THE CONTRACTOR AND MAKE MINOR ADJUSTMENTS AS NECESSARY. BED LAYOUT SHALL ALSO INCLUDE PERENNIAL GROUPINGS BY SPECIES.
2. THE CONTRACTOR IS RESPONSIBLE FOR INDEPENDENTLY DETERMINING THE PLANT MATERIAL QUANTITIES REQUIRED BY THE LANDSCAPE PLANS. REPORT ANY DISCREPANCIES TO THE LANDSCAPE ARCHITECT.
3. NO PLANT MATERIAL OR PLANT SIZE SUBSTITUTIONS WILL BE ACCEPTED WITHOUT APPROVAL BY THE LANDSCAPE ARCHITECT. ANY CHANGES SHALL BE SUBMITTED TO THE LANDSCAPE ARCHITECT IN WRITING PRIOR TO INSTALLATION.
4. ALL BNB STOCK SHALL BE NURSERY GROWN IN A CLAY LOAM SOIL FOR A MINIMUM OF THREE GROWING SEASONS WITHIN 200 MILES OF PROJECT LOCATION, IN A ZONE COMPATIBLE WITH USDA HARDINESS ZONE 5A. SEED SHALL BE PROVIDED FROM A NURSERY (WITHIN 200 MILES) WITH A SIMILAR PLANT HARDINESS ZONE AS PROJECT LOCATION. EXISTING SOIL SHALL BE AMENDED PER SOIL ANALYSIS REPORT TO ENSURE A PROPER GROWING MEDIUM IS ACHIEVED.
5. ALL PLANT MATERIAL SHALL COMPLY WITH STANDARDS DESCRIBED IN AMERICAN STANDARD OF NURSERY STOCK - Z60.1 ANSI. LANDSCAPE ARCHITECT OR OWNERS AUTHORIZED REPRESENTATIVE RESERVES THE RIGHT TO INSPECT AND POTENTIALLY REJECT ANY PLANT MATERIAL DEEMED TO NOT MEET THE REQUIRED STANDARDS.
6. ALL STOCK SHALL BE FREE OF DISEASES AND HARMFUL INSECTS, DAMAGE, DISORDERS AND DEFORMITIES.
7. TREES SHALL HAVE SINGLE, STRAIGHT TRUNKS AND WELL BALANCED BRANCH SYSTEMS. MULTI-STEM TREES SHALL HAVE 3-4 STRAIGHT TRUNKS AND WELL BALANCED BRANCH SYSTEMS. HEIGHT-TO-CALIPER RATIOS SHALL BE CONSISTENT WITH THE LATEST EDITION OF ANSI Z60.1.
8. ROOT SYSTEMS SHALL BE LARGE ENOUGH TO ALLOW FOR FULL RECOVERY OF THE TREE, AND SHALL CONFORM TO STANDARDS AS THEY APPEAR IN THE MOST CURRENT REVISION OF THE AMERICAN ASSOCIATION OF NURSERYMEN'S AMERICAN STANDARD OF NURSERY STOCK ANSI Z60.1.
9. BNB TREES SHALL BE DUG WITH A BALL OF SOIL, NOT SOFT BALLED OR POTTED AND SHALL BE FIRM IN THEIR ROOTBALL. ROOT BALL SHALL BE WRAPPED (WITH BIODEGRADABLE MATERIAL). THE TREE ROOT FLARE, OR COLLAR, SHALL BE AT OR WITHIN THE TOP THREE INCHES OF GRADE.
10. ALL SPRING TREES MUST BE FRESHLY DUG IN THE MOST RECENT SPRING.
11. ALL AUTUMN TREES MUST BE FRESHLY DUG IN THE MOST RECENT AUTUMN.
12. TREES SHALL BE ALIVE, HEALTHY AND APPROPRIATELY MOIST, AT TIME OF DELIVERY. TREES SHALL BE SUBJECT TO INSPECTION FOR CONFORMITY TO SPECIFICATION REQUIREMENTS AND APPROVAL BY THE LANDSCAPE ARCHITECT OR OWNERS REPRESENTATIVE. THE LANDSCAPE ARCHITECT OR OWNERS REPRESENTATIVE RESERVES THE RIGHT TO REJECT ANY TREES THAT DO NOT MEET THE SPECIFICATIONS OR THAT HAVE BEEN DAMAGED DURING SHIPMENT. THE LANDSCAPE INSTALLER MUST RECEIVE APPROVAL FROM LANDSCAPE ARCHITECT FOR ANY SUBSTITUTIONS OR ALTERATIONS.
13. ALL PLANT MATERIAL SHALL BE INSTALLED IN ACCORDANCE WITH PLANTING DETAILS.
14. ALL PLANTING BEDS SHALL HAVE A MINIMUM 10" DEPTH OF PREPARED SOIL. WITH APPROVAL, EXISTING SOIL MAY BE UTILIZED PROVIDED THE PROPER SOIL AMENDMENTS ARE TILLED THOROUGHLY INTO THE TOP 10" OF SOIL. REFER TO SOIL PLACEMENT NOTES
15. WHILE PLANTING TREES AND SHRUBS, BACKFILL $\frac{3}{4}$ OF PLANTING HOLE AND WATER TREE THOROUGHLY BEFORE INSTALLING THE REMAINDER OF SOIL MIXTURE. AFTER ALL SOIL HAS BEEN PLACED INTO THE PLANTING HOLE WATER THOROUGHLY AGAIN.
16. THE CONTRACTOR MUST LABEL ALL TREES WITH THE COMMON AND BOTANICAL NAMES PRIOR TO FINAL INSPECTION.
17. OAK TREES SHALL BE TREATED FOR TWO-LINE CHESTNUT BORER BOTH AT THE TIME OF INSTALLATION AND DURING THE SECOND GROWING SEASON.
18. ALL PLANTING BEDS SHALL BE MULCHED WITH 3" DEEP SHREDDED HARDWOOD MULCH, AND ALL TREES PLANTED IN TURF AREAS SHALL RECEIVE A 3" DEEP SHREDDED HARDWOOD MULCHED RING AS SHOWN IN PLANTING DETAILS.
19. ALL PLANTING BEDS AND TREE RINGS SHALL HAVE A 4" DEEP TRENCHED BED EDGE CREATED BY EITHER A FLAT LANDSCAPE SPADE OR MECHANICAL EDGER. BED EDGES ARE TO BE CUT CLEAN AND SMOOTH AS SHOWN ON LANDSCAPE PLANS WITH A CLEAN DEFINITION BETWEEN TURF AND PLANTING AREAS.
20. ALL AREAS RECEIVING STONE MULCH TO RECEIVE STEEL BED EDGING. CONTRACTOR TO PROVIDE STEEL EDGING SPECIFICATION FOR APPROVAL PRIOR TO INSTALLATION. STEEL EDGING TO BE INSTALLED PER MANUFACTURERS RECOMMENDATION.
21. AREAS THAT CALL FOR STONE MULCH SHALL RECEIVE LANDSCAPE FABRIC WITH 3" DEEP ALPINE STONE MULCH. REFER TO STONE MULCH DETAILS. CONTRACTOR TO PROVIDE LANDSCAPE FABRIC AND MULCH SPECIFICATIONS TO LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION. LANDSCAPE FABRIC SHALL BE INSTALLED TO COVER THE ENTIRE AREA TO RECEIVE STONE MULCH WITH EACH SEAM OVERLAPPING A MINIMUM OF 6".
22. ALL TURF SEED AREAS SHALL RECEIVE A MINIMUM OF 6" DEPTH OF TOPSOIL. WITH APPROVAL, EXISTING SOIL MAY BE UTILIZED PROVIDED THE PROPER SOIL AMENDMENTS ARE TILLED THOROUGHLY INTO THE TOP 6" OF SOIL AS INDICATED IN THE SOIL PLACEMENT NOTES. REQUIRED AMENDMENTS SHALL BE DETERMINED BASED ON A SOIL ANALYSIS TO BE PERFORMED. ALL TOPSOIL AMENDMENT SHALL BE AGED WEED FREE MANURE OR CLASS 1 ORGANIC MATTER.
23. FOR LAWN SEEDING, APPLY A STARTER FERTILIZER AND SEED UNIFORMLY AT THE RATE RECOMMENDED BY MANUFACTURER, AND PROVIDE A MULCH COVERING THAT IS SUITABLE TO PROMOTE SEED GERMINATION AND TURF ESTABLISHMENT. CONTRACTOR TO PROVIDE FERTILIZER, SEED, AND MULCH SPECIFICATIONS TO THE LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION. EROSION CONTROL MEASURES ARE TO BE INSTALLED IN THOSE AREAS REQUIRING STABILIZATION (SWALES, SLOPES EXCEEDING 1:3

24. THE CONTRACTOR TO ENSURE A SMOOTH, UNIFORM QUALITY TURF IS ACHIEVED WITH NO BARE SPOTS LARGER THAN 6" X 6". ANY BARE SPOTS LARGER THAN 6" X6" AT THE END OF ESTABLISHMENT PERIOD SHALL BE RESEED AT THE CONTRACTORS EXPENSE TO OBTAIN A DENSE, UNIFORM LAWN.
25. ALL FINISH GRADING AND LAWN AREAS TO BE INSTALLED BY LANDSCAPE CONTRACTOR.
26. ALL DISTURBED AREAS WITHIN THE PROJECT SHALL BE RESTORED TO ORIGINAL OR BETTER CONDITION.
27. ALL DISTURBED AREAS OUTSIDE THE LIMITS OF WORK SHALL BE RESTORED TO ORIGINAL OR BETTER CONDITION AT NO ADDITIONAL COST TO THE OWNER.
28. THE CONTRACTOR SHALL VERIFY ALL EXISTING UTILITIES, INCLUDING ANY IRRIGATION LINES, PRIOR TO DIGGING. CONSULT DIGGERS HOTLINE.
29. TREES SHALL BE INSTALLED NO CLOSER THAN:
 - 10 FEET FROM ANY FIRE HYDRANT
 - 7 FEET FROM STORM SEWER, SANITARY SEWER LATERALS, DRIVEWAYS, AND WATER SERVICE
30. THE CONTRACTOR SHALL ENSURE THAT SOIL CONDITIONS AND COMPACTION ARE ADEQUATE TO ALLOW FOR PROPER DRAINAGE AROUND THE CONSTRUCTION SITE. UNDESIRABLE CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT PRIOR TO BEGINNING OF WORK. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ENSURE PROPER SURFACE AND SUBSURFACE DRAINAGE IN ALL AREAS
31. THE CONTRACTOR IS RESPONSIBLE FOR ALL PERMITS, FEES, AND LICENSES NECESSARY FOR THE INSTALLATION OF THIS PLAN.
32. THE CONTRACTOR IS TO REVIEW ALL SITE ENGINEERING DOCUMENTS PRIOR TO INSTALLATION. ANY CONFLICTS MUST BE REPORTED TO THE LANDSCAPE ARCHITECT. THESE LANDSCAPE DRAWINGS ARE FOR THE INSTALLATION OF PLANT MATERIALS ONLY UNLESS OTHERWISE STATED.
33. THE CONTRACTOR SHALL PROVIDE WATERING AND MAINTENANCE SERVICES FOR A PERIOD OF 60 DAYS TO ENSURE VEGETATIVE ESTABLISHMENT. UPON COMPLETION OF THE PROJECT, CONTRACTOR SHALL SUPPLY THE OWNER IN WRITING WITH ONGOING WATERING AND MAINTENANCE INSTRUCTIONS.
34. PLANT MATERIALS SHALL BE GUARANTEED FOR A PERIOD OF ONE (1) YEAR FROM TIME OF OWNER ACCEPTANCE. ONLY ONE REPLACEMENT PER PLANT WILL BE REQUIRED DURING THE WARRANTY PERIOD EXCEPT IN THE EVENT OF FAILURE TO COMPLY WITH THE SPECIFIED REQUIREMENTS.
35. THE CONTRACTOR IS RESPONSIBLE TO CONDUCT A FINAL WALK THROUGH WITH THE LANDSCAPE ARCHITECT AND OR OWNERS REPRESENTATIVE TO ANSWER QUESTIONS, PROVIDE INSTRUCTIONS, AND ENSURE THAT PROJECT REQUIREMENTS HAVE BEEN MET.

1. LOOSEN SUBGRADE TO A MINIMUM DEPTH INDICATED IN PLANTING NOTES USING A CULTI-MULCHER OR SIMILAR EQUIPMENT, AND REMOVE STONES MEASURING OVER 1-1/2 INCHES IN ANY DIMENSION, STICKS, RUBBISH AND OTHER EXTRANEOUS MATTER. AREAS ADJACENT TO WALKS AND PAVEMENT SHALL BE FREE OF EXCESS STONE AND PAVING MATERIALS SO AS TO PROVIDE AN UNINTERRUPTED CROSS SECTION OF SOIL. INTERNAL PARKING ISLANDS SHALL BE LOOSENED TO A DEPTH OF 30".
2. THOROUGHLY BLEND PLANTING SOIL MIX FOR PLANTING BED AREAS. (1 PART EXISTING SOIL, 1 PART TOPSOIL, 1 PART ORGANIC SOIL AMENDMENT, 2.9 POUNDS PER CUBIC YARD OF 4-4-4 ANALYSIS SLOW-RELEASE FERTILIZER)
3. TREE AND SHRUB BOWLS SHALL BE FILLED WITH A PREPARED PLANTING MIXTURE OF 1 PART TOPSOIL, 2 PARTS PLANTING SOIL MIX.
4. SPREAD SOIL AND SOIL AMENDMENTS TO DEPTH INDICATED ON DRAWINGS, BUT NOT LESS THAN REQUIRED TO MEET FINISH GRADES AFTER NATURAL SETTLEMENT. (FINISH GRADE OF PLANTING BEDS SHALL BE 3" BELOW ALL ADJACENT SURFACES. FINISH GRADE OF TURF SEEDING AREAS SHALL BE 1" BELOW ALL ADJACENT HARD SURFACES, WALKS, AND CURBS.)
5. PLACE APPROXIMATELY 1/2 OF TOTAL AMOUNT OF SOIL REQUIRED. WORK INTO TOP OF LOOSENED SUBGRADE TO CREATE A TRANSITION LAYER, THEN PLACE REMAINDER OF THE SOIL. SOIL TRANSITION LAYER SHALL BE TILLED TO A MINIMUM DEPTH OF 6" BELOW THE DEPTH OF NEWLY PLACED SOIL. PARKING LOT ISLANDS SHALL BE CROWNED TO A HEIGHT OF 6" TO PROVIDE PROPER DRAINAGE UNLESS OTHERWISE NOTED.
6. DO NOT SPREAD IF PLANTING SOIL OR SUBGRADE IS FROZEN, MUDDY, OR EXCESSIVELY WET.
7. FINISH GRADING: GRADE SOIL TO A SMOOTH, UNIFORM SURFACE PLANE WITH A LOOSE, UNIFORMLY FINE TEXTURE.
8. ROLL AND RAKE, REMOVE RIDGES, AND FILL DEPRESSIONS TO MEET FINISH GRADES.
9. RESTORE PLANTING BEDS IF ERODED OR OTHERWISE DISTURBED AFTER FINISH GRADING AND BEFORE PLANTING.



1/2" = 1'-0" 329333-02



WISCONSIN OFFICE:
20725 WATERTOWN ROAD, SUITE 100
BROOKFIELD, WI 53186
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CHICAGO | MILWAUKEE : NATIONWIDE

WAUWATOSA, WI

REVISIONS	

EG JOB No 6675.00-WI

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L-2
OF
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LANDSCAPE GENERAL NOTES & DETAILS

Project		Catalog #		Type	
Prepared by		Notes		Date	



Lumark

Prevail Petite Discrete Wall

Wall Mount Luminaire

Product Features



Product Certifications



Interactive Menu

- Ordering Information [page 2](#)
- Mounting Details [page 3](#)
- Product Specifications [page 3](#)
- Energy and Performance Data [page 4](#)
- Control Options [page 5](#)

Quick Facts

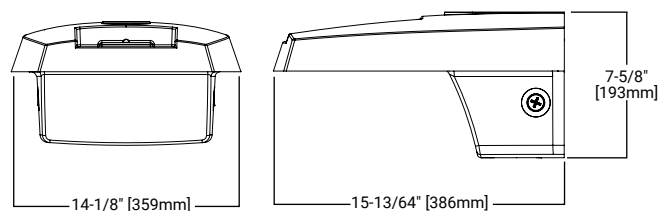
- Direct-mounted discrete light engine for improved optical uniformity and visual comfort
- Lumen packages range from 4,300 - 11,300 lumens (30W - 90W)
- Replaces 70W up to 250W HID equivalents
- Efficacies up to 147 lumens per watt
- Surface mount configuration with standard conduit entry

Connected Systems

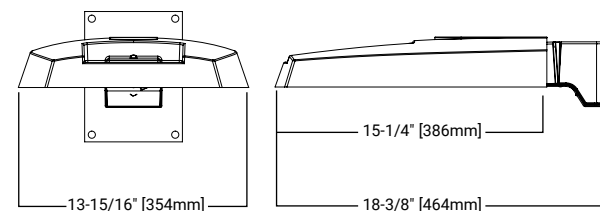
- WaveLinx PRO Wireless
- WaveLinx LITE Wireless

Dimensional Details

Surface Mount (SM)



Wall Mount (WM)



NOTES:

1. Visit <https://www.designlights.org/search/> to confirm qualification. Not all product variations are DLC qualified.
2. IDA Certified for 3000K CCT and warmer only.

Ordering Information

LABEL- OA

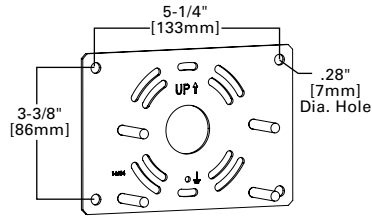
SAMPLE NUMBER: PRV-P-PA1B-740-U-T4W-SM-BZ

Product Family ¹	Light Engine		Color Temperature	Voltage	Distribution	Mounting (Included)	Finish
	Configuration	Drive Current ²					
PRV-P =Prevail Petite BAA-PRV-P =Prevail Petite BAA Compliant ²² TAA-PRV-P =Prevail Petite TAA Compliant ²²	PA1 =1 Panel, 24 LED Rectangle	A =400mA Nominal B =700mA Nominal C =950mA Nominal D =1200mA Nominal	740 =70CRI, 4000K 730 =70CRI, 3000K 750 =70CRI, 5000K	U = Universal, 120-277V H = High Voltage, 347-480V 1 =120V 2 =208V 3 =240V 4 =277V 8 =480V ^{3, 23} 9 =347V DV =Duravolt, 277-480V	T2R =Type II Roadway T2U =Type II Urban T3 =Type III T4W =Type IV Wide 5WQ =Type V Square Wide	SM =Surface Wall Mount WM =Wall Mount Arm	BZ =Bronze AP =Grey BK =Black DP =Dark Platinum GM =Graphite Metallic WH =White
Options (Add as Suffix)					Accessories (Order Separately) ^{17, 18}		
10K =10kV UL 1449 Fused Surge Protective Device 20MSP =20kV MOV Surge Protective Device 20K =20kV UL 1449 Fused Surge Protective Device 2L =Two-Circuit Light Engine ¹⁹ F =Single Fuse (Used with Voltages 120, 277 or 347V) FF =Double Fuse (Used with Voltages 208, 240 or 480V) EBP =Emergency Battery Pack (Ambient Temp, 0° to 40°C) ^{4, 5} CBP =Cold Weather Emergency Battery Pack (Ambient Temp, -20° to 40°C) ^{4, 5} CBP-CEC =Cold Weather Emergency Battery Pack, CEC Compliant (Ambient Temp, -20° to 40°C) ^{4, 5} HSS =House Side Shield (Factory Installed) ⁶ HA =50°C High Ambient Temperature ⁷ CC =Coastal Construction ⁸ BPC =Button Photocontrol ⁹ PR =NEMA 3-PIN Twistlock Photocontrol Receptacle ^{9, 10} PR7 =NEMA 7-PIN Twistlock Photocontrol Receptacle ^{9, 10} FADC =Field Adjustable Dimming Controller ²⁴ MS/DIM-L08 =Dimming Motion and Daylight Sensor, IR Remote Programmable, < 8' Mounting ^{9, 11, 12} MS/DIM-L20 =Dimming Motion and Daylight Sensor, IR Remote Programmable, 8' - 20' Mounting ^{9, 11, 12} MS/DIM-L40W =Dimming Motion and Daylight Sensor, IR Remote Programmable, 21' - 40' Mounting ^{9, 11, 12} SPB1 =Dimming Motion and Daylight Sensor, Bluetooth Programmable, < 8' Mounting ^{9, 11, 13} SPB2 =Dimming Motion and Daylight Sensor, Bluetooth Programmable, 8' - 20' Mounting ^{9, 11, 13} SPB4 =Dimming Motion and Daylight Sensor, Bluetooth Programmable, 21' - 40' Mounting ^{9, 11, 13} WPS2XX =WaveLinX Pro, SR Driver, Dimming Motion and Daylight, WAC Programmable, 7' - 15' Mounting ^{9, 11, 14, 15, 16} WPS4XX =WaveLinX Pro, SR Driver, Dimming Motion and Daylight, WAC Programmable, 15' - 40' Mounting ^{9, 11, 14, 15, 16} WLS2XX =WaveLinX Lite, SR Driver, Dimming Motion and Daylight, Bluetooth Programmable, 7' - 15' Mounting ^{9, 11, 14, 15, 16} WLS4XX =WaveLinX Lite, SR Driver, Dimming Motion and Daylight, Bluetooth Programmable, 15' - 40' Mounting ^{9, 11, 14, 15, 16}					HSS-HP =House Side Shield, Horizontal Panel ⁷ OA/RA1013 =Photocontrol Shorting Cap OA/RA1014 =NEMA Photocontrol - 120V OA/RA1016 =NEMA Photocontrol - Multi-Tap 105-285V OA/RA1201 =NEMA Photocontrol - 347V OA/RA1027 =NEMA Photocontrol - 480V FSIR-100 =Wireless Configuration Tool for Occupancy Sensor ²⁰ WOLC-7P-10A =WaveLinX Outdoor Control Module (7-PIN) ²¹		
NOTES: 1. DesignLights Consortium® Qualified. Refer to www.designlights.org Qualified Products List under Family Models for details. 2. Nominal drive currents shown here. For actual drive current by configuration, refer to Power and Lumens tables. 3. 480V not to be used with ungrounded or impedance grounded systems. 4. Only available on Surface Wall Mount (SM) mounting. 5. Must use with Universal (U) voltage only. Not available with other voltage options. Not available with PA1D light engine. 6. House Side Shield not for use with 5WQ distribution. 7. Not available with EBP, CBP, or CBP-CEC options. Not available with PA1D light engine. 8. Salt spray tested to over 5,000-hours per ASTM B117 with a scribe rating of 9 per ASTM D1654. Also achieves 7,000-hour rating per ASTM B117 with a scribe rating of 4 per ASTM D1654. Extended lead times may apply. 9. Option is not available with other controls: photocontrols (BPC), photocontrol receptacles (PR or PR7), or controls systems (MS). 10. If High Voltage (H) or DuraVolt (DV) is specified, use a photocontrol that matches the input voltage used. 11. Option not available with High Voltage (H). Must specify Universal (U), 347V (9), or 480V (8) voltage. 12. Utilizes the Wattstopper sensor FSP-211. Sensor color white unless specified otherwise via PDR. To field-configure, order FSIR-100 accessory separately. 13. Utilizes the Wattstopper sensor FSP-3XX series. Sensor color determined by product finish. See Sensor Color Reference Table. Field-configures via mobile application. See Controls section for details. 14. Sensor passive infrared (PIR) may be overly sensitive when operating below -20°C (-4°F). 15. In order for the device to be field-configurable, requires WAC Gateway components WAC-PoE and WPOE-120 in appropriate quantities. Only compatible with WaveLinX system and software and requires system components to be installed for operation. See website for more WaveLinX application information. 16. Replace XX with sensor color (WH, BZ or BK). 17. For BAA or TAA requirements, Accessories sold separately will be separately analyzed under domestic preference requirements. Consult factory for further information. 18. Replace XX with paint color. 19. Controls and/or emergency battery packs operate only one of the two circuits when 2L is specified. 20. This tool enables adjustment to Motion Sensor (MS) parameters including high and low modes, sensitivity, time delay, cutoff and more. Consult your lighting representative for more information. 21. Requires 7-PIN NEMA twistlock photocontrol receptacle (PR7) option. The WOLC-7 cannot be used in conjunction with other controls systems (MS). Only for use at 120-347V. 22. Only product configurations with these designated prefixes are built to be compliant with the Buy American Act of 1933 (BAA) or Trade Agreements Act of 1979 (TAA), respectively. Please refer to DOMESTIC.PREFERENCES website for more information. Components shipped separately may be separately analyzed under domestic preference requirements. 23. DuraVolt drivers feature added protection from power quality issues such as loss of neutral, transients and voltage fluctuations. Visit www.signify.com/duravolt for more information. 24. Cannot be used with PR7 or other motion response control options.							

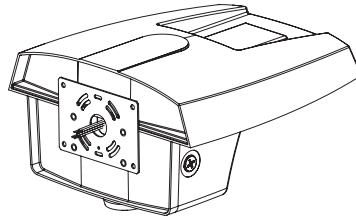
Mounting Details

LABEL- OA

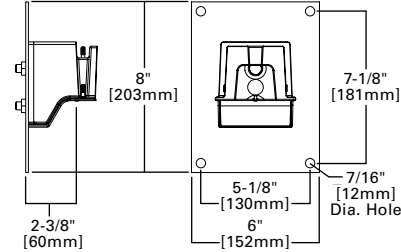
Surface Mount Plate (SM)



Surface Mount Assembly (SM)



Wall Mount (WM)



Product Specifications

Construction

- Single-piece die-cast aluminum housing
- Tethered die-cast aluminum door
- Surface Mount (SM) offers two 1/2" NPT conduit entry plugs
- Not suitable for inverted mount installation

Optics

- Dark Sky Approved (3000K CCT and warmer only)
- Precision molded polycarbonate optics

Electrical

- -40°C minimum operating temperature
- 40°C maximum operating temperature
- >.9 power factor

- <20% total harmonic distortion
- Class 1 electronic drivers have expected life of 100,000 hours with <1% failure rate
- 0-10V dimming driver is standard with leads external to the fixture
- Standard MOV surge protective device designed to withstand 10kV of transient line surge
- Luminaire available with the field adjustable dimming controller (FADC) to manually adjust wattage and reduce the total lumen output and light levels. Comes pre-set to the highest position at the lumen output selected.

Typical Applications

Outdoor, Pedestrian Pathways, Building Entrances, Loading Docks, Perimeter Parking Lots

Finish

Five-stage super TGIC polyester powder coat paint, 2.5 mil nominal thickness

Shipping Data

Prevail Petite (with CBP): 21 lbs. (9.53 kgs.)

Warranty

Five year limited warranty, consult website for details.
www.cooperlighting.com/legal

Energy and Performance Data

LABEL- OA

Power and Lumens

Light Engine		PA1A	PA1B	PA1C	PA1D
Power (Watts)		31	53	72	93
Drive Current (mA)		375	670	930	1200
Input Current @ 120V (A)		0.26	0.44	0.60	0.78
Input Current @ 277V (A)		0.12	0.20	0.28	0.35
Input Current @ 347V (A)		0.10	0.17	0.23	0.29
Input Current @ 480V (A)		0.07	0.13	0.17	0.22
Distribution					
Type II Roadway	4000K/5000K Lumens	4,505	7,362	9,495	11,300
	BUG Rating	B1-U0-G1	B1-U0-G2	B1-U0-G2	B1-U0-G2
	Lumens per Watt	147	139	132	121
	3000K Lumens ¹	4,103	6,705	8,647	10,291
Type II Roadway w/ HSS	4000K/5000K Lumens	3,727	6,091	7,855	9,349
	BUG Rating	B0-U0-G1	B0-U0-G2	B0-U0-G2	B1-U0-G2
	Lumens per Watt	121	115	109	100
	3000K Lumens ¹	3,394	5,547	7,154	8,514
Type II Urban	4000K/5000K Lumens	4,496	7,347	9,476	11,277
	BUG Rating	B1-U0-G1	B2-U0-G2	B2-U0-G2	B3-U0-G3
	Lumens per Watt	146	139	131	121
	3000K Lumens ¹	4,095	6,691	8,630	10,271
Type II Urban w/ HSS	4000K/5000K Lumens	3,253	5,316	6,856	8,160
	BUG Rating	B1-U0-G1	B1-U0-G1	B1-U0-G2	B1-U0-G2
	Lumens per Watt	106	101	95	87
	3000K Lumens ¹	2,963	4,841	6,244	7,431
Type III	4000K/5000K Lumens	4,443	7,261	9,364	11,145
	BUG Rating	B1-U0-G1	B1-U0-G2	B2-U0-G2	B2-U0-G2
	Lumens per Watt	145	138	130	119
	3000K Lumens ¹	4,046	6,612	8,528	10,150
Type III w/ HSS	4000K/5000K Lumens	3,406	5,566	7,179	8,543
	BUG Rating	B0-U0-G1	B1-U0-G2	B1-U0-G2	B1-U0-G2
	Lumens per Watt	111	105	100	91
	3000K Lumens ¹	3,102	5,069	6,538	7,781
Type IV Wide	4000K/5000K Lumens	4,348	7,106	9,164	10,906
	BUG Rating	B1-U0-G2	B2-U0-G2	B2-U0-G2	B2-U0-G3
	Lumens per Watt	142	135	127	117
	3000K Lumens ¹	3,960	6,471	8,346	9,932
Type IV Wide w/ HSS	4000K/5000K Lumens	3,318	5,422	6,993	8,323
	BUG Rating	B0-U0-G1	B1-U0-G2	B1-U0-G2	B1-U0-G2
	Lumens per Watt	108	103	97	89
	3000K Lumens ¹	3,022	4,938	6,369	7,580
Type V Square Wide	4000K/5000K Lumens	4,497	7,349	9,478	11,280
	BUG Rating	B3-U0-G1	B3-U0-G2	B4-U0-G2	B4-U0-G2
	Lumens per Watt	146	139	131	121
	3000K Lumens ¹	4,095	6,693	8,632	10,273
NOTES: 1. For 3000K or HSS BUG Ratings, refer to published IES files.					

Power and Lumens: Emergency Configurations

Light Engine		PA1A	PA1B	PA1C
Power (Watts) ¹		37	59	78
Input Current @ 120V (A)		0.33	0.52	0.68
Input Current @ 277V (A)		0.16	0.24	0.31
Distribution ²				
Type II Roadway	4000K/5000K Lumens	2,035		
	3000K Lumens	1,853		
Type II Urban	4000K/5000K Lumens	2,030		
	3000K Lumens	1,849		
Type III	4000K/5000K Lumens	2,007		
	3000K Lumens	1,827		
Type IV Wide	4000K/5000K Lumens	1,964		
	3000K Lumens	1,788		
Type V Square Wide	4000K/5000K Lumens	2,031		
	3000K Lumens	1,849		
NOTES: 1. Power and current based on full power consumption while EBP or CBP is charging. 2. Estimated lumen outputs while luminaire is operating in emergency mode only at full charge.				

Lumen Maintenance

Configuration	TM-21 Lumen Maintenance (50,000 Hours)	Theoretical L70 (Hours)
Up to 50°C	96.76%	> 663,000

Sensor Color Reference Table (SPBx)

Housing Finish	Sensor Color
AP=Grey	Grey
BZ=Bronze	Bronze
BK=Black	Black
DP=Dark Platinum	Grey
GM=Graphite Metallic	Black
WH=White	White

FADC Settings

FADC Position	Lumen Multiplier
1	25%
2	46%
3	55%
4	62%
5	72%
6	77%
7	82%
8	85%
9	90%
10	100%

Note: +/-5% typical value

Lumen Multiplier

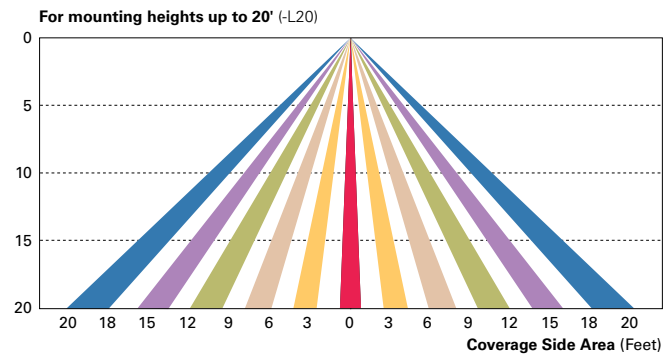
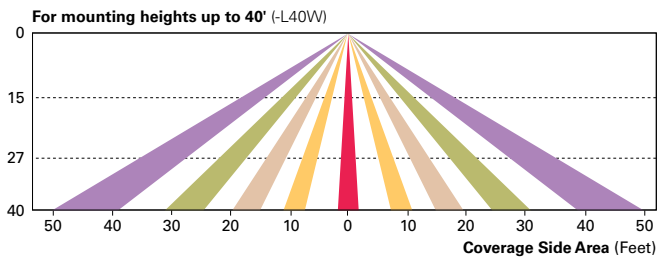
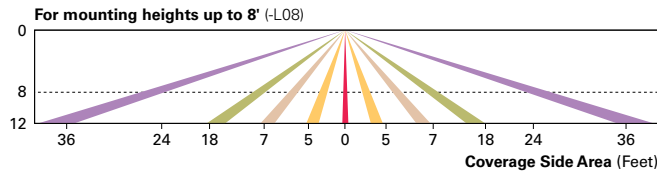
Ambient Temperature	Lumen Multiplier
0°C	1.02
10°C	1.01
25°C	1.00
40°C	0.99
50°C	0.97

Control Options

0-10V This fixture provides 0-10V dimming wire leads for use with a lighting control panel or other control method.

Photocontrol (PR and PR7) Photocontrol receptacles provide a flexible solution to enable "dusk-to-dawn" lighting by sensing light levels. Advanced control systems compatible with NEMA 7-PIN standards can be utilized with the PR7 receptacle.

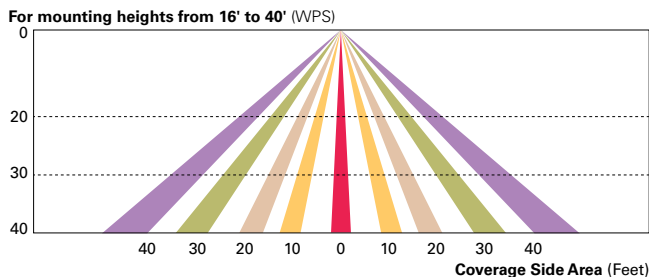
Dimming Occupancy Sensor (SPB, MS/DIM-LXX and MS-LXX) These sensors are factory installed in the luminaire housing. When the SPB or MS/DIM sensor options are selected, the luminaire will dim down after five minutes of no activity detected. When activity is detected, the luminaire returns to full light output. When a sensor for ON/OFF operation (MS-LXX) is selected, the luminaire will turn off after five minutes of no activity. These occupancy sensors include an integral photocell for "dusk-to-dawn" control or "daylight harvesting." Factory default is enabled for the MS sensors and disabled for the SPB. SPB motion sensors require the Sensor Configuration mobile application by Wattstopper to change factory default dimming level, time delay, sensitivity and other parameters. Available for iOS and Android devices. The SPB sensor is factory preset to dim down to approximately 10% power with a time delay of five minutes.



WaveLinx Wireless Control and Monitoring System Available in 7-PIN or 4-PIN configurations, the WaveLinx Outdoor control platform operates on a wireless mesh network based on IEEE 802.15.4 standards enabling wireless control of outdoor lighting. At least one Wireless Area Controller (WAC) is required for full functionality and remote communication (including adjustment of any factory pre-sets).

WaveLinx Outdoor Control Module (WOLC-7P-10A) A photocontrol that enables astronomical or time-based schedules to provide ON, OFF and dimming control of fixtures utilizing a 7-PIN receptacle. The out-of-box functionality is ON at dusk and OFF at dawn.

WaveLinx Wireless Sensor (WPS2 and WPS4) These outdoor sensors offer passive infrared (PIR) occupancy sensing and a photocell for closed-loop daylight sensing. These sensors are factory preset to dim down to approximately 50 percent power after 15 minutes of no activity detected, and the photocell for "dusk-to-dawn" control is default enabled. A variety of sensor lenses are available to optimize the coverage pattern for mounting heights from 7'-40'.



Project		Catalog #		Type	
Prepared by		Notes		Date	



Lumark

Prevail Discrete LED

Area / Site Luminaire

Product Features



Product Certifications



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- Product Specifications page 5
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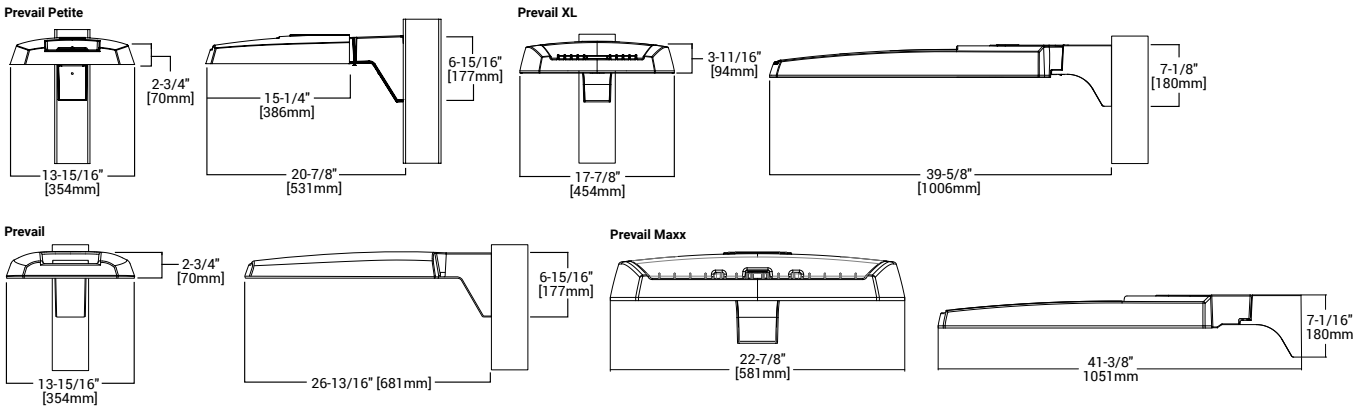
Quick Facts

- Direct-mounted discrete light engine for improved optical uniformity and visual comfort
- Lumen packages range from 4,300 - 68,000 nominal lumens (30W - 550W)
- Replaces 70W up to 1,000W HID equivalents
- Efficacies up to 157 lumens per watt
- Standard universal quick mount arm with universal drill pattern

Connected Systems

- WaveLinx PRO Wireless
- WaveLinx LITE Wireless

Dimensional Details



NOTES:
1. Visit <https://www.designlights.org/search/> to confirm qualification. Not all product variations are DLC qualified.
2. IDA Certified for 3000K CCT and warmer only.

Ordering Information

LABEL- SP1

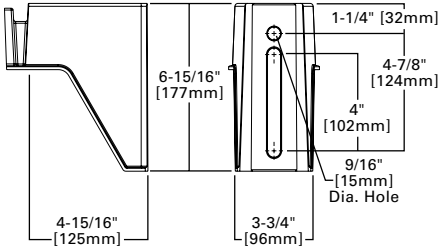
SAMPLE NUMBER: PRV-XL-PA4B-740-U-T4W-BZ

Product Family ^{1,2}	Light Engine		Color Temperature	Voltage	Distribution	Mounting (Included)	Finish
	Configuration	Drive Current ⁴					
PRV-P =Prevail Petite BAA-PRV-P =Prevail Petite BAA Buy American Act Compliant ³ TAA-PRV-P =Prevail Petite TAA Trade Agreements Act Compliant ³ BABA-PRV-P =Prevail Petite BABA Build America Buy America Act Compliant ³¹	PA1 =1 Panel, 24 LED Rectangle	A =400mA Nominal B =700mA Nominal C =950mA Nominal D =1200mA Nominal	740 =70CRI, 4000K 730 =70CRI, 3000K 750 =70CRI, 5000K 8540 =85CRI, 4000K	U =Universal, 120-277V H =High Voltage, 347-480V 1 =120V 2 =208V 3 =240V 4 =277V 8 =480V ⁵ 9 =347V DV =DuraVolt, 277-480V ^{5,6}	T2R =Type II Roadway T2U =Type II Urban T3 =Type III T4W =Type IV Wide 5WQ =Type V Square Wide	SA =QM Standard Versatile Arm MA =QM Mast Arm FMA =Fixed Mast Arm ²⁶ WM =QM Wall Mount Arm ADJA-WM = Adjustable Arm – Wall Mount ²⁸ ADJA =Adjustable Arm – Pole Mount ²⁸ ADJS =Adjustable Arm – Slipfitter, 3” vertical tenon ²⁸ SP2 =Adjustable Arm – Slipfitter, 2 3/8” vertical tenon ^{26, 28}	AP =Grey BZ =Bronze BK =Black DP =Dark Platinum GM =Graphite Metallic WH =White
PRV =Prevail BAA-PRV =Prevail BAA Buy American Act Compliant ³ TAA-PRV =Prevail TAA Trade Agreements Act Compliant ³ BABA-PRV =Prevail BABA Build America Buy America Act Compliant ³¹	PA1 =1 Panel, 24 LED Rectangle PA2 =2 Panels, 48 LED Rectangles	A =700mA Nominal B =950mA Nominal					
PRV-XL =PRV XL BAA-PRV-XL =Prevail XL BAA Buy American Act Compliant ³ TAA-PRV-XL =Prevail XL TAA Trade Agreements Act Compliant ³ BABA-PRV-XL =Prevail XL BABA Build America Buy America Act Compliant ³¹	PA3 =3 Panels, 72 LED Rectangles PA4 =4 Panels, 96 LED Rectangles	A =750mA Nominal B =950mA Nominal					
PRV-M =Prevail Maxx BAA-PRV-M =Prevail Maxx BAA Buy American Act Compliant ³ TAA-PRV-M =Prevail Maxx TAA Trade Agreements Act Compliant ³ BABA-PRV-M =Prevail Maxx BABA Build America Buy America Act Compliant ³⁰	PA6 = 6 Panels, 144 LED Rectangles	A =600mA Nominal B =800mA Nominal C =1000mA Nominal D =1200mA Nominal					
Options (Add as Suffix)			Accessories (Order Separately) ^{20, 21}				
10K =10kV UL 1449 Fused Surge Protective Device 20MSP =20kV MOV Surge Protective Device 20K =20kV UL 1449 Fused Surge Protective Device F =Single Fuse (Used with Voltages 120, 277 or 347V) FF =Double Fuse (Used with Voltages 208, 240 or 480V) FADC =Field Adjustable Dimming Controller ²⁹ L90 =Optics Rotated 90° Left R90 =Optics Rotated 90° Right CC =Coastal Construction finish ⁹ HSS =House Side Shield (Factory Installed) ⁷ HA =50°C High Ambient Temperature ⁸ PR =NEMA 3-PIN Twistlock Photocontrol Receptacle ¹⁰ PR7 =NEMA 7-PIN Twistlock Photocontrol Receptacle ¹⁰ MS/DIM-L08 =Motion Sensor for Dimming Operation, Up to 8’ Mounting Height ^{11, 12, 13} MS/DIM-L20 =Motion Sensor for Dimming Operation, 9’ - 20’ Mounting Height ^{11, 12, 13} MS/DIM-L40 =Motion Sensor for Dimming Operation, 21’ - 40’ Mounting Height ^{11, 12, 13} SPB1 =Motion Sensor for Dimming Operation, BLE Interface, Up to 8’ Mounting Height ^{11, 14} SPB2 =Motion Sensor for Dimming Operation, BLE Interface, 8’ - 20’ Mounting Height ^{11, 14, 26, 27} SPB4 =Motion Sensor for Dimming Operation, BLE Interface, 21’ - 40’ Mounting Height ^{11, 14, 27}			WPS2XX =Wavelinx Pro, SR Driver, Dimming Motion and Daylight, WAC Programmable, 7’ - 15’ Mounting Height ^{11, 12, 15, 16} WPS4XX =Wavelinx Pro, SR Driver, Dimming Motion and Daylight, WAC Programmable, 15’ - 40’ Mounting Height ^{11, 12, 15, 16} WLS2XX =WaveLinX Lite, SR Driver, Dimming Motion and Daylight, Bluetooth Programmable, 7’ - 15’ Mounting ^{11, 12, 15, 16} WLS4XX =WaveLinX Lite, SR Driver, Dimming Motion and Daylight, Bluetooth Programmable, 15’ - 40’ Mounting ^{11, 12, 15, 16}	PRVSA-XX =Standard Arm Mounting Kit ²¹ PRVMA-XX =Mast Arm Mounting Kit ²¹ PRVWM-XX =Wall Mount Kit ²¹ PRV-ADJA-XX =Adjustable Arm - Pole Mount Kit ²¹ PRV-ADJS-XX =Adjustable Arm - Slipfitter Kit ²¹ PRV-ADJA-WM-XX =Adjustable Arm - Wall Mount Kit ²¹ PRVXLSA-XX =Standard Arm Mounting Kit ²⁷ PRVXLMA-XX =Mast Arm Mounting Kit ²⁷ PRVXLWM-XX =Wall Mount Kit ²⁷ PRV-XL-ADJA-XX =Adjustable Arm - Pole Mount Kit ²⁷ PRV-XL-ADJA-WM-XX = Adjustable Arm - Wall Mount Kit ²⁷ PRV-XL-ADJS-XX = Adjustable Arm - Slipfitter Kit ²⁷ PRV-M-ADJA-XX =Adjustable Arm - Pole Mount Kit ²⁸ PRV-M-ADJS-XX =Adjustable Arm - Slipfitter Kit ²⁶ PRV-M-ADJA-WM-XX =Adjustable Arm - Wall Mount Kit ²⁶ MA1010-XX =Single Tenon Adapter for 3-1/2” O.D. Tenon MA1011-XX =2@180° Tenon Adapter for 3-1/2” O.D. Tenon	MA1017-XX =Single Tenon Adapter for 2-3/8” O.D. Tenon MA1018-XX =2@180° Tenon Adapter for 2-3/8” O.D. Tenon SRA238 =Tenon Adapter from 3” to 2-3/8” PRV/DIS-FDV =Full Drop Visor ²² PRVXL/DIS-FDV =Full Drop Visor ¹⁷ HSS-VP =House Side Shield Kit, Vertical Panel ^{7, 23} HSS-HP =House Side Shield Kit, Horizontal Panel ^{7, 23} VGS-ARCH = Panel Drop Shield, Short VGL-ARCH = Panel Drop Shield, Long OA/RA1013 =Photocontrol Shorting Cap OA/RA1014 =NEMA Photocontrol - 120V OA/RA1016 =NEMA Photocontrol - Multi-Tap 105-285V OA/RA1201 =NEMA Photocontrol - 347V OA/RA1027 =NEMA Photocontrol - 480V FSIR-100 =Wireless Configuration Tool for Occupancy Sensor ²⁴ WOLC-7P-10A =WaveLinX Outdoor Control Module (7-PIN) ²⁵		
NOTES: 1. DesignLights Consortium® Qualified. Refer to www.designlights.org Qualified Products List under Family Models for details. 2. Customer is responsible for engineering analysis to confirm pole and fixture compatibility for applications. Refer to installation instructions and pole white paper WP513001EN for additional support information. 3. Only product configurations with these designated prefixes are built to be compliant with the Buy American Act of 1933 (BAA) or Trade Agreements Act of 1979 (TAA), respectively. Please refer to DOMESTIC PREFERENCES website for more information. Components shipped separately may be separately analyzed under domestic preference requirements. 4. Nominal drive currents shown here. For actual drive current by configuration, refer to Power and Lumens tables. 5. 480V not to be used with ungrounded or impedance grounded systems. 6. DuraVolt drivers feature added protection from power quality issues such as loss of neutral, transients and voltage fluctuations. Visit www.signify.com/duravolt for more information. 7. House Side Shield not for use with 5WQ distribution. 8. Not available with PA1D light engine in Petite housing (PRV-P). 9. Coastal construction finish salt spray tested to over 5,000-hours per ASTM B117, with a scribe rating of 9 per ASTM D1654. 10. If High Voltage (H) or DuraVolt (DV) is specified, use a photocontrol that matches the input voltage used. 11. Controls system is not available in combination with a photocontrol receptacle (PR or PR7) or another controls system (MS SPB). 12. Option not available with High Voltage (H) or DuraVolt (DV). Must specify Universal (U), 347V (9), or 480V (8) voltage. 13. Utilizes the Wattstopper sensor FSP-211. Sensor color white unless specified otherwise via PDR. To field-configure, order FSIR-100 accessory separately. 14. Utilizes the Wattstopper sensor FSP-3XX series. Sensor color determined by product finish. See Sensor Color Reference Table. Field-configures via mobile application. See Controls section for details. 15. Sensor passive infrared (PIR) may be overly sensitive when operating below -20°C (-4°F). 16. Replace XX with sensor color (WH, BZ or BK). 17. Only available in PRV-XL configurations. 18. Not available with High Voltage (H, DV, 8 or 9) or HA options. 19. Replace XX with paint color. 20. For BAA or TAA requirements, Accessories sold separately will be separately analyzed under domestic preference requirements. Consult factory for further information. 21. Not for use with PRV-XL or PRV-M configurations. 22. Only for use with PRV. Not applicable to PRV-M, PRV-XL, or PRV-P. 23. Must order one per optic/LED when ordering as a field-installable accessory (1, 2, 3, 4, or 6). Refer to House Side Shield reference table for details. 24. This tool enables adjustment to Motion Sensor (MS) parameters including high and low modes, sensitivity, time delay, cutoff and more. Consult your lighting representative for more information. 25. Requires 7-PIN NEMA twistlock photocontrol receptacle (PR7) option. The WOLC-7 cannot be used in conjunction with other controls systems (MS or LWR). Only for use at 120-347V. 26. Only available for PRV-M configurations. 27. Only for use with PRV-XL. 28. Fixed for PRV-M 29. Cannot be used with PR7 or other motion response control options. 30. Only product configurations with these prefixes are built to be compliant with the Buy American Act of 1933 (BAA) or the Build America Buy America Act (BABA). BABA is the minimum Government compliance requirement for the Build America Buy America standards which is part of the Infrastructure and Investment Jobs Act (IIJA). Individual Government Agencies may have more stringent compliance standards. Please refer to the DOMESTIC PREFERENCES website or consult the CLS Domestic Preferences team for more information. Components shipped separately may be separately analyzed under domestic preference requirements.							

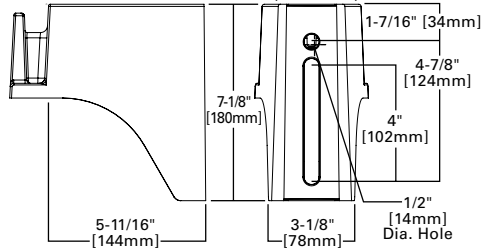
Mounting Details

LABEL- SP1

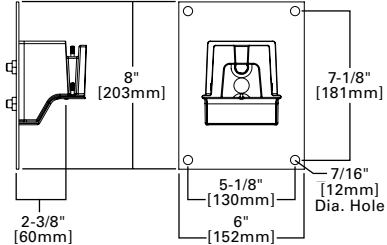
SA=QM Pole Mount Arm (PRV & PRV-P)



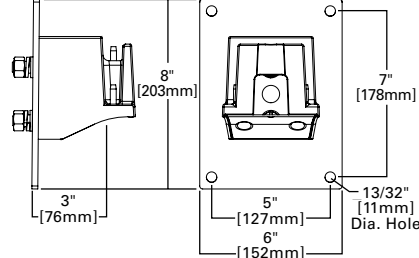
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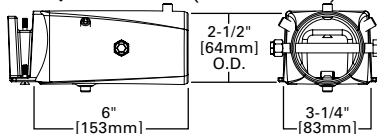
WM=QM Wall Mount Arm (PRV & PRV-P)



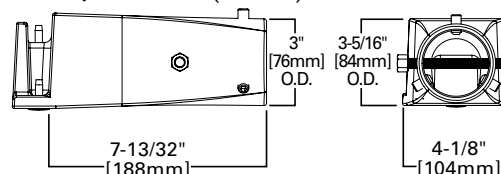
WM=QM Wall Mount Arm (PRV-XL)



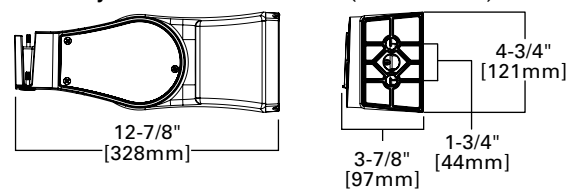
MA=QM Mast Arm (PRV & PRV-P)



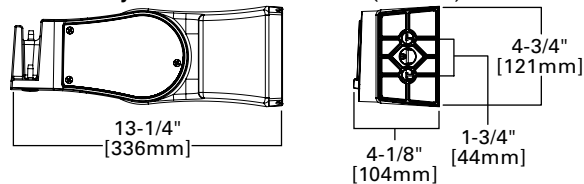
MA=QM Mast Arm (PRV-XL)



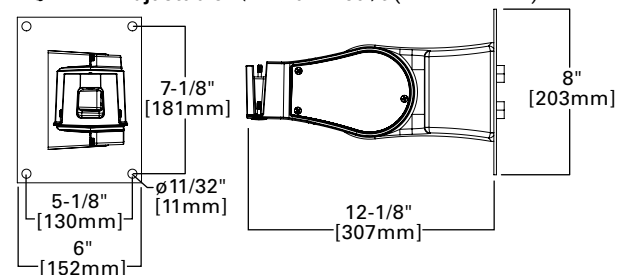
ADJA=Adjustable Arm Pole Mount (PRV & PRV-P)



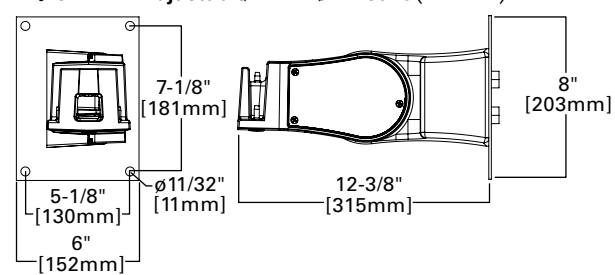
ADJA=Adjustable Arm Pole Mount (PRV-XL)



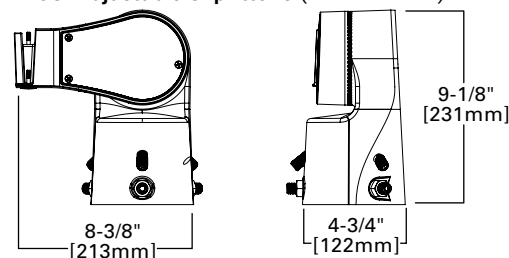
ADJA-WM=Adjustable Arm Wall Mount (PRV & PRV-P)



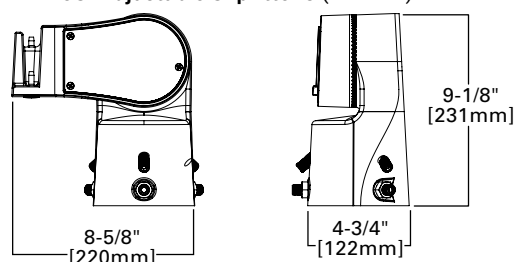
ADJA-WM=Adjustable Arm Wall Mount (PRV-XL)



ADJS=Adjustable Slipfitter 3 (PRV & PRV-P)



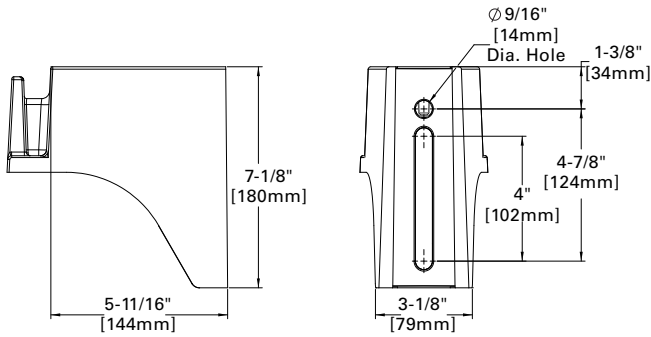
ADJS=Adjustable Slipfitter 3 (PRV-XL)



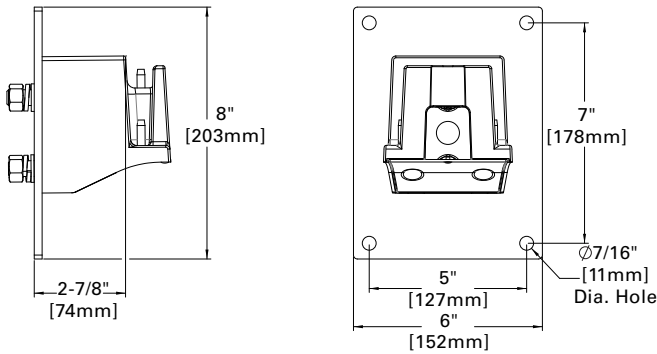
Mounting Details

LABEL- SP1

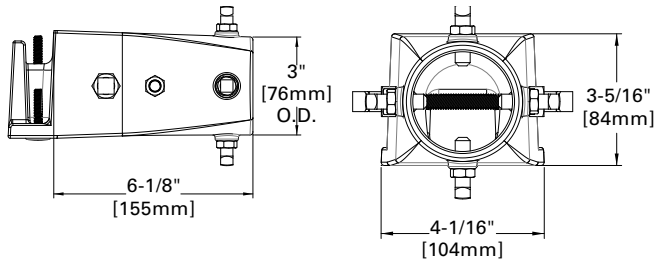
SA=QM Pole Mount Arm (PRV-M)



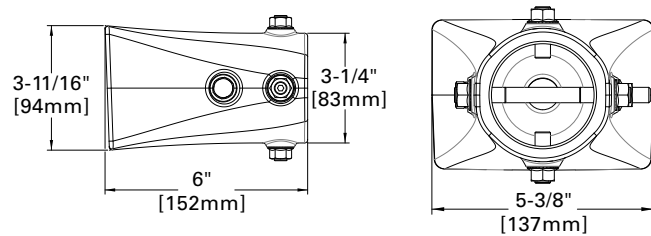
WM=QM Wall Mount Arm (PRV-M)



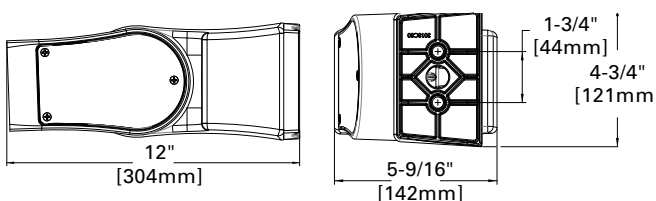
MA=QM Mast Arm (PRV-M)



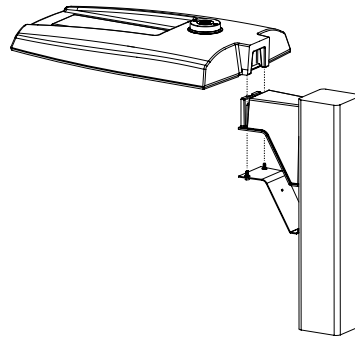
FMA=Fixed Mast Arm (PRV-M)



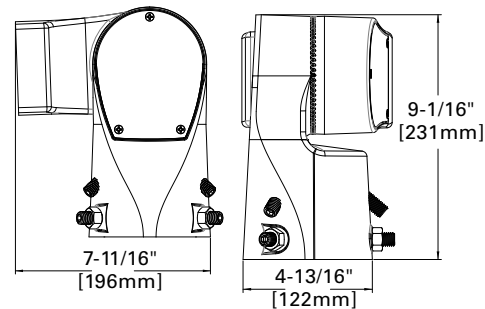
ADJA=Adjustable Pole Mount Arm (PRV-M)



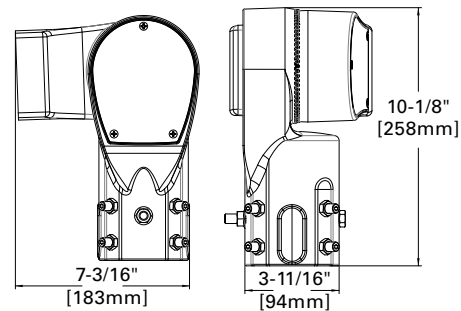
Versatile Mount System



ADJS=Adjustable Slipfitter (PRV-M)



SP2=Adjustable Slipfitter 2-3/8\" (PRV-M)



Mounting Details

LABEL- SP1

Mounting Configurations and EPAs

Housing Size	Tilt Angle (Degrees)	Arm Mount Single	Arm Mount 2 @ 180°	Arm Mount 2 @ 90°	Arm Mount 3 @ 90°	Arm Mount 4 @ 90°
Prevail Petite	0°	0.54	1.08	0.84	1.38	1.38
	60°	1.68	1.85	2.42	3.15	3.30
Prevail	0°	0.92	1.35	1.42	1.63	1.63
	60°	2.20	2.40	3.05	3.88	4.07
	60° + Full Drop Visor	2.20	2.40	3.25	4.28	4.47
Prevail XL	0°	1.12	2.25	2.13	2.52	2.52
	60°	3.99	4.30	5.26	6.51	6.79
	60° + Full Drop Visor	3.99	4.30	5.59	7.17	7.49
Prevail Maxx	0°	1.28	2.56	1.7	2.69	2.69
	60°	5.09	5.52	6.34	7.49	7.81

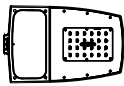
NOTE: For 2 PRV's mounted at 90°, requires minimum 3" square or 4" round pole for fixture clearance. For 2 PRV-XL's mounted at 90°, requires minimum 4" square or round pole for fixture clearance. Customer is responsible for engineering analysis to confirm pole and fixture compatibility for applications

Optical Configurations

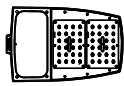
PRV-P-PA1X



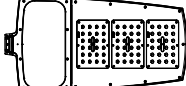
PRV-PA1X



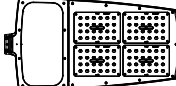
PRV-PA2X



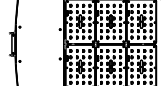
PRV-XL-PA3X



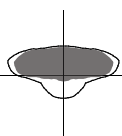
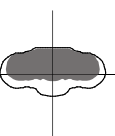
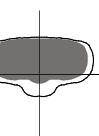
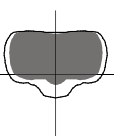
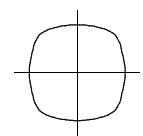
PRV-XL-PA4X



PRV-M-PA6X



Optical Distributions

T2R
(Type II Roadway)T2U
(Type II Urban)T3
(Type III)T4W
(Type IV Wide)5WQ
(Type V Square Wide)

■ = Distribution with House Side Shield (HSS)
□ = Optical Distribution

Product Specifications

Optics

- Precision molded polycarbonate optics

Electrical

- 40°C minimum operating temperature
- 40°C maximum operating temperature
- >.9 power factor
- <20% total harmonic distortion
- Class 1 electronic drivers have expected life of 100,000 hours with <1% failure rate
- 0-10V dimming driver is standard with leads external to the fixture
- Standard MOV surge protective device designed to withstand 10kV of transient line surge

Physical Characteristics

- Single-piece die-cast aluminum housing
- Tethered die-cast aluminum door
- Five-stage super TGIC polyester powder coat paint, 2.5 mil nominal thickness
- Finish is compliant to 3,000 hour salt spray standard (per ASTM B117)
- Versatile, patented, standard mount arm accommodates multiple drill patterns ranging from 1-1/2" to 4-7/8" (Type M drilling recommended for new installations)
- A knock-out on the standard mounting arm enables round pole mounting
- Adjustable pole and wall mount arms adjust in 5° increments from 0° to 60°; Downward facing orientation only (Type N drilling required for ADJA mount)
- Adjustable slipfitter arm adjusts in 5° increments from -5° to 85°; Downward facing orientation only

Controls

- Luminaire available with the field adjustable dimming controller (FADC) to manually adjust wattage and reduce the total lumen output and light levels; Comes pre-set to the highest position at the lumen output selected

Compliance

- DarkSky approved for 3000K CCT and warmer, with mounting options less than 10° of tilt.
- DLC and DLC Premium listed – visit designlights.org to confirm listed variations
- Prevail and Prevail Petite: 3G vibration rated (all arms)
- Prevail XL Mast Arm: 3G vibration rated
- Prevail XL Standard Arm: 1.5G vibration rated
- Adjustable Arms: 1.5G vibration rated
- BAA domestic preference option meets BAA requirements. See DOMESTIC.PREFERENCES website or consult the CLS Domestic Preferences team for more information
- FHWA and FTA agencies are utilizing their BAA rules for BABA compliance. Cooper's products with a BAA designation are manufactured in the US and utilize a BAA COTS exemption rule for compliance. To verify a configured product with specific accessories and options meet BABA Domestic Preference Requirements; submit this catalog number to Cooper Lighting Quotation team for validation by our Engineering and Manufacturing teams. Please refer to the DOMESTIC.PREFERENCES website or consult the CLS Domestic Preferences team for more information. Components shipped separately may be separately analyzed under domestic preference requirements.

Typical Applications

- Parking lots
- Walkways
- Roadways
- Building Areas

Shipping Data

- Prevail Petite: 18 lbs. (7.94 kgs.)
- Prevail: 20 lbs. (9.09 kgs.)
- Prevail XL: 45 lbs. (20.41 kgs.)
- Prevail Maxx: 49 lbs. (22.23 kgs.)

Warranty

- Five year limited warranty, consult website for details. www.cooperlighting.com/legal

Energy and Performance Data

Power and Lumens



View PRV-P IES files



View PRV IES files



View PRV-XL IES files

Product Family		Prevail Petite				Prevail				Prevail XL				Prevail Maxx			
Light Engine		PA1A	PA1B	PA1C	PA1D	PA1A	PA1B	PA2A	PA2B	PA3A	PA3B	PA4A	PA4B	PA6A	PA6B	PA6C	PA6D
Power (Watts)		31	53	72	93	54	74	113	151	172	234	245	303	274	366	457	544
Drive Current (mA)		375	670	930	1200	670	930	720	970	750	980	785	970	600	800	1000	1200
Input Current @ 120V (A)		0.26	0.44	0.60	0.78	0.45	0.62	0.93	1.26	1.44	1.95	2.04	2.53	2.30	3.05	3.83	4.54
Input Current @ 277V (A)		0.12	0.20	0.28	0.35	0.21	0.28	0.41	0.55	0.62	0.85	0.93	1.12	0.99	1.30	1.62	1.94
Input Current @ 347V (A)		0.10	0.17	0.23	0.29	0.17	0.23	0.33	0.45	0.52	0.70	0.74	0.90	0.78	1.05	1.32	1.60
Input Current @ 480V (A)		0.07	0.13	0.17	0.22	0.12	0.17	0.24	0.33	0.39	0.52	0.53	0.65	0.58	0.76	0.95	1.14
Distribution																	
Type II Roadway	4000K/5000K Lumens	4,505	7,362	9,495	11,300	7,605	9,896	15,811	19,745	24,718	30,648	34,067	39,689	41,611	52,596	61,921	67,899
	BUG Rating	B1-U0-G1	B1-U0-G2	B1-U0-G2	B1-U0-G2	B1-U0-G2	B1-U0-G2	B2-U0-G3	B2-U0-G3	B3-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G4	B3-U0-G4	B4-U0-G5	B4-U0-G5	B4-U0-G5
	Lumens per Watt	147	139	132	121	141	134	141	131	144	131	139	131	152	144	135	125
	3000K Lumens ¹	4,103	6,705	8,647	10,291	6,926	9,012	14,399	17,982	22,511	27,912	31,025	36,145	37,896	47,900	56,392	61,837
Type II Roadway w/ HSS	4000K/5000K Lumens	3,727	6,091	7,855	9,349	6,006	7,815	12,487	15,594	19,521	24,204	26,094	31,334	32,874	41,553	48,919	53,642
	BUG Rating	B0-U0-G1	B0-U0-G2	B0-U0-G2	B1-U0-G2	B0-U0-G1	B1-U0-G2	B1-U0-G2	B1-U0-G2	B1-U0-G3	B1-U0-G3	B1-U0-G4	B1-U0-G4	B2-U0-G4	B2-U0-G4	B2-U0-G5	B2-U0-G5
	Lumens per Watt	121	115	109	100	111	106	111	103	113	103	107	103	120	114	107	99
	3000K Lumens ¹	3,394	5,547	7,154	8,514	5,470	7,117	11,372	14,201	17,778	22,043	24,502	28,545	29,939	37,843	44,552	48,853
Type II Urban	4000K/5000K Lumens	4,496	7,347	9,476	11,277	7,597	9,886	15,795	19,724	24,692	30,616	34,031	39,647	41,372	52,294	61,565	67,509
	BUG Rating	B1-U0-G1	B2-U0-G2	B2-U0-G2	B3-U0-G3	B2-U0-G2	B3-U0-G3	B3-U0-G3	B3-U0-G3	B4-U0-G4	B4-U0-G4	B4-U0-G4	B4-U0-G4	B4-U0-G4	B5-U0-G5	B5-U0-G5	B5-U0-G5
	Lumens per Watt	146	139	131	121	141	134	141	131	144	131	139	131	151	143	135	124
	3000K Lumens ¹	4,095	6,691	8,630	10,271	6,919	9,003	14,384	17,963	22,488	27,882	30,992	36,107	37,678	47,625	56,068	61,481
Type II Urban w/ HSS	4000K/5000K Lumens	3,253	5,316	6,856	8,160	5,297	6,893	11,013	13,753	17,217	21,347	23,728	27,644	28,951	36,594	43,082	47,241
	BUG Rating	B1-U0-G1	B1-U0-G1	B1-U0-G2	B1-U0-G2	B1-U0-G1	B1-U0-G2	B1-U0-G2	B2-U0-G2	B2-U0-G2	B2-U0-G3	B2-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G4	B3-U0-G5	B3-U0-G5
	Lumens per Watt	106	101	95	87	98	93	97	91	100	91	97	91	106	100	94	87
	3000K Lumens ¹	2,963	4,841	6,244	7,431	4,824	6,277	10,029	12,525	15,680	19,441	21,609	25,176	26,366	33,327	39,235	43,023
Type III	4000K/5000K Lumens	4,443	7,261	9,364	11,145	7,575	9,857	15,749	19,667	24,621	30,527	33,932	39,532	41,155	52,020	61,242	67,155
	BUG Rating	B1-U0-G1	B1-U0-G2	B2-U0-G2	B2-U0-G2	B1-U0-G2	B2-U0-G3	B3-U0-G3	B3-U0-G3	B3-U0-G4	B3-U0-G5	B3-U0-G5	B4-U0-G5	B4-U0-G5	B4-U0-G5	B4-U0-G5	B4-U0-G5
	Lumens per Watt	145	138	130	119	140	133	141	130	143	130	138	130	150	142	134	123
	3000K Lumens ¹	4,046	6,612	8,528	10,150	6,899	8,977	14,343	17,911	22,423	27,802	30,903	36,002	37,480	47,375	55,774	61,159
Type III w/ HSS	4000K/5000K Lumens	3,406	5,566	7,179	8,543	5,592	7,277	11,626	14,519	18,176	22,536	25,049	29,183	30,159	38,121	44,879	49,212
	BUG Rating	B0-U0-G1	B1-U0-G2	B1-U0-G2	B1-U0-G2	B1-U0-G2	B1-U0-G2	B1-U0-G2	B1-U0-G3	B2-U0-G4	B2-U0-G4	B2-U0-G4	B2-U0-G5	B2-U0-G5	B3-U0-G5	B3-U0-G5	B3-U0-G5
	Lumens per Watt	111	105	100	91	104	98	103	96	106	96	102	96	110	104	98	90
	3000K Lumens ¹	3,102	5,069	6,538	7,781	5,093	6,627	10,588	13,222	16,553	20,524	22,813	26,578	27,466	34,717	40,872	44,818
Type IV Wide	4000K/5000K Lumens	4,348	7,106	9,164	10,906	7,484	9,738	15,560	19,431	24,325	30,161	33,525	39,057	41,207	52,086	61,320	67,240
	BUG Rating	B1-U0-G2	B2-U0-G2	B2-U0-G2	B2-U0-G3	B2-U0-G2	B2-U0-G3	B3-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G5	B3-U0-G5	B4-U0-G5	B4-U0-G5	B4-U0-G5	B4-U0-G5	B4-U0-G5
	Lumens per Watt	142	135	127	117	139	132	139	129	141	129	137	129	151	142	134	124
	3000K Lumens ¹	3,960	6,471	8,346	9,932	6,816	8,869	14,170	17,696	22,153	27,468	30,531	35,570	37,528	47,435	55,845	61,236
Type IV Wide w/ HSS	4000K/5000K Lumens	3,318	5,422	6,993	8,323	5,420	7,053	11,268	14,072	17,617	24,843	24,279	28,286	30,005	37,926	44,650	48,961
	BUG Rating	B0-U0-G1	B1-U0-G2	B1-U0-G2	B1-U0-G2	B1-U0-G2	B1-U0-G2	B1-U0-G3	B1-U0-G3	B1-U0-G4	B2-U0-G4	B2-U0-G4	B2-U0-G5	B2-U0-G5	B3-U0-G5	B3-U0-G5	B3-U0-G5
	Lumens per Watt	108	103	97	89	100	95	100	93	102	106	99	93	110	104	98	90
	3000K Lumens ¹	3,022	4,938	6,369	7,580	4,936	6,423	10,262	12,816	16,044	19,892	22,111	25,760	27,326	34,540	40,664	44,589
Type V Square Wide	4000K/5000K Lumens	4,497	7,349	9,478	11,280	7,831	10,190	16,281	20,332	25,453	31,559	35,079	40,868	42,947	54,285	63,909	70,079
	BUG Rating	B3-U0-G1	B3-U0-G2	B4-U0-G2	B4-U0-G2	B3-U0-G2	B4-U0-G3	B4-U0-G3	B5-U0-G3	B5-U0-G4	B5-U0-G5	B5-U0-G5	B5-U0-G5	B5-U0-G5	B5-U0-G5	B5-U0-G5	B5-U0-G5
	Lumens per Watt	146	139	131	121	145	138	145	135	148	135	143	135	157	143	136	129
	3000K Lumens ¹	4,095	6,693	8,632	10,273	7,132	9,280	14,827	18,517	23,180	28,741	31,947	37,219	39,112	49,438	58,203	63,822

NOTES:

1. For 3000K or HSS BUG Ratings, refer to published IES files

Energy and Performance Data

LABEL- SP1

House Side Shield Reference Table

Product Family		Prevail	Prevail		Prevail XL		Prevail Maxx
Light Engine		PA1	PA1	PA2	PA3	PA4	PA6
Rotated Optics	Standard	HSS-HP (Qty 1)	HSS-VP (Qty 1)	HSS-HP (Qty 2)	HSS-HP (Qty 3)	HSS-VP (Qty 4)	HSS-HP (qty 6)
	L90 or R90 option	HSS-VP (Qty 1)	HSS-HP (Qty 1)	HSS-VP (Qty 2)	HSS-VP (Qty 3)	HSS-HP (Qty 4)	HSS-VP (qty 6)

Sensor Color Reference Table (SPBx)

Housing Finish	Sensor Color
AP=Grey	Grey
BZ=Bronze	Bronze
BK=Black	Black
DP=Dark Platinum	Grey
GM=Graphite Metallic	Black
WH=White	White

Lumen Multiplier

Ambient Temperature	Lumen Multiplier
0°C	1.02
10°C	1.01
25°C	1.00
40°C	0.99
50°C	0.97

FADC Settings

FADC Postion	Percent of Typical Lumen Output
1	25%
2	48%
3	55%
4	62%
5	72%
6	77%
7	82%
8	85%
9	90%
10	100%

Note: +/-5% typical value

Lumen Maintenance

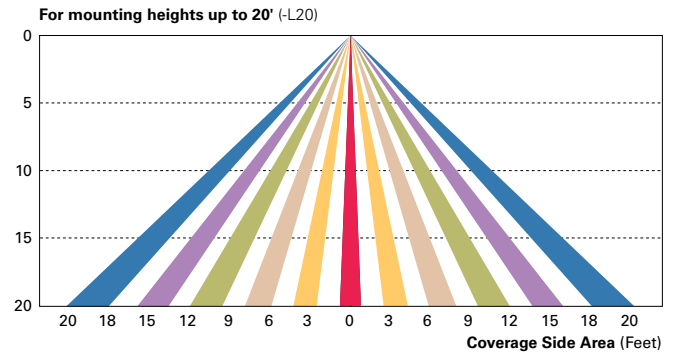
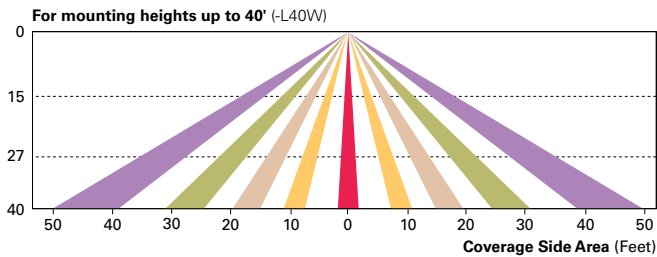
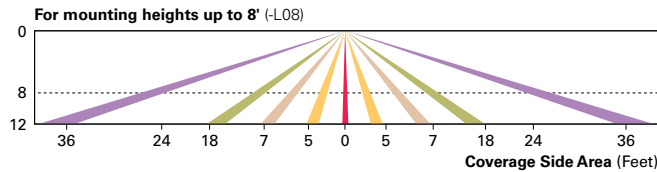
Ambient Temperature	TM-21 Lumen Maintenance (78,000 Hours)	Theoretical L70 (Hours)
Up to 50°C	96.76%	> 896,000

Control Options

0-10V This fixture provides 0-10V dimming wire leads for use with a lighting control panel or other control method.

Photocontrol (PR and PR7) Photocontrol receptacles provide a flexible solution to enable "dusk-to-dawn" lighting by sensing light levels. Advanced control systems compatible with NEMA 7-PIN standards can be utilized with the PR7 receptacle.

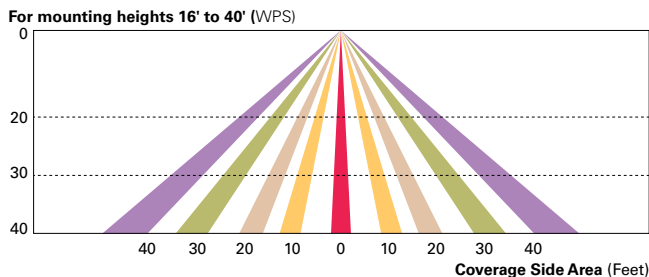
Dimming Occupancy Sensor (SPB, MS/DIM-LXX) These sensors are factory installed in the luminaire housing. When the SPB or MS/DIM sensor options are selected, the luminaire will dim down after five minutes of no activity detected. When activity is detected, the luminaire returns to full light output. These occupancy sensors include an integral photocell for "dusk-to-dawn" control or "daylight harvesting." Factory default is enabled for the MS sensors and disabled for the SPB. SPB motion sensors require the Sensor Configuration mobile application by Wattstopper to change factory default dimming level, time delay, sensitivity and other parameters. Available for iOS and Android devices. The SPB sensor is factory preset to dim down to approximately 10% power with a time delay of five minutes.



WaveLinx Wireless Control and Monitoring System Available in 7-PIN or 4-PIN configurations, the WaveLinx Outdoor control platform operates on a wireless mesh network based on IEEE 802.15.4 standards enabling wireless control of outdoor lighting. At least one Wireless Area Controller (WAC) is required for full functionality and remote communication (including adjustment of any factory pre-sets).

WaveLinx Outdoor Control Module (WOLC-7P-10A) A photocontrol that enables astronomic or time-based schedules to provide ON, OFF and dimming control of fixtures utilizing a 7-PIN receptacle. The out-of-box functionality is ON at dusk and OFF at dawn.

WaveLinx PRO Wireless Sensor (WPS2 and WPS4) These outdoor sensors offer passive infrared (PIR) occupancy sensing and a photocell for closed-loop daylight sensing. These sensors are factory preset to dim down to approximately 50 percent power after 15 minutes of no activity detected, and the photocell for "dusk-to-dawn" control is default enabled. A variety of sensor lenses are available to optimize the coverage pattern for mounting heights from 7'-40'.



Project		Catalog #		Type	
Prepared by		Notes		Date	



Invue

ARB Arbor Post Top

Decorative Luminaire

Product Features



Interactive Menu

- Order Information [page 2](#)
- Product Specifications [page 3](#)
- Optical Distributions [page 5](#)
- Control Options [page 7](#)

Product Certifications



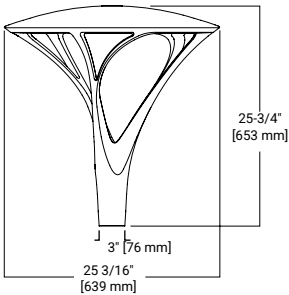
Quick Facts

- Low copper content two piece aluminum housing
- Type II, III and IV asymmetric and type V symmetric NEMA distributions
- Up to 110 LPW
- 4000K @ 70 CRI standard, other options are available
- 3G vibration rated (post top) and 1.5G (single/twin pole accessories)
- Wall mount accessories available

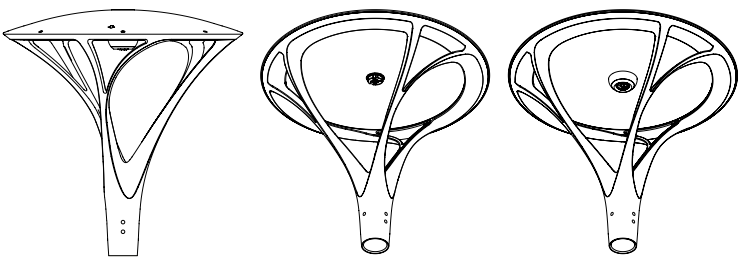
Connected Systems

- WaveLinx PRO Wireless
- WaveLinx LITE Wireless

Dimensional and Mounting Details



Pole Mount



Pole Mount with WaveLinx

Weight: 37 lbs. [16.8 kgs.]
EPA: 0.9 Sq. Ft.

Ordering Information

LABEL- SP2

SAMPLE NUMBER: ARB-B2-LED-D1-T2-GM

Product Family ^{1,2}	Lumens ³	Lamp Type	Voltage	Distribution	Color ⁷
ARB =Arbor Post Top BAA-ARB =Arbor Post Top Buy American Act Compliant ²³ BABA-ARB =Build America Buy America Act ²⁹	B1 =Nominal 2,300 Lumens B2 =Nominal 4,500 Lumens B3 =Nominal 8,500 Lumens B4 =Nominal 9,500 Lumens ⁴	LED =Solid State Light Emitting Diodes	D1 =Dimming Driver (120-277V) 347 =347V ⁵ 480 =480V ^{5,6}	T2 =Type II T3 =Type III T4 =Type IV T5 =Type V	AP =Grey BZ =Bronze BK =Black DP =Dark Platinum GM =Graphite Metallic WH =White
Options (Add as Suffix)			Accessories (Order Separately) ⁸		
7030 =70 CRI / 3000K CCT ⁸ 7035 =70 CRI / 3500K CCT ⁸ 8030 =80 CRI / 3000K CCT ⁸ 8035 =80 CRI / 3500K CCT ⁸ AMB =Amber 590nm ^{11,25} 20MSP =Parallel 20kV MOV Surge Protection Device 20K =Series 20kV UL 1449 Surge Protection Device PC =Button Type Photocontrol PER =NEMA 3-PIN Twistlock Photocontrol Receptacle PER7 =NEMA 7-PIN Twistlock Photocontrol Receptacle HA =50°C High Ambient Temperature ⁹ SPB1 =Dimming Occupancy Sensor with Bluetooth Interface, <8' Mounting ²¹ SPB2 =Dimming Occupancy Sensor with Bluetooth Interface, 8'-20' Mounting ²¹ SPB4 =Dimming Occupancy Sensor with Bluetooth Interface, 21'-40' Mounting ²¹ MS-L08 =Motion Sensor for ON/OFF Operation, Maximum 8' Mounting Height ^{10,11} MS-L20 =Motion Sensor for ON/OFF Operation, 9' - 20' Mounting Height ^{10,11} MS-L40W =Motion Sensor for ON/OFF Operation, 21' - 40' Mounting Height ^{10,11} MS/DIM-L08 =Motion Sensor for Dimming Operation, Maximum 8' Mounting Height ^{10,11} MS/DIM-L20 =Motion Sensor for Dimming Operation, 9' - 20' Mounting Height ^{10,11} MS/DIM-L40W =Motion Sensor for Dimming Operation, 21' - 40' Mounting Height ^{10,11} WLS2XX =WaveLinX LITE, SR Driver, Dimming Motion and Daylight, Bluetooth Programmable, 7' - 15' Mounting WLS4XX =WaveLinX LITE, SR Driver, Dimming Motion and Daylight, Bluetooth Programmable, 15' - 40' Mounting WPS2XX =WaveLinX PRO, SR Driver, Dimming Motion and Daylight, WAC Programmable, 7' - 15' Mounting ^{10,12,13,18,27} WPS4XX =WaveLinX PRO, SR Driver, Dimming Motion and Daylight, WAC Programmable, 15' - 40' Mounting ^{10,12,13,18,27} 5LTD =Fifth Light Dali Driver ^{10,16} DIM =0-10V External Dimming Leads ^{10,17} VS =Tempered Glass Vandal Shield CC =Coastal Construction ²² SPBL2 =FDP-301-L2 (Wattstopper DALI sensor) SPBL4 =FDP-301-L7 (Wattstopper DALI sensor) TH =Toolless hardware F =Single Fuse ²⁶			ARSA-XX =Single Pole Mount Arm ¹⁸ ARWM-XX =Wall Mount Arm ARTA15-XX =Twin Mount Bracket ¹⁹ ARPA4-XX =Pole Adapter 4" O.D. Pole FSIR-100 =Wireless Configuration Tool for Occupancy Sensor ¹⁹ WOLC-7P-10A =Wavelinx Outdoor Control Module (7-PIN) ^{10,20}		
NOTES: 1. Customer is responsible for engineering analysis to confirm pole and fixture compatibility for all applications. Refer to our white paper WP513001EN for additional information. 2. Fixture slifits over standard 2-3/8" tenon. 3" O.D. tenon when used with a ARPA4-XX 4" O.D. pole adapter. 3. Standard 4000K CCT, nominal 70CRI. 4. B4 only available with Type V distribution. 5. Requires the use of a step down transformer. 6. Only for use with 480V Wye systems. Per NEC, not for use with ungrounded systems, impedance grounded systems or corner grounded systems (commonly known as Three Phase Three Wire Delta, Three Phase High Leg Delta and Three Phase Corner Grounded Delta systems). 7. Custom and RAL color matching available upon request. Consult your lighting representative for more information. 8. Extended lead times apply. Use dedicated IES files when performing layouts. 9. Not available with B3 lumen package in Type II, III, or IV distributions. 10. Controls system is not available with photocontrol (PC), photocontrol receptacle (PER or PER7), or controls systems MS, LWR, DIM or SPBx. 11. Not available with HA option. 12. Sensor passive infrared (PIR) may be overly sensitive below -20°C (-4°F). 13. For device to be field-configurable, requires WAC Gateway components WAC-POE and WPOE-120 in appropriate quantities. Only compatible with WaveLinX system and software and requires system components to be installed for operation. See website for more WaveLinX application information. 14. Not available on B1 or B4 lumen packages. 15. Not available in B4 lumen package. 16. Low voltage control leads brought 18" outside fixture. 17. Replace XX with paint color. 18. Fits on 3" O.D. x 4" long tenon for nominal 4-1/2" O.D. pole top. 19. This tool enables adjustment to Motion Sensor (MS) parameters including high and low modes, sensitivity, time delay, cutoff and more. Consult your lighting representative for more information. 20. Requires 7-PIN NEMA twistlock photocontrol receptacle (PER7) option. The WOLC-7 cannot be used in conjunction with other controls systems (MS or LWR). Operates on 120-347V input voltages. 21. Smart device with mobile application required to change system defaults. See controls section for details. 22. Coastal construction finish salt spray tested to over 5,000-hours per ASTM B117, with a scribe rating of 9 per ASTM D1654. 23. Only product configurations with this designated prefix are built to be compliant with the Buy American Act of 1933 (BAA). Please refer to DOMESTIC PREFERENCES website for more information. Components shipped separately may be separately analyzed under domestic preference requirements. 24. Accessories sold separately will be separately analyzed under domestic preference requirements. Consult factory for further information. 25. Narrow-band 590nm +/- 5nm for wildlife and observatory use. Choose Lumen Package B1. See IES files for photometric performance. 26. Must specify voltage (120V, 277V, or 347V) to fuse the single hot leg. 27. Not available with 5LTD option. 28. IDA Certified for 3000K CCT and warmer only 29. Only product configurations with these prefixes are built to be compliant with the Buy American Act of 1933 (BAA) or the Build America Buy America Act (BABA). BABA is the minimum Government compliance requirement for the Build America Buy America standards which is part of the Infrastructure and Investment Jobs Act (IIJA). Individual Government Agencies may have more stringent compliance standards. Please refer to the DOMESTIC PREFERENCES website or consult the CLS Domestic Preferences team for more information. Components shipped separately may be separately analyzed under domestic preference requirements.					

ARP ORDERING INFORMATION (ALUMINUM DECORATIVE POLE)

LABEL- SP2

SAMPLE NUMBER: ARP5L310ABZ2

Product Family	Shaft Size (Inches) ¹	Wall Thickness (Inches)	Pole Top Diameter (Inches)	Mounting Height (Feet)	Base Type	Finish	Mounting Type	Number and Location of Arms	Options (Add as Suffix)
ARP= Aluminum Round Tapered Decorative BAA-ARP= Aluminum Round Tapered Decorative Buy American Act Compliant ³⁶	5= 5"	L= 0.156" M= 0.188"	3= 3" O.D. ² 6= 4" O.D. ³	10= 10' 12= 12' 14= 14' 16= 16' 18= 18' ⁴ 22= 22' ⁴	A= Aluminum (Round 4-Bolt Pole)	AP= Grey BA= Anodized Bronze BK= Black BZ= Bronze CA= Anodized Clear DA= Anodized Black DP= Dark Platinum GM= Graphite Metallic GN= Hartford Green WH= White	2= 2-3/8" O.D. Tenon (4" Long) 5= 3" O.D. Tenon (4" Long)	X= None	C= Convenience Outlet ⁵ E= GFCI Convenience Outlet ⁵ G= Ground Lug V= Vibration Dampener ⁴
NOTES: 1. All shaft sizes nominal. 2. Provides 3" O.D. pole top suited for Arbor Post Top. 3. Provides 4" O.D. pole top suited for LuxeScape post tops. 4. Vibration damper recommended over 18 feet add suffix "V" to catalog number. 5. Specify outlet location. Receptacle not included, provision only.									

Product Specifications

Construction

- Two-piece housing is cast from low copper content corrosion resistant aluminum, maintaining strength and precision to sustain long term dayform appearance
- ANSI C136.31 testing compliance prevents damage from installation generated vibration
- External hardware and casting seams are minimized to enhance appearance

Optics

- Specifically designed for pedestrian applications, WaveStream LED optical waveguide technology produces both symmetric NEMA type V and asymmetric NEMA II, III, IV distributions
- The waveguide is manufactured from precision injection molded acrylic resulting in a pixelation free optical image for improved glare control and visual comfort
- Luminaire efficacy's measure up to 110 lumens per watt for 4000K (+/- 275K) CCT at 70 CRI (min), other CCT and CRI options are available
- Turtle-safe 590nm amber option available

Electrical

- LED driver(s) are directly mounted to upper housing thermal pad for optimal thermal performance
- 0-10V dimming compatibility is standard
- 10kV surge protection is standard
- Drivers operate at 120-277V 50/60Hz with 347V/60Hz or 480V/60Hz operation optional

Controls

- The Arbor LED luminaire control options are designed to be simple and cost-effective ASHRAE and California Title 24 compliant solutions
- The ANSI C136.41 compliant NEMA 7-PIN receptacle enables wireless dimming when used with compatible photocontrol
- See control options page for more details

Mounting

- Fixture is designed to slip-fit over a 2-3/8" tenon and is secured via six concealed stainless steel set screws
- Fixture seamlessly matches a 3" O.D. round pole top
- Utilize the pole mount adapter accessory "ARPA4-XX" to mount to a 3" diameter x 4" long tenon on 4" to 5" O.D. pole tops

Finish

- Premium TGIC based polyester powder coatings are specifically formulated to withstand years of outdoor service
- Finishes are compliant with ASTM B117 3000 hour salt spray standard
- RAL and custom colors are available. Additional charges and lead times apply

Compliance

- cULus certified for -40° to 40°C ambient environments, with high ambient options suitable up to 50°C
- IP66 rated
- Domestic preference option available to meet BAA requirements
- FHWA and FTA agencies are utilizing their BAA rules for BABA compliance. Cooper's products with a BAA designation are manufactured in the US and utilize a BAA COTS exemption rule for compliance. To verify a configured product with specific accessories and options meet BABA Domestic Preference Requirements; submit this catalog number to Cooper Lighting Quotation team for validation by our Engineering and Manufacturing teams
- Please refer to the [DOMESTIC PREFERENCES](#) website or consult the CLS Domestic Preferences team for more information. Components shipped separately may be separately analyzed under domestic preference requirements.
- DarkSky approved for 3000K CCT and warmer

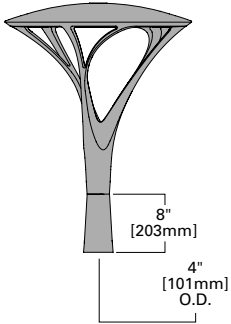
Warranty

- Five year limited warranty, consult website for details. www.cooperlighting.com/legal

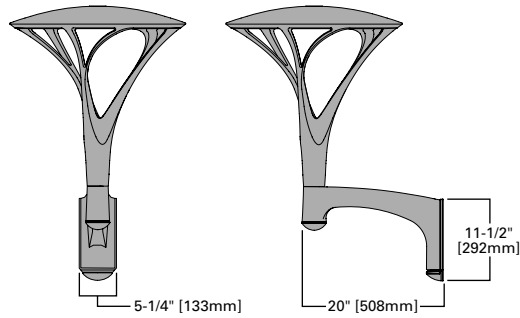
Mounting Configurations (Weight and EPAS includes fixture)

LABEL- SP2

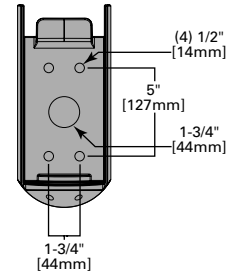
Post Top Adapter (ARPA4-XX)
Weight: 41 lbs. [18.63 Kgs.]
EPA: 1.2 Sq. Ft.



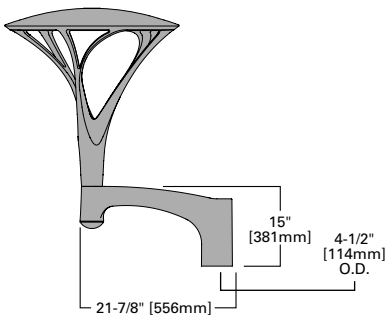
Wall Mount Arm (ARWM-XX)
Weight: 57 lbs. [25.91 Kgs.]
EPA: 1.8 Sq. Ft.



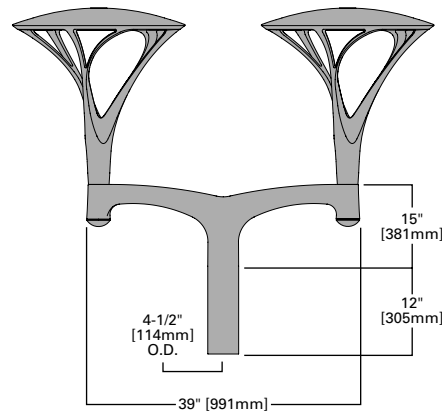
**Wall Mount Arm
 Drill Pattern**



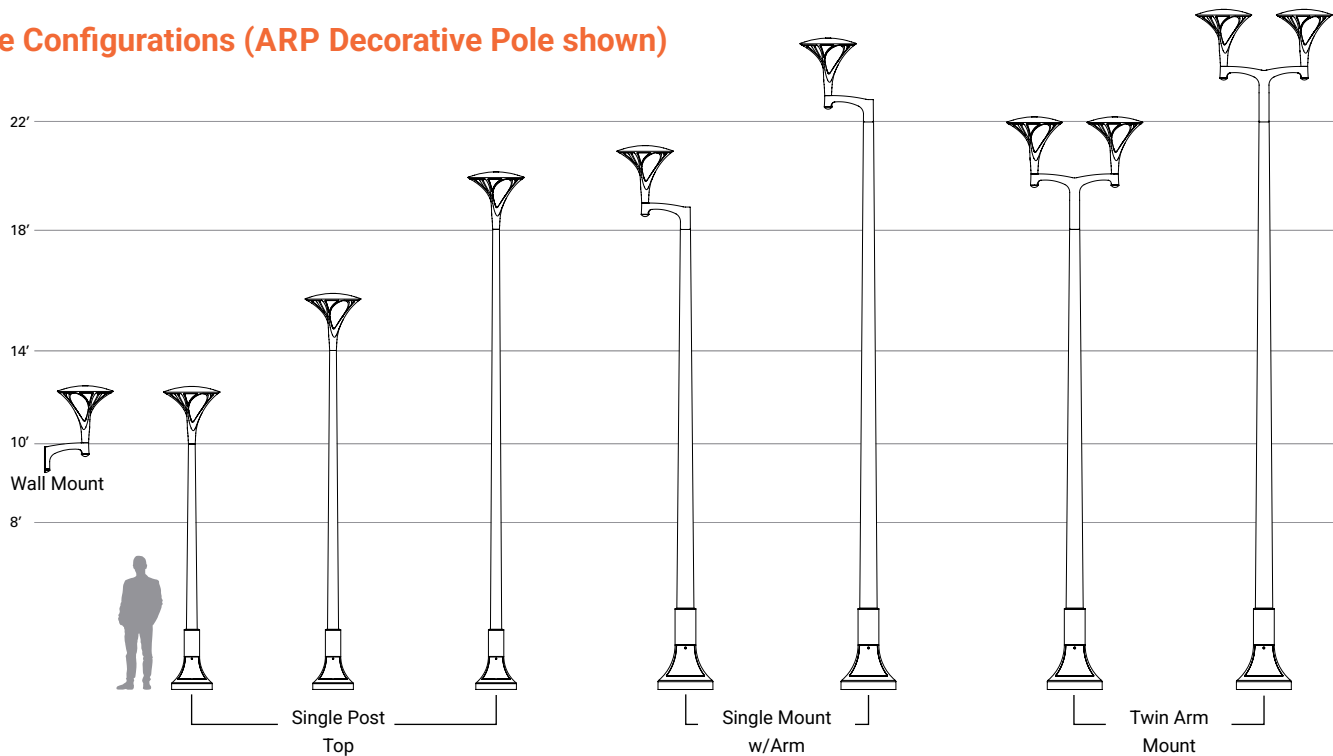
Single Arm Mount (ARSA-XX)
Weight: 56 lbs. [25.45 Kgs.]
EPA: 1.7 Sq. Ft.



Twin Arm Mount (ARTA15-XX)
Weight: 114 lbs. [51.81 Kgs.]
EPA: 3.45 Sq. Ft.



Pole Configurations (ARP Decorative Pole shown)



Optical Distributions

LABEL- SP2

View IES files

Power and Lumens

Lumen/Distribution		B1	B2	B3	B4
Power Wattage (Watts)		24W	48W	96W	99W
Input Current (mA) @ 120V		200	400	800	830
Input Current (mA) @ 208V		120	240	470	480
Input Current (mA) @ 240V		100	200	400	420
Input Current (mA) @ 277V		90	180	350	360
Power Wattage (Watts)		26W	53W	107W	108W
Input Current (mA) @ 347V		79	161	325	328
Input Current (mA) @ 480V		58	117	235	237
Optics					
Type II	Lumens	2,045	3,994	7,362	-
	BUG Rating	B1-U0-G1	B1-U0-G2	B3-U0-G3	-
Type III	Lumens	2,324	4,534	8,451	-
	BUG Rating	B1-U0-G1	B1-U0-G2	B3-U0-G3	-
Type IV	Lumens	2,408	4,691	8,740	-
	BUG Rating	B1-U0-G1	B1-U0-G2	B3-U0-G3	-
Type V	Lumens	2,311	4,529	8,511	9,464
	BUG Rating	B1-U0-G1	B1-U0-G2	B3-U0-G3	B3-U0-G3

Lumen Multiplier

Ambient Temperature	Lumen Multiplier
0°C	1.02
10°C	1.01
25°C	1.00
40°C	0.99
50°C	0.97

Lumen Maintenance

Ambient Temperature	TM-21 Lumen Maintenance (60,000 Hours)	Calculated L70 (HOURS)
25°C	>94%	>230,000
40°C	>88%	>172,000
50°C	>86%	>142,000

Note: Maintenance data applies to the highest drive current and represents the worst case at the highest wattage.

Color Temperature

Color Temperature (CCT)	CRI (Nominal)	Multiplier
4000	70	1.00
3000	80	0.91

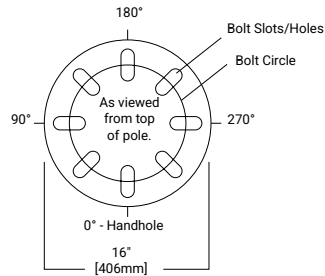
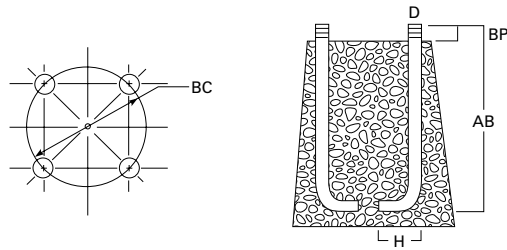
Lumen Multiplier

Lumen Package	Temperature
B1	-40°C
B2	-35°C
B3	-35°C
B4	-40°C
All DALI powered lumen packages	-20°C

Power and Lumens

Lumen Package			B1	B2	B3	B4
CRI/CCT (Nominal)	Distribution					
7030: 70CRI / 3000K	Type II	Lumens	1893	3994	6815	-
		Lumens Per Watt	78.9	83.2	68.8	-
		BUG Rating	B1-U0-G1	B2-U0-G2	B3-U0-G3	-
	Type III	Lumens	2324	4534	7823	-
		Lumens Per Watt	96.8	94.5	79.0	-
		BUG Rating	B1-U0-G1	B1-U0-G2	B2-U0-G3	-
	Type IV	Lumens	2408	4691	8090	-
		Lumens Per Watt	100.3	97.7	81.7	-
		BUG Rating	B1-U0-G1	B1-U0-G2	B2-U0-G3	-
	Type V	Lumens	2311	4529	7878	8761
		Lumens Per Watt	110.0	110.5	91.6	91.3
		BUG Rating	B2-U0-G1	B3-U0-G2	B3-U0-G3	B3-U0-G3
8030: 80CRI / 3000K	Type II	Lumens	1708	3336	6149	-
		Lumens Per Watt	71.2	69.5	62.1	-
		BUG Rating	B1-U0-G1	B2-U0-G2	B3-U0-G3	-
	Type III	Lumens	1941	3787	7058	-
		Lumens Per Watt	80.9	78.9	71.3	-
		BUG Rating	B1-U0-G1	B1-U0-G2	B2-U0-G3	-
	Type IV	Lumens	2011	3918	7300	-
		Lumens Per Watt	83.8	81.6	73.7	-
		BUG Rating	B1-U0-G1	B1-U0-G2	B2-U0-G3	-
	Type V	Lumens	1930	3783	7108	7904
		Lumens Per Watt	91.9	92.3	82.7	82.3
		BUG Rating	B2-U0-G1	B2-U0-G2	B3-U0-G3	B3-U0-G3

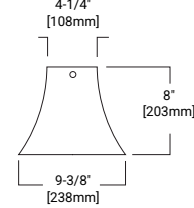
Anchorage Data



Anchor Base Detail

Access Door

LABEL- SP2



Tenon O.D. (Inches)	Anchor Bolt and Template Package	Shaft Diameter (Inches)	Bolt Circle (Inches)	Number of Bolts	Bolt Size (Inches)	Template Only
Aluminum Round Decorative Pole (ARP)	317AVE30	4 x 5	9	4	3/4 x 17	407040D

Effective Projected Area (At Pole Top)

Mounting Height (Feet)	Catalog Number	Wall Thickness (Inches)	Bolt Circle Diameter (Inches)	Anchor Bolt Projection (Inches)	Shaft Taper (Inches)	Anchor Bolt Diameter x Length x Hook (Inches)	Net Weight (Pounds)	Maximum Effective Projected Area (Square Feet) (1.3 gust factor)			Max. Load (Pounds)
								80 mph	90 mph	100 mph	
MH			BC	BP	B	AB ¹		80 mph	90 mph	100 mph	
10	ARP5L310A	0.156	9.0	3.5	5 X 3	3/4 X 17 X 3	57	20.0	17.5	14.1	120
10	ARP5L610A	0.156	9.0	3.5	5 X 4	3/4 X 17 X 3	57	17.0	13.3	10.7	120
12	ARP5L312A	0.156	9.0	3.5	5 X 3	3/4 X 17 X 3	62	18.2	14.1	11.2	120
12	ARP5L612A	0.156	9.0	3.5	5 X 4	3/4 X 17 X 3	62	14.1	10.9	8.7	120
14	ARP5L314A	0.156	9.0	3.5	5 X 3	3/4 X 17 X 3	67	14.8	11.4	9.0	120
14	ARP5L614A	0.156	9.0	3.5	5 X 4	3/4 X 17 X 3	67	11.7	9.0	7.1	120
16	ARP5L316A	0.156	9.0	3.5	5 X 3	3/4 X 17 X 3	72	12.0	9.1	7.0	120
16	ARP5L616A	0.156	9.0	3.5	5 X 4	3/4 X 17 X 3	72	9.4	7.1	5.6	120
18	ARP5L318A	0.156	9.0	3.5	5 X 3	3/4 X 17 X 3	77	9.5	7.1	5.4	120
18	ARP5L618A	0.156	9.0	3.5	5 X 4	3/4 X 17 X 3	77	7.6	5.6	4.3	120
18	ARP5M618A	0.188	9.0	3.5	5 X 4	3/4 X 17 X 3	83	9.5	7.1	5.6	120

Effective Projected Area (18" Above Pole Top)

Mounting Height (Feet)	Catalog Number	Wall Thickness (Inches)	Bolt Circle Diameter (Inches)	Anchor Bolt Projection (Inches)	Shaft Taper (Inches)	Anchor Bolt Diameter x Length x Hook (Inches)	Net Weight (Pounds)	Maximum Effective Projected Area (Square Feet) (1.3 gust factor)			Max. Load (Pounds)
								80 mph	90 mph	100 mph	
MH			BC	BP	B	AB ¹		80 mph	90 mph	100 mph	
10	ARP5L310A	0.156	9.0	3.5	5 X 3	3/4 X 17 X 3	57	19.6	15.3	12.3	120
10	ARP5L610A	0.156	9.0	3.5	5 X 4	3/4 X 17 X 3	57	17.0	13.3	10.7	120
12	ARP5L312A	0.156	9.0	3.5	5 X 3	3/4 X 17 X 3	62	16.1	12.5	9.9	120
12	ARP5L612A	0.156	9.0	3.5	5 X 4	3/4 X 17 X 3	62	14.1	10.9	8.7	120
14	ARP5L314A	0.156	9.0	3.5	5 X 3	3/4 X 17 X 3	67	13.2	10.1	8.0	120
14	ARP5L614A	0.156	9.0	3.5	5 X 4	3/4 X 17 X 3	67	11.7	9.0	7.1	120
16	ARP5L316A	0.156	9.0	3.5	5 X 3	3/4 X 17 X 3	72	10.6	8.0	6.2	120
16	ARP5L616A	0.156	9.0	3.5	5 X 4	3/4 X 17 X 3	72	9.4	7.1	5.6	120
18	ARP5L318A	0.156	9.0	3.5	5 X 3	3/4 X 17 X 3	77	8.5	6.4	4.8	120
18	ARP5L618A	0.156	9.0	3.5	5 X 4	3/4 X 17 X 3	77	7.6	5.6	4.3	120
18	ARP-5M618A	0.188	9.0	3.5	5 X 4	3/4 X 17 X 3	83	9.5	7.1	5.6	120

Control Options

0-10V (D)

The dimming option provides 0-10V dimming wire leads for use with a lighting control panel or other control method.

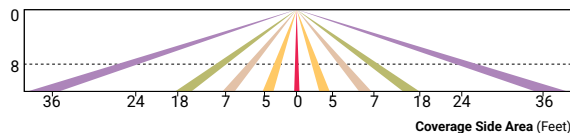
Photocontrol (PER and PER7)

Photocontrol receptacles provide a flexible solution to enable "dusk-to-dawn" lighting by sensing light levels. Advanced control systems compatible with NEMA 7-pin standards can be utilized with the PER7 receptacle.

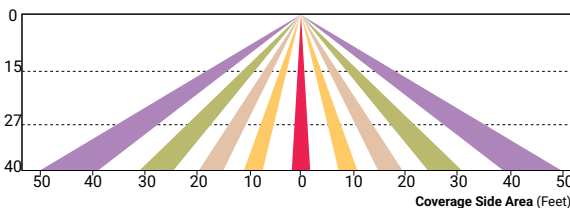
Dimming Occupancy Sensor (SPB, MS/DIM-LXX and MS-LXX)

These sensors are factory installed in the luminaire housing. When the SPB or MS/DIM sensor options are selected, the occupancy sensor is connected to a dimming driver and the entire luminaire dims when there is no activity detected. When activity is detected, the luminaire returns to full light output. The MS/DIM sensor is factory preset to dim down to approximately 50 percent power with a time delay of five minutes. The MS-LXX sensor is factory preset to turn the luminaire off after five minutes of no activity. SPB motion sensors require the Sensor Configuration mobile application by Wattstopper to change factory default dimming level, time delay, sensitivity and other parameters. Available for iOS and Android devices. The SPB sensor is factory preset to dim down to approximately 10% power with a time delay of five minutes. The MS/DIM occupancy sensors require the FSIR-100 programming tool to adjust factory defaults.

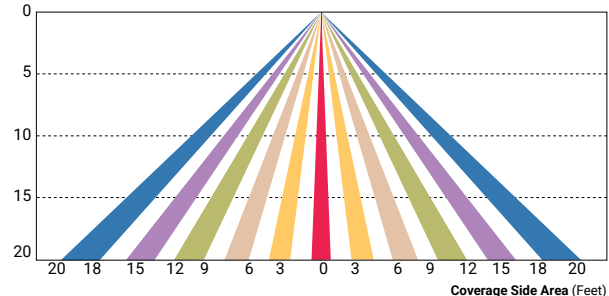
For mounting heights up to 8' (SPB1, -L08)



For mounting heights up to 40' (SPB4, -L40W)



For mounting heights up to 20' (SPB2, -L20)



WaveLinX Wireless Control and Monitoring System

Available in 7-PIN or 4-PIN configurations, the WaveLinX Outdoor control platform operates on a wireless mesh network based on IEEE 802.15.4 standards enabling wireless control of outdoor lighting. Use the WaveLinX Mobile application for set-up and configuration. At least one Wireless Area Controller (WAC) is required for full functionality and remote communication (including adjustment of any factory pre-sets).

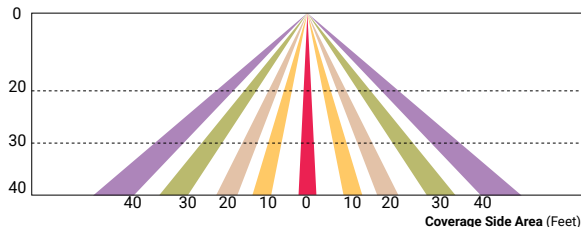
WaveLinX Outdoor Control Module (WOLC-7P-10A)

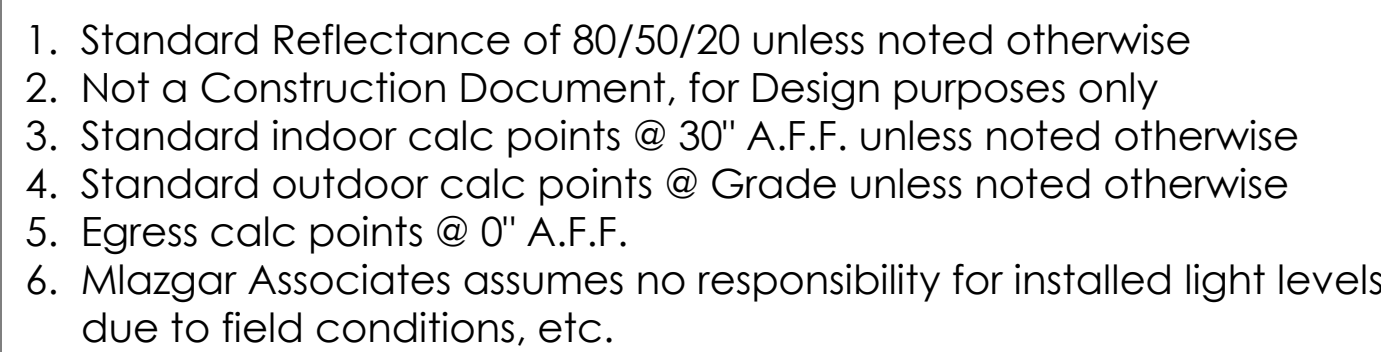
A photocontrol that enables astronomic or time-based schedules to provide ON, OFF and dimming control of fixtures utilizing a 7-PIN receptacle. The out-of-box functionality is ON at dusk and OFF at dawn.




WaveLinX Wireless Sensor (WPS2 and WPS4)

These outdoor sensors offer passive infrared (PIR) occupancy and a photocell for closed loop daylight sensing. These sensors are factory preset to dim down to approximately 50 percent power after 15 minutes of no activity detected. These occupancy sensors include an integral photocell for "dusk-to-dawn" control or daylight harvesting that is factory-enabled. A variety of sensor lenses are available to optimize the coverage pattern for mounting heights from 7'-40'.

For mounting heights up to 16' to 40' (WPS)





Luminaire Schedule								
Symbol	Qty	Label	Manufacturer	Description	Arrangement	Lum. Lumens	Lum. Watts	LLF
	3	OA		PRV-P-PA1A-740-U-T4W	Single	4348	30.7	0.900
	5	SP1		PRV-PA1B-740-U-T4W-HSS	Single	7053	74	0.900
	5	SP2		ARB-B2-LED-D1-T4	Single	4691	48	0.900