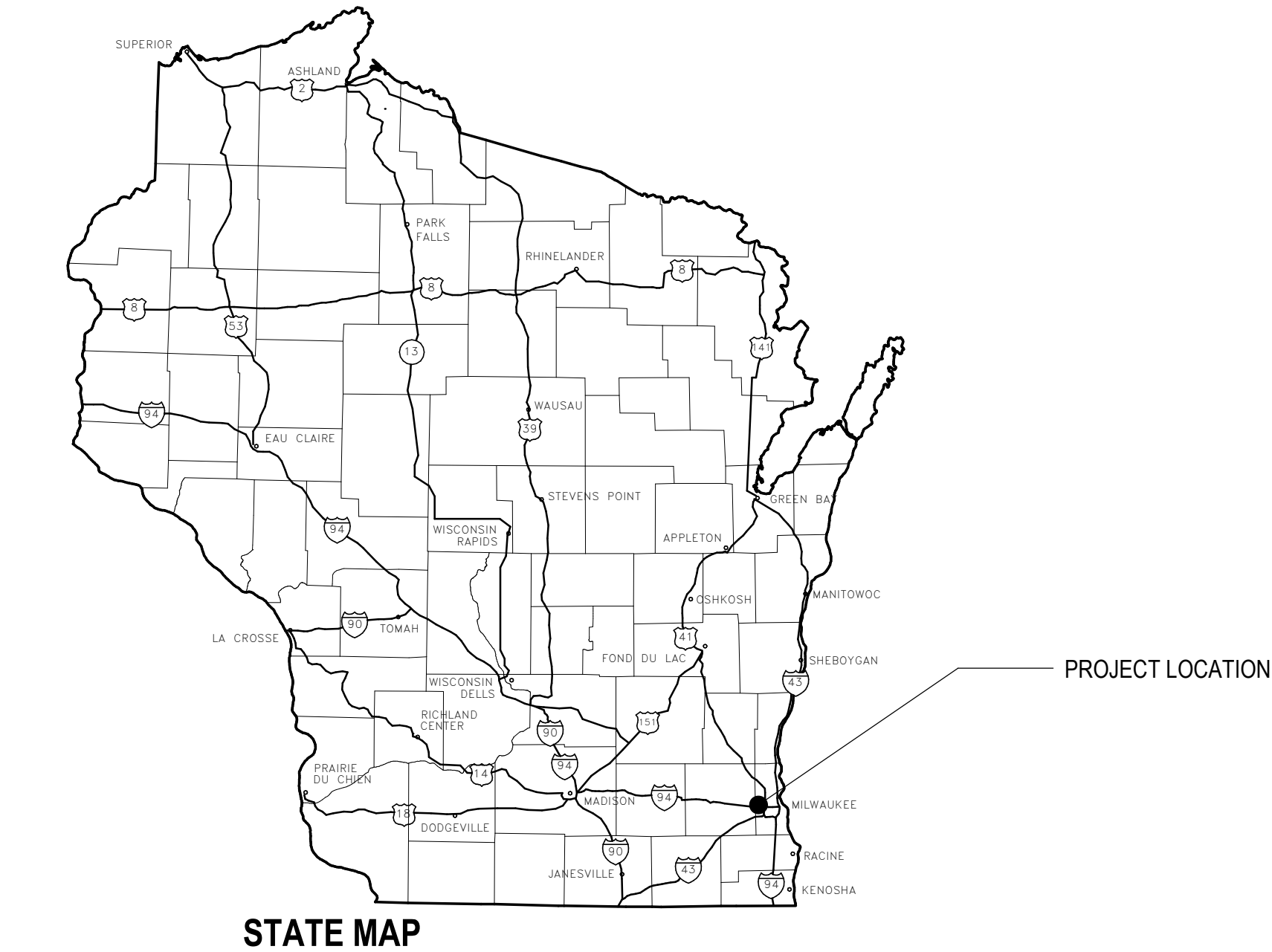


THE MAYFAIR COLLECTION

3325 & 3375 FOUNDRY WAY

WAUWATOSA, WI 53222



BUILDING A PROJECT/BUILDING DATA	
NEW 4 STORY MULTI-FAMILY BUILDING WITH UNDERGROUND PARKING	
BUILDING GROSS AREAS *	
TOTAL BUILDING AREA (EXCLUDING BASEMENT)	49,668 SQFT
TOTAL BUILDING AREA (INCLUDING BASEMENT)	62,224 SQFT
BASEMENT TOTAL AREA	12,556 SQFT
FIRST FLOOR TOTAL AREA	12,417 SQFT
SECOND FLOOR TOTAL AREA	12,417 SQFT
THIRD FLOOR TOTAL AREA	12,417 SQFT
FOURTH FLOOR TOTAL AREA	12,417 SQFT
* BUILDING GROSS AREA IS MEASURED TO THE EXTERIOR FACE OF CONCRETE AND CMU WALLS OR TO EXTERIOR FACE OF STUDS AT EACH FLOOR LEVEL. UNENCLOSED BALCONIES, ALCOVES, CANOPIES, AND ROOFS ARE EXCLUDED.	
PARKING COUNTS	
TOTAL SURFACE PARKING SPACES = 49 (SHARED WITH BUILDING B)	
TOTAL GARAGE PARKING SPACES = 33	
BICYCLE PARKING (1 STALL REQUIRED FOR EVERY 4 UNITS) = 11 PROVIDED	
- 3 STALLS PROVIDED IN BASEMENT PARKING GARAGE	
- 8 BICYCLE SPACES ACCOMMODATED THROUGH TENANT STORAGE	

BUILDING B PROJECT/BUILDING DATA	
NEW 4 STORY SENIOR-LIVING BUILDING WITH UNDERGROUND PARKING	
BUILDING GROSS AREAS *	
TOTAL BUILDING AREA (EXCLUDING BASEMENT)	41,840 SQFT
TOTAL BUILDING AREA (INCLUDING BASEMENT)	52,423 SQFT
BASEMENT TOTAL AREA	10,583 SQFT
FIRST FLOOR TOTAL AREA	10,460 SQFT
SECOND FLOOR TOTAL AREA	10,460 SQFT
THIRD FLOOR TOTAL AREA	10,460 SQFT
FOURTH FLOOR TOTAL AREA	10,460 SQFT
* BUILDING GROSS AREA IS MEASURED TO THE EXTERIOR FACE OF CONCRETE AND CMU WALLS OR TO EXTERIOR FACE OF STUDS AT EACH FLOOR LEVEL. UNENCLOSED BALCONIES, ALCOVES, CANOPIES, AND ROOFS ARE EXCLUDED.	
PARKING COUNTS	
TOTAL SURFACE PARKING SPACES = 49 (SHARED WITH BUILDING A)	
TOTAL GARAGE PARKING SPACES = 27	
BICYCLE PARKING (1 STALL REQUIRED FOR EVERY 10 UNITS) = 4 PROVIDED	
- 3 STALLS PROVIDED IN BASEMENT PARKING GARAGE	
- 1 BICYCLE SPACE ACCOMMODATED THROUGH TENANT STORAGE	

THE MAYFAIR COLLECTION - BUILDING A UNIT MATRIX													
	1-BEDROOM						2-BEDROOM		3-BEDROOM				TOTAL
	1A-AWU	1B-WU	1B-W	1C	1D	1E	2A	2D	3A	3B	3C	3D	
1ST	0	0	0	0	0	0	1	0	6	2	1	0	10
2ND	0	0	0	0	1	1	1	1		2	1	0	6
3RD	1	1	4	1	1	1	1	1		0	2	0	0
4TH	0	0	2	4	1	0	1	1	0	2	0	1	12
TOTAL	1	1	6	5	3	2	4	2	6	8	2	1	41

THE MAYFAIR COLLECTION - BUILDING B UNIT MATRIX												
	1-BEDROOM						2-BEDROOM				TOTAL	
	1A-AWU	1B-WU	1B-W	1B-UHVI	1C	1D	2A	2A-U	2B	2C		
1ST	0	0	4	0	1	1	2	0	0	1		9
2ND	1	0	1	1	1	1	2	1	1	1		10
3RD	0	0	1	0	3	1	3	0	1	1		10
4TH	0	0	0	0	4	1	3	0	1	1		10
TOTAL	1	0	6	1	9	4	10	1	3	4		39

Legend:

AWU - Type-A, WHEDA, UFAS mobile impaired unit

U - UFAS mobile impaired unit

UHVI - UFAS hearing and visually impaired unit

WU - WHEDA, UFAS mobile impaired unit

W - WHEDA unit

All other units are designed to Type-B accessibility standards

Architecture :

Civil Engineer:

Landscape Architect:

Lighting Designer:

Structural Engineer:

LIST OF DRAWINGS	
SHEET NO.	SHEET NAME
G-0.1	COVER SHEET
G-0.2	PROJECT LOCATION
G-0.3	EXISTING CONTEXT PHOTOS
AL-0	ALTA SURVEY
C1.0	SITE PLAN
C2.0	SITE GRADING PLAN
C3.0	SITE UTILITY PLAN
C4.0	SITE EROSION CONTROL PLAN
L1.0	LANDSCAPE PLAN
L2.0	LANDSCAPE DETAILS AND NOTES
SL1.0	SITE LIGHTING
A-1.0	BUILDING A - BASEMENT FLOOR PLAN
A-1.1	BUILDING A - FIRST FLOOR PLAN
A-1.2	BUILDING A - SECOND FLOOR PLAN

Dimension IV - Madison Design Group
6515 Grand Teton Plaza, Suite 120, Madison, WI 53719
p: 608.829.4444 www.dimensionivmadison.com

CJ Engineering
9205 wect Center Street, Suite 214, Milwaukee, WI 53222
p: 414.443.1312 www.cj-engineering.com/

raSmith
221 South 2nd Street, Suite 214, Milwaukee, WI 53204
p: 262.781.1000 www.rasmith.com/

Hein Electric Supply Company
515 W Cherry St, Milwaukee, WI 53212
p: 414.274.6250 www.hein.com/

OTIE
5100 Eastpark Blvd., Ste. 300, Madison WI, 53718
p: 608.243.6470 www.oescgroup.com

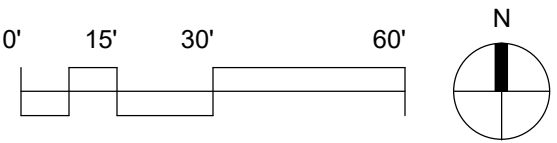
LIST OF DRAWINGS	
SHEET NO.	SHEET NAME
A-1.3	BUILDING A - THIRD FLOOR PLAN
A-1.4	BUILDING A - FOURTH FLOOR PLAN
A-1.5	BUILDING B - BASEMENT FLOOR PLAN
A-1.6	BUILDING B - FIRST FLOOR PLAN
A-1.7	BUILDING B - SECOND FLOOR PLAN
A-1.8	BUILDING B - THIRD FLOOR PLAN
A-1.9	BUILDING B - FOURTH FLOOR PLAN
A-2.0	BUILDING A - BUILDING ELEVATIONS
A-2.1	BUILDING A - BUILDING ELEVATIONS
A-2.2	BUILDING B - BUILDING ELEVATIONS
A-2.3	BUILDING B - BUILDING ELEVATIONS
A-3.0	BUILDING A - PERSPECTIVE VIEWS
A-3.1	BUILDING A - PERSPECTIVE VIEWS
A-3.2	BUILDING A - PERSPECTIVE VIEWS
A-3.3	BUILDING B - PERSPECTIVE VIEWS
A-3.4	BUILDING B - PERSPECTIVE VIEWS
A-4.0	MATERIAL SAMPLES

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PROJECT
LOCATION



1 Project Location



THE MAYFAIR
COLLECTION

3325 & 3375 FOUNDRY WAY
WAUWATOSA, WI 53222

DATE OF ISSUE: 09/28/2023

REVISIONS:

PROJECT # 211151

PROJECT
LOCATION

G0.2

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1



2



3



4

**THE MAYFAIR
COLLECTION**
3325 & 3375 FOUNDRY WAY
WAUWATOSA, WI 53222

DATE OF ISSUE:		09/28/2023
REVISIONS:		
PROJECT #		211151

**SITE CONTEXT
PHOTOS**

G0.3

LEGAL DESCRIPTION:

LOT _____ OF CERTIFIED SURVEY MAP NO. _____ BEING PART OF LOT 3 OF CERTIFIED SURVEY MAP NO. 8481, RECORDED ON SEPTEMBER 19, 2012, AS DOCUMENT NO. 1062241, BEING PART OF THE SOUTHWEST 1/4 AND NORTHWEST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 7, TOWNSHIP 7 NORTH, RANGE 21 EAST, IN THE CITY OF WAUWATOSA, COUNTY OF MILWAUKEE, STATE OF WISCONSIN.

FOR REFERENCE ONLY: THE FOLLOWING DESCRIPTION HAS BEEN PROVIDED TO THE COMPANY FOR UNDERWRITING PURPOSES AND IS SAID TO CONSTITUTE THE LANDS OF THE PROPOSED CERTIFIED SURVEY MAP LOT TO BE INSURED.

PART OF LOT 3 OF CERTIFIED SURVEY MAP NO. 8481, BEING PART OF THE NORTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 7, TOWNSHIP 7 NORTH, RANGE 21 EAST, IN THE CITY OF WAUWATOSA, MILWAUKEE COUNTY, WISCONSIN, BOUNDED AND DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHWEST CORNER OF SAID 1/4 SECTION, THENCE NORTH 87°25'44" EAST ALONG THE SOUTH LINE OF SAID 1/4 SECTION 135.86 FEET TO A POINT; THENCE NORTH 05°55'09" WEST 166.89 FEET TO A POINT ON THE NORTH LINE OF WEST BURLIGH STREET; THENCE CONTINUING NORTH 05°55'09" WEST 334.20 FEET TO A POINT ON THE EAST LINE OF U.S.H. "45" (ALSO KNOWN AS S.T.H. "100", ZOO FREEWAY); THENCE NORTH 05°59'44" WEST ALONG SAID EAST LINE 565.84 FEET TO A POINT; THENCE NORTH 01°01'08" WEST ALONG SAID EAST LINE 810.77 FEET TO A POINT; THENCE NORTH 10°17'30" EAST ALONG SAID EAST LINE 152.87 FEET TO A POINT; THENCE NORTH 17°40'00" EAST ALONG SAID EAST LINE 343.11 FEET TO A POINT; THENCE NORTH 28°02'11" EAST ALONG SAID EAST LINE 205.91 FEET TO THE NORTHWEST CORNER OF LOT 4 OF CERTIFIED SURVEY MAP 8884; THENCE NORTH 07°26'42" EAST ALONG SAID EAST LINE FOR A DISTANCE OF 134.11 FEET TO A POINT ON THE NORTH LINE OF SAID SOUTHEAST 1/4 SECTION; THENCE NORTH 86°36'18" EAST ALONG SAID NORTH LINE FOR A DISTANCE OF 29.29 FEET TO A POINT ON THE WEST LINE OF THE UNION PACIFIC RAILROAD RIGHT OF WAY; THENCE SOUTH 35°35'41" EAST ALONG SAID WEST LINE 563.18 FEET TO THE POINT OF BEGINNING OF SAID LANDS TO BE DESCRIBED; THENCE SOUTH 35°35'41" EAST CONTINUING ALONG SAID WEST LINE 352.30 FEET TO A POINT; THENCE SOUTH 01°24'54" EAST 146.60 FEET TO A POINT; THENCE SOUTH 17°25'04" WEST 375.64 FEET TO A POINT ON THE EAST LINE OF LOT 4 IN CSM 8884; THENCE NORTH 01°01'08" WEST ALONG SAID EAST LINE 413.93 FEET TO THE NORTHEAST CORNER OF SAID LOT 4; THENCE NORTH 89°02'54" EAST 117.83 FEET TO A POINT; THENCE NORTH 72°52'42" EAST 15.57 FEET TO A POINT; THENCE NORTH 54°22'51" EAST 50.74 FEET TO THE POINT OF BEGINNING.

MISCELLANEOUS NOTES

1. THIS SURVEY WAS MADE IN ACCORDANCE WITH LAWS AND/OR MINIMUM STANDARDS OF THE STATE OF WISCONSIN.
2. THE PROPERTY DESCRIBED HEREON IS THE SAME AS THE PROPERTY DESCRIBED IN FIRST AMERICAN TITLE COMMITMENT NO. NCS-1110226-MAD, WITH A COMMITMENT DATE: NOVEMBER 29, 2021 AT 7:30 AM AND THAT ALL EASEMENTS, COVENANTS AND RESTRICTIONS REFERENCED IN FIRST AMERICAN TITLE COMMITMENT OR APPARENT FROM A PHYSICAL INSPECTION OF THE PROPERTY OR OTHERWISE KNOWN TO ME HAVE BEEN PLOTTED HEREON OR OTHERWISE NOTED AS TO THEIR EFFECT ON THE PROPERTY.
3. THE UNDERGROUND UTILITY INFORMATION AS SHOWN HEREON IS BASED, IN PART, ON INFORMATION FURNISHED BY THE UTILITY COMPANIES, DIGGERS HOTLINE, AND LOCAL MUNICIPALITY. WHILE THIS INFORMATION IS BELIEVED TO BE RELIABLE, ITS ACCURACY AND COMPLETENESS CANNOT BE GUARANTEED NOR CERTIFIED TO.
4. NO ZONING INFORMATION PROVIDED BY INSURER AT THE TIME OF SURVEY. FOLLOWING ZONING NOTES 5-6 FOR INFORMATIONAL PURPOSES ONLY AND CANNOT BE CERTIFIED TO.
5. SUBJECT PROPERTY ZONED: M1/PUD - LIGHT INDUSTRIAL/PLANNED UNIT DEVELOPMENT.
6. SETBACKS BASED ON CITY WAUWATOSA ZONING CODE AND ARE AS FOLLOWS:
MINIMUM SETBACKS (FEET)
FRONT - 10[1]
SIDE - 10
SIDE, INTERIOR - 10[2]
REAR - 25
MAXIMUM HEIGHT (FEET) NO MAX.
MAXIMUM BUILDING COVERAGE (% OF LOT AREA) 80.
7. THE ABOVE DESCRIBED PROPERTY AS SHOWN HEREON CONTAINS: (INSERT AREA) SQUARE FEET OR (INSERT AREA) ACRES.
8. ALL UTILITIES SERVING THE PROPERTY ENTER THROUGH ADJOINING PUBLIC STREETS AND/OR EASEMENTS OF RECORD.
9. SUBJECT PROPERTY HAS ACCESS TO WEST BURLIGH STREET, A DEDICATED PUBLIC STREET OR HIGHWAY, THROUGH EASEMENT AND OPERATION AGREEMENT RECORDED AS DOC. NO. 10641155 AND EASEMENT AGREEMENT RECORDED AS DOC. NO. 331478.
10. THE TOTAL NUMBER OF STRIPED PARKING SPACES ON THE PROPERTY IS 57, OF WHICH 57 ARE REGULAR PARKING SPACES AND 0 ARE DISABLED SPACES, AND TO THE EXTENT POSSIBLE, ARE GRAPHICALLY SHOWN HEREON.
11. SUBJECT PROPERTY IS LOCATED WITHIN AN AREA HAVING A ZONE DESIGNATION X. AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOOD PLAIN, PER INFORMATION FROM THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA), ON FLOOD INSURANCE RATE MAP NO. 55079C0058E, WITH A DATE OF IDENTIFICATION OF 8/28/2008, IN COMMUNITY NO. 5502864, CITY OF WAUWATOSA, WHICH IS THE COMMUNITY IN WHICH THE SUBJECT PROPERTY IS SITUATED.
12. THERE IS NO OBSERVED EVIDENCE OF CURRENT EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS ON THE PROPERTY AT TIME OF SURVEY.
13. THERE IS NO INFORMATION AVAILABLE FROM THE CITY OF WAUWATOSA REGARDING PROPOSED CHANGES IN STREET RIGHT OF WAY LINES ADJOINING THE PROPERTY AT THE TIME OF SURVEY.
14. THERE IS NO OBSERVED EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS OCCURRING ON OR ADJOINING THE PROPERTY AT TIME OF SURVEY.
15. THERE IS NO OBSERVED EVIDENCE OF USE OF THE PROPERTY AS A SOLID WASTE DUMP, SLUMP OR SANITARY LANDFILL AT TIME OF SURVEY.
16. THERE IS NO OBSERVED EVIDENCE OF DELINEATED WETLANDS EXISTING ON SUBJECT PROPERTY AT TIME OF SURVEY.
17. ALL FIELD MEASUREMENTS MATCHED RECORD DIMENSIONS WITHIN THE PRECISION REQUIREMENTS OF ALTA/NSPS SPECIFICATIONS UNLESS OTHERWISE SHOWN.
18. THERE IS NO EVIDENCE OF CEMETERIES, GRAVESTONES, OR BURIAL GROUNDS EXISTING ON SUBJECT PROPERTY AS DISCLOSED IN THE RECORD DOCUMENTS OR OBSERVED IN THE PROCESS OF CONDUCTING THIS SURVEY.
19. SURVEY DATUM: COORDINATES ARE BASED ON THE WISCONSIN COUNTY COORDINATE SYSTEM (WCCS), MILWAUKEE COUNTY, NORTH AMERICAN DATUM OF 1983, 2011 ADJUSTMENT (NAD83(2011)).
20. PROJECT BENCHMARK - CONCRETE MONUMENT WITH BRASS CAP FOUND AT THE SOUTHEAST CORNER OF THE SOUTHEAST 1/4 OF SEC. 7-7-21 WITH AN ELEVATION OF 730.87 (N.G.V.0229) = 150.68 (CITY DATUM).
21. SITE BENCHMARK - CHISELED SQUARE ON LIGHT POLE BASE WITH AN ELEVATION OF 165.12 (AS SHOWN).
22. ELEVATIONS BASED ON INFORMATION FROM SEWRPC AND THE CITY OF WAUWATOSA ARE AT THE CITY OF WAUWATOSA OF DATUM WHICH HAS AN ADJUSTMENT OF -580.28 FROM NGVD 1929 DATUM.

VICINITY MAP
NOT TO SCALE

SCHEDULE B-II EXCEPTIONS:

10. RIGHTS AND EASEMENTS, IF ANY, IN AND TO ANY AND ALL RAILROAD SWITCHES, SIDETRACKS, SPUR TRACKS AND RIGHTS OF WAY LOCATED UPON OR APPURTENANT TO THE SUBJECT PREMISES, SHOWN HEREON.

11. ACCESS RESTRICTIONS AND EASEMENTS AS SET FORTH ON CERTIFIED SURVEY MAP NO. 8481, SHOWN HEREON.

12. EASEMENT FOR SANITARY SEWER INTO BY AND BETWEEN MOHAWK REFRIGERATING COMPANY, A P. CONTROLS CORPORATION AND BRIGGS & STRATTON CORPORATION, DATED APRIL 18, 1951 AND RECORDED APRIL 19, 1951 IN VOLUME 2871 OF DEEDS ON PAGE 633, AS DOCUMENT NO. 3019445, THE TERMS BEING MODIFIED BY THAT INSTRUMENT RECORDED AS DOCUMENT NO. 340945, SHOWN HEREON.

13. UTILITY EASEMENT GRANTED TO WISCONSIN ELECTRIC POWER COMPANY RECORDED AS DOCUMENT NO. 3330933, SHOWN HEREON.

14. RESTRICTIONS CONTAINED IN A WARRANTY DEED RECORDED ON JULY 12, 1954 AS DOCUMENT NO. 3309845, AREA OF RESTRICTION AS DESCRIBED NOT ON, DOES NOT TOUCH SUBJECT PROPERTY.

15. RIGHTS OF THE CHICAGO AND NORTH WESTERN RAILROAD COMPANY, A WISCONSIN CORPORATION, UNDER AN INDEMTURE RECORDED ON NOVEMBER 19, 1954, AS DOCUMENT NO. 3346559, SHOWN HEREON.

16. UTILITY EASEMENT GRANTED TO WISCONSIN ELECTRIC POWER COMPANY DOCUMENT NO. 3356812, LOCATION OF STRUCTURE CANNOT BE DETERMINED FROM DOCUMENT PROVIDED OR OBSERVED EVIDENCE IN FIELD, NOT SHOWN HEREON.

17. COVENANTS, CONDITIONS, RESTRICTIONS, EASEMENTS AND CHARGES SET FORTH IN WARRANTY DEED PROVIDED FOR IN AN INSTRUMENT RECORDED AS DOCUMENT NO. 3409545, RELEASE OF RESTRICTIONS CONTAINED IN AN INSTRUMENT RECORDED AS DOCUMENT NO. 3681267, BLANKET EASEMENT NOT SHOWN HEREON.

18. WISCONSIN ELECTRIC POWER COMPANY RECORDED MARCH 27, 1958 ON DEED 3798, PAGE 419 AS DOCUMENT NO. 3645992, LINE OF POLES AS DESCRIBED IN DOCUMENT NOT ON DOES NOT TOUCH SUBJECT PROPERTY, NOT SHOWN HEREON.

19. UTILITY EASEMENT GRANTED TO WISCONSIN ELECTRIC POWER COMPANY RECORDED AS DOCUMENT NO. 3645993, LINE OF POLES AS DESCRIBED IN DOCUMENT NOT ON DOES NOT TOUCH SUBJECT PROPERTY, NOT SHOWN HEREON.

20. EASEMENT GRANTED TO WISCONSIN ELECTRIC POWER COMPANY AND WISCONSIN TELEPHONE COMPANY RECORDED AS DOCUMENT NO. 3657838, LINE OF POLES AS DESCRIBED IN DOCUMENT NOT ON DOES NOT TOUCH SUBJECT PROPERTY, NOT SHOWN HEREON.

21. UTILITY EASEMENT TO WISCONSIN ELECTRIC POWER COMPANY AND WISCONSIN TELEPHONE COMPANY RECORDED AS DOCUMENT NO. 3683185, LOCATION OF STRUCTURE CANNOT BE DETERMINED FROM DOCUMENT PROVIDED OR OBSERVED EVIDENCE IN FIELD, NOT SHOWN HEREON.

22. UTILITY EASEMENT GRANTED TO WISCONSIN ELECTRIC POWER COMPANY RECORDED ON APRIL 13, 1959 AS DOCUMENT NO. 3727116, NOT ON, DOES NOT TOUCH, SUBJECT PROPERTY, NOT SHOWN HEREON.

23. EASEMENT GRANTED TO WISCONSIN ELECTRIC POWER COMPANY AND WISCONSIN TELEPHONE COMPANY RECORDED AS DOCUMENT NO. 3847693, LOCATION OF STRUCTURE CANNOT BE DETERMINED FROM DOCUMENT PROVIDED OR OBSERVED EVIDENCE IN FIELD, NOT SHOWN HEREON.

24. EASEMENTS RECORDED IN INSTRUMENT RECORDED AS DOCUMENT NO. 3923550, NOT ON, DOES NOT TOUCH, SUBJECT PROPERTY, NOT SHOWN HEREON.

25. WATERMAIN EASEMENTS GRANTED TO CITY OF WAUWATOSA RECORDED AS DOCUMENT NO. 3941267, DOCUMENT NO. 4076990 AND DOCUMENT NO. 4271333, SHOWN HEREON.

26. EASEMENT DEED BY AND BETWEEN ROUNDSY, INC. AND CHICAGO AND NORTHWESTERN RAILWAY COMPANY RECORDED ON NOVEMBER 5, 1962 AS DOCUMENT NO. 3985559, SHOWN HEREON.

27. LIMITATIONS ON ACCESS AS SET FORTH IN AWARD OF DAMAGES RECORDED ON APRIL 7, 1962, AS DOCUMENT NO. 4247574, SUBJECT PROPERTY DOES NOT ABUT INTERSTATE MENTIONED IN DOCUMENT, NOT SHOWN HEREON.

28. EASEMENT GRANTED TO WISCONSIN TELEPHONE COMPANY RECORDED ON JUNE 29, 1966 AS DOCUMENT NO. 4263615, CABLE DESCRIBED IN DOCUMENT NOT ON, DOES NOT TOUCH SUBJECT PROPERTY, NOT SHOWN HEREON.

29. WISCONSIN GAS CORPORATION EASEMENT GRANTED TO WISCONSIN GAS COMPANY, A WISCONSIN CORPORATION RECORDED ON NOVEMBER 29, 1993 AS DOCUMENT NO. 6863226, SHOWN HEREON.

30. UTILITY EASEMENT GRANTED TO WISCONSIN ELECTRIC POWER COMPANY RECORDED AS DOCUMENT NO. 4535959, NOT ON, DOES NOT TOUCH SUBJECT PROPERTY, NOT SHOWN HEREON.

31. WISCONSIN GAS CORPORATION EASEMENT RECORDED ON DECEMBER 10, 1993 AS DOCUMENT NO. 6869634, SHOWN HEREON.

32. TERMS, CONDITIONS, RESTRICTIONS AND PROVISIONS RELATING TO THE USE AND MAINTENANCE OF THE EASEMENT AGREEMENT RECORDED ON JANUARY 4, 2007, AS DOCUMENT NO. 8063400, NOT ON DOES NOT TOUCH SUBJECT PROPERTY, NOT SHOWN HEREON.

33. DISTRIBUTION EASEMENT FOR UNDERGROUND ELECTRIC AND COMMUNICATIONS GRANTED TO WISCONSIN ELECTRIC POWER COMPANY, A WISCONSIN CORPORATION DOING BUSINESS AS WE ENERGIES, TIME WARNER ENTERTAINMENT COMPANY, LP AND WISCONSIN BELL, INC. DOING BUSINESS AS AT&T WISCONSIN, A WISCONSIN CORPORATION RECORDED ON SEPTEMBER 30, 2014 AS DOCUMENT NO. 10399442, NOT ON, DOES NOT TOUCH SUBJECT PROPERTY, NOT SHOWN HEREON.

34. DISTRIBUTION EASEMENT UNDERGROUND ELECTRIC AND COMMUNICATIONS GRANTED TO WISCONSIN ELECTRIC POWER COMPANY, A WISCONSIN CORPORATION DOING BUSINESS AS WE ENERGIES, TIME WARNER ENTERTAINMENT COMPANY, LP AND WISCONSIN BELL, INC. DOING BUSINESS AS AT&T WISCONSIN, A WISCONSIN CORPORATION RECORDED ON SEPTEMBER 30, 2014 AS DOCUMENT NO. 10399443, AFFIDAVIT OF CORRECTION, RECORDED FEBRUARY 17, 2016 AS DOCUMENT NO. 10540720, SHOWN HEREON.

35. DISTRIBUTION EASEMENT GAS AND COMMUNICATIONS GRANTED TO WISCONSIN GAS LLC, A WISCONSIN LIMITED LIABILITY COMPANY DOING BUSINESS AS WE ENERGIES, TIME WARNER ENTERTAINMENT COMPANY, LP AND WISCONSIN BELL, INC. DOING BUSINESS AS AT&T WISCONSIN, A WISCONSIN CORPORATION, RECORDED ON SEPTEMBER 30, 2014 AS DOCUMENT NO. 10399444, AFFIDAVIT OF CORRECTION, RECORDED FEBRUARY 17, 2016 AS DOCUMENT NO. 10540721, SHOWN HEREON.

36. DISTRIBUTION EASEMENT UNDERGROUND ELECTRIC AND COMMUNICATIONS GRANTED TO WISCONSIN ELECTRIC POWER COMPANY, A WISCONSIN CORPORATION DOING BUSINESS AS WE ENERGIES AND WISCONSIN BELL, INC. DOING BUSINESS AS AT&T WISCONSIN, A WISCONSIN CORPORATION, RECORDED ON MARCH 07, 2016 AS DOCUMENT NO. 10645013, NOT ON, DOES NOT TOUCH, SUBJECT PROPERTY, NOT SHOWN HEREON.

SCHEDULE B-II EXCEPTIONS (CONT'D):

37. WATER MAIN EASEMENT GRANTED TO CITY OF WAUWATOSA RECORDED ON NOVEMBER 21, 2016 AS DOCUMENT NO. 10622533, NOT ON, DOES NOT TOUCH, SUBJECT PROPERTY, NOT SHOWN HEREON.

38. TERMS, CONDITIONS, RESTRICTIONS AND PROVISIONS RELATING TO THE USE AND MAINTENANCE OF THE RECIPROCAL EASEMENT AND OPERATION AGREEMENT RECORDED ON JANUARY 17, 2017, AS DOCUMENT NO. 10641155, BLANKET EASEMENT, NOT SHOWN HEREON.

39. UTILITY EASEMENT TO WISCONSIN ELECTRIC POWER COMPANY, A WISCONSIN CORPORATION AND WISCONSIN GAS LLC, A WISCONSIN LIMITED LIABILITY COMPANY, BOTH DOING BUSINESS AS WE ENERGIES, DATED JULY 7, 2015, RECORDED/FILED APRIL 24, 2018 AS DOCUMENT NO. 10770298, SHOWN HEREON.

40. TERMS AND PROVISIONS OF AN UNRECORDED LEASE DATED AUGUST 12, 2013, BY AND BETWEEN BURLIGH 45, LLC, AN ILLINOIS LIMITED LIABILITY COMPANY, RES BURLIGH MAYFAIR, LLC, AN ILLINOIS LIMITED LIABILITY COMPANY, DFM BURLIGH MAYFAIR, LLC, AN ILLINOIS LIMITED LIABILITY COMPANY, FOREST BURLIGH 45, LLC, A DELAWARE LIMITED LIABILITY COMPANY, IN AND TO AN UNDIVIDED 15% INTEREST, FOREST BURLIGH 45, LLC, A DELAWARE LIMITED LIABILITY COMPANY, IN AND TO AN UNDIVIDED 16% INTEREST, RES BURLIGH 45, LLC, A DELAWARE LIMITED LIABILITY COMPANY, IN AND TO AN UNDIVIDED 7% INTEREST, WARWICK BURLIGH 45, LLC, A DELAWARE LIMITED LIABILITY COMPANY, IN AND TO AN UNDIVIDED 6% INTEREST, TCB BURLIGH 45, LLC, AN ILLINOIS LIMITED LIABILITY COMPANY, IN AND TO AN UNDIVIDED 23% INTEREST, MSP BURLIGH 45, LLC, A DELAWARE LIMITED LIABILITY COMPANY, IN AND TO AN UNDIVIDED 5% INTEREST, DFM BURLIGH 45, LLC, A DELAWARE LIMITED LIABILITY COMPANY, IN AND TO AN UNDIVIDED 6% INTEREST, AND EEO BURLIGH 45, LLC, A DELAWARE LIMITED LIABILITY COMPANY, IN AND TO AN UNDIVIDED 6% INTEREST AS LESSOR AND SAMS FIFTH AVENUE, INC., A MASSACHUSETTS CORPORATION AS LESSEE, AS DISCLOSED BY A MEMORANDUM OF LEASE RECORDED SEPTEMBER 9, 2013 AS DOCUMENT NO. 10291497 OF OFFICIAL RECORDS, AFFECTS: THE LAND AND OTHER PROPERTY, NOT A SURVEY MATTER, NOT SHOWN HEREON.

41. TERMS AND PROVISIONS OF AN UNRECORDED LEASE DATED SEPTEMBER 12, 2015, BY AND BETWEEN BURLIGH 45, LLC, AN ILLINOIS LIMITED LIABILITY COMPANY, RES BURLIGH MAYFAIR, LLC, AN ILLINOIS LIMITED LIABILITY COMPANY, DFM BURLIGH MAYFAIR, LLC, AN ILLINOIS LIMITED LIABILITY COMPANY, FOREST BURLIGH 45, LLC, A DELAWARE LIMITED LIABILITY COMPANY, IN AND TO AN UNDIVIDED 15% INTEREST, FOREST BURLIGH 45, LLC, A DELAWARE LIMITED LIABILITY COMPANY, IN AND TO AN UNDIVIDED 16% INTEREST, RES BURLIGH 45, LLC, A DELAWARE LIMITED LIABILITY COMPANY, IN AND TO AN UNDIVIDED 7% INTEREST, WARWICK BURLIGH 45, LLC, A DELAWARE LIMITED LIABILITY COMPANY, IN AND TO AN UNDIVIDED 6% INTEREST, TCB BURLIGH 45, LLC, AN ILLINOIS LIMITED LIABILITY COMPANY, IN AND TO AN UNDIVIDED 23% INTEREST, MSP BURLIGH 45, LLC, A DELAWARE LIMITED LIABILITY COMPANY, IN AND TO AN UNDIVIDED 5% INTEREST, DFM BURLIGH 45, LLC, A DELAWARE LIMITED LIABILITY COMPANY, IN AND TO AN UNDIVIDED 6% INTEREST, AND EEO BURLIGH 45, LLC, A DELAWARE LIMITED LIABILITY COMPANY, IN AND TO AN UNDIVIDED 6% INTEREST AS LESSOR AND SAMS FIFTH AVENUE, INC., A MASSACHUSETTS CORPORATION AS LESSEE, AS DISCLOSED BY A MEMORANDUM OF LEASE RECORDED SEPTEMBER 9, 2013 AS DOCUMENT NO. 10291497 OF OFFICIAL RECORDS, AFFECTS: THE LAND AND OTHER PROPERTY, NOT A SURVEY MATTER, NOT SHOWN HEREON.

42. TERMS AND PROVISIONS OF AN UNRECORDED LEASE DATED DECEMBER 2, 2015, BY AND BETWEEN BURLIGH 45, LLC, AN ILLINOIS LIMITED LIABILITY COMPANY, RES BURLIGH MAYFAIR, LLC, AN ILLINOIS LIMITED LIABILITY COMPANY, DFM BURLIGH MAYFAIR, LLC, AN ILLINOIS LIMITED LIABILITY COMPANY, FOREST BURLIGH 45, LLC, A DELAWARE LIMITED LIABILITY COMPANY, IN AND TO AN UNDIVIDED 15% INTEREST, FOREST BURLIGH 45, LLC, A DELAWARE LIMITED LIABILITY COMPANY, IN AND TO AN UNDIVIDED 16% INTEREST, RES BURLIGH 45, LLC, A DELAWARE LIMITED LIABILITY COMPANY, IN AND TO AN UNDIVIDED 7% INTEREST, WARWICK BURLIGH 45, LLC, A DELAWARE LIMITED LIABILITY COMPANY, IN AND TO AN UNDIVIDED 6% INTEREST, TCB BURLIGH 45, LLC, AN ILLINOIS LIMITED LIABILITY COMPANY, IN AND TO AN UNDIVIDED 23% INTEREST, MSP BURLIGH 45, LLC, A DELAWARE LIMITED LIABILITY COMPANY, IN AND TO AN UNDIVIDED 5% INTEREST, DFM BURLIGH 45, LLC, A DELAWARE LIMITED LIABILITY COMPANY, IN AND TO AN UNDIVIDED 6% INTEREST, AND EEO BURLIGH 45, LLC, A DELAWARE LIMITED LIABILITY COMPANY, IN AND TO AN UNDIVIDED 6% INTEREST AS LESSOR AND SAMS FIFTH AVENUE, INC., A MASSACHUSETTS CORPORATION AS LESSEE, AS DISCLOSED BY A MEMORANDUM OF LEASE RECORDED SEPTEMBER 9, 2013 AS DOCUMENT NO. 10291497 OF OFFICIAL RECORDS, AFFECTS: THE LAND AND OTHER PROPERTY, NOT A SURVEY MATTER, NOT SHOWN HEREON.

43. TERMS AND PROVISIONS OF AN UNRECORDED LEASE DATED MAY 26, 2016, BY AND BETWEEN BURLIGH 45, LLC, AN ILLINOIS LIMITED LIABILITY COMPANY, AS TO AN UNDIVIDED 16.869% RES BURLIGH RETAIL, LLC, A DELAWARE LIMITED LIABILITY COMPANY, AS TO AN UNDIVIDED 30.90% TCB BURLIGH RETAIL, LLC, AN ILLINOIS LIMITED LIABILITY COMPANY, AS TO AN UNDIVIDED 27.53% RES BURLIGH RETAIL, LLC, A DELAWARE LIMITED LIABILITY COMPANY, AS TO AN UNDIVIDED 12.90% DFM BURLIGH RETAIL, LLC, A DELAWARE LIMITED LIABILITY COMPANY, AS TO AN UNDIVIDED 5.90% TCB BURLIGH RETAIL, LLC, A DELAWARE LIMITED LIABILITY COMPANY, AS TO AN UNDIVIDED 5.90% AND EEO BURLIGH RETAIL, LLC, A DELAWARE LIMITED LIABILITY COMPANY, AS TO AN UNDIVIDED 5.90% AS LESSOR AND WHOLE FOODS MARKET GROUP, INC., A DELAWARE CORPORATION AS LESSEE, AS DISCLOSED BY A MEMORANDUM OF LEASE RECORDED JUNE 22, 2016 AS DOCUMENT NO. 10575050 OF OFFICIAL RECORDS, AFFECTS: THE LAND AND OTHER PROPERTY, NOT A SURVEY MATTER, NOT SHOWN HEREON.

44. TERMS AND PROVISIONS OF AN UNRECORDED LEASE DATED AUGUST 16, 2016, BY AND BETWEEN BURLIGH 45, LLC, AN ILLINOIS LIMITED LIABILITY COMPANY, RES BURLIGH MAYFAIR, LLC, AN ILLINOIS LIMITED LIABILITY COMPANY, DFM BURLIGH MAYFAIR, LLC, AN ILLINOIS LIMITED LIABILITY COMPANY, FOREST BURLIGH 45, LLC, A DELAWARE LIMITED LIABILITY COMPANY, IN AND TO AN UNDIVIDED 15% INTEREST, FOREST BURLIGH 45, LLC, A DELAWARE LIMITED LIABILITY COMPANY, IN AND TO AN UNDIVIDED 16% INTEREST, RES BURLIGH 45, LLC, A DELAWARE LIMITED LIABILITY COMPANY, IN AND TO AN UNDIVIDED 7% INTEREST, WARWICK BURLIGH 45, LLC, A DELAWARE LIMITED LIABILITY COMPANY, IN AND TO AN UNDIVIDED 6% INTEREST, TCB BURLIGH 45, LLC, AN ILLINOIS LIMITED LIABILITY COMPANY, IN AND TO AN UNDIVIDED 23% INTEREST, MSP BURLIGH 45, LLC, A DELAWARE LIMITED LIABILITY COMPANY, IN AND TO AN UNDIVIDED 5% INTEREST, DFM BURLIGH 45, LLC, A DELAWARE LIMITED LIABILITY COMPANY, IN AND TO AN UNDIVIDED 6% INTEREST, AND EEO BURLIGH 45, LLC, A DELAWARE LIMITED LIABILITY COMPANY, IN AND TO AN UNDIVIDED 6% INTEREST AS LESSOR AND SAMS FIFTH AVENUE, INC., A MASSACHUSETTS CORPORATION AS LESSEE, AS DISCLOSED BY A MEMORANDUM OF LEASE RECORDED SEPTEMBER 9, 2013 AS DOCUMENT NO. 10291497 OF OFFICIAL RECORDS, AFFECTS: THE LAND AND OTHER PROPERTY, NOT A SURVEY MATTER, NOT SHOWN HEREON.

45. THIS ITEM HAS BEEN INTENTIONALLY DELETED.

46. RIGHTS OF TENANTS IN POSSESSION UNDER UNRECORDED LEASES: NOT A SURVEY MATTER, NOT SHOWN HEREON.

47. EASEMENT AND CONDITIONS AS SET FORTH IN INSTRUMENT RECORDED AS DOCUMENT NO. 331478, AND AS REFERENCED ON CERTIFIED SURVEY MAP NO. 8481, SHOWN HEREON.

48. EASEMENT AND CONDITIONS AS SET FORTH IN INSTRUMENT RECORDED AS DOCUMENT NO. 3384332, AND AS REFERENCED ON CERTIFIED SURVEY MAP NO. 8481, SHOWN HEREON.

49. EASEMENT AND CONDITIONS AS SET FORTH IN INSTRUMENT RECORDED AS DOCUMENT NO. 4315443, AND AS REFERENCED ON CERTIFIED SURVEY MAP NO. 8481, EASEMENT LOCATION CANNOT BE DETERMINED FROM DOCUMENT PROVIDED, NOT SHOWN HEREON.

50. EASEMENT AND CONDITIONS AS SET FORTH IN INSTRUMENT RECORDED AS DOCUMENT NO. 8863226, AND AS REFERENCED ON CERTIFIED SURVEY MAP NO. 8481, SHOWN HEREON.

ALTA / NSPS LAND TITLE SURVEY
FOR

MSP MAYFAIR

WEST BURLIGH ST.

WAUWATOSA, WI

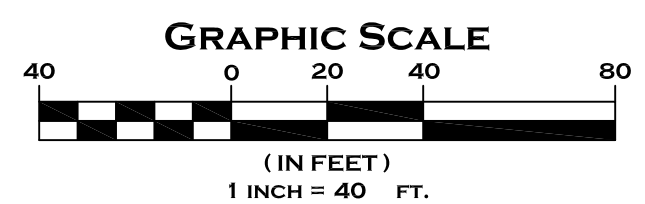
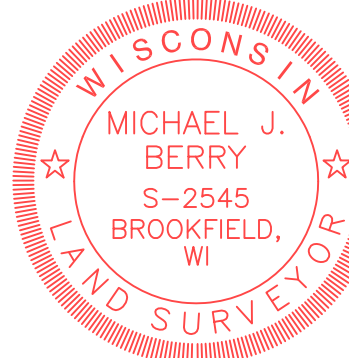
DRAWN BY:	NJF	DATE:	FEB. 1, 2022
CHECKED BY:	NJF	DRAWING NO.	AL - 0
CSE JOB NO.:	21 - 127	SHEET	1 OF 1

TO: MSP REAL ESTATE, INC. A MINNESOTA CORPORATION; BURLIGH NORTH TRIANGLE, LLC, AN ILLINOIS LIMITED LIABILITY COMPANY; FIRST AMERICAN TITLE INSURANCE COMPANY;

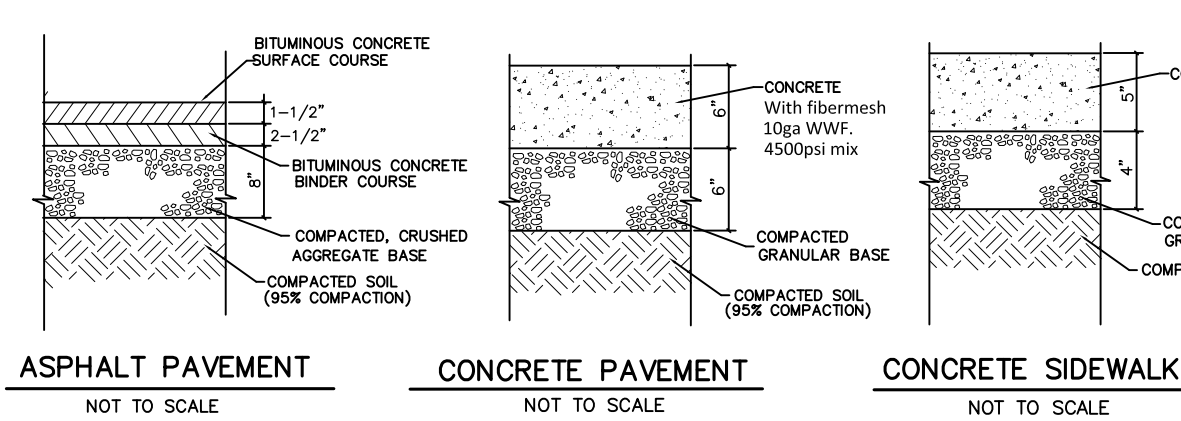
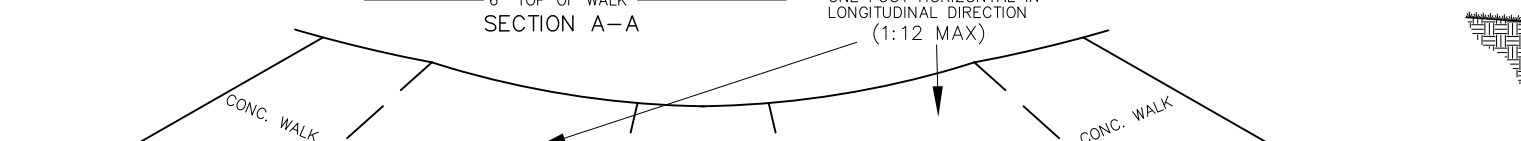
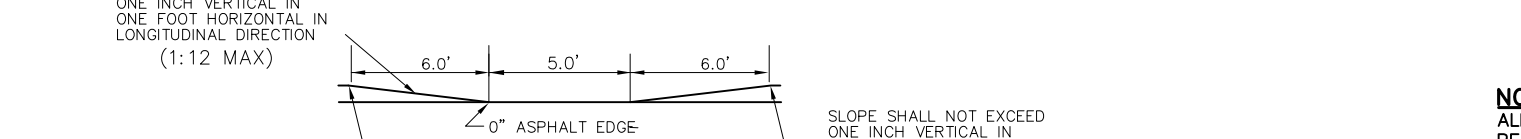
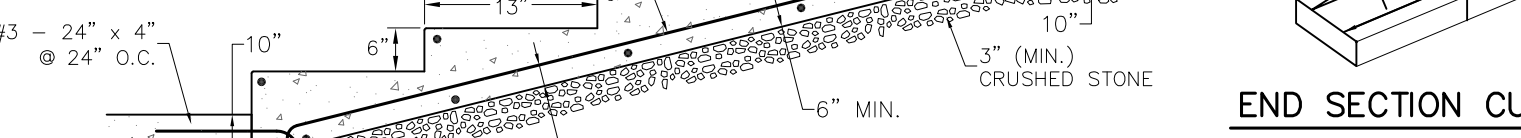
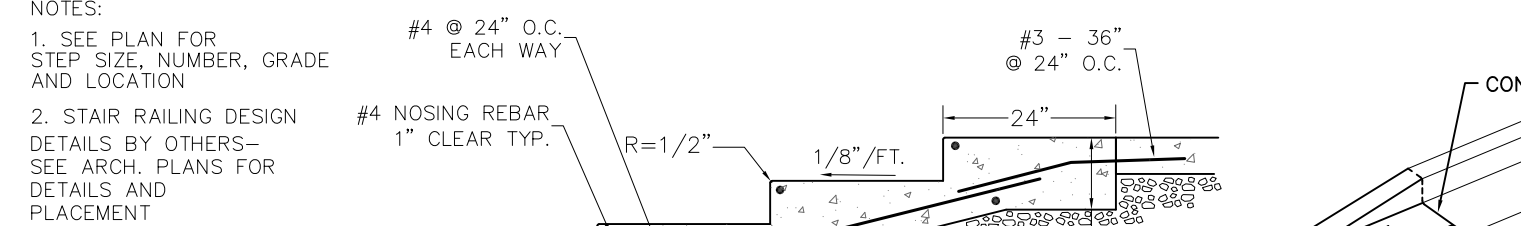
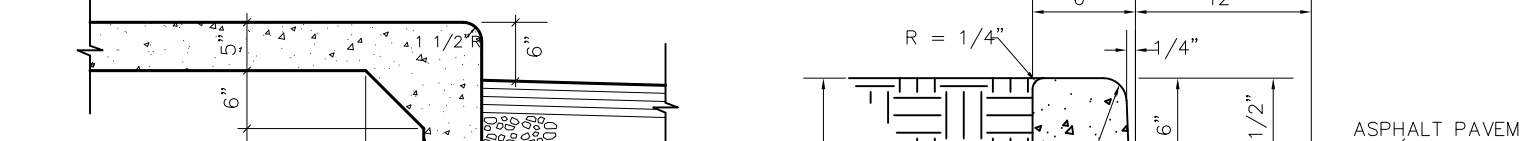
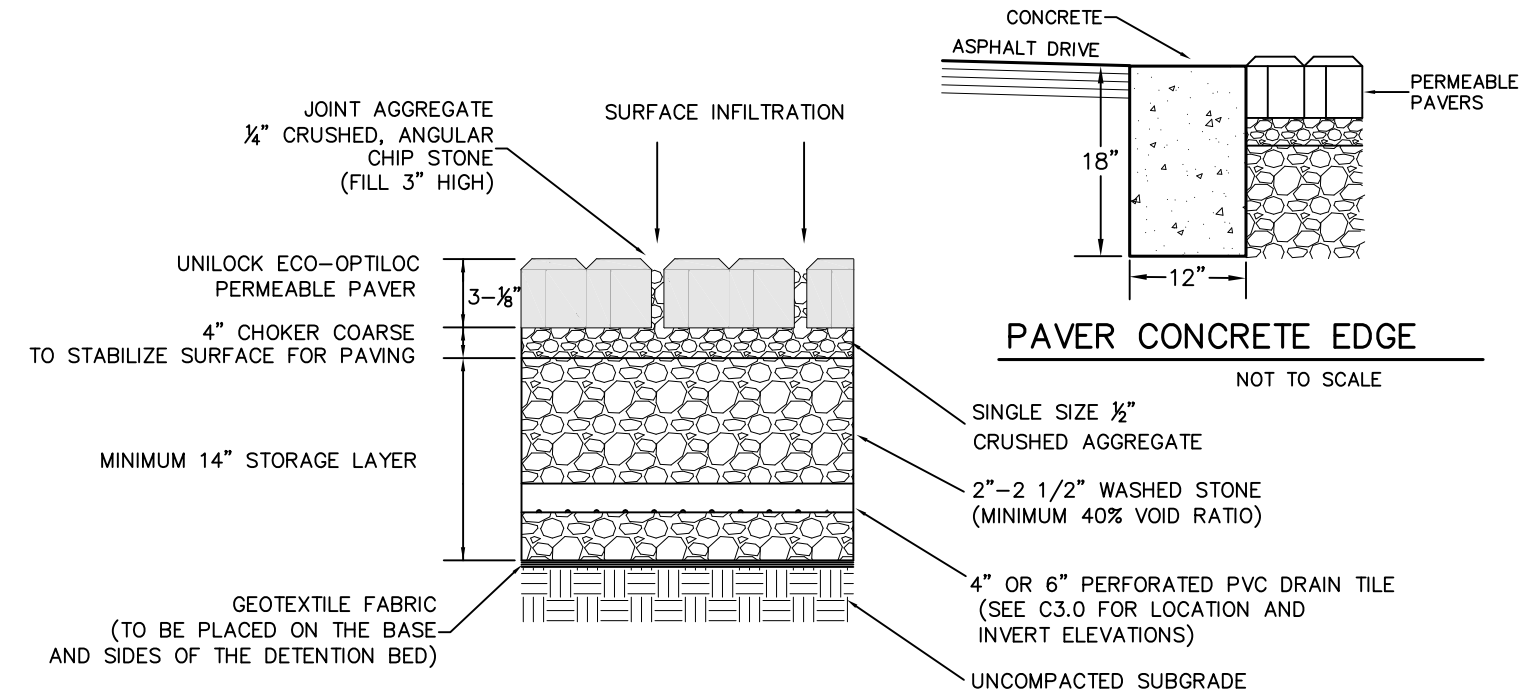
THIS IS TO CERTIFY THAT THIS MAP OR PLAN AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE "MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS," JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS IN 2016, AND INCLUDES ITEMS 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, AND 18 OF TABLE A THEREOF. PURSUANT TO THE ACCURACY STANDARDS AS ADOPTED BY ALTA AND NSPS AND IN EFFECT ON THE DATE OF THIS CERTIFICATION, UNDERSIGNED FURTHER CERTIFIES THAT IN MY PROFESSIONAL OPINION, AS A LAND SURVEYOR REGISTERED IN THE STATE OF WISCONSIN, THE RELATIVE POSITIONAL ACCURACY OF THIS SURVEY DOES NOT EXCEED THAT WHICH IS SPECIFIED THEREIN.

FEBRUARY 1, 2022
DATE

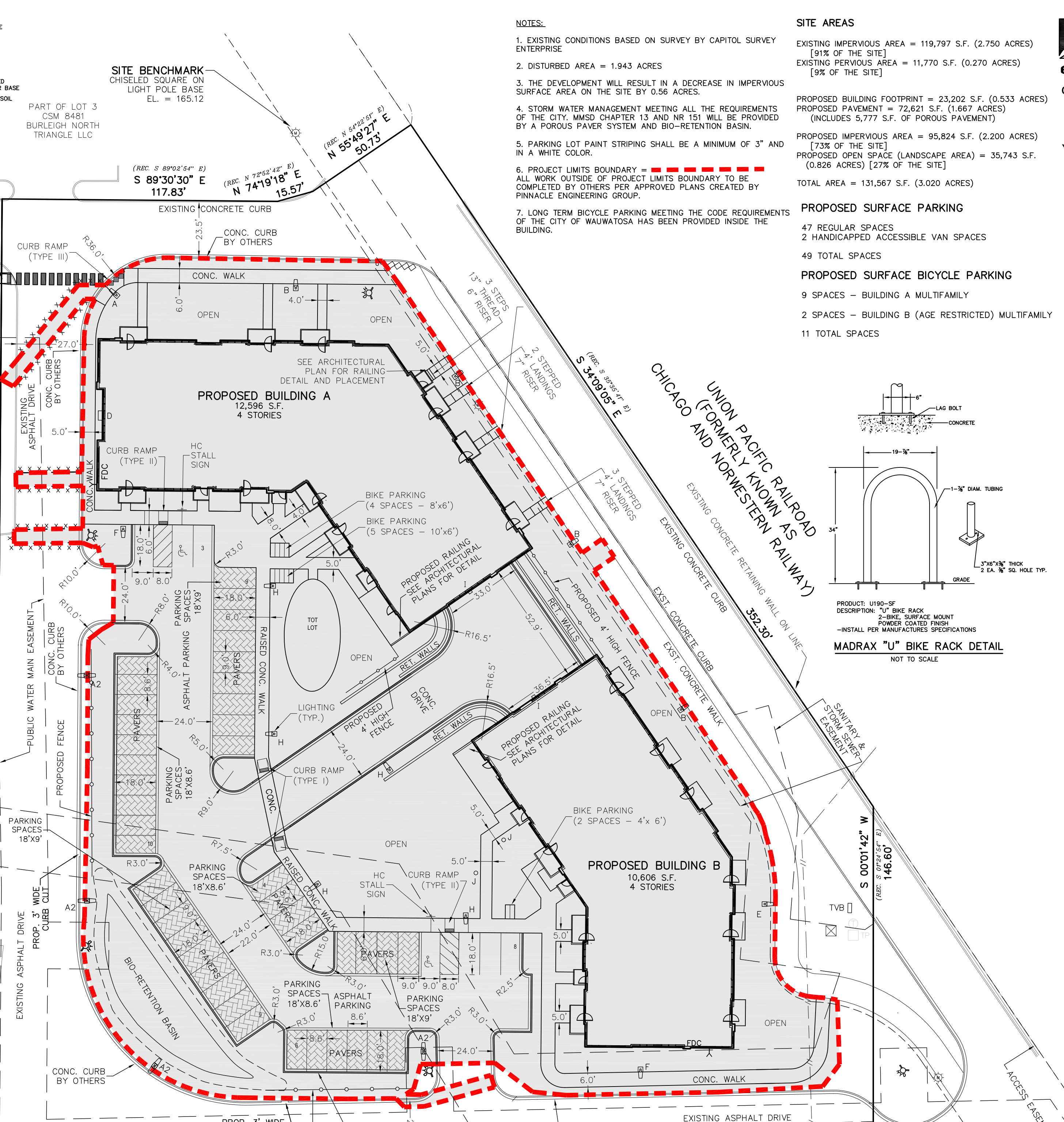
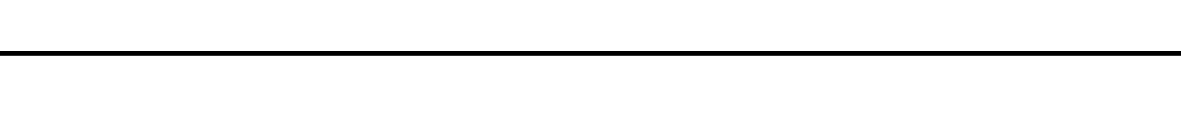
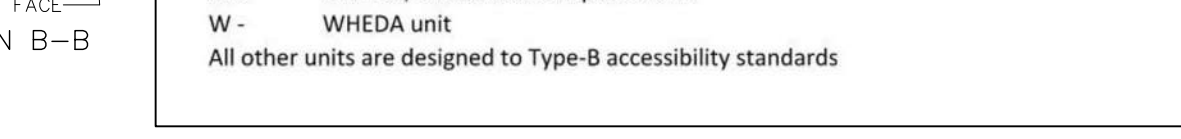
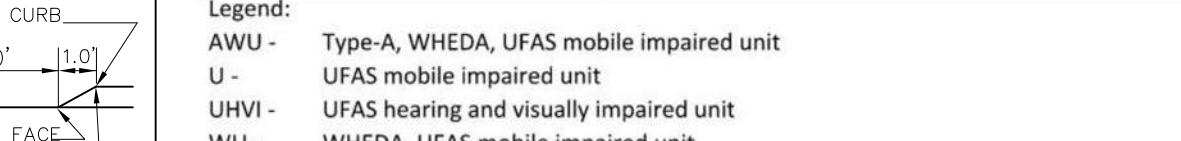
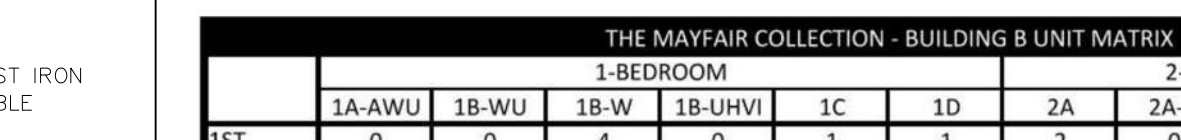
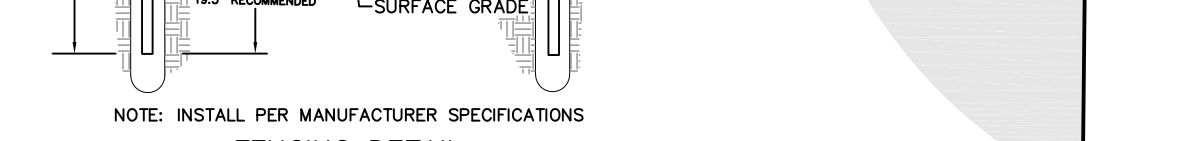
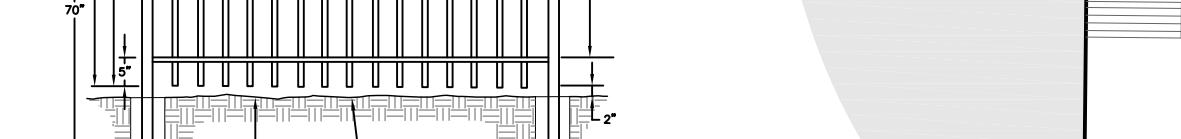
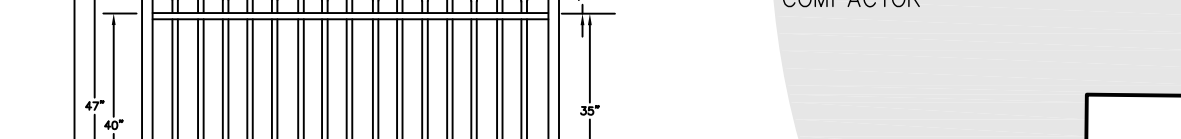
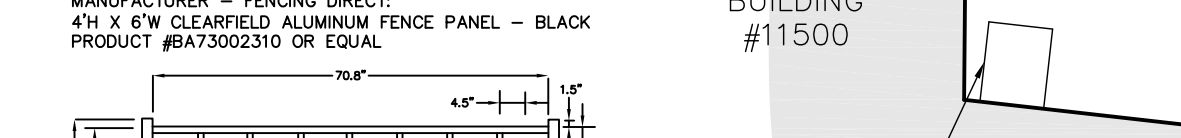
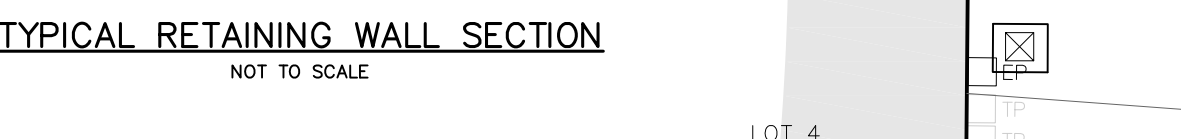
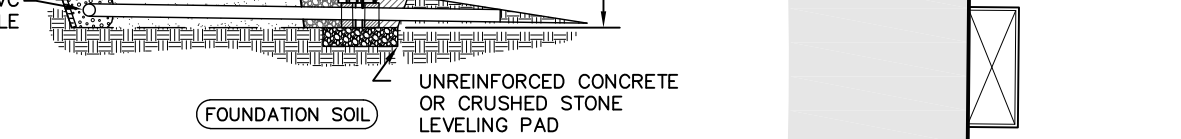
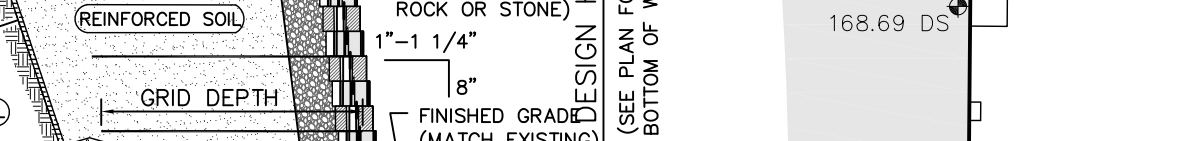
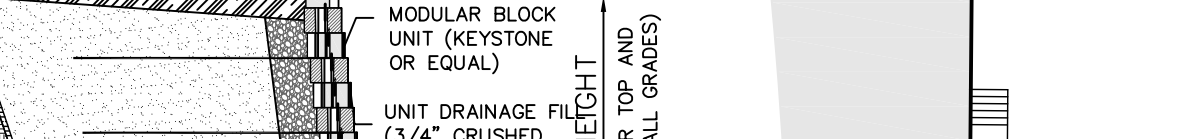
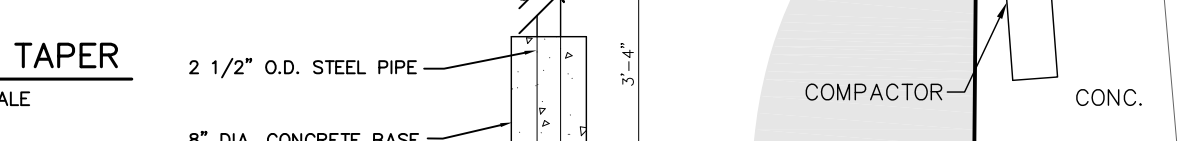
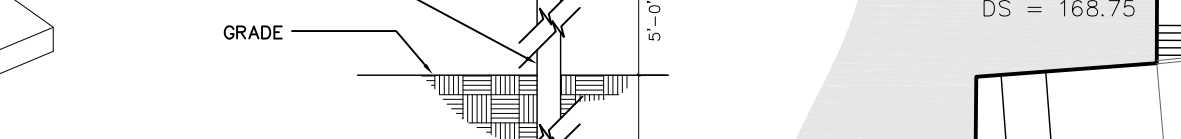
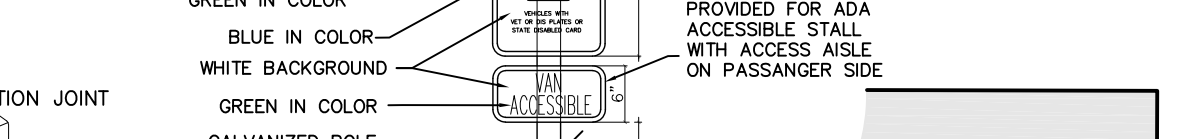
MICHAEL J. BERRY, A.L.S.



LEGEND	
— SAN —	— ELECTRIC TRANSFORMER —
— ST —	— ELECTRIC PEDESTAL —
— ST —	— ELECTRIC BOX AT GRADE —
— W —	— TELEPHONE BOX AT GRADE —
— G —	— BURIED GAS LINE —
— L —	— BURIED ELECTRIC LINE —
— E —	— BURIED CABLE TELEVISION LINE —
— F —	— BURIED FIBER OPTIC LINE —
— C —	— COMBINATION UTILITY LINES —
— W —	— WOOD FENCE —
— M —	— METAL FENCE —
— T —	— EDGE OF TREES AND BRUSH —
— S —	— DOOR SILL ELEVATION —
— F —	— FIRE DEPARTMENT CONNECTION —
— E —	— ELECTRIC METER —
— E —	— WATER VALVE —
— E —	— GAS VALVE —
— E —	— MANHOLE —
— E —	— STORM MANHOLE —
— E —	— CATCH BASIN —
— E —	— CURB INLET —
— E —	— CONCRETE LIGHT POLE —
— E —	— WOOD LIGHT POLE —
— E —	— MAIL BOX —
— E —	— FIBER OPTIC MARKER —
— E —	— GUY WIRE —



Label	Quantity	Material/Description	Calculated Quantity	Unit	Notes	Material/Description	Calculated Quantity	Unit	Notes
A	1	CONCRETE LIGHTING SOLUTIONS - LUMINA (FORMERLY EATON)	1	EA	1	REINFORCING AREA AND WALL LUMINA (1) TO THE MOON, 100% LIGHT BRIDGE WITH 24 LUMINA AND TYPE II OFFICE	1	EA	1
A2	4	CONCRETE LIGHTING SOLUTIONS - LUMINA (FORMERLY EATON)	4	EA	1	REINFORCING AREA AND WALL LUMINA (1) TO THE MOON, 100% LIGHT BRIDGE WITH 24 LUMINA AND TYPE II OFFICE	4	EA	1
B	1	CONCRETE LIGHTING SOLUTIONS - LUMINA (FORMERLY EATON)	1	EA	1	REINFORCING AREA AND WALL LUMINA (1) TO THE MOON, 100% LIGHT BRIDGE WITH 24 LUMINA AND TYPE II OFFICE	1	EA	1
E	1	CONCRETE LIGHTING SOLUTIONS - LUMINA (FORMERLY EATON)	1	EA	1	REINFORCING AREA AND WALL LUMINA (1) TO THE MOON, 100% LIGHT BRIDGE WITH 24 LUMINA AND TYPE II OFFICE	1	EA	1
F	2	CONCRETE LIGHTING SOLUTIONS - LUMINA (FORMERLY EATON)	2	EA	1	REINFORCING AREA AND WALL LUMINA (1) TO THE MOON, 100% LIGHT BRIDGE WITH 24 LUMINA AND TYPE II OFFICE	2	EA	1
H	1	CONCRETE LIGHTING SOLUTIONS - LUMINA (FORMERLY EATON)	1	EA	1	REINFORCING AREA AND WALL LUMINA (1) TO THE MOON, 100% LIGHT BRIDGE WITH 24 LUMINA AND TYPE II OFFICE	1	EA	1
I	2	CONCRETE LIGHTING SOLUTIONS - LUMINA (FORMERLY EATON)	2	EA	1	REINFORCING AREA AND WALL LUMINA (1) TO THE MOON, 100% LIGHT BRIDGE WITH 24 LUMINA AND TYPE II OFFICE	2	EA	1
J	1	CONCRETE LIGHTING SOLUTIONS - LUMINA (FORMERLY EATON)	1	EA	1	REINFORCING AREA AND WALL LUMINA (1) TO THE MOON, 100% LIGHT BRIDGE WITH 24 LUMINA AND TYPE II OFFICE	1	EA	1
D	1	CONCRETE LIGHTING SOLUTIONS - LUMINA (FORMERLY EATON)	1	EA	1	REINFORCING AREA AND WALL LUMINA (1) TO THE MOON, 100% LIGHT BRIDGE WITH 24 LUMINA AND TYPE II OFFICE	1	EA	1



- NOTES:
- EXISTING CONDITIONS BASED ON SURVEY BY CAPITOL SURVEY ENTERPRISE
 - DISTURBED AREA = 1,943 ACRES
 - THE DEVELOPMENT WILL RESULT IN A DECREASE IN IMPERVIOUS SURFACE AREA ON THE SITE BY 0.56 ACRES.
 - STORM WATER MANAGEMENT MEETING ALL THE REQUIREMENTS OF THE CITY, MMSD CHAPTER 13 AND NR 151 WILL BE PROVIDED BY A POROUS PAVEMENT SYSTEM AND BIO-RETENTION BASIN.
 - PARKING LOT PAINT STRIPING SHALL BE A MINIMUM OF 3" AND IN A WHITE COLOR.
 - PROJECT LIMITS BOUNDARY = ALL WORK OUTSIDE OF PROJECT LIMITS BOUNDARY TO BE COMPLETED BY OTHERS PER APPROVED PLANS CREATED BY PINNACLE ENGINEERING GROUP.
 - LONG TERM BICYCLE PARKING MEETING THE CODE REQUIREMENTS OF THE CITY OF WAUWATOSA HAS BEEN PROVIDED INSIDE THE BUILDING.

SITE AREAS

EXISTING IMPERVIOUS AREA = 119,797 S.F. (2.750 ACRES)
[91% OF THE SITE]

EXISTING PERVIOUS AREA = 11,770 S.F. (0.270 ACRES)
[9% OF THE SITE]

PROPOSED BUILDING FOOTPRINT = 23,202 S.F. (0.533 ACRES)
PROPOSED PAVEMENT = 72,821 S.F. (1.667 ACRES)
(INCLUDES 5,777 S.F. OF POROUS PAVEMENT)

PROPOSED IMPERVIOUS AREA = 95,824 S.F. (2.200 ACRES)
[73% OF THE SITE]

PROPOSED OPEN SPACE (LANDSCAPE AREA) = 35,743 S.F. (0.826 ACRES) [27% OF THE SITE]

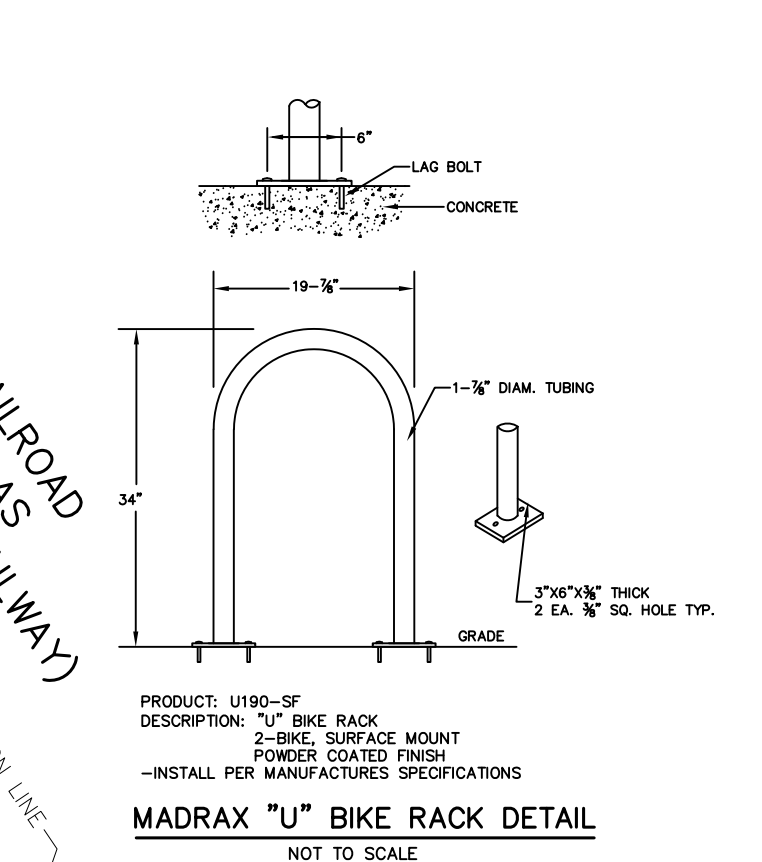
TOTAL AREA = 131,567 S.F. (3.020 ACRES)

PROPOSED SURFACE PARKING

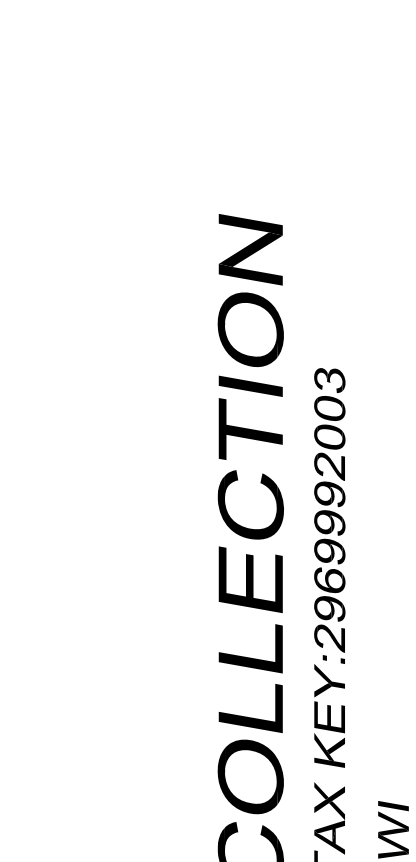
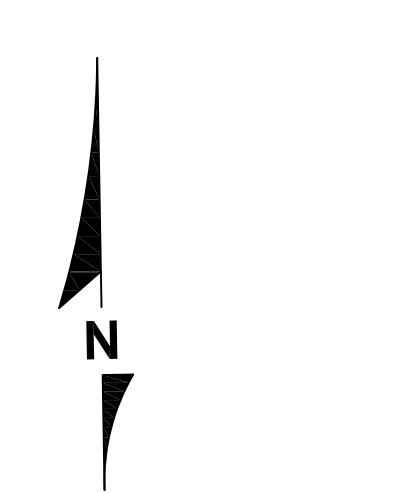
47 REGULAR SPACES
2 HANDICAPPED ACCESSIBLE VAN SPACES
49 TOTAL SPACES

PROPOSED SURFACE BICYCLE PARKING

9 SPACES - BUILDING A MULTIFAMILY
2 SPACES - BUILDING B (AGE RESTRICTED) MULTIFAMILY
11 TOTAL SPACES

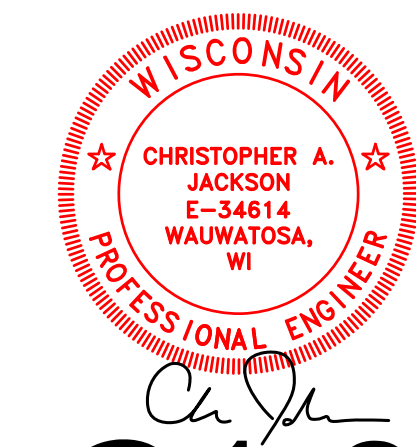


CJ engineering
civil design and consulting
9205 W. Center Street
Suite 214
Milwaukee, WI 53222
PH. (414) 443-1312
www.cj-engineering.com



MSP - MAYFAIR COLLECTION
11450 W BURLEIGH STREET - TAX KEY: 2969992003
WAUWATOSA, WI

CJE NO.: 2176R16
FEBRUARY 14, 2023
REV.: 3/14/2023
REV.: 3/24/2023
REV.: 4/06/2023
REV.: 4/11/2023
REV.: 5/02/2023
REV.: 5/11/2023
REV.: 6/14/2023
REV.: 7/07/2023
REV.: 8/07/2023



C1.0

THE MAYFAIR COLLECTION - BUILDING B UNIT MATRIX

	1A-AWU	1B-WU	1C	1D	2A	2B	2C	TOTAL
1ST	0	0	4	0	1	1	2	8
2ND	1	0	1	1	1	1	2	7
3RD	0	0	1	0	3	1	3	8
4TH	0	0	0	0	4	1	3	8
TOTAL	1	0	6	1	9	4	10	39

Legend:

- AWU - Type-A, WHEDA, UFAS mobile impaired unit
- U - UFAS mobile impaired unit
- UHVI - UFAS hearing and visually impaired unit
- WU - WHEDA, UFAS mobile impaired unit
- W - WHEDA unit

All other units are designed to Type-B accessibility standards

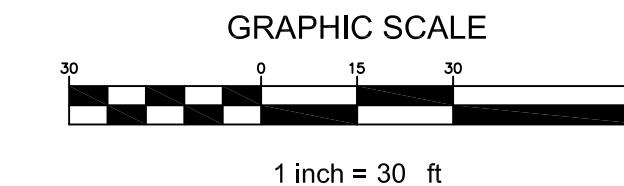
THE MAYFAIR COLLECTION - BUILDING A UNIT MATRIX

	1A-AWU	1B-WU	1C	1D	1E	2A	2B	2C	2D	3A	3B	3C	3D	TOTAL
1ST	0	0	0	0	0	0	0	1	0	6	2	1	0	10
2ND	0	0	0	0	0	1	1	1	1	0	2	1	0	6
3RD	1	1	4	1	1	1	1	1	1	0	2	0	0	13
4TH	0	0	2	4	1	0	1	1	1	0	2	0	1	12
TOTAL	1	1	6	5	3	2	4	2	6	8	2	1	1	41

Legend:

- AWU - Type-A, WHEDA, UFAS mobile impaired unit
- WU - WHEDA, UFAS mobile impaired unit
- W - WHEDA unit

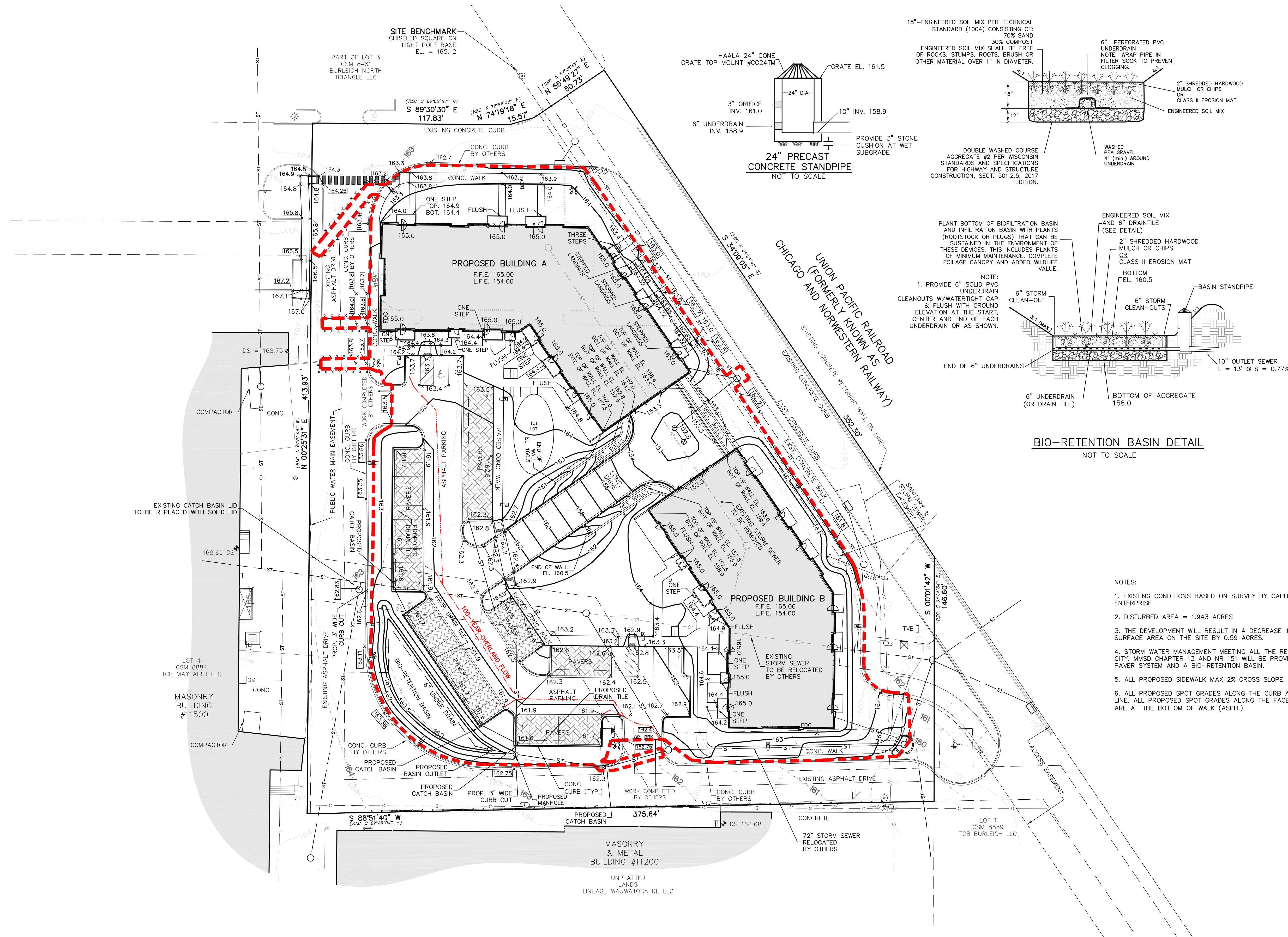
All other units, except type 3A, are designed to Type-B accessibility standards



SITE PLAN



SITE GRADING PLAN



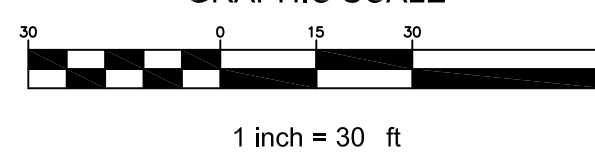
LEGEND

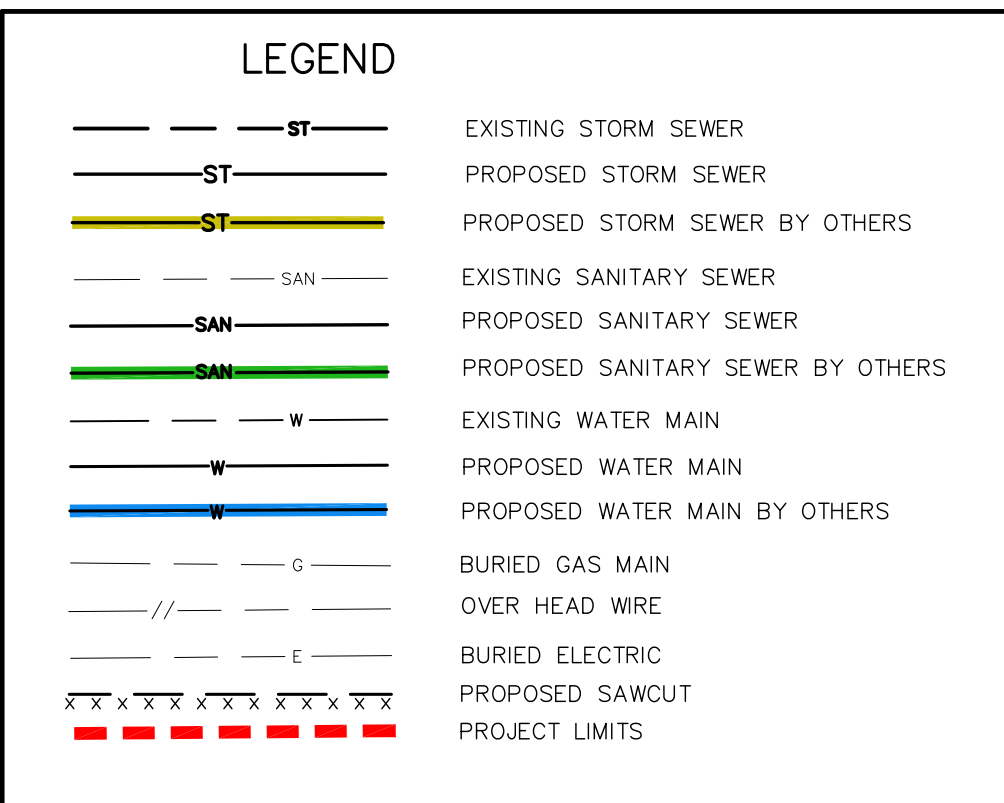
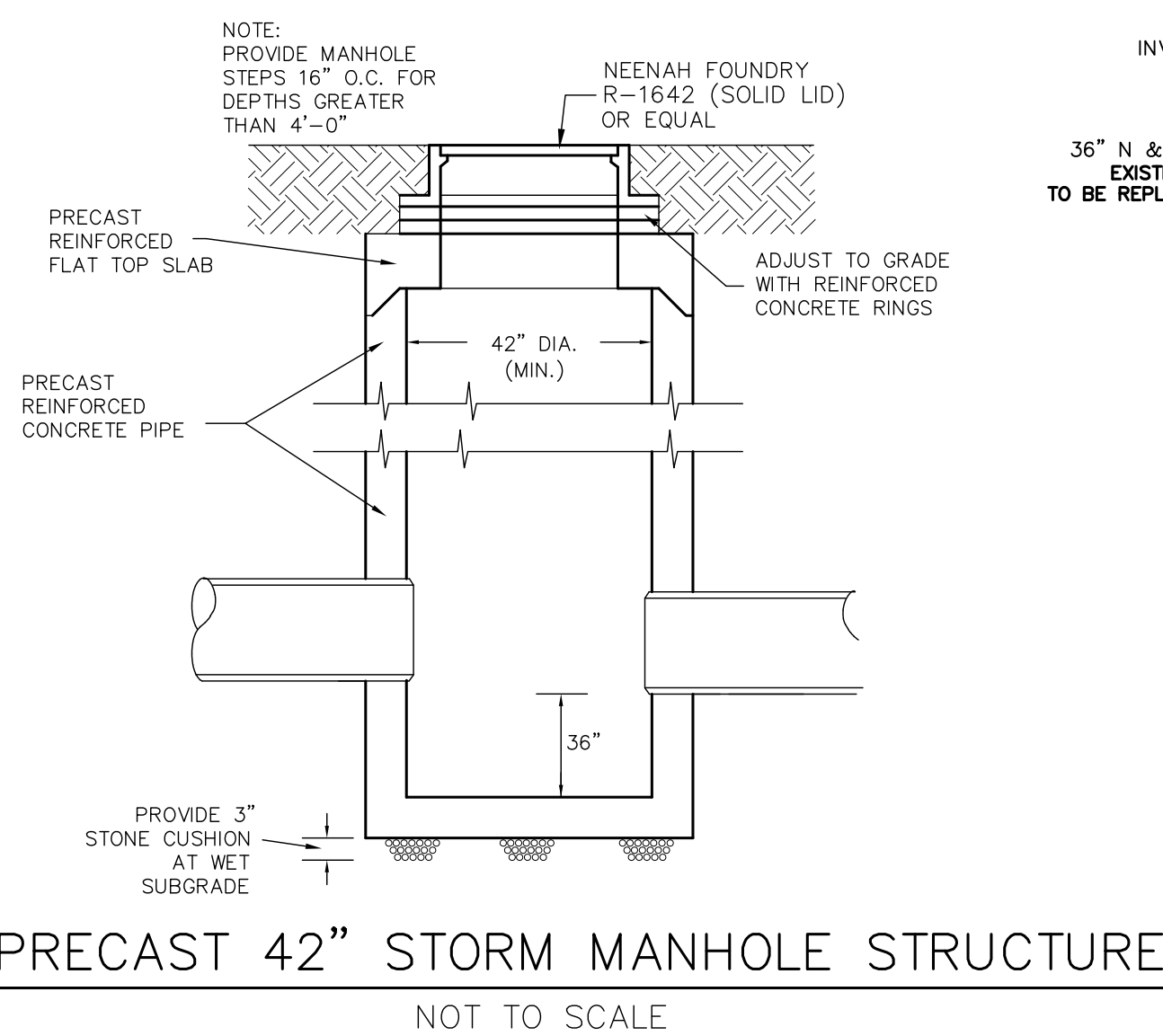
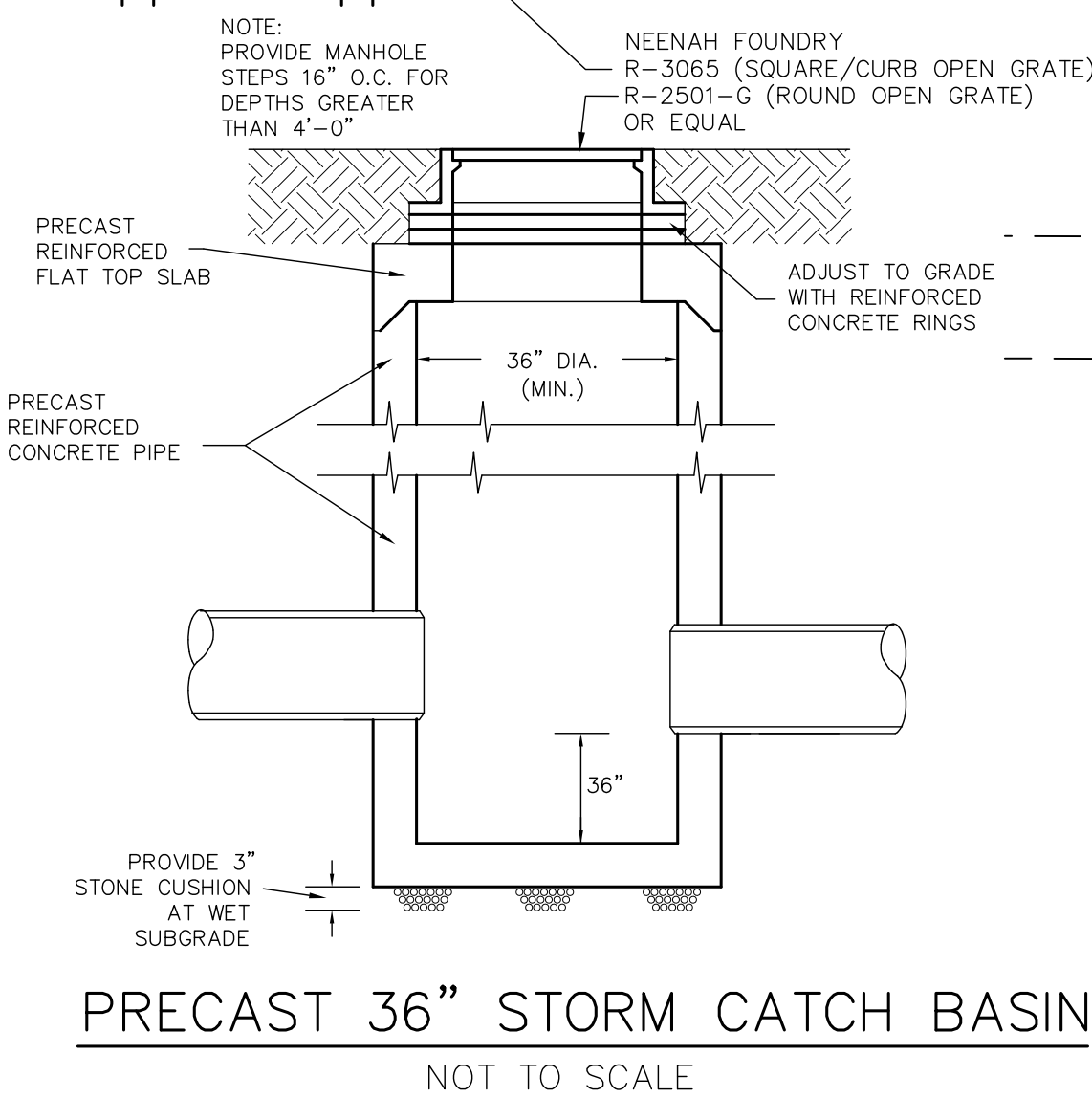
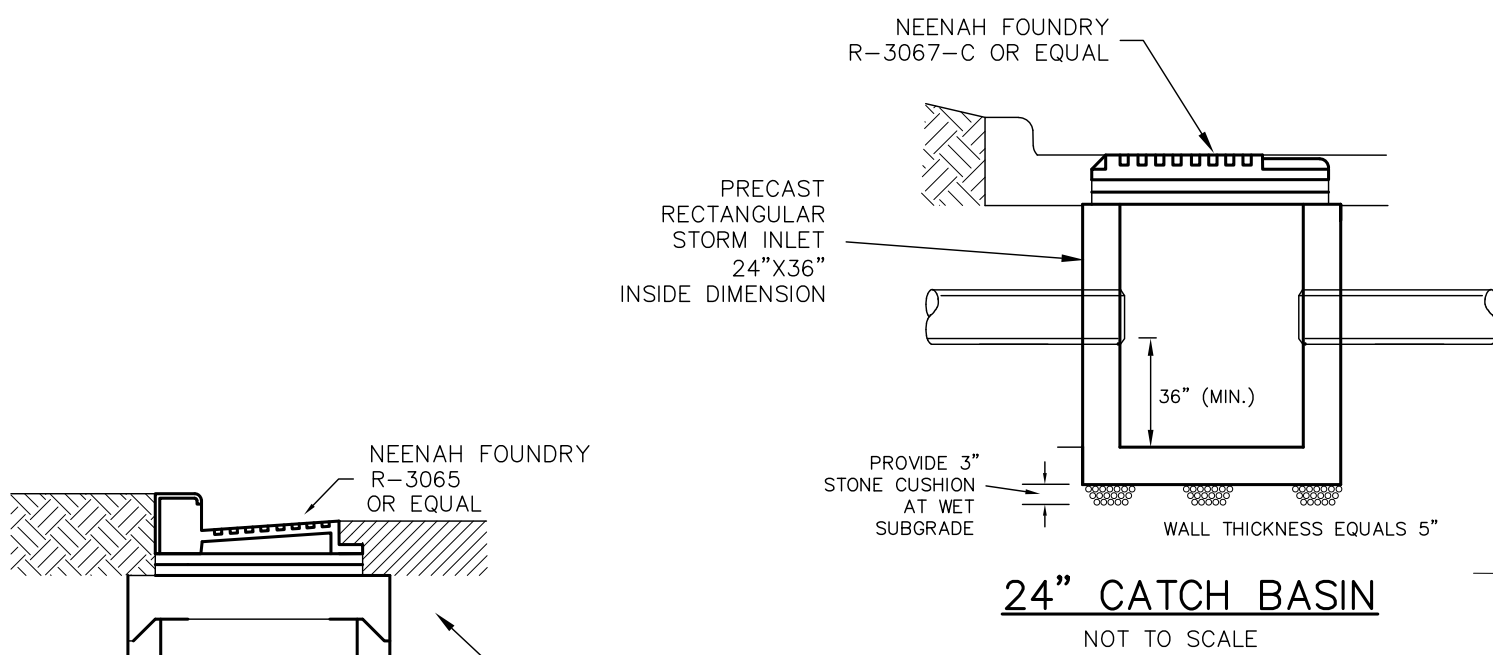
---	732	EXISTING CONTOUR
---	733	PINNACLE DESIGN CONTOUR (BY OTHERS)
---	733	PROPOSED CONTOUR
x-734.5		PROPOSED ELEVATION
x-734.5		PINNACLE DESIGN ELEVATION (BY OTHERS)
ST		PROPOSED STORM SEWER
x x x x x x x x x x		PROPOSED SAWCUT
---		PROJECT LIMITS

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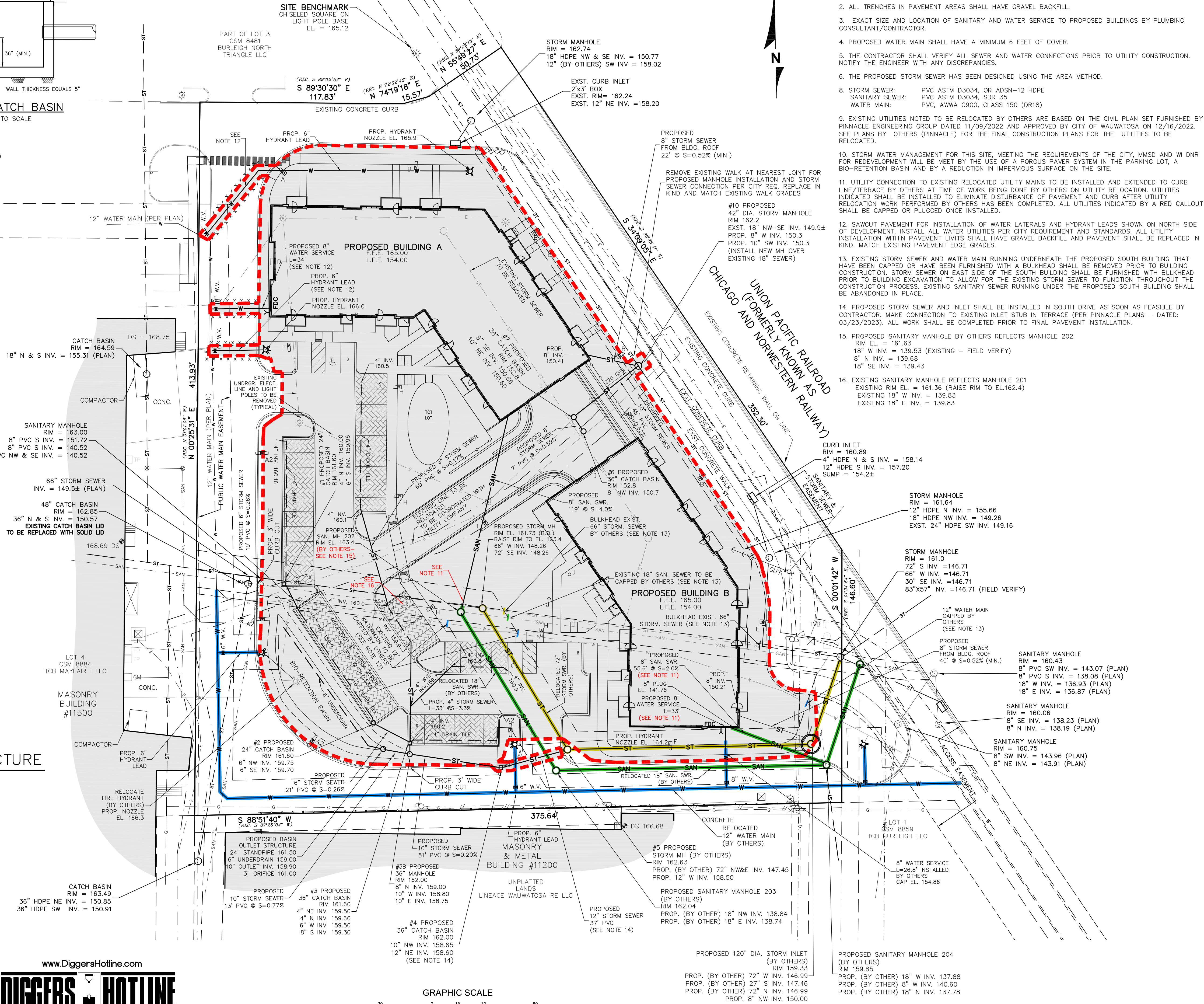
DIGGERS HOTLINE
DIAL 811 OR (800) 242-8511

GRAPHIC SCALE





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- NOTES:
1. ALL STORM SEWER, SANITARY SEWER, AND WATER MAIN MATERIALS AND INSTALLATION PER APPLICABLE SECTIONS OF THE LATEST EDITIONS OF THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN, WISCONSIN ADMINISTRATIVE PLUMBING CODE AND THE CITY OF WAUWATOSA REQUIREMENTS.
 2. ALL TRENCHES IN PAVEMENT AREAS SHALL HAVE GRAVEL BACKFILL.
 3. EXACT SIZE AND LOCATION OF SANITARY AND WATER SERVICE TO PROPOSED BUILDINGS BY PLUMBING CONSULTANT/CONTRACTOR.
 4. PROPOSED WATER MAIN SHALL HAVE A MINIMUM 6 FEET OF COVER.
 5. THE CONTRACTOR SHALL VERIFY ALL SEWER AND WATER CONNECTIONS PRIOR TO UTILITY CONSTRUCTION. NOTIFY THE ENGINEER WITH ANY DISCREPANCIES.
 6. THE PROPOSED STORM SEWER HAS BEEN DESIGNED USING THE AREA METHOD.
 8. STORM SEWER: PVC ASTM D3034, OR ADSN-12 HDPE
 SANITARY SEWER: PVC ASTM D3034, SDR 35
 WATER MAIN: PVC, AWWA C900, CLASS 150 (DR18)
 9. EXISTING UTILITIES NOTED TO BE RELOCATED BY OTHERS ARE BASED ON THE CIVIL PLAN SET FURNISHED BY PINNACLE ENGINEERING GROUP DATED 11/09/2022 AND APPROVED BY CITY OF WAUWATOSA ON 12/16/2022. SEE PLANS BY OTHERS (PINNACLE) FOR THE FINAL CONSTRUCTION PLANS FOR THE UTILITIES TO BE RELOCATED.
 10. STORM WATER MANAGEMENT FOR THIS SITE, MEETING THE REQUIREMENTS OF THE CITY, MMSD AND WI DNR FOR REDEVELOPMENT WILL BE MET BY THE USE OF A POROUS PAVER SYSTEM IN THE PARKING LOT, A BIO-RETENTION BASIN AND BY A REDUCTION IN IMPERVIOUS SURFACE ON THE SITE.
 11. UTILITY CONNECTION TO EXISTING RELOCATED UTILITY MAINS TO BE INSTALLED AND EXTENDED TO CURB LINE/TERRACE BY OTHERS AT TIME OF WORK BEING DONE BY OTHERS ON UTILITY RELOCATION. UTILITIES INDICATED SHALL BE INSTALLED TO ELIMINATE DISTURBANCE OF PAVEMENT AND CURB AFTER UTILITY RELOCATION WORK PERFORMED BY OTHERS HAS BEEN COMPLETED. ALL UTILITIES INDICATED BY A RED CALLOUT SHALL BE CAPPED OR PLUGGED ONCE INSTALLED.
 12. SAWCUT PAVEMENT FOR INSTALLATION OF WATER LATERALS AND HYDRANT LEADS SHOWN ON NORTH SIDE OF DEVELOPMENT. INSTALL ALL WATER UTILITIES PER CITY REQUIREMENT AND STANDARDS. ALL UTILITY INSTALLATION WITHIN PAVEMENT LIMITS SHALL HAVE GRAVEL BACKFILL AND PAVEMENT SHALL BE REPLACED IN KIND. MATCH EXISTING PAVEMENT EDGE GRADES.
 13. EXISTING STORM SEWER AND WATER MAIN RUNNING UNDERNEATH THE PROPOSED SOUTH BUILDING THAT HAVE BEEN CAPPED OR HAVE BEEN FURNISHED WITH A BULKHEAD SHALL BE REMOVED PRIOR TO BUILDING CONSTRUCTION. STORM SEWER ON EAST SIDE OF THE SOUTH BUILDING SHALL BE REMOVED PRIOR TO BUILDING CONSTRUCTION. EXISTING SANITARY SEWER RUNNING UNDER THE PROPOSED SOUTH BUILDING SHALL BE ABANDONED IN PLACE.
 14. PROPOSED STORM SEWER AND INLET SHALL BE INSTALLED IN SOUTH DRIVE AS SOON AS FEASIBLE BY CONTRACTOR. MAKE CONNECTION TO EXISTING INLET STUB IN TERRACE (PER PINNACLE PLANS - DATED: 03/23/2023). ALL WORK SHALL BE COMPLETED PRIOR TO FINAL PAVEMENT INSTALLATION.
 15. PROPOSED SANITARY MANHOLE BY OTHERS REFLECTS MANHOLE 202
 RIM EL. = 161.63
 18" W INV. = 139.53 (EXISTING - FIELD VERIFY)
 8" N INV. = 139.68
 18" SE INV. = 139.43
 16. EXISTING SANITARY MANHOLE REFLECTS MANHOLE 201
 EXISTING RIM EL. = 161.36 (RAISE RIM TO EL.162.4)
 EXISTING 18" W INV. = 139.83
 EXISTING 18" E INV. = 139.83

CJ engineering
 civil design and consulting
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 Suite 214
 Milwaukee, WI 53222
 PH. (414) 443-1312
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CJE NO.:2176R16
 FEBRUARY 14, 2023
 REV.: 3/14/2023
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 REV.: 8/07/2023

WISCONSIN
 CHRISTOPHER A. JACKSON
 E-34614
 WAUWATOSA, WI
 PROFESSIONAL ENGINEER
C3.0

1. EXISTING CONDITIONS BASED ON SURVEY BY CAPITOL SURVEY ENTERPRISES.
2. DISTURBED AREA = 84,633 S.F. (1.943 ACRES)
3. THE DEVELOPMENT WILL RESULT IN A DECREASE IN IMPERVIOUS SURFACE AREA ON THE SITE BY 0.59 ACRES.
4. STORM WATER MANAGEMENT MEETING ALL THE REQUIREMENTS OF THE CITY. MMSD CHAPTER 13 AND NR 151 WILL BE PROVIDED BY A PROPOSED STORM WATER PERMEABLE PAVEMENT SYSTEM LOCATED SOUTHWEST OF THE PROPOSED BUILDINGS ALONG WITH A BIO-RETENTION BASIN.
5. ALL CONSTRUCTION MATERIALS TO BE STORED ON-SITE.
6. THE CONTRACTOR IS RESPONSIBLE FOR ANY CITY AND/OR STATE PERMITS FOR ALL WORK IN THE PUBLIC RIGHT OF WAY. ALL WORK IN THE PUBLIC RIGHT OF WAY REQUIRES A STREET OCCUPANCY PERMIT FROM THE CITY.
7. ALL CONTRACTOR PARKING TO BE LOCATED ON SITE. ALL CONSTRUCTION PARKING ACTIVITIES TO FOLLOW CITY OF WAUKESHA PARKING REGULATIONS.
8. APPROXIMATE START DATE: MAY 2023
APPROXIMATE COMPLETION DATE: MAY 2024
9. CONTRACTOR TO LIMIT ANY CRANE MOVEMENTS THAT INVOLVE OVERHAND ONTO THE ADJACENT RAILROAD RIGHT-OF-WAY.

FROM I-94 EAST/WEST BOUND: TAKE EXIT 305A/B TO I-41. HEAD NORTHBOUND ONTO I-41 TO EXIT 43. TAKE EXIT 43 AND CONTINUE EAST ON W BURLEIGH ST. CONTINUE ON EAST ON W BURLEIGH ST TO N 112TH ST. THEN HEAD NORTH ON N 112TH ST. CONTINUE ON N 112TH ST TO THE PROJECT LOCATION.

FROM I-41: TAKE EXIT 43. TAKE EXIT 43 AND CONTINUE EAST ON W BURLEIGH ST. CONTINUE ON EAST ON W BURLEIGH ST TO N 112TH ST. THEN HEAD NORTH ON N 112TH ST. CONTINUE ON N 112TH ST TO THE PROJECT LOCATION.

1. OBTAIN PLAN APPROVAL AND OTHER APPLICABLE PERMITS.
2. FLAG THE WORK LIMIT AREA FOR PROTECTION.
3. INSTALL SILT SATTLES AND TREE PROTECTION.
4. INSTALL INLET GRATE SCREENS AND INLETS ADJACENT TO SITE. AS SHOWN ON PLAN.
5. DEMO SILT AND REMOVE ALL EXCESS MATERIAL.
6. INSTALL CONSTRUCTION EXIT.
7. ROUGH GRADE SITE, REMOVE ANY EXCESS MATERIAL FROM SITE IMMEDIATELY
8. BEGIN BUILDING CONSTRUCTION.
9. INSTALL PROPOSED UTILITIES.
10. INSTALL INLET GRATE SCREENS IN ALL NEW STORM INLETS.
11. BEGIN VEGETATION STABILIZATION OF ANY DISTURBED AREAS WHICH WILL REMAIN INACTIVE FOR A PERIOD EXCEEDING 7 DAYS.
12. INSTALL CURB, WALK AND BASE COURSE OF PAVEMENT.
13. FINAL GRADE SLOPES AND TOPSOIL, CRITICAL SLOPES; VEGETATE AND MAT ALL EXPOSED AREAS FOR FINAL STABILIZATION.
14. ALL EROSION CONTROL PRACTICES WILL BE INSPECTED WEEKLY AND AFTER RAINFALL, NEEDED REPAIRS WILL BE PERFORMED IMMEDIATELY.
15. WHEN STABILIZED, REMOVE ALL TEMPORARY MEASURES AND VEGETATE THE DISTURBED AREAS.
16. ESTIMATED TIME BEFORE FINAL STABILIZATION - 12 MONTHS.
17. ESTIMATED START DATE: MAY 2023
18. ESTIMATED END DATE: MAY 2024

1. ALL EROSION AND SEDIMENT CONTROL PRACTICES WILL BE CHECKED FOR STABILITY AND OPERATION FOLLOWING EVERY 1/2" RUNOFF-PRODUCTION RAINFALL, BUT IN NO CASE LESS THAN ONCE EVERY WEEK. ANY NEEDED REPAIRS WILL BE MADE IMMEDIATELY TO MAINTAIN ALL PRACTICES AS DESIGNED.
2. SEDIMENT WILL BE REMOVED FROM BEHIND THE SILT FENCE WHEN IT BECOMES ABOUT 0.5' DEEP AT THE FENCE. THE SILT FENCE WILL BE REPAIRED AS NECESSARY TO MAINTAIN A BARRIER.
3. ALL SEEDED AREAS WILL BE WATERED, FERTILIZED, RESEED AS NECESSARY, AND MULCHED TO MAINTAIN A VIGOROUS, DENSE VEGETATIVE COVER.
4. ANY SEDIMENT REACHING A PUBLIC OR PRIVATE ROAD SHALL BE REMOVED BY STREET CLEANING BEFORE THE END OF EACH DAY.

1. Site Dewatering. Water pumped from the site shall be treated by sediment basins or other appropriate best management practices specified in the Wisconsin Construction Site Best Management Practices (BMP) Handbook. Water may not be discharged in a manner that causes erosion of the site, adjacent sites, or receiving channels.
2. Waste and Material Disposal. All waste and unused building materials (including garbage, debris, cleaning wastes, wastewater, toxic materials, or hazardous materials) shall be properly disposed and not allowed to be carried off-site by runoff or wind.
3. Tracking. Each site shall have gravelled roads, access drives and parking areas of sufficient width and length to prevent sediment from being tracked onto public or private roadways. Any sediment reaching a public or private road shall be removed by street cleaning, to the satisfaction of the city, before the end of each workday. Flushing may not be used unless sediment will be controlled by a sediment basin or other appropriate best management practice specified in the BMP Handbook.
4. Sediment Control. All off-site sediment deposits occurring as a result of a storm event shall be cleaned up by the end of the next work day. All other off-site sediment deposits occurring as a result of construction activities shall be cleaned up by the end of the work day.
5. All activities on the site shall be conducted in a logical sequence to minimize the area of bare soil exposed at any one time.
6. All disturbed ground left inactive for seven or more days shall be stabilized by temporary or permanent seeding, temporary or permanent seeding and mulching, sodding, covering with tarps, or equivalent best management practices. If temporary seeding is used, a permanent cover shall also be required as part of the final site stabilization. Seeding or sodding will be required as part of the final site stabilization.
7. Soil or dirt storage piles shall be located a minimum of twenty-five feet from any downslope road, lake, stream, wetland, or drainage channel. Straw bales or filter fabric fences shall be placed on the down slope side of the piles. If remaining for more than seven days, piles shall be stabilized by mulching, vegetative cover, tarps or other means.
8. When the disturbed area has been stabilized by permanent vegetation or other means, temporary best management practices such as filter fabric fences, straw bales, sediment and sediment traps shall be removed.
9. Notify the city engineering department (479-8934) within two working days of commencing any land development or land disturbing activity.
10. The city or the city of completion of any best management practices within the next working day after their installation.
11. Obtain permission in writing from the City of Wauwatosa engineering department prior to modifying the erosion control plan.
12. Repair any siltation or erosion damage to adjoining surfaces and drainage ways resulting from land development or land disturbing activities.
13. Inspect the best management practices after each rain of 0.5 inch or more and at least once each week and make needed repairs.
14. Keep a copy of the erosion control plan on the site.

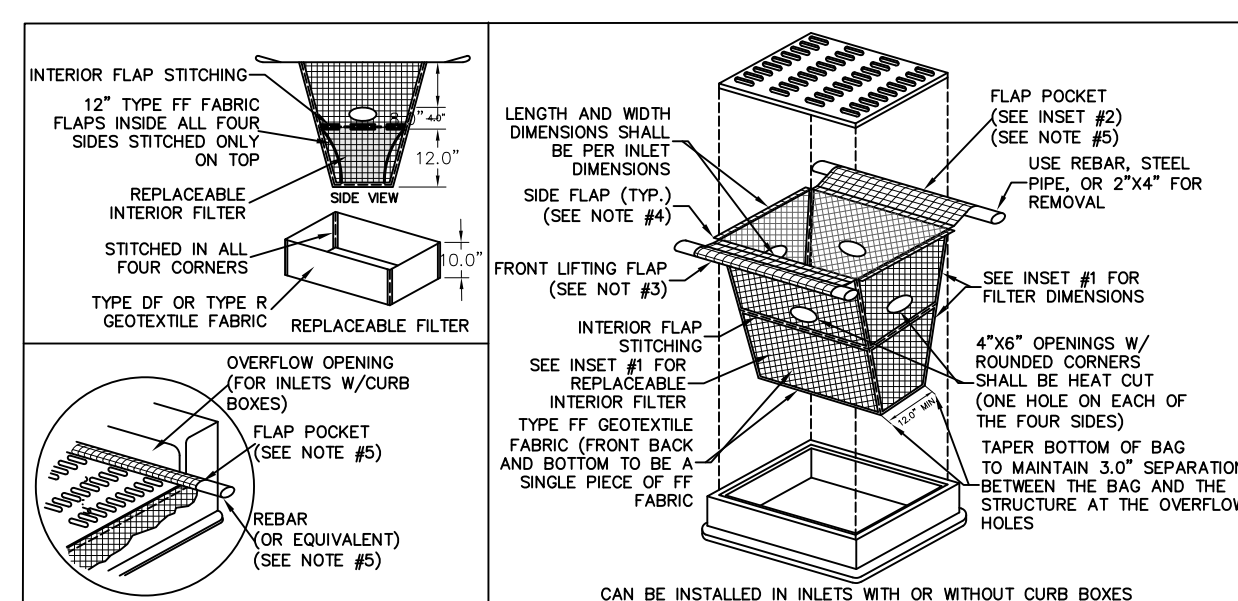
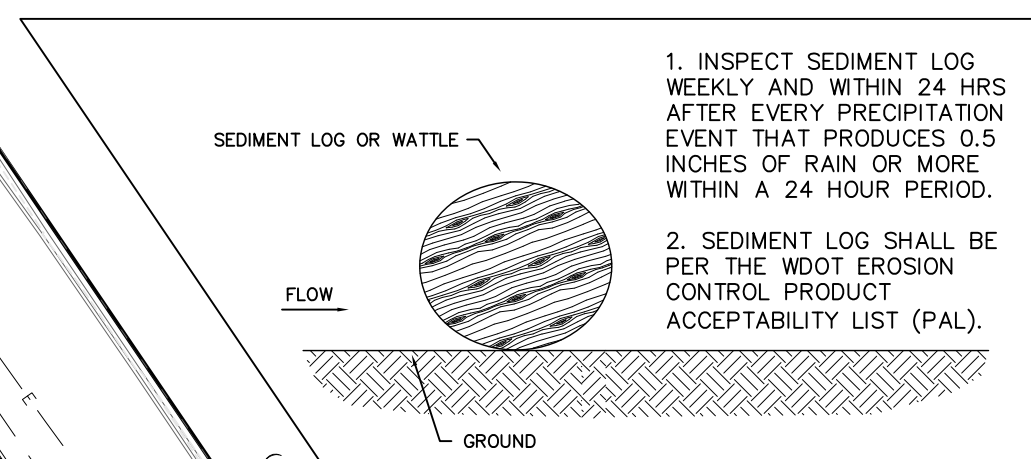
	732	EXISTING CONTOUR
	733	PROPOSED CONTOUR
x	734.5	PROPOSED ELEVATION
	ST	PROPOSED STORM SEWER
		PROPOSED SEDIMENT WATTLE

- ① SEDIMENT WATTLE
- ② CONSTRUCTION EXIT
- ③ INLET PROTECTION
- ④ EROSION MATTING —
- ⑤ TREE PROTECTION

AFTER FINISH GRADING AND TOPSOILING AND FOR FINAL STABILIZATION, PROVIDE CLASS I, TYPE B EROSION MAT PER 'WISDOT EROSION CONTROL PAL' (OR EQUAL) IN ALL ROADSIDE DITCHES, DEFINED SWALES, SIDE SLOPES, BERMS AND ALL OTHER SLOPES 4:1 OR GREATER. INSTALL PER MANUFACTURERS SPECIFICATIONS.

DIGGERS  **HOTLINE**
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1 inch = 30 ft



NOTES:

1. TAPER BOTTOM OF BAG TO MAINTAIN THREE INCHES OF CLEARANCE BETWEEN THE BAG AND THE STRUCTURE, MEASURED FROM THE BOTTOM OF THE OVERFLOW OPENINGS TO GHT STRUCTURE WALL.
2. GEOTEXTILE FABRIC TYPE F FOR FLAPS, TOP AND BOTTOM OF OUTSIDE OF FILTER BAG, FRONT, BACK AND BOTTOM OF FILTER BAG BEING ONE PIECE.
3. FRONT LIFTING FLAP IS TO BE USED WHEN REMOVING AND MAINTAINING FILTER BAG.
4. STITCHING SHALL BE A MAXIMUM OF TWO INCHES LONG. FOLD THE FABRIC OVER AND REINFORCE WITH MULTIPLE STITCHES.
5. FLAP POCKETS SHALL BE LARGE ENOUGH TO ACCEPT WOOD 2"x4". THE REBAR, STEEL PIPE, OR WOOD SHALL BE INSTALLED IN THE REAR FLAP AND SHALL NOT BLOCK THE TOP HALF OF THE CURB FACE OPENING.

MAINTENANCE NOTES:
1. WHEN REMOVING OR MAINTAINING INLET PROTECTION, CARE SHALL BE TAKEN SO THAT THE SEDIMENT TRAPPED IN THE FABRIC DOES NOT FALL INTO THE STRUCTURE. MATERIAL THAT HAS FALLEN INTO THE INLET SHALL BE IMMEDIATELY REMOVED.

DETAIL 1

BURY UPSLOPE END OF BLANKET IN TRENCH 6" WIDE BY 6" DEEP

FLOW

OVERLAP BLANKETS SIDE BY SIDE USING A 4" OVERLAP WITH UPSLOPE BLANKET LAID OVER DOWNSLOPE BLANKET

OVERLAP END OF UPSLOPE BLANKET 4" OVER DOWNSLOPE BLANKET AND SECURE WITH STAPLES

BURY TOE OF BLANKET IN TRENCH 6" WIDE BY 6" DEEP

1" Min

DETAIL 2

Anchor Slot

Staples

3"

12"

Tamp Soil Firmly

6"

DETAIL 3

Single Joint

Parallel Overlaps

4" Min

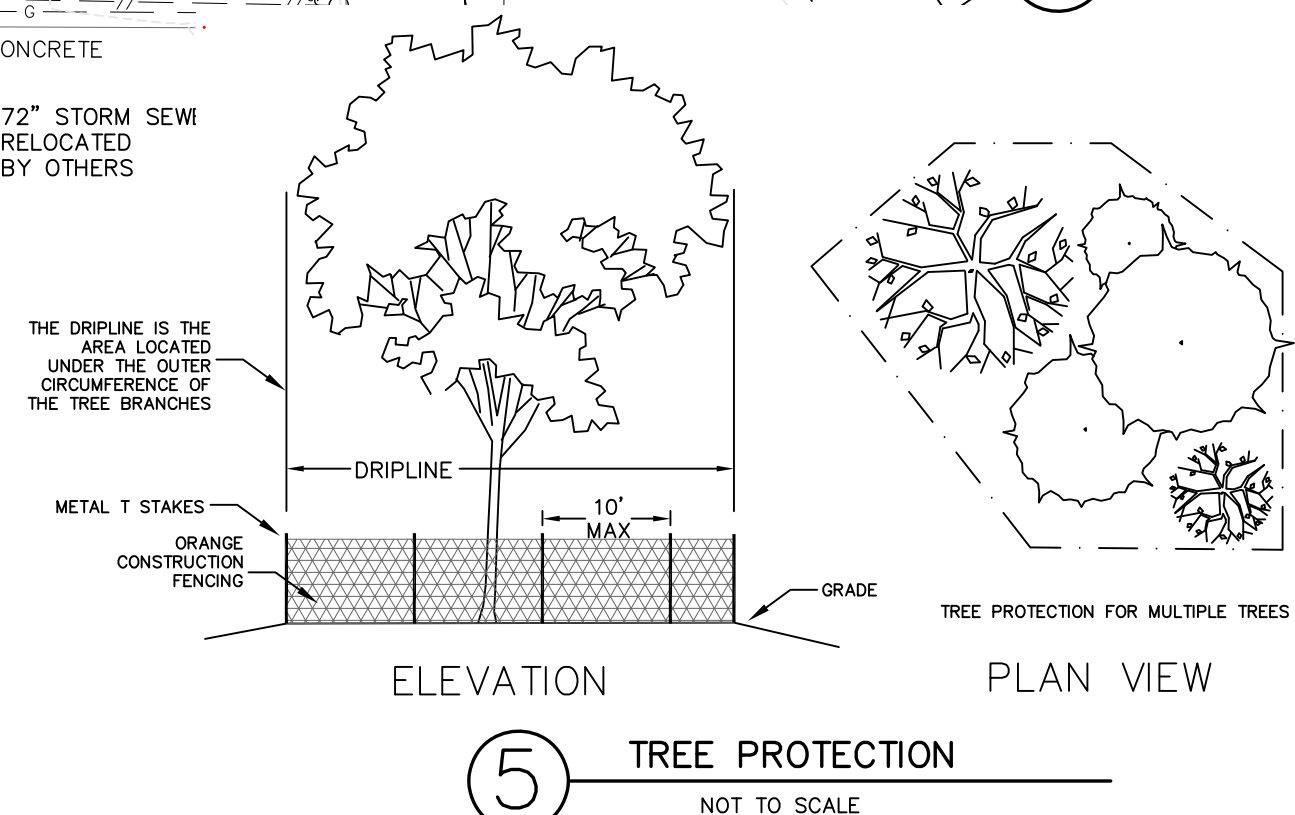
4" Min

Staple

NOT TO SCALE

NOTES:

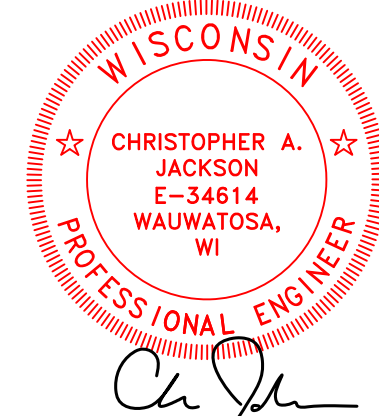
1. INSTALL 4' HIGH ORANGE WNYL SNOW/CONSTRUCTION FENCING OR SIMILAR FENCING AT OR BEYOND THE DRIPLINE OF ALL TREES TO BE SAVED
2. ERECT FENCE WITH 5' METAL T-STAKED AT LEAST EVERY 10'
3. THE FENCING SHALL BE IN PLACE BEFORE CONSTRUCTION ACTIVITY BEGINS AND REMAIN UNTIL ALL EXTERIOR WORK HAS BEEN COMPLETED.
4. NO CONSTRUCTION ACTIVITY SHALL TAKE PLACE NOR SHALL ANY EQUIPMENT BE STORED INSIDE THE FENCING
5. TO THE GREATEST EXTENT POSSIBLE, CONTRACTORS SHALL BE RESPONSIBLE FOR EXERCISING GREAT CARE TO RETAIN AND PROTECT ALL EXISTING TREES

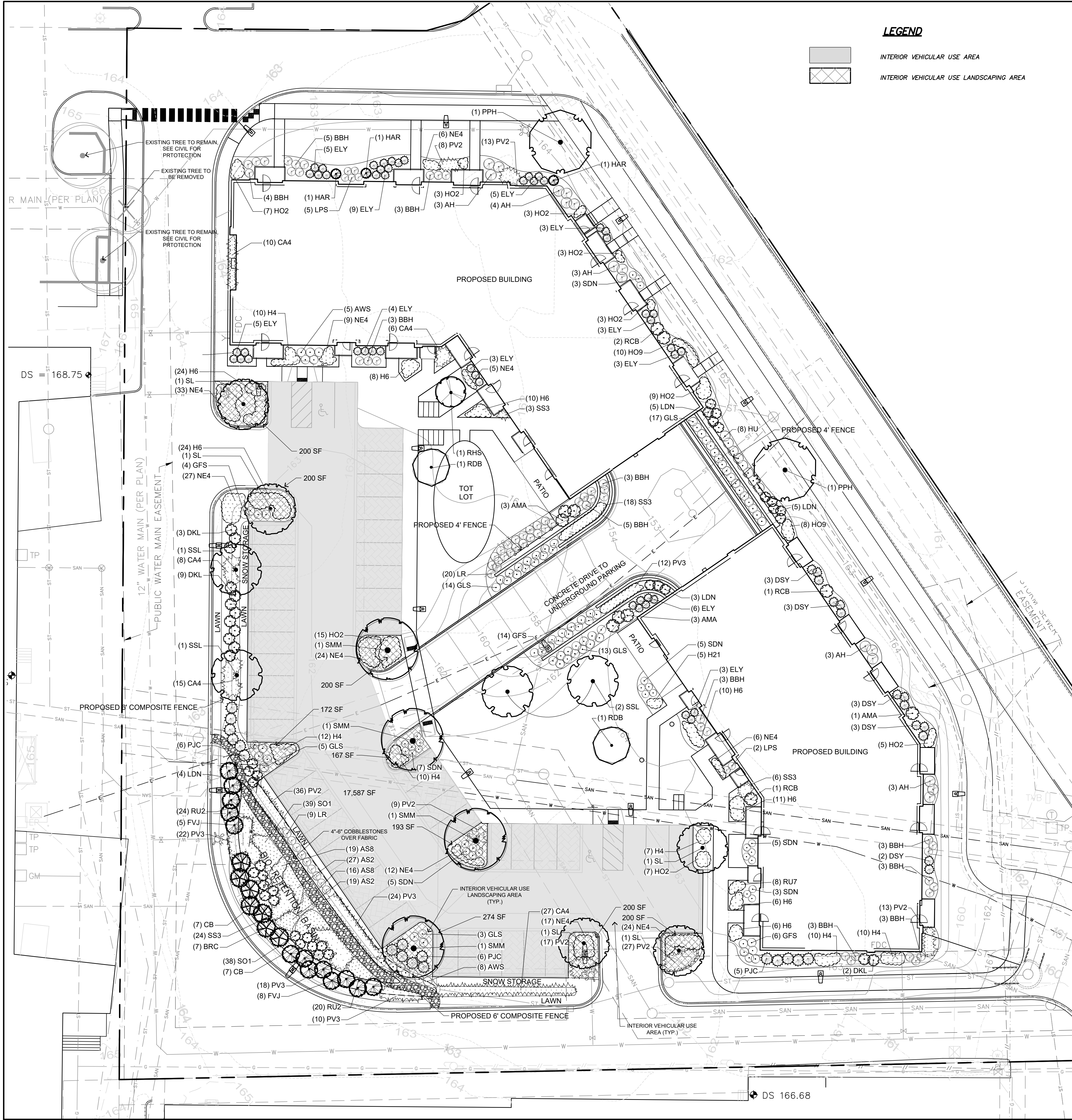


SITE EROSION CONTROL PLAN C4.0



CJE NO.:2I76RI6
FEBRUARY 14, 2023
REV.: 3/14/2023
REV.: 3/24/2023
REV.: 4/06/2023
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REV.: 8/07/2023





- LEGEND**
- INTERIOR VEHICULAR USE AREA
 - INTERIOR VEHICULAR USE LANDSCAPING AREA

PLANT SCHEDULE

DECIDUOUS TREES	QTY	COMMON NAME	BOTANICAL NAME	SIZE	ROOT	REMARKS
SMM	4	State Street Miyabei Maple	Acer miyabei 'Morton' TM	2 1/2" CAL	B&B	
PPH	2	Prairie Pride Hackberry	Celtis occidentalis 'Prairie Pride'	2 1/2" CAL	B&B	
SL	5	Street Keeper Honey Locust	Gleditsia triacanthos 'Draves' PPAF	2 1/2" CAL	B&B	Full, matching heads
SSL	4	Sweet Street Linden	Tilia americana 'Kromm'	2 1/2" CAL	B&B	
EVERGREEN TREES	QTY	COMMON NAME	BOTANICAL NAME	SIZE	ROOT	REMARKS
FVJ	13	Fairview Juniper	Juniperus chinensis 'Fairview'	6" HT	B&B	Semi-sheared, fully branched to ground
BRC	7	Burk Red Cedar	Juniperus virginiana 'Burkii'	6" HT	B&B	Semi-sheared, fully branched to ground
HAR	3	Holmstrup Arborvitae	Thuja occidentalis 'Holmstrup'	4" HT	B&B	Semi-sheared, fully branched to ground
ORNAMENTAL TREES	QTY	COMMON NAME	BOTANICAL NAME	SIZE	ROOT	REMARKS
RHS	1	Robin Hill Serviceberry	Amelanchier x grandiflora 'Robin Hill'	2" CAL	B&B	Full, matching heads
RDB	2	Eastern Redbud	Cercis canadensis	2" CAL	B&B	Full, matching heads. Northern grown
EVERGREEN SHRUBS	QTY	COMMON NAME	BOTANICAL NAME	SIZE	ROOT	REMARKS
PJC	17	Kallay Compact Pfitzer Juniper	Juniperus chinensis 'Kallays Compact'	18" SPD	CONT.	
DSY	14	Dense Yew	Taxus x media 'Densiformis'	18" SPD	CONT.	
ELY	49	Everlow Yew	Taxus x media 'Everlow'	18" HT	B&B	
LARGE DECIDUOUS SHRUBS	QTY	COMMON NAME	BOTANICAL NAME	SIZE	ROOT	REMARKS
RCB	7	Brilliant Red Chokeberry	Aronia arbutifolia 'Brilliantissima'	24" HT	CONT.	
AMA	7	Autumn Magic Black Chokeberry	Aronia melanocarpa 'Autumn Magic'	24" HT	CONT.	
LDN	17	Little Devil Dwarf Ninebark	Physocarpus opulifolius 'Little Devil' TM	24" HT	CONT.	
DKL	14	Dwarf Korean Lilac	Syringa meyeri 'Palibin'	36" HT	CONT.	
MEDIUM DECIDUOUS SHRUBS	QTY	COMMON NAME	BOTANICAL NAME	SIZE	ROOT	REMARKS
CB	14	Firedance™ Red Twig Dogwood	Cornus sericea 'Balladeline'	18" HT	CONT.	
SDN	28	Nikko Slender Deutzia	Deutzia gracilis 'Nikko'	15" HT	CONT.	
LR	29	Kodiak® Orange Diervilla	Diervilla x 'G2X8854'	15" HT	CONT.	
AH	16	Annabelle Smooth Hydrangea	Hydrangea arborescens 'Annabelle'	24" HT	CONT.	
BBH	38	BoBo Hydrangea	Hydrangea paniculata 'LVOBO'	15" HT	CONT.	
HU	8	Cotuit n Gold St. Johnswort	Hypericum kalmianum 'PILHYP-1'	15" HT	CONT.	
LOW DECIDUOUS SHRUBS	QTY	COMMON NAME	BOTANICAL NAME	SIZE	ROOT	REMARKS
GLS	52	Gro-Low Fragrant Sumac	Rhus aromatica 'Gro-Low'	15" HT	CONT.	
AWS	13	Anthony Waterer Spiraea	Spiraea x bumalda 'Anthony Waterer'	15" HT	CONT.	
GFS	24	Goldflame Spiraea	Spiraea x bumalda 'Goldflame'	15" HT	CONT.	
LPS	7	Little Princess Spiraea	Spiraea x japonica 'Little Princess'	15" HT	CONT.	
ORNAMENTAL GRASSES	QTY	COMMON NAME	BOTANICAL NAME	SIZE	ROOT	REMARKS
CA4	66	Karl Foerster Feather Reed Grass	Calamagrostis x acutiflora 'Karl Foerster'	1 GAL	POT	24" Spacing
PV2	123	Cheyenne Sky Switch Grass	Panicum virgatum 'Cheyenne Sky'	1 GAL	POT	18" Spacing
PV3	86	Heavy Metal Switch Grass	Panicum virgatum 'Heavy Metal'	1 GAL	POT	30" Spacing
SS3	51	Carousel Little Bluestem Grass	Schizachyrium scoparium 'Carousel'	1 GAL	POT	24" Spacing
PERENNIALS	QTY	COMMON NAME	BOTANICAL NAME	SIZE	ROOT	REMARKS
AS2	46	Swamp Milkweed	Asclepias incarnata	4 1/2"	POT	18" Spacing
AS8	35	Alma Potschke New England Aster	Aster novae-angliae 'Alma Potschke'	4 1/2"	POT	18" Spacing
H4	59	Happy Returns Daylily	Hemerocallis x 'Happy Returns'	4 1/2"	POT	18" Spacing
H6	99	Little Business Daylily	Hemerocallis x 'Little Business'	4 1/2"	POT	24" Spacing
H21	5	Stella de Oro Daylily	Hemerocallis x 'Stella de Oro'	4 1/2"	POT	18" Spacing
H02	55	Gold Standard Hosta	Hosta fortunei 'Gold Standard'	4 1/2"	POT	18" Spacing
H09	18	Blue Cadet Hosta	Hosta x 'Blue Cadet'	1 GAL	POT	24" Spacing
NE4	163	Kit Cat Catmint	Nepeta x 'faassenii' 'Kit Cat'	4 1/2"	POT	18" Spacing
RU2	44	Snowy Coneflower	Rudbeckia fulgida speciosa	4 1/2"	POT	18" Spacing
RU7	8	Little Goldstar Black-eyed Susan	Rudbeckia fulgida var. sullivantii 'Little Goldstar'	4 1/2"	POT	18" Spacing
SO1	77	Zigzag Goldenrod	Solidago flexicaulis	4 1/2"	POT	18" Spacing

LANDSCAPE CALCULATIONS

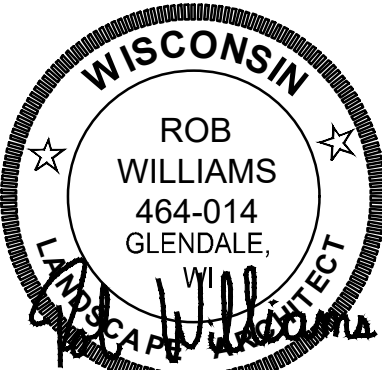
INTERIOR VEHICULAR USE AREA LANDSCAPE: 5 OR MORE PARKING STALLS

AREA = PARKING, DRIVE AISLES, DRIVEWAYS AND DRIVE THROUGH LANES
(DOES NOT INCLUDE PARKING IN A STRUCTURE)

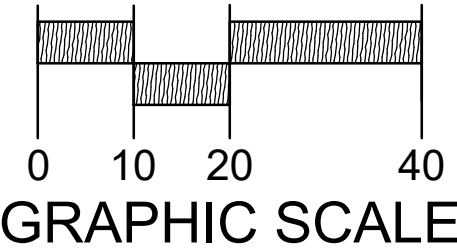
PAVED AREA = 15,950 LANDSCAPE AREA REQUIRED = 1,595 SF
PROVIDED: 1806 SF

REQUIRED: AT LEAST 10% OF USE AREA MUST BE LANDSCAPED
ISLANDS AND MEDIANS MUST HAVE AT LEAST 135 SF AND BE 10' WIDE
AREAS OUTSIDE THE VUA DON'T COUNT TOWARD INTERIOR.
CORNERS MAX 200 SF, IF AT LEAST 1 SHADE TREE IS INCLUDED
1 SHADE TREE PER 180 SF OF INTERIOR LANDSCAPE AREA
1,595 / 180 = 9 TREES REQUIRED
PROVIDED: 9 TREES

SNOW SHALL NOT BE PUSHED ONTO LANDSCAPE ISLANDS.



DATE: 07-07-2023



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DESCRIPTION

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16745 W. Bluemound Road
Brookfield, WI 53005-5938
(262) 781-1000
rasmith.com

raSmith

CREATIVITY BEYOND ENGINEERING

Brookfield, WI | Milwaukee, WI | Appleton, WI | Madison, WI
Cedarburg, WI | Naperville, IL | Irvine, CA

MSP - MAYFAIR COLLECTION
WAUWATOSA, WI

LANDSCAPE PLAN

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R.A. Smith, Inc.
DATE: 07/07/2023
SCALE: 1" = 20'
JOB NO. 3220089
PROJECT MANAGER:
ROB WILLIAMS, PLA
DESIGNED BY: ERM/REW
CHECKED BY: REW
SHEET NUMBER
L1.0

Prune only broken branches after installation, never trim leader

Plant root flare 1" to 3" above grade
No tree wrap

Remove burlap, twine and wire cage from top 1/3 of root ball to find root collar
Snip the wire basket and peel the burlap off

3" layer of shredded hardwood mulch over loosened soil ring
DO NOT BUILD UP MULCH ONTO TRUNK OF TREE

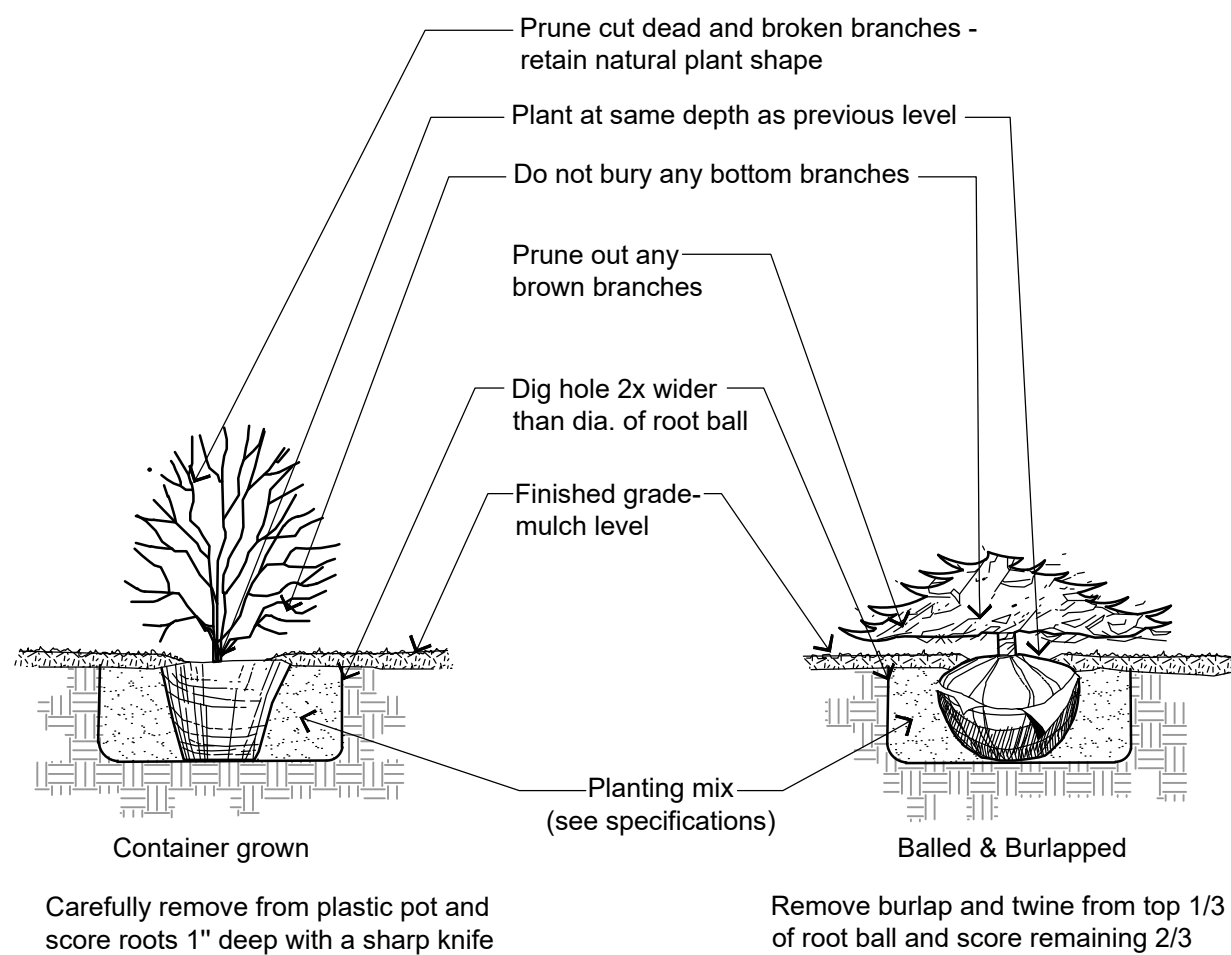
Dig hole 3X wider than diameter of root ball
Use shovel to roughen up sides of exposed sides of hole

Backfill with clean native soil
Avoid air pockets, use existing soil removed from hole as backfill.
Water in well, do not tamp (see specifications)

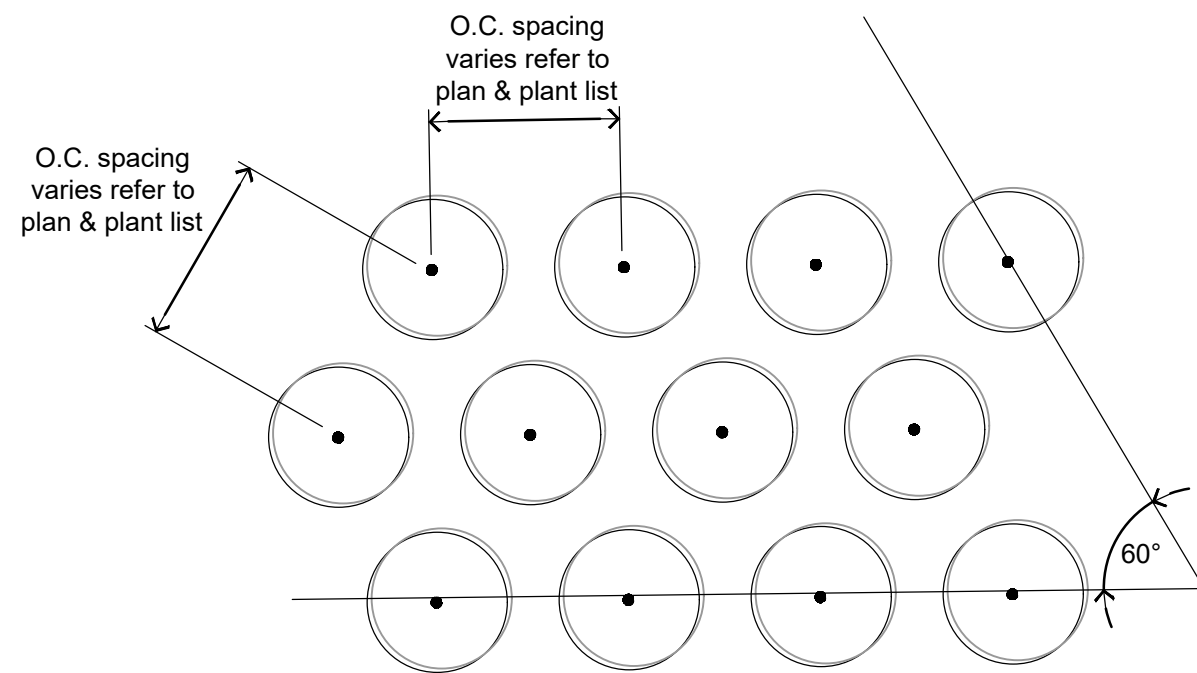
Existing subgrade

NOT TO SCALE

ras-1-3220089-02



NOT TO SCALE

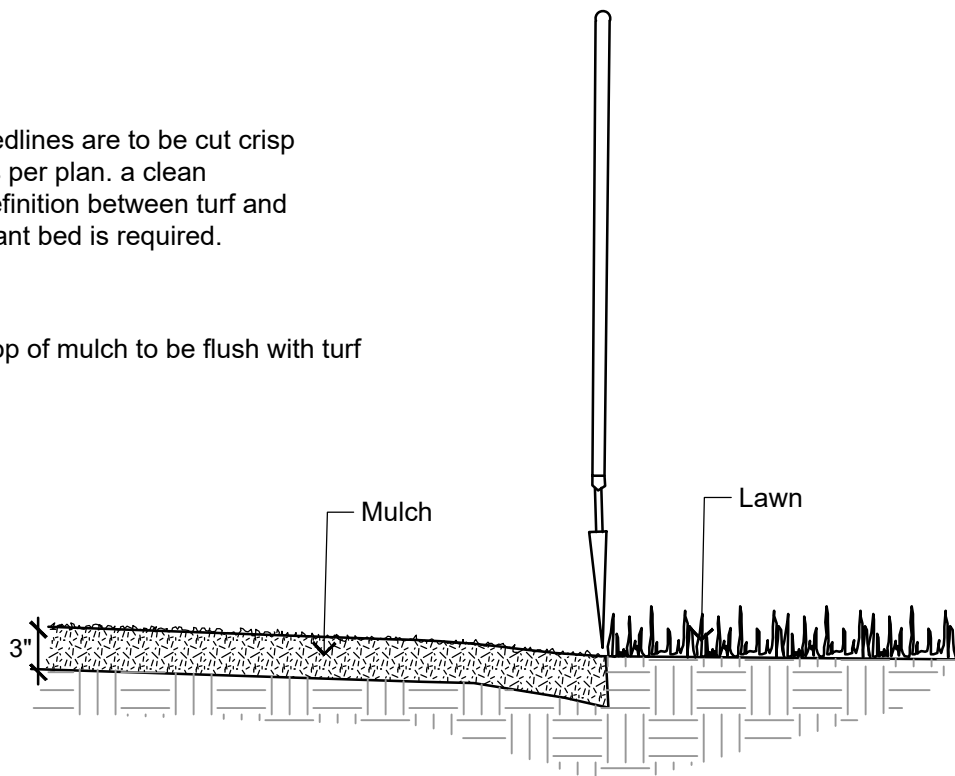


NOT TO SCALE

ras-1-3220089-0

Bedlines are to be cut crisp as per plan. a clean definition between turf and plant bed is required.

Top of mulch to be flush with turf



4

NOT TO SCALE

1. Contractor responsible for contacting public and private underground utility locating service to have site marked prior to any digging or earthwork.
2. Contractor to verify all plant quantities shown on plant list and verify with plan. Report any discrepancies immediately to general contractor.
3. All plantings shall comply with standards as described in American Standard of Nursery Stock - ANSI Z60.1 (latest version). General contractor or owner's representative reserves the right to inspect and potentially reject any plants that are inferior, compromised, undersized, diseased, improperly transported, installed incorrectly or damaged.
4. Any potential plant substitutions must be submitted in writing to the general contractor and approved by the owner's representative or landscape architect prior to installation. All plants must be installed as per sizes and quantities shown on plant material schedule, unless approved by the owner's representative or landscape architect. Any potential changes to sizes shown on plan and appropriate cost credits / adjustments must be submitted in writing to the general contractor and approved by the owner's representative or landscape architect prior to installation.
5. The subsequent requirements regarding topsoil should be coordinated between the general contractor, grading contractor and landscape contractor.
6. Subgrade areas shall be graded to within 1", more or less, of proposed subgrade. Deviations shall not be consistent in one direction.
7. Topsoil shall be placed to meet proposed finished grade. Planting islands to be backfilled with clean topsoil free of debris (per note below) to a minimum depth of 18" by general / grading contractor to insure long term plant health. All other landscaped areas to receive a minimum depth of 3" of clean topsoil (per note below).
8. Topsoil shall be: screened existing stockpiled topsoil, existing in-place soil, or screened soil from an off-site source that will support plant growth, and meets the following requirements: be Clean topsoil; coarse fragment < 1/8" gravel, cobbles, trash, roots, debris over 3/4" and any substance harmful to plant growth. It also must be free of plants or plant parts of any noxious weeds. Topsoil shall contain 3 to 5 percent decomposed organic matter and a pH between 5.5 and 7.0.
9. Planting beds and parking lot islands: Landscape contractor is responsible for ensuring that unwanted material (gravel, debris, roots and other extraneous material harmful to plant growth) has been removed from the topsoil and for the fine grading of all landscaped areas. The fine grading of planting beds and parking lot islands may require additional topsoil to bring to finish grade, allowing for mulch depth. Crown all planting islands and planting beds not adjacent to buildings, a minimum of 6" to provide proper drainage, unless otherwise specified. All other finished landscaped areas to be smooth, uniform and provide positive drainage away from structures and pavement.
10. Seeded areas: to receive a settled minimum depth of 3" of blended, prepared and non-compacted topsoil. Landscape contractor is responsible for excavation and removal of unwanted material (gravel, debris, roots and other extraneous material harmful to plant growth) to the specified depth, supplementing with additional topsoil (if necessary) and the fine grading of all seeded areas.
11. Tree planting (see planting detail): plant all trees slightly higher than finished grade at root flare. Remove excess soil from top of root ball. If needed. Scarify side of hole prior to installation. Remove and discard non-biodegradable burlap and support wire. Remove biodegradable burlap and wire cage (if applicable) from top one-third of rootball. Carefully blend remaining wire down to the bottom of the hole once the tree has been placed into the hole and will no longer be moved. Score the remaining two-thirds of burlap and remove tissue. Backfill pit with 75% existing soil removed from excavation and 25% compost blended prior to backfilling holes. Discard any gravel, heavy clay or stones. Avoid any air pockets and do not tamp soil down. When hole is two-thirds full, trees shall be watered thoroughly, and water left to soak in before proceeding.
- Provide a 3" deep, 4 ft. diameter shredded hardwood bark mulch ring around all trees in lawn areas. Do not build up any mulch into trunk of any tree. Trees that are installed incorrectly will be replaced at the time and expense of the landscape contractor. Trees too large for two people to lift in and out of holes, shall be placed with sling. Do not rock the trees in holes to raise them.
12. Shrub planting (see planting detail): all shrubs to be pocket planted with a mix of 75% existing soil removed from excavation and 25% compost, blended prior to backfilling holes. When hole is two-thirds full, shrubs shall be watered thoroughly and water left to soak in before proceeding.
13. Mulching: all tree and shrub planting beds to receive a 3" deep layer of high-quality shredded hardwood bark mulch (not environment or wood chips). Mulch shall be uniform in size, color, quality and overall appearance. Mulch shall be free of debris, large wood chunks, soil, rocks, weeds, invasive plant parts or seeds and any other material injurious to plant growth. All perennial and ornamental grass planting areas to receive a 2" layer and groundcover areas a 1-2" layer of the same mulch. Do not mulch annual flower beds (if applicable). Do not allow mulch to contact plant stems and tree trunks.
14. Edging: edge all planting beds with a 4" deep squared edge (shovel cut or mechanical). Bedlines are to be cut crisp, as per plan. A clean definition between lawn areas and plant bed is required.
15. Plant bed preparation: the soil in all perennial, ornamental grass, annual and groundcover areas shall be amended with compost prior to plant installation. Spread a 2" layer of compost (per note below) on top of clean topsoil and rototill to a depth of approximately 8".
16. Compost shall be stable, and weed-free organic matter. It shall be resistant to further decomposition and free of compounds, such as ammonia and organic acids, in concentrations toxic to plant growth. The compost shall contain no pathogens or other chemical contaminants and meet the requirements of WisDNR S100 Compost Specification.
17. Lawn installation for all seeded turfing areas: remove / kill any existing unwanted vegetation prior to seeding. Prepare the topsoil and seed bed by removing all surface stones 1" or larger and grading lawn areas to finish grade. Apply a starter fertilizer and specified seed, to ensure good seed to soil contact, and provide thick covering suitable to germinate and establish turf. Provide seed and fertilizer mix information to general contractor prior to installation. Erosion control measures are to be used in swales and on steep grades, where applicable. Methods of installation may vary at the discretion of the landscape contractor on his/her responsibility to establish and guarantee a smooth, uniform, quality turf. If straw mulch is used as a mulch covering, a tackifier may be necessary to avoid wind damage. Marsh hay containing red canary grass is not acceptable as a mulch covering.
- An acceptable quality turf is defined as having no more than 5% of the total area with bare spots larger than 1/2 square foot and uniform coverage throughout all turf areas.
18. Seed mix: for lawn areas - use only a premium quality seed mix. Premium blend seed mix (or equivalent): 50% blended bluegrass, 25% creeping red fescue, 25% perennial ryegrass applied at 5 lbs per 1,000 SF or at recommended rates from supplier. Provide seed specifications to general contractor prior to installation.
19. Lawn installation for all sodded turfing areas: remove / kill any existing unwanted vegetation prior to seeding. Prepare the topsoil and sod bed by removing all surface stones 1" or larger and grading lawn areas to finish grade, allowing for thickness of sod. Use only premium sod blend according to TPI (revised 1995) and ASPA standards. Install sod uniformly with staggered joints, laid tightly end to end and side to side. Roll sod with a walk behind roller and water immediately upon installation to a 3" depth. Stake any sod installed on steep slopes or in swales, etc. Landscape contractor is responsible to provide a smooth, uniform, healthy turf. Landscape contractor shall repair and re-sod any eroded, sunken or bare spots (larger than 1/2 square foot) until acceptance by owner.
20. Warranty and replacements: All plants (trees, evergreens, shrubs, perennials, ornamental grasses and groundcovers) shall be warranted by the landscape contractor to be in healthy and flourishing condition for a period of one calendar year after the date of acceptance. This assumes the owner performs required maintenance (regular watering) after the landscape contractor's maintenance period has been completed. Landscape contractor shall inform owner when required maintenance has concluded. Only one replacement per plant will be required during the warranty period, except for losses or replacements due to failure to comply with specified requirements. Replacements shall be plants of the same variety specified on the plan and closely match adjacent specimens in size.
21. The landscape contractor is responsible for the watering and maintenance of all landscape areas at a time of planting and throughout construction until the substantial completion of the installation and acceptance by the owner. This includes all trees, evergreens, shrubs, perennials, ornamental grasses, turf grass areas and native seeding areas (if applicable). Work also includes weeding, edging, mulching (only if required), watering, fertilizing, trimming, mowing lawn areas, weeding up grass clippings, pruning and deadheading.
22. Project completion: upon substantial completion of the project, the landscape contractor is responsible to conduct a final review with the owner's representative and the general contractor to answer questions and ensure that all specifications have been met. The landscape contractor is to provide watering and general ongoing maintenance instructions (in writing) for the new plantings and lawn to the owner and general contractor.

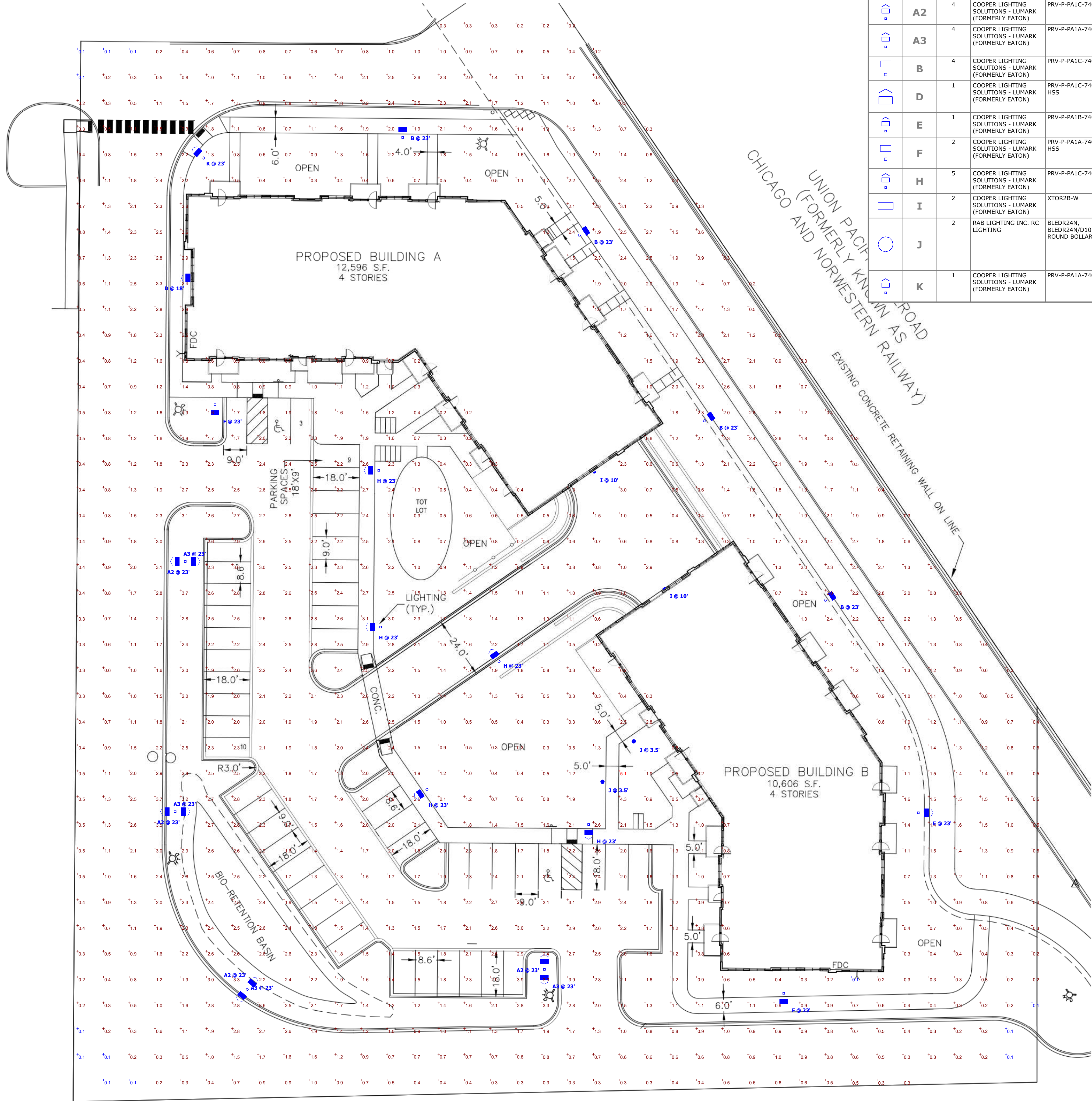
<div>MSP - MAYFAIR COLLECTION WAUWATOSA, WI</div>		<div><div><div>raSmith</div><div>CREATIVITY BEYOND ENGINEERING</div></div><div>16745 W. Bluemound Road Brookfield, WI 53005-5938 (262) 781-1000 rasmith.com</div><div>Brookfield, WI Milwaukee, WI Appleton, WI Madison, WI Oostburg, WI Naperville, IL Irvine, CA</div></div>	DATE	DESCRIPTION
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<div>LANDSCAPE DETAILS AND NOTES</div>				



Know what's below.
Call before you dig.

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Schedule						Number Lamps	Lumens Per Lamp	Light Loss Factor	Wattage
Symbol	Label	Quantity	Manufacturer	Catalog Number	Description				
	A2	4	COOPER LIGHTING SOLUTIONS - LUMARK (FORMERLY EATON)	PRV-P-PA1C-740-U-T3	PREVAIL AREA AND WALL LUMINAIRE (1) 70 CRI, 4000K, 930mA LIGHT ENGINE WITH 24 LEDS AND TYPE III OPTICS	24	390	1	72.1
	A3	4	COOPER LIGHTING SOLUTIONS - LUMARK (FORMERLY EATON)	PRV-P-PA1A-740-U-T2R	PREVAIL AREA AND WALL LUMINAIRE (1) 70 CRI, 4000K, 375mA LIGHT ENGINE WITH 24 LEDS AND TYPE II ROADWAY OPTICS	24	188	1	30.7
	B	4	COOPER LIGHTING SOLUTIONS - LUMARK (FORMERLY EATON)	PRV-P-PA1C-740-U-T2U	PREVAIL AREA AND WALL LUMINAIRE (1) 70 CRI, 4000K, 930mA LIGHT ENGINE WITH 24 LEDS AND TYPE II U OPTICS	24	395	1	72.1
	D	1	COOPER LIGHTING SOLUTIONS - LUMARK (FORMERLY EATON)	PRV-P-PA1C-740-U-T3-HSS	PREVAIL AREA AND WALL LUMINAIRE (1) 70 CRI, 4000K, 930mA LIGHT ENGINE WITH 24 LEDS AND TYPE III OPTICS WITH HOUSE SIDE SHIELD	24	299	1	72.1
	E	1	COOPER LIGHTING SOLUTIONS - LUMARK (FORMERLY EATON)	PRV-P-PA1B-740-U-T3	PREVAIL AREA AND WALL LUMINAIRE (1) 70 CRI, 4000K, 670mA LIGHT ENGINE WITH 24 LEDS AND TYPE III OPTICS	24	303	1	52.8
	F	2	COOPER LIGHTING SOLUTIONS - LUMARK (FORMERLY EATON)	PRV-P-PA1A-740-U-T3-HSS	PREVAIL AREA AND WALL LUMINAIRE (1) 70 CRI, 4000K, 375mA LIGHT ENGINE WITH 24 LEDS AND TYPE III OPTICS WITH HOUSE SIDE SHIELD	24	142	1	30.7
	H	5	COOPER LIGHTING SOLUTIONS - LUMARK (FORMERLY EATON)	PRV-P-PA1C-740-U-T4W	PREVAIL AREA AND WALL LUMINAIRE (1) 70 CRI, 4000K, 930mA LIGHT ENGINE WITH 24 LEDS AND TYPE IV WIDE OPTICS	24	382	1	72.1
	I	2	COOPER LIGHTING SOLUTIONS - LUMARK (FORMERLY EATON)	XTOR2B-W	CROSSTOUR 18W WALL MOUNT LED	1	2102	1	18.2
	J	2	RAB LIGHTING INC. RC LIGHTING	BLED24N, BLED24N/D10 (42" ROUND BOLLARD)	EXTRUDED BROWN PAINTED CYLINDRICAL METAL LOWER HOUSING, CAST METAL TOP, CAST FINNED METAL HEAT SINK WITH WHITE PAINTED INTERIOR, MOLDED SPECULAR FINISHED PLASTIC REFLECTOR, 4 WHITE CIRCUIT BOARDS EACH WITH 3 LEDS	20	129	1	23.3
	K	1	COOPER LIGHTING SOLUTIONS - LUMARK (FORMERLY EATON)	PRV-P-PA1A-740-U-T2R	PREVAIL AREA AND WALL LUMINAIRE (1) 70 CRI, 4000K, 375mA LIGHT ENGINE WITH 24 LEDS AND TYPE II ROADWAY OPTICS	24	188	1	30.7

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Calc Zone #1		1.4 fc	5.1 fc	0.1 fc	51.0:1	14.0:1

Note
FC Measured at 0' AFG
Pole mounting height is a 20' pole on a 3' base.
Types A2 and A3 will be mounted back to back on one pole.

Plan View
Scale - 1" = 20ft



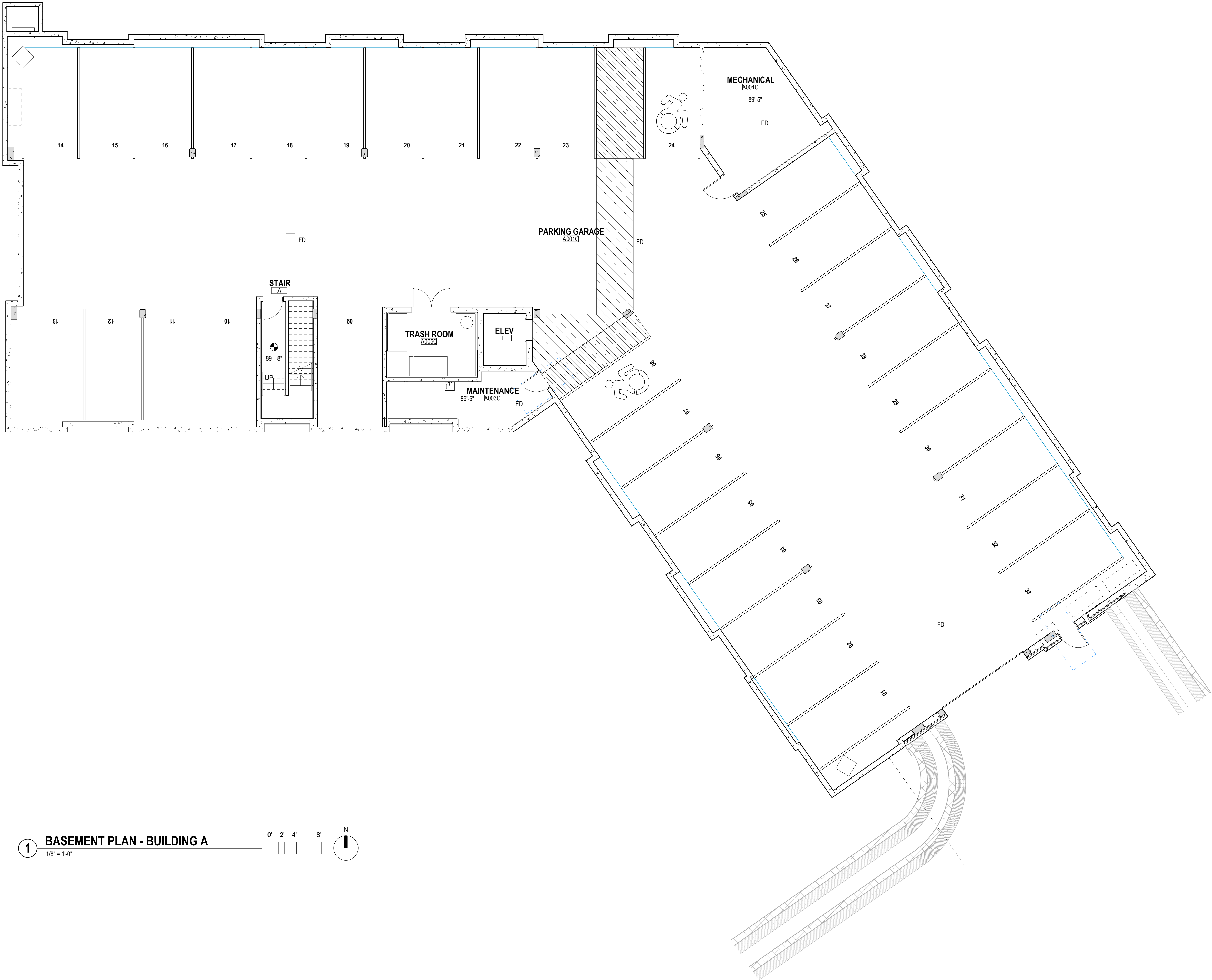
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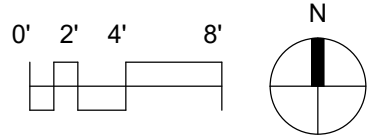
PROJECT # 21151

**BUILDING A -
BASEMENT FLOOR
PLAN**

A-1.0



1 BASEMENT PLAN - BUILDING A
1/8" = 1'-0"



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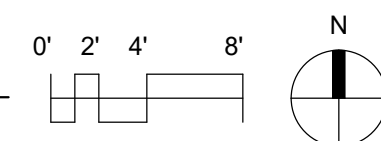
BUILDING A - FIRST FLOOR PLAN

A-1.1

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2 FIRST FLOOR PLAN - BUILDING A
1/8" = 1'-0"



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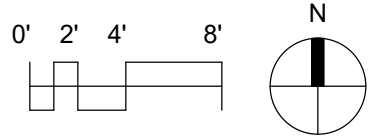
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BUILDING A - SECOND FLOOR PLAN

A-1.2



1 SECOND FLOOR PLAN - BUILDING A
1/8" = 1'-0"



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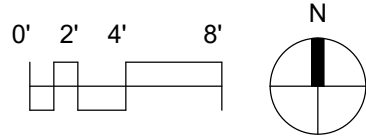
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**BUILDING A - THIRD
FLOOR PLAN**

A-1.3



1 THIRD FLOOR PLAN - BUILDING A
1/8" = 1'-0"



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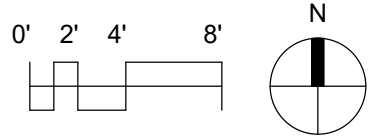
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BUILDING A - FOURTH FLOOR PLAN

A-1.4



① **FOURTH FLOOR PLAN - BUILDING A**
1/8" = 1'-0"



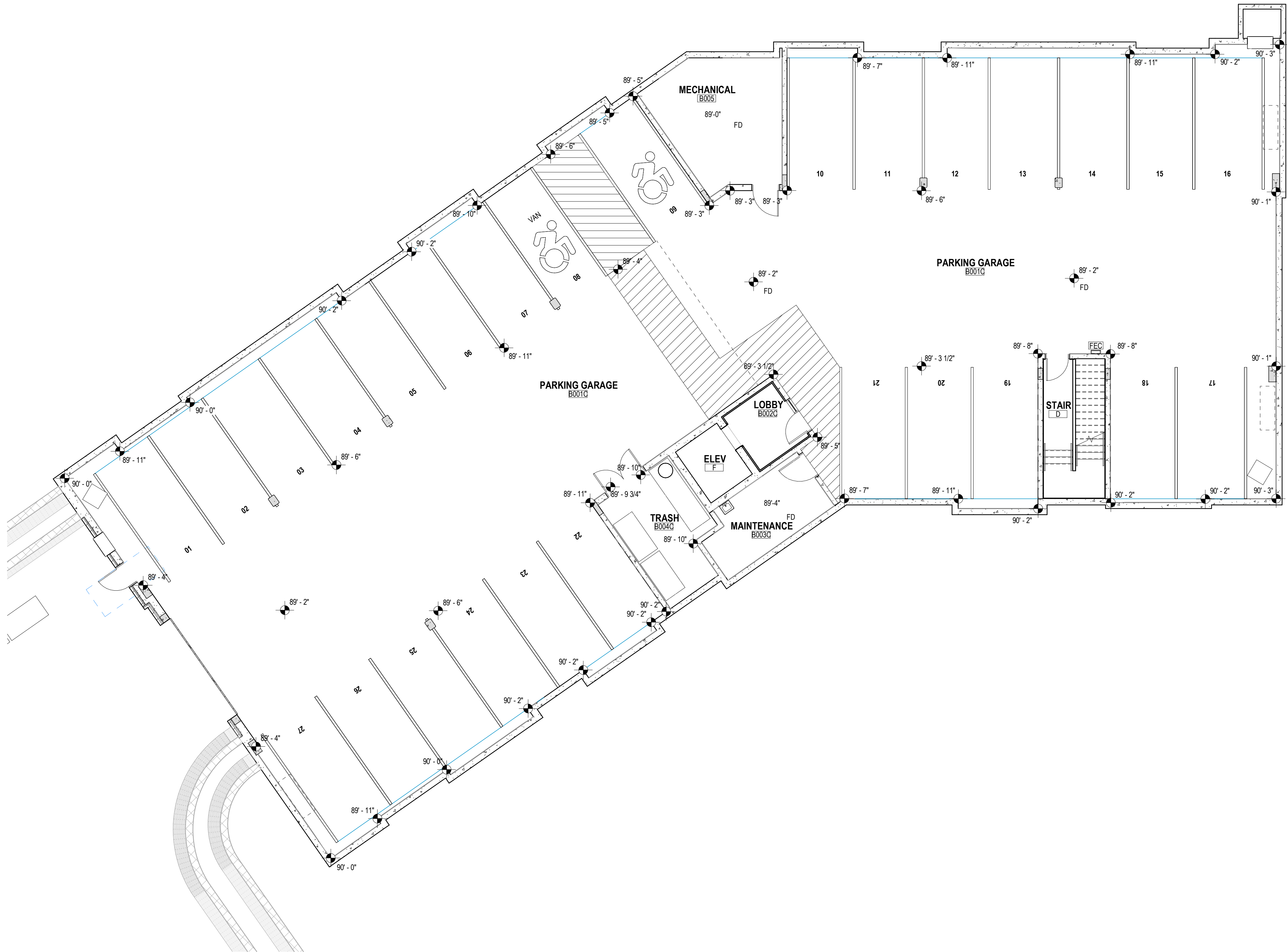
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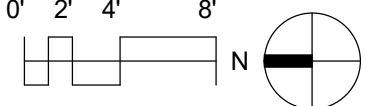
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**BUILDING B -
BASEMENT FLOOR
PLAN**

A-1.5



1 BASEMENT PLAN - BUILDING B
1/8" = 1'-0"



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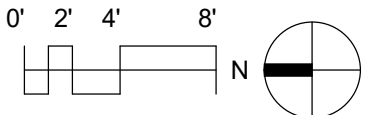
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**BUILDING B - FIRST
FLOOR PLAN**

A-1.6



1 FIRST FLOOR PLAN - BUILDING B
1/8" = 1'-0"



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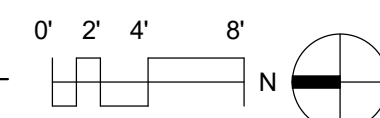
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A-1.7

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1 SECOND FLOOR PLAN - BUILDING B
1/8" = 1'-0"



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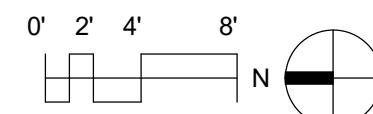
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A-1.8



1 THIRD FLOOR PLAN - BUILDING B
1/8" = 1'-0"



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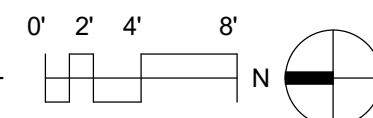
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A-1.9

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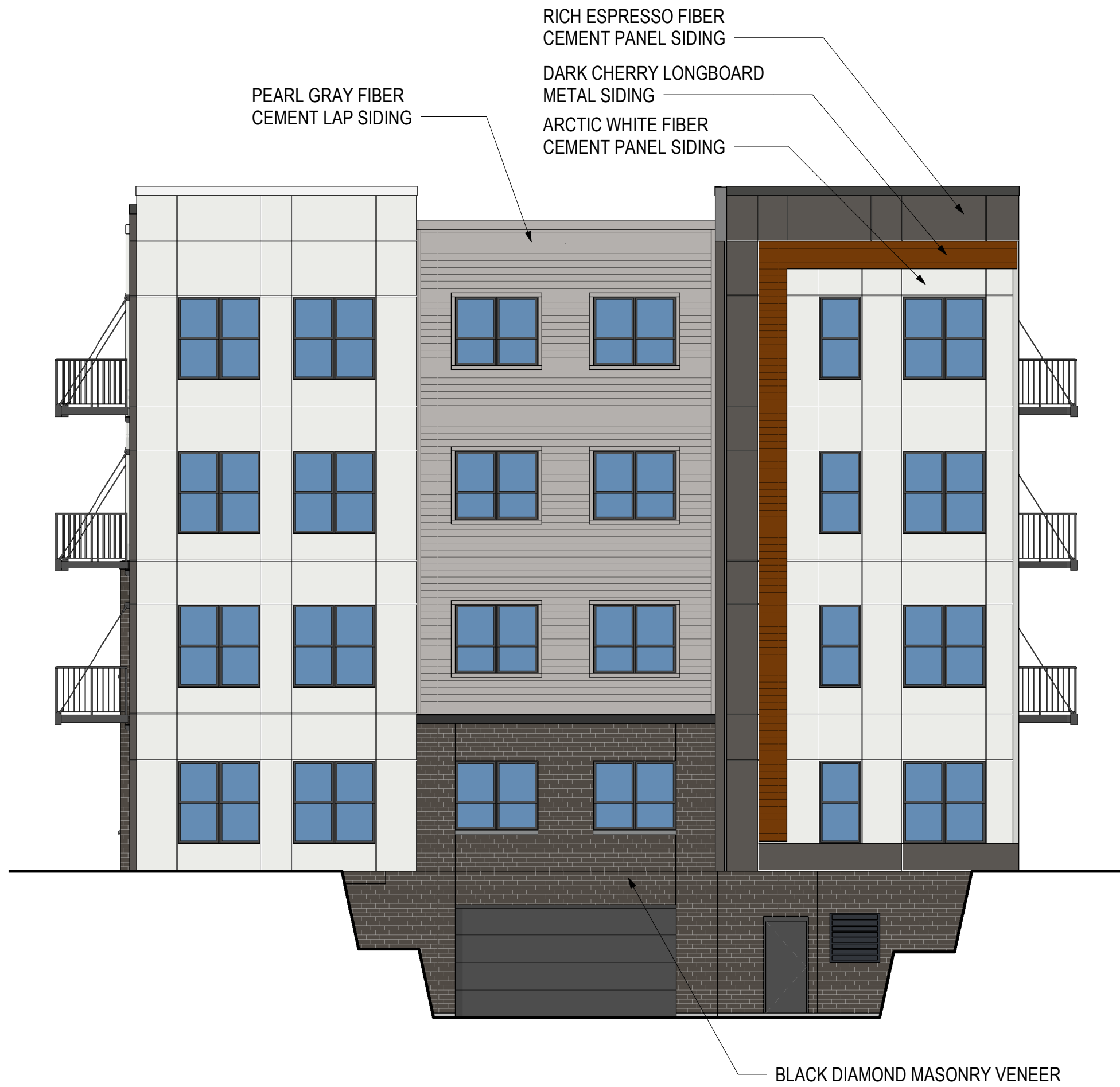


1 FOURTH FLOOR PLAN - BUILDING B
1/8" = 1'-0"



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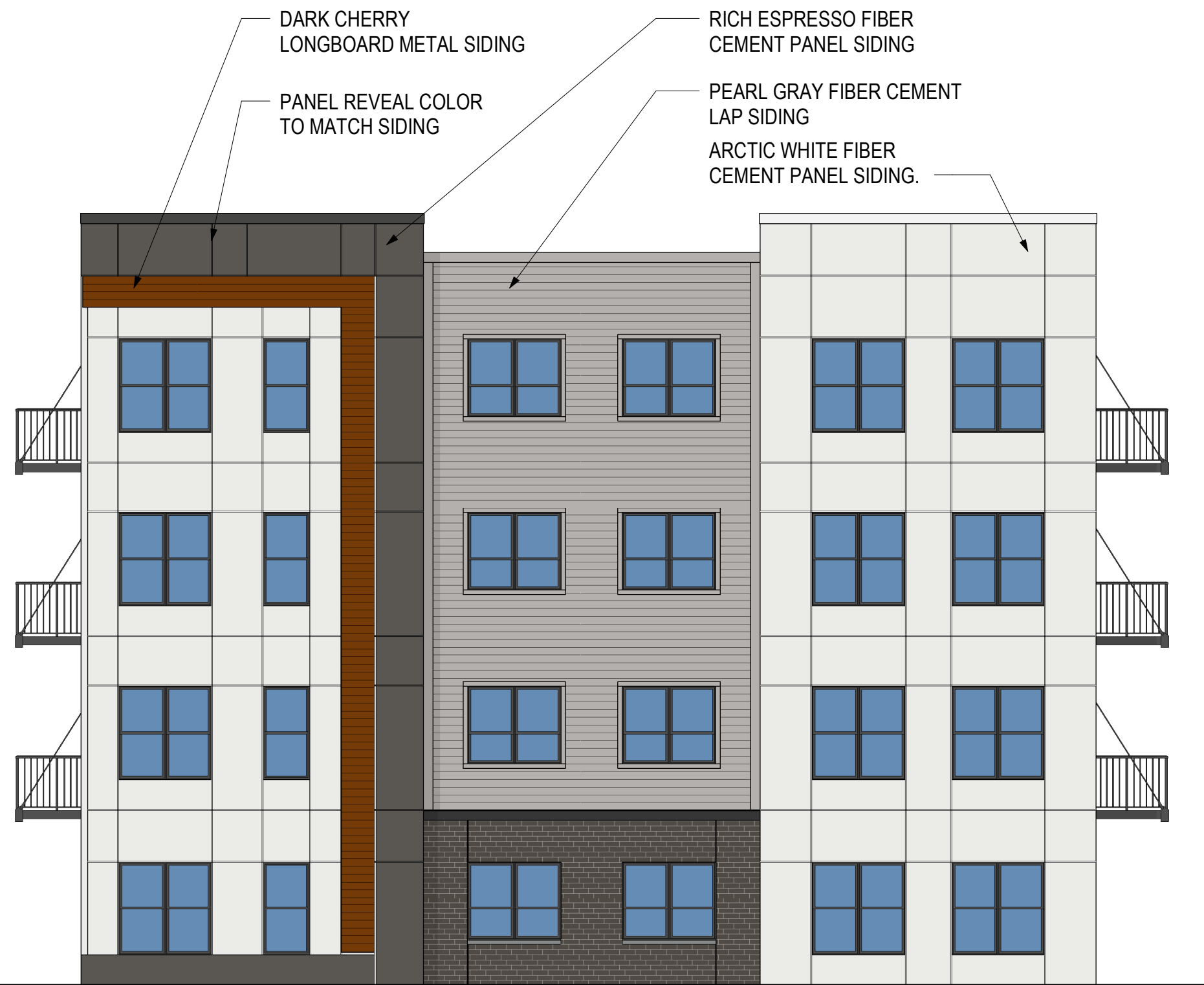
4 NORTH-WEST ELEVATION - BUILDING A
1/8" = 1'-0"



3 NORTH EAST ELEVATION - BUILDING A
1/8" = 1'-0"



2 NORTH ELEVATION - BUILDING A
1/8" = 1'-0"



1 WEST ELEVATION - BUILDING A
1/8" = 1'-0"

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BUILDING A -
BUILDING
ELEVATIONS

A-2.0

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BUILDING A -
BUILDING
ELEVATIONS

A-2.1



2 SOUTH ELEVATION - BUILDING A

1/8" = 1'-0"



1 SOUTH-WEST ELEVATION - BUILDING A

1/8" = 1'-0"



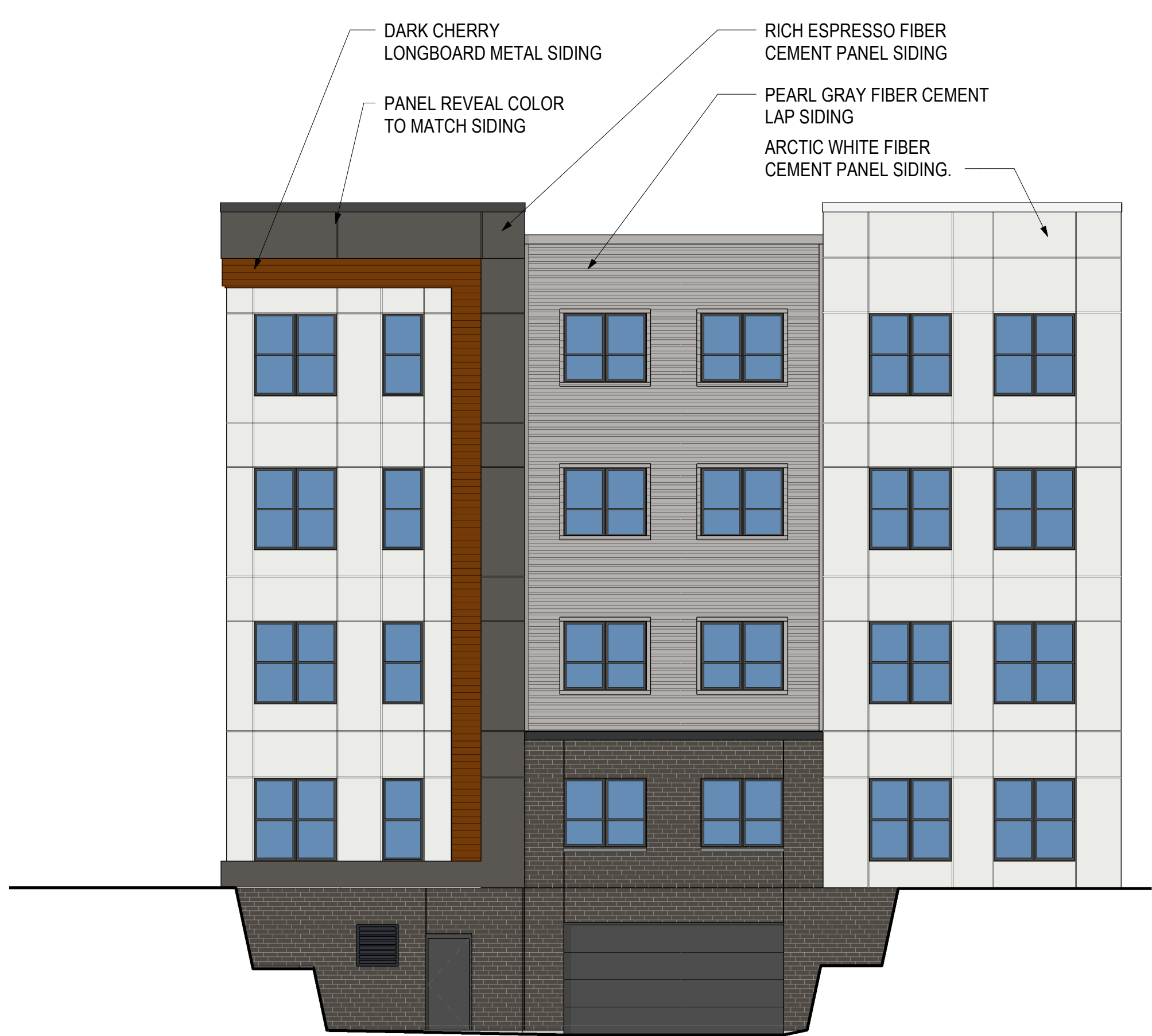
4 SOUTH ELEVATION - BUILDING B
1/8" = 1'-0"



3 EAST ELEVATION - BUILDING B
1/8" = 1'-0"



2 NORTH - EAST ELEVATION - BUILDING B
1/8" = 1'-0"



1 NORTH - WEST ELEVATION - BUILDING B
1/8" = 1'-0"

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BUILDING B -
BUILDING
ELEVATIONS

A-2.2

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**BUILDING B -
BUILDING
ELEVATIONS**

A-2.3



2 SOUTH - WEST ELEVATION - BUILDING B
1/8" = 1'-0"



1 WEST ELEVATION - BUILDING B
1/8" = 1'-0"

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**BUILDING A -
PERSPECTIVE VIEWS**

A-3.0





THE MAYFAIR
COLLECTION

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BUILDING A -
PERSPECTIVE VIEWS

A-3.1



**THE MAYFAIR
COLLECTION**

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**BUILDING A -
PERSPECTIVE VIEWS**

A-3.2



THE MAYFAIR COLLECTION

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**BUILDING B -
PERSPECTIVE VIEWS**

A-3.3

THE MAYFAIR
COLLECTION

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BUILDING B -
PERSPECTIVE VIEWS

A-3.4





THE MAYFAIR COLLECTION

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MATERIAL SAMPLES

A-4.0