



Wauwatosa, WI

Board of Public Works

Meeting Agenda

7725 W. North Avenue
Wauwatosa, WI 53213

Wednesday, September 24, 2025

8:30 AM

Zoom Only:
<https://servetosa.zoom.us/j/89415047159>,
Meeting ID: 894 1504 7159

Regular Meeting

VIRTUAL MEETING INFORMATION

Members of the public may observe and participate in the meeting via Zoom only at the link above. To access the Zoom meeting via phone, call 1-312-626-6799 and enter the Meeting ID.

CALL TO ORDER

ROLL CALL

APPROVAL OF MINUTES

1. Approval of Minutes from the July 16, 2025 Regular Meeting [25-1466](#)

NEW BUSINESS

1. Request by Sarah Hillenbrand of Mandel Group for construction staging in the public right-of-way adjacent to 7470 Blanchard Street [25-1543](#)
2. Request by Chris Doerner on behalf of 7105 W. North Avenue for interior and perimeter landscaping exemptions [25-1591](#)
3. Approve an agreement with the Wisconsin Department of Transportation (WisDOT) for the City of Wauwatosa to receive traffic mitigation funding for signal enhancements [25-1610](#)
Recommendation: Common Council
4. Consideration of approval of Change Order #02 for Contract 25-19, 2025 Sidewalk Repair Program [25-1612](#)
Recommendation: Council
5. July 2025 Monthly Pumpage Report [25-1316](#)
6. Consideration of ratification of project partial payments for work completed pursuant to the terms of the contract [25-1467](#)
7. Project Updates [25-1655](#)

ADJOURNMENT

NOTICE TO PERSONS WITH A DISABILITY

Persons with a disability who need assistance to participate in this meeting should call the City Clerk's office at (414) 479-8917 or send an email to tclerk@wauwatosa.net, with as much advance notice as possible.



Wauwatosa, WI

Staff Report

7725 W. North Avenue
Wauwatosa, WI 53213

File #: 25-1466

Agenda Date: 9/24/2025

Agenda #: 1.

Approval of Minutes from the July 16, 2025 Regular Meeting



Staff Report

File #: 25-1543

Agenda Date: 9/24/2025

Agenda #: 1.

Request by Sarah Hillenbrand of Mandel Group for construction staging in the public right-of-way adjacent to 7470 Blanchard Street

Submitted by:

Jennifer Stilling

Department:

Public Works (Engineering Services Division)

A. Issue

Due to planned construction activities at the proposed development at 7470 Blanchard Street, the applicant has requested the following construction staging measures for a 24-month time period within the public right-of-way due to insufficient setbacks for construction:

- A parking/traffic lane closure on the east side of Wauwatosa Avenue
- Cranes that will swing within the Wauwatosa Avenue and Blanchard Street public right-of-way
- A sidewalk closure on the east side of Wauwatosa Avenue and the north side of Blanchard Street

B. Background/Options

As shown in the attached site logistics plan, a construction material staging area and haul route is proposed directly adjacent to the property on the east side of Wauwatosa Ave in the existing northbound travel lane. The staging area/haul route will be separated from Wauwatosa Avenue vehicular traffic with jersey barriers and fencing. The main construction delivery entrance to the site is proposed at the northeast corner of Wauwatosa Avenue and Blanchard Street. Construction vehicles must enter in the site at this location via northbound Wauwatosa Avenue, travel one-way south to north and exit onto Wauwatosa Avenue via the northbound lanes. Engineering recommends that the contractor shall be responsible for the snow removal in the staging area/haul route.

The Wauwatosa Avenue center line will be shifted to the west to allow for one lane of traffic in each direction. Based on the proposed construction duration, it is required that all existing grooved in tape pavement marking will need to be ground off. Paint must be used to designate the temporary lane shift during construction. The pavement marking transitions to the north and south of the lane closure are subject to approval by Engineering. The applicant will be required to maintain all pavement marking during the construction duration. After construction is complete, the temporary paint must be removed and the pre-construction pavement marking re-established.

A construction gate/access point from Blanchard Street is also shown. No construction vehicles will be allowed to travel in Blanchard Street east of the property.

The site logistics plan also shows the proposed crane swing radius. The crane will be used for the construction of the proposed 5-story, 157-unit multi-family building. Engineering recommends that the Contractor name the

City as additional insured on the insurance policy for this project.

The applicant has also prepared the attached pedestrian traffic control plan for the proposed sidewalk closures on the east side of Wauwatosa Avenue and the north side of Blanchard Street. Due the long duration of the proposed sidewalk closure, Engineering will require that the pedestrian detour signs must be placed on poles installed in the grass near the back of existing sidewalk. Signage that is attached to the proposed construction fence is acceptable. Pedestrian signage must be placed in both directions of travel. The contractor will be held responsible for maintaining all sidewalk signage during the requested duration.

City street light poles within the staging area/haul route may be removed for construction and stored onsite or delivered to the Department of Public Works. If storage at Public Works is desired, at least three working days' notice is required prior to delivery. Any City street light poles that are removed for construction must be re-installed at construction completion. Any construction equipment that is placed on top of the existing silva cells must not exceed the weight limit allowed for the silva cells. The existing hydrant at the northeast corner of Wauwatosa Avenue and Blanchard Street must be preserved and protected. The applicant has paid tree removal fees for the two existing trees with the staging area/haul route on the east side of Wauwatosa Avenue. City Forestry crews will plant new two trees after construction completion.

All construction staging drawings must be included in the application for a Storage in the Right-of-Way permit. This permit must be approved by Engineering prior to placing any construction staging in the City right-of-way.

Any public roadway pavement, sidewalk, curb and gutter, or other public street infrastructure damaged due to construction activities at the proposed development will be replaced by the contractor to the City's satisfaction.

An existing bus stop number 9610 is located on Wauwatosa Avenue near the northwest corner of the site. The applicant will be required to coordinate with Milwaukee County Transit determine if bus stop should be temporarily moved or closed during construction.

Due to the location of this construction site within the Village, Engineering staff recommends that the applicant attend the Village Business Improvement District (BID) monthly meetings (at a minimum) to provide updates to the BID and to encourage communication between the applicant and the BID.

Engineering provided the attached construction staging plans to the Police and Fire Departments for their review. Because there is one fire hydrant located within the staging area/haul route that is essential to Fire operations in the Village, the Fire Department has requested that a fire location sign must be mounted on the construction fencing. The hydrant must also have at least 3 feet of clear space around the hydrant free of construction materials. Knox locks must be purchased for the construction gates so that the Fire Department can access the site during an emergency. The Police Department did not have any comments or concerns.

The applicant will be present at the Board meeting to answer any questions.

C. Strategic Plan (Area of Focus)

Priority Area One: Economic Development and Financial Resilience

D. Fiscal Impact

No impact to the City of Wauwatosa.

E. Recommendation

Staff recommends that the Board of Public Works grant the temporary construction staging measures within the public right-of-way for a 24-month time period. Approval is also recommended to be subject to the following:

- The Contractor naming the City as additional insured on the insurance policy for this project.
- The Contractor held responsible for snow removal within the delivery lane.
- Engineering approval of all construction staging, pedestrian detour, trucking routes, and Wauwatosa Avenue pavement marking modification drawings prior to Storage in the Right-of-Way permit issuance.
- The Contractor providing construction updates at the monthly Village BID meetings.

September 10, 2025

City of Wauwatosa
Board of Public Works
11100 W Walnut Road
Wauwatosa, WI 53226

Re: Harlow & Hem - Board of Public Works Application for Temporary Right-of-Way Encroachment

Dear Mr. Simpson,

On behalf of Mandel Group, I respectfully request approval from the Board of Public Works for the proposed construction staging logistics and pedestrian traffic control plans associated with Harlow & Hem Apartments, a 157-unit residential development to be constructed at 7470 Blanchard Street.

Construction staging will require the temporary use of City right-of-way, including the Blanchard Street sidewalk as well as the Wauwatosa Avenue sidewalk and traffic lane, for the duration of construction, which is anticipated to be approximately 24 months.

The enclosed construction staging logistic plan and pedestrian control plans were developed in coordination with City Staff, and adjustments have been incorporated in response to their recommendations. Mandel Group remains committed to continuing close coordination with City Staff to implement any further modifications or adaptations that may be necessary throughout the project.

Thank you for your consideration of this request. Please feel free to contact me should you have any questions or require additional documentation.

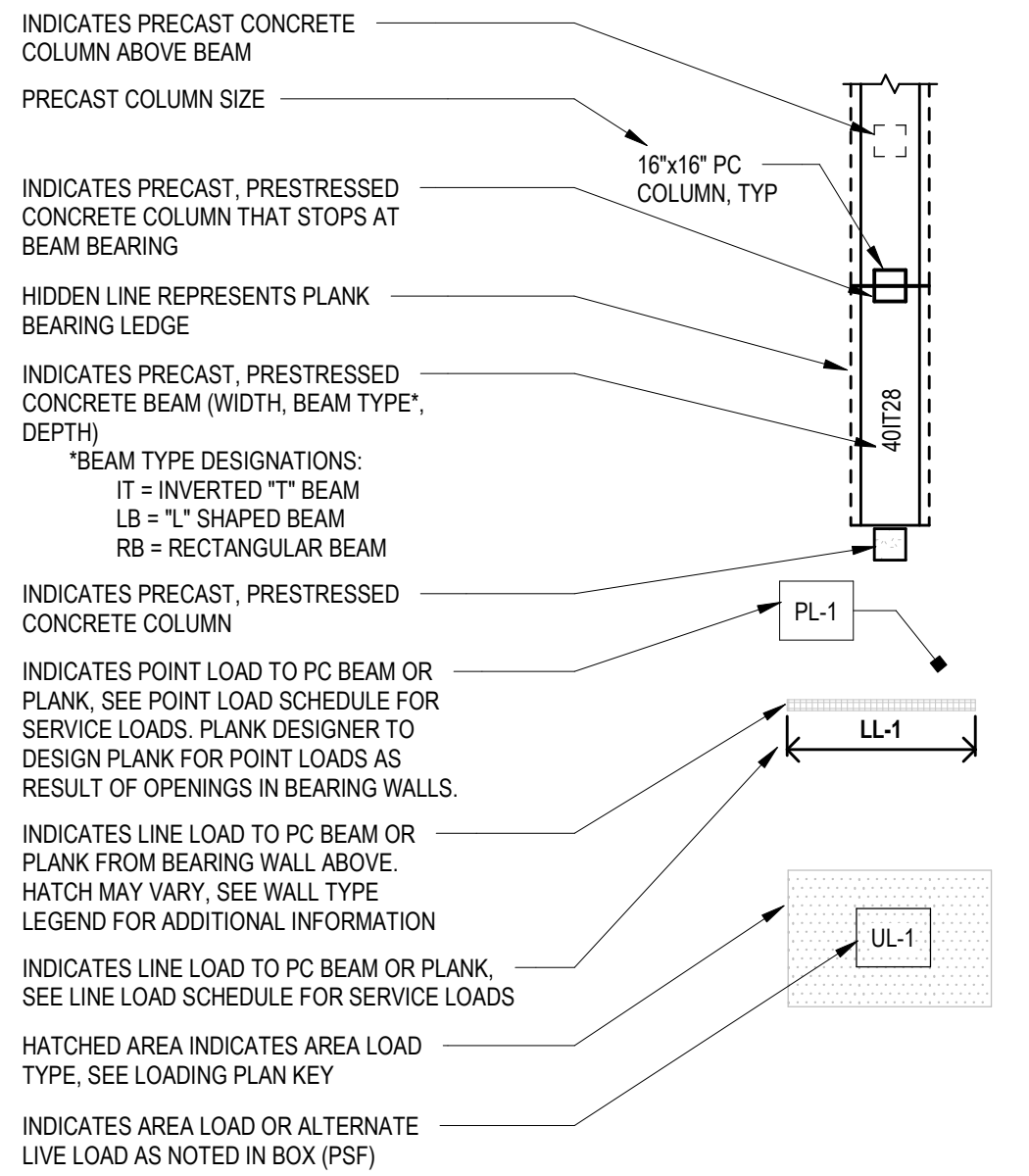
Sarah Hillenbrand

Sarah Hillenbrand
Senior Development Manager
Mandel Group

Precast Leave Out

1 PRECAST LOADING PLAN - LEVEL 01
SCALE: 3/32" = 1'-0"

PRECAST CONCRETE FRAMING & LOADING LEGEND



PRECAST CONCRETE AREA LOADING KEY

HATCH PATTERN	NAME	DEAD LOAD ¹ (psf)	LIVE LOAD (psf)	REMARKS
	UL-1	10	40	RESIDENTIAL AREAS
	UL-2	10	100	CORRIDORS & COMMON AREAS
	UL-3	10	125	STORAGE AREAS
	UL-4	40	100	ROOF PATIO / BALCONY

GENERAL NOTES:
1. LOADS LISTED DO NOT INCLUDE THE WEIGHT OF TOPPING OR SELF-WEIGHT OF PRECAST MEMBERS.
2. LOAD INDICATED IS FLAT ROOF SNOW LOAD. DRIFTING SNOW SHOWN ON 1/5000 IS TO BE ADDED FOR PRECAST CONCRETE DESIGN.

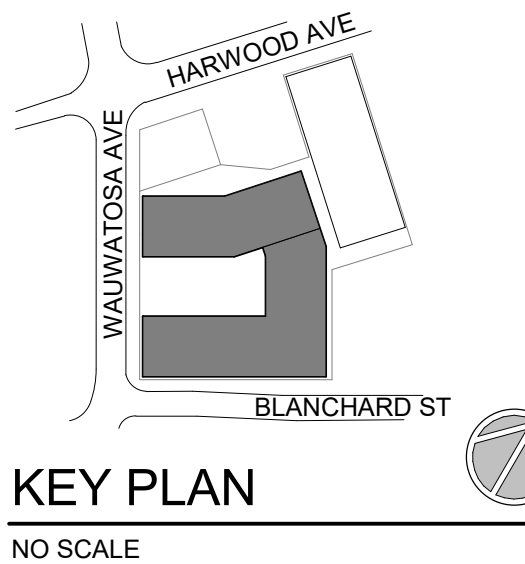
PRECAST CONCRETE LINE LOAD SCHEDULE

MARK	UNIFORM DEAD LOAD (psf)	UNIFORM LIVE LOAD (psf)	UNIFORM SNOW LOAD (psf)	REMARKS
LL-1	3,400	6,900	600	-
LL-2	2,400	6,000	400	-
LL-3	3,200	4,600	600	-
LL-4	3,800	3,800	600	-
LL-5	3,400	3,300	600	-
LL-6	3,300	3,100	500	-
LL-7	3,100	2,900	500	-
LL-8	1,800	3,700	300	-
LL-9	2,700	2,600	500	-
LL-10	2,600	2,400	400	-
LL-11	2,400	2,200	400	-
LL-12	2,900	1,600	300	-
LL-13	2,200	1,900	400	-
LL-14	1,700	2,100	200	-
LL-15	1,200	2,000	200	-
LL-16	1,500	1,600	200	-
LL-17	1,500	1,200	200	-
LL-18	1,200	1,000	200	-
LL-19	900	700	100	-
LL-20	700	200	100	-

GENERAL NOTES:
1. CONCENTRATED LOADS DUE TO DOOR/WINDOW JAMBS ARE NOT EXPLICITLY PROVIDED AND SHALL BE CALCULATED BY PRECAST CONCRETE DESIGNER.

PRECAST CONCRETE POINT LOAD SCHEDULE

MARK	DEAD LOAD (lbs)	LIVE LOAD (lbs)	SNOW LOAD (lbs)	WIND LOAD (lbs)	REMARKS
PL-1	80,000	32,000	6,500	-	-
PL-2	6,300	8,100	1,700	-	-
PL-3	28,400	24,000	5,000	-	-
PL-4	53,700	23,200	4,800	-	-
PL-5	53,300	19,500	5,200	-	-
PL-6	20,300	17,400	4,800	-	-
PL-7	30,300	2,000	400	-	-
PL-8	17,700	1,100	200	-	-
PL-9	45,300	36,800	7,700	± 4,800	-
PL-10	9,100	6,500	1,400	± 200	-
PL-11	53,400	43,000	9,000	± 3,200	-
PL-12	13,300	10,200	2,100	± 1,300	-
PL-13	20,200	17,600	-	-	-
PL-14	39,300	29,600	-	-	-
PL-15	25,400	21,200	-	-	-



414.220.9640
751 N Jefferson St.
Suite 200
Milwaukee, WI 53202

Spire Engineering, Inc.
305 N. Plankinton Ave.
Suite 101
Milwaukee, WI 53203
(414) 278-5500
SE Project No.: 24080

NOT FOR CONSTRUCTION
THESE DRAWINGS ARE RELEASED FOR DESIGN DEVELOPMENT PURPOSES ONLY. THEY ARE NOT TO BE USED FOR REGULATORY APPROVAL, PERMIT, OR CONSTRUCTION PURPOSES.

HARLOW AND HEM
7460 BLANCHARD ST., WAUWATOSA, WI 53213; Tax Key ID 370-0324-001
7463 HARWOOD AVE., WAUWATOSA, WI 53213; Tax Key ID 370-0359-000
BLANCHARD ST PUBLIC PARKING LOTS, WAUWATOSA, WI
Tax Key IDs: 3700362000, 3700323000, 3700337001
SHEET TITLE: PRECAST LOADING PLAN - LEVEL 01

SCALE	VARIES
PROJECT NUMBER	230702
SET TYPE	GMP SET
DATE ISSUED	05/23/2025
SHEET NUMBER	S212

Harlow + Hem

Pedestrian Traffic Control Plan





Staff Report

File #: 25-1591

Agenda Date: 9/24/2025

Agenda #: 2.

Request by Chris Doerner on behalf of 7105 W. North Avenue for interior and perimeter landscaping exemptions

Submitted by:

Jennifer Stilling

Department:

Public Works (Engineering Services Division)

A. Issue

The applicant has requested that the Board consider exemptions to the following Landscaping Code requirements:

- Code Section 24.12.020: Perimeter Vehicular Use Area Landscaping
- Code Section 24.12.030: Interior Vehicular Use Area Landscaping

B. Background/Options

Because the parking lot for this parcel is proposed to be restriped differently from the last approved parking lot plan from 1981, the perimeter and interior landscape requirements in Code Section 24.12 apply.

For perimeter landscaping, Code Section 24.12.020 states that a landscape strip with a minimum depth of 10 feet must be provided between the vehicular use area and the public right-of-way. This perimeter vehicular use area must include at least 2 deciduous trees and 8 shrubs per 50 feet of vehicular use area frontage.

Approximately 32 feet out of the required 52 feet of perimeter adjacent to W. North Avenue does not provide the required 10-foot perimeter landscaping width. Within the 32 feet of non-compliant perimeter, the applicant has proposed a raised planter bed with a proposed width 1.75 feet. Based on 52 feet of perimeter length, 3 trees and 9 shrubs are required. The applicant has proposed to provide 2 trees and 16 shrubs. A raised planter bed is proposed in this area due to existing onsite environmental contamination.

For interior landscaping, Code Section 24.12.030 states that at least 10% of the interior vehicular use area must be landscaped. Interior landscaping islands must be at least 10 feet in width and provide 135 square feet in area. In addition to the 10% landscape area, one shade tree is required per 180 square feet of required landscape area.

The proposed landscaping plan shows a vehicular use area of 5,141 square feet. Per the Code, 514 square feet of interior landscaping must be provided with 3 trees. The proposed plan provides 353 square feet of interior landscaping (6.9% of the vehicular use area) with 1 tree. The 76 square feet of landscaping provided near the northwest corner of the building and the 126 square feet of landscaping provided at the W. North Ave entrance cannot be counted towards the interior landscaping requirement because it does not meet the minimum Code required 10 feet in width or 135 square feet of area.

Previous variances to the landscape requirements have offered mitigation that is in proportion to the deficiency that they are requesting relief from. For example, if the application is deficient by 4 trees, 4 trees are provided adjacent to the parking area that will shade the parking area and meet the intent of the code. This application does provide 7 shrubs above what is required for perimeter landscaping.

The previously approved 1981 parking lot plan provided 13 parking spots. The applicant has proposed 14 parking stalls. The applicant has stated in the attached application narrative that removing any proposed parking stalls will be detrimental to the business. Staff does not recommend leaving the parking lot as currently striped due to concerns with cars potentially backing into the W. North Avenue sidewalk. The current site condition has no landscaping and its parking configuration is unsafe and non-compliant to code minimums. The proposed changes conform to the maximum extent possible the Landscape Code Guide and parking requirements, while providing one additional parking spaces for the new use.

C. Strategic Plan (Area of Focus)

Priority Area One: Economic Development and Financial Resilience

D. Fiscal Impact

No fiscal impact to the City of Wauwatosa

E. Recommendation

Staff supports the applicant's request for Landscaping Code exemptions because re-use of the existing building and parking lot limits the ability to include perimeter and interior parking lot landscaping.

LANDSCAPING SCHEDULE

TAG	BOTANICAL NAME	COMMON NAME	NATIVE	URBAN	COUNT	SIZE
T1	AMELANCHIER ARBOREA	DOWNY SERVICEBERRY	YES	YES	3	#10, 5' STEM, 2.0" CALIBER
S1	SPIRAEA JAPONICA	DOUBLE PLAY DOOZIE	YES	YES	21	#5, 2 GAL, 24"

COST ESTIMATE (24.12.70)
AMELANCHIER ARBOREA \$800 X 3 = \$2,400
SPIRAEA JAPONICA \$53 X 21 = \$1,113
TOTAL COST ESTIMATE \$3,513
*PRICES FROM HOME DEPOT AND ITREES.COM

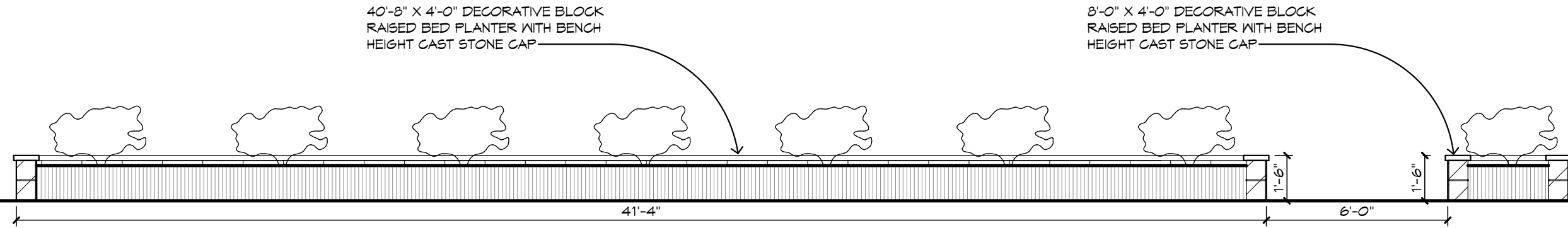
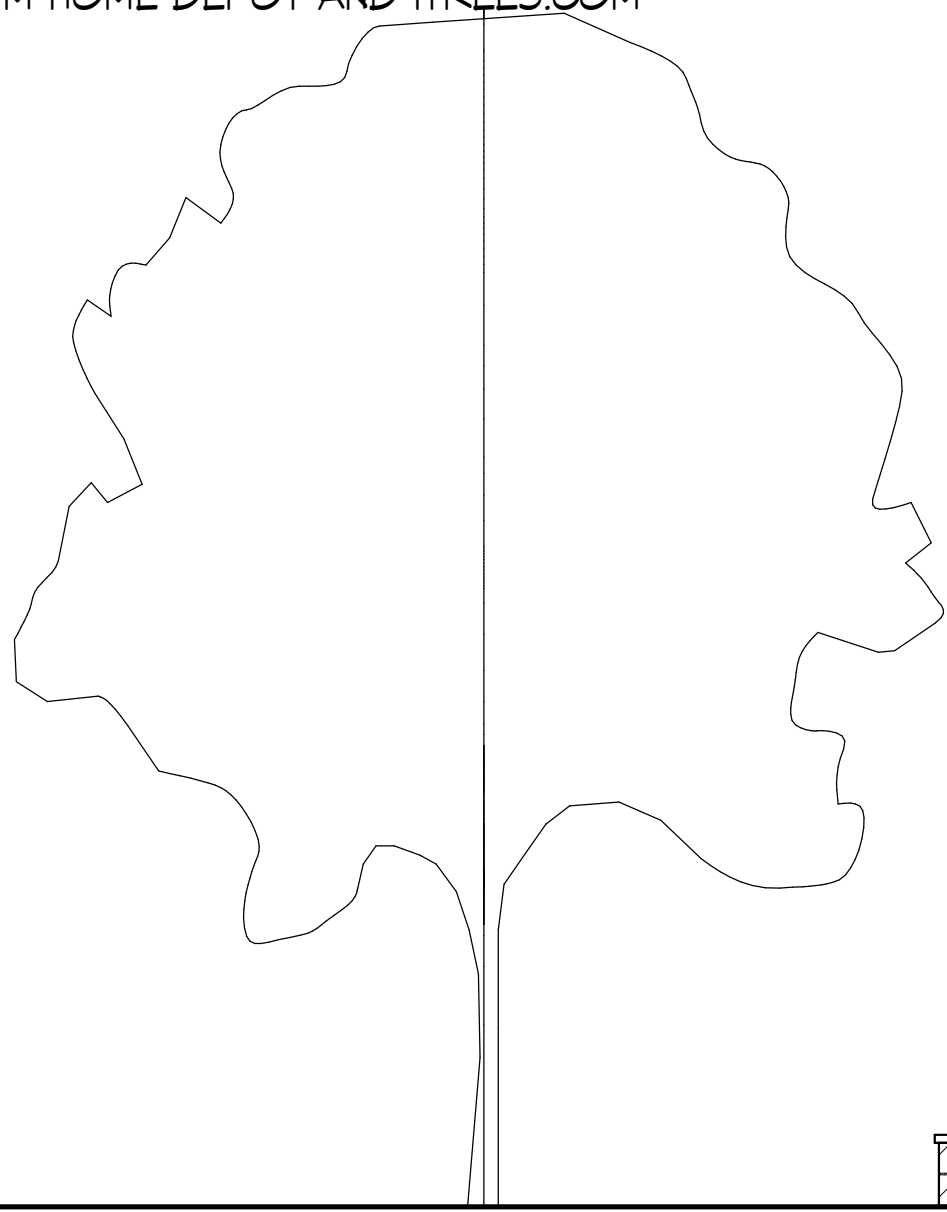
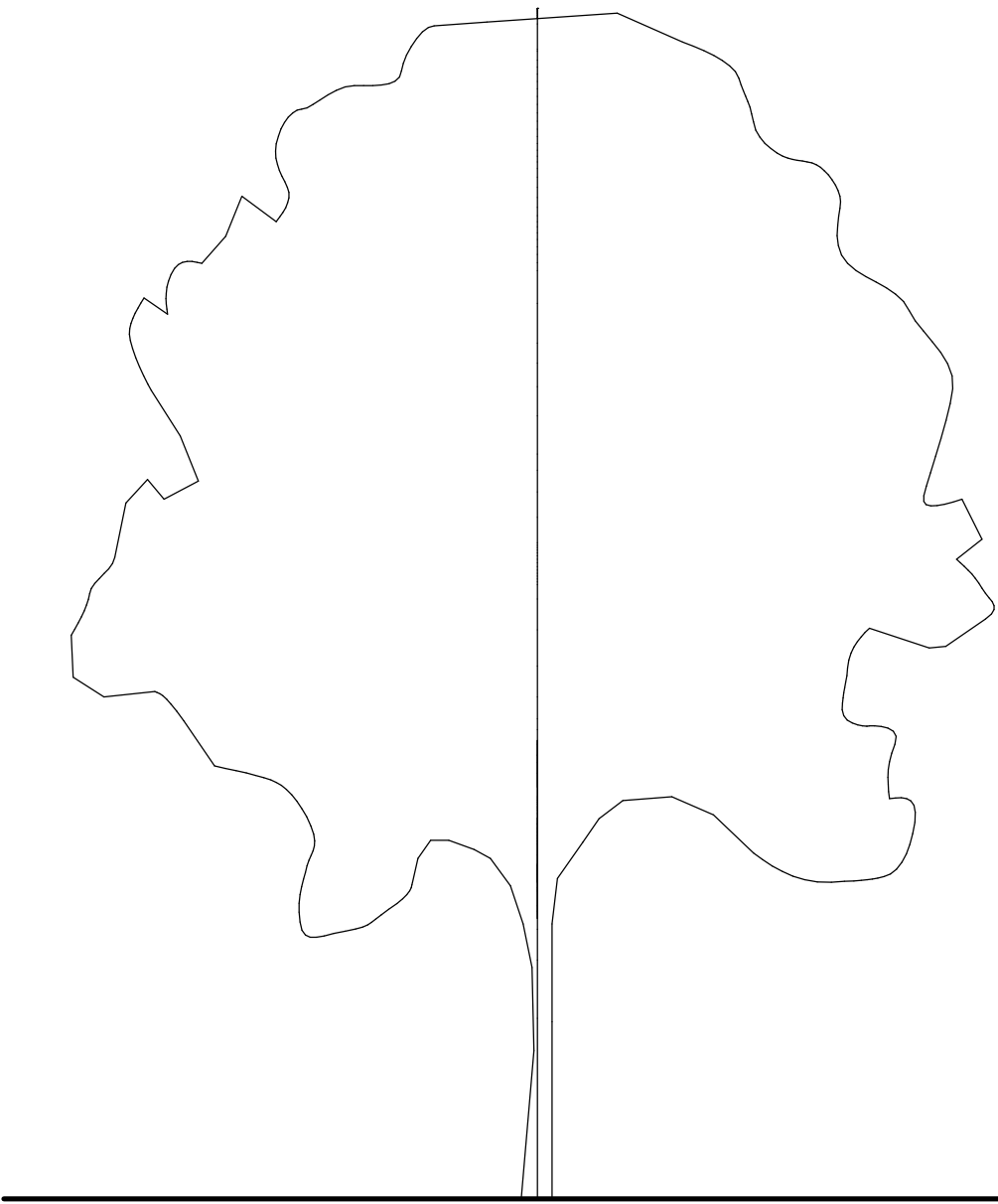
SITE AREAS:	
EXISTING IMPERVIOUS AREA	8,115 SQ FT
PROPOSED IMPERVIOUS AREA	8,115 SQ FT
*SITE IS CAPPED WITH CONTAMINATED SOIL, PERVIOUS AREA IS ABOVE GRADE PLANTERS	
EXISTING PERVIOUS AREA	32 SQ FT
PROPOSED PERVIOUS AREA	916 SQ FT
REQUIRED PARKING COUNT 9	
EXISTING PARKING COUNT	
HANDICAP STALLS	0
STANDARD STALLS	9
PROPOSED PARKING COUNT	
HANDICAP STALLS	1
STANDARD STALLS	13
SHORT TERM BIKE PARKING (24.11.08) 2 EXTERIOR	
LONG-TERM BIKE PARKING (24.11.08) 2 INTERIOR	

LANDSCAPING GENERAL NOTES

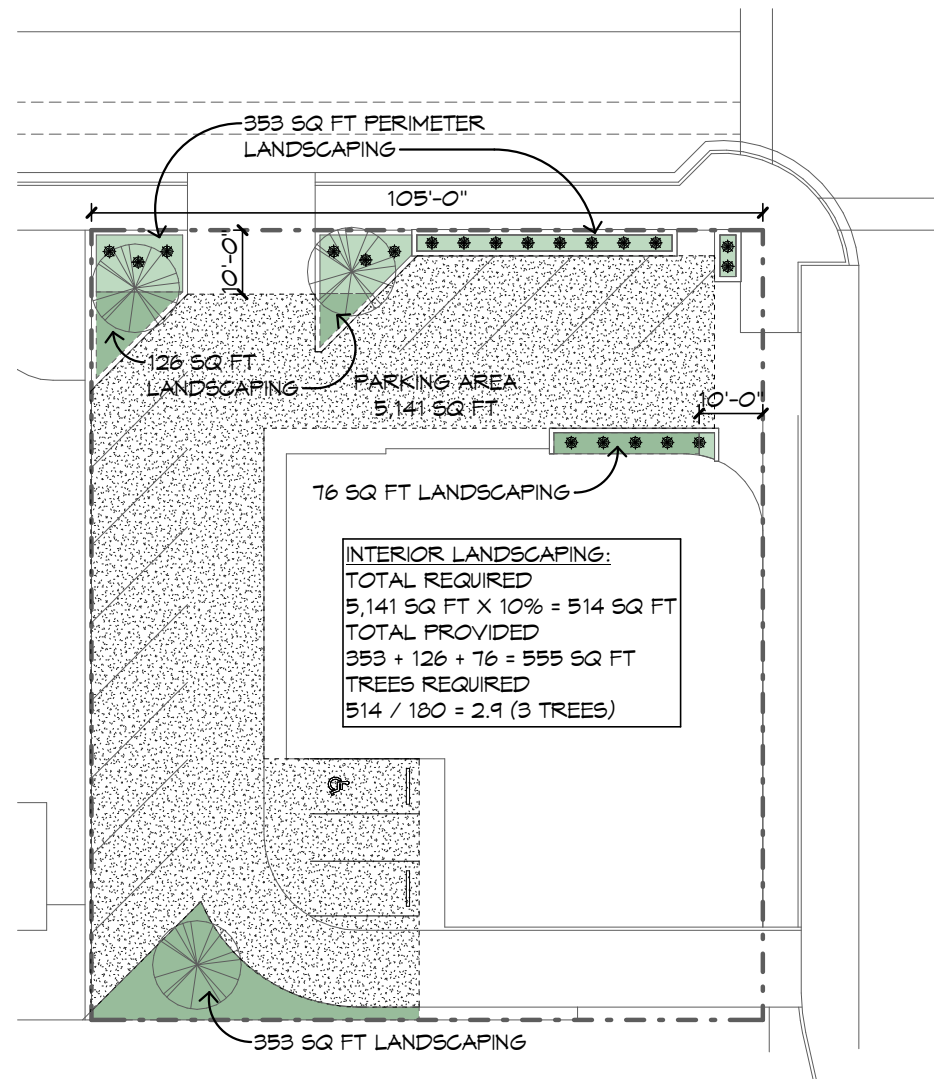
1. DESIGN IS BASED ON THE INFORMATION AVAILABLE AT TIME OF DRAWING. FIELD VERIFY ALL SITE DIMENSIONS AND CONDITIONS.
2. CONTRACTOR TO FOLLOW BEST MANAGEMENT PRACTICES DURING CONSTRUCTION AND SHALL TAKE ALL MEANS NECESSARY TO STABILIZE AND PROTECT FINAL LANDSCAPING.
3. LOCATION, SUPPORT, PROTECTION, AND RESTORATION OF ALL EXISTING UTILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
4. PRIOR TO ANY LANDSCAPING CONSTRUCTION ACTIVITIES, CONTRACTOR SHALL VERIFY THE SOIL PH, NITRATES, NUTRIENTS, TEXTURE, SALT, AND ORGANIC MATTER TO BE USED MEETS THE RECOMMENDATIONS OF THE NURSERY FOR EACH PLANT SPECIES.
5. CONTRACTOR TO FURNISH AND PLANT ALL PLANTS SHOWN ON THE DRAWINGS AS NOTED. ALL PLANTS SHALL BE NURSERY-GROWN UNDER CLIMATE CONDITIONS SIMILAR TO THE LOCALITY OF THE PROJECT. PLANTS SHALL CONFORM TO THE BOTANICAL NAMES AND STANDARDS OF SIZE, CULTURE, AND QUALITY FOR THE HIGHEST GRADES AND STANDARDS AS ADOPTED BY THE AMERICAN ASSOCIATION OF NURSERYMEN, INC. IN THE AMERICAN STANDARD OF NURSERY STOCK, AMERICAN STANDARDS INSTITUTE, INC. 290 SOUTHERN BUILDING, WASHINGTON D.C. 20009.
6. A COMPLETE LIST OF PLANTS, INCLUDING A SCHEDULE OF SIZE, QUALITIES, AND OTHER REQUIREMENTS IS SHOWN ON THE DRAWINGS. REPORT ALL DISCREPANCIES TO THE OWNER.
7. ALL PLANTS SHALL BE LEGIBLY TAGGED WITH PROPER BOTANICAL NAME.
8. CONTRACTOR SHALL GUARANTEE ALL PLANTS FOR NOT LESS THAN ONE YEAR FROM TIME OF ACCEPTANCE.
9. OWNER WILL INSPECT PLANTS UPON DELIVERY FOR CONFORMITY TO SPECIFICATION REQUIREMENTS.
10. NO SUBSTITUTIONS OF PLANTS MAY BE MADE WITHOUT PRIOR APPROVAL FROM THE OWNER.
11. IF AN AUTOMATIC IRRIGATION SYSTEM IS INSTALLED, ALL IRRIGATION VALVE BOXES SHALL BE LOCATED WITHIN PLANTING BED AREAS.
12. PLANTS SHALL BE APPROPRIATELY WATERED PRIOR TO, DURING, AND AFTER PLANTING. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE CLEAN WATER SUITABLE FOR PLANT HEALTH.
13. TREES AND SHRUBS SHALL BE MULCHED AT A DEPTH OF 2" WITH ONE-YEAR-OLD, WELL-COMPOSTED, SHREDDED NATIVE BARK NOT LARGER THAN 4" IN LENGTH AND 1/2" IN WIDTH, FREE OF WOOD CHIPS AND SAND/LOESS. MULCH SHALL BE SELECTED BY THE OWNER, NOT TO BE DIED PER CITY REQUIREMENTS.
14. IN NO CASE SHALL MULCH TOUCH THE STEM OR TRUNK OF A PLANT OR BE MORE THAN 3" THICK TOTAL OVER THE ROOT BALL OF ANY PLANT.
15. SECONDARY LATERAL BRANCHES OF DECIDUOUS TREES OVERHANGING VEHICULAR AND PEDESTRIAN TRAVELWAYS SHALL BE PRUNED UP TO A HEIGHT OF 8' TO ALLOW CLEAR AND SAFE PASSAGE OF VEHICLES AND PEDESTRIANS UNDER TREE CANOPY. WITHIN THE SIGHT DISTANCE TRIANGLES AT VEHICLE INTERSECTIONS THE CANOPIES SHALL BE RAISED TO 8' MIN.
16. LANDSCAPE ARCHITECT IS NOT RESPONSIBLE FOR MEANS AND METHODS OF THE CONTRACTOR.
17. SNOW MAY NOT BE PUSHED UP AGAINST RAISED PLANTERS.
18. BIORETENTION MUST BE CONSISTENT WITH WISCONSIN DEPARTMENT OF NATURAL RESOURCES CONSERVATION PRACTICE STANDARD 1004.
19. OWNER IS RESPONSIBLE FOR ONGOING MAINTENANCE, INCLUDING AND NOT LIMITED TO: IRRIGATION OR WATERING, PEST MANAGEMENT, FERTILIZATION, PRUNING, REPLACEMENT OF LOST VEGETATION, AND WEED MANAGEMENT.
20. PROVIDE PLANTER SOIL AS RECOMMENDED BY NURSERY FOR EACH PLANT.
21. OWNER SHALL PREPARE A MAINTENANCE PLAN OR HIRE A PROFESSIONAL LANDSCAPING SERVICE TO MAINTAIN AND GUARANTEE ALL PLANTS.

PARKING GENERAL NOTES

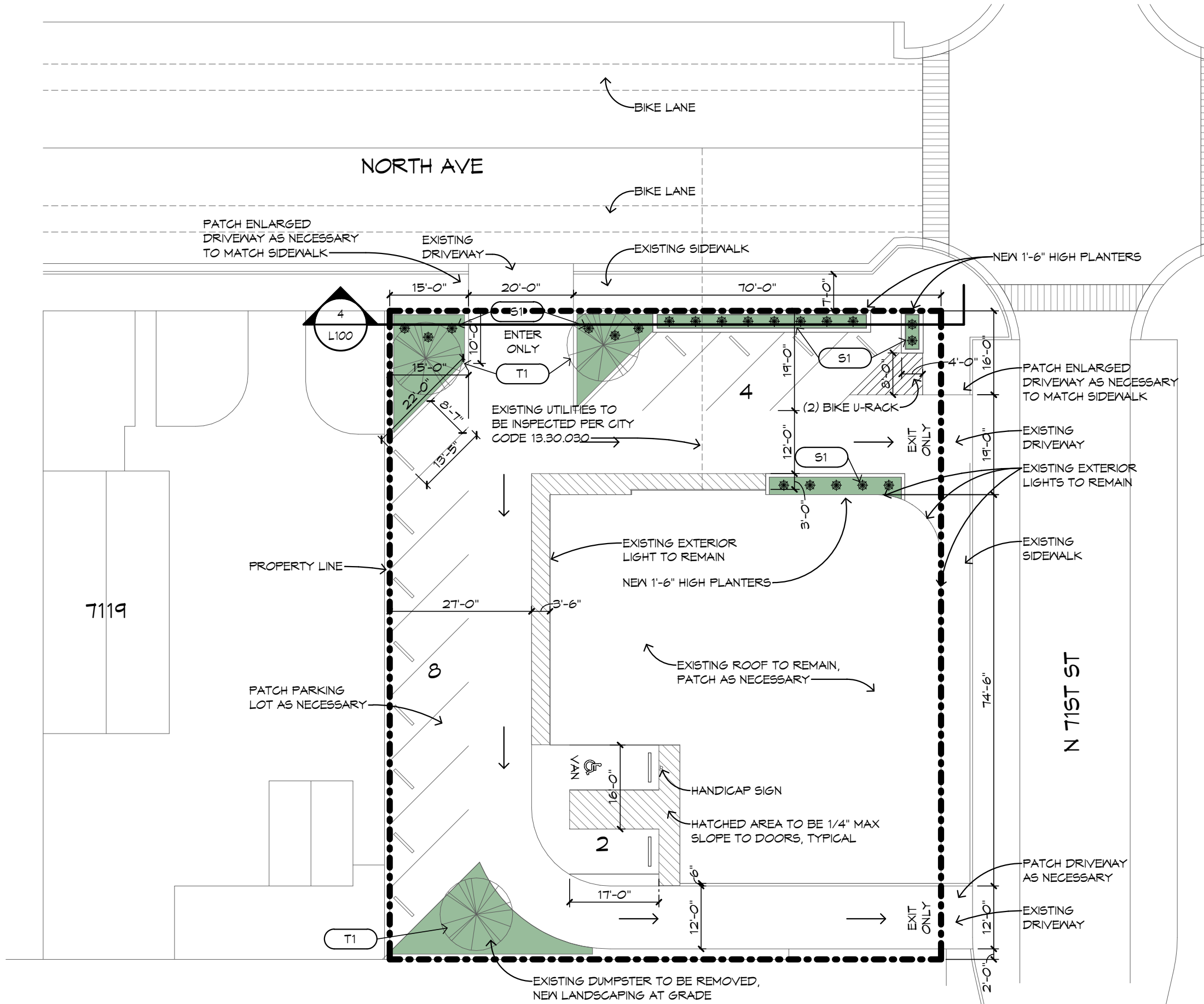
1. ALL LINES ARE TO BE PAINTED 3" WIDE WITH HIGH VISIBILITY YELLOW OR WHITE PAINT.
2. ALL ENTRANCES TO HAVE 1/4" PER FOOT MAX SLOPE FOR FULL EXTENT OF DOOR ACCESS AREA. THRESHOLDS ARE TO BE 1/2" MAXIMUM WITH 1/4" MAX VERTICAL PER CHAPTER 11 ACCESSIBILITY CODE.



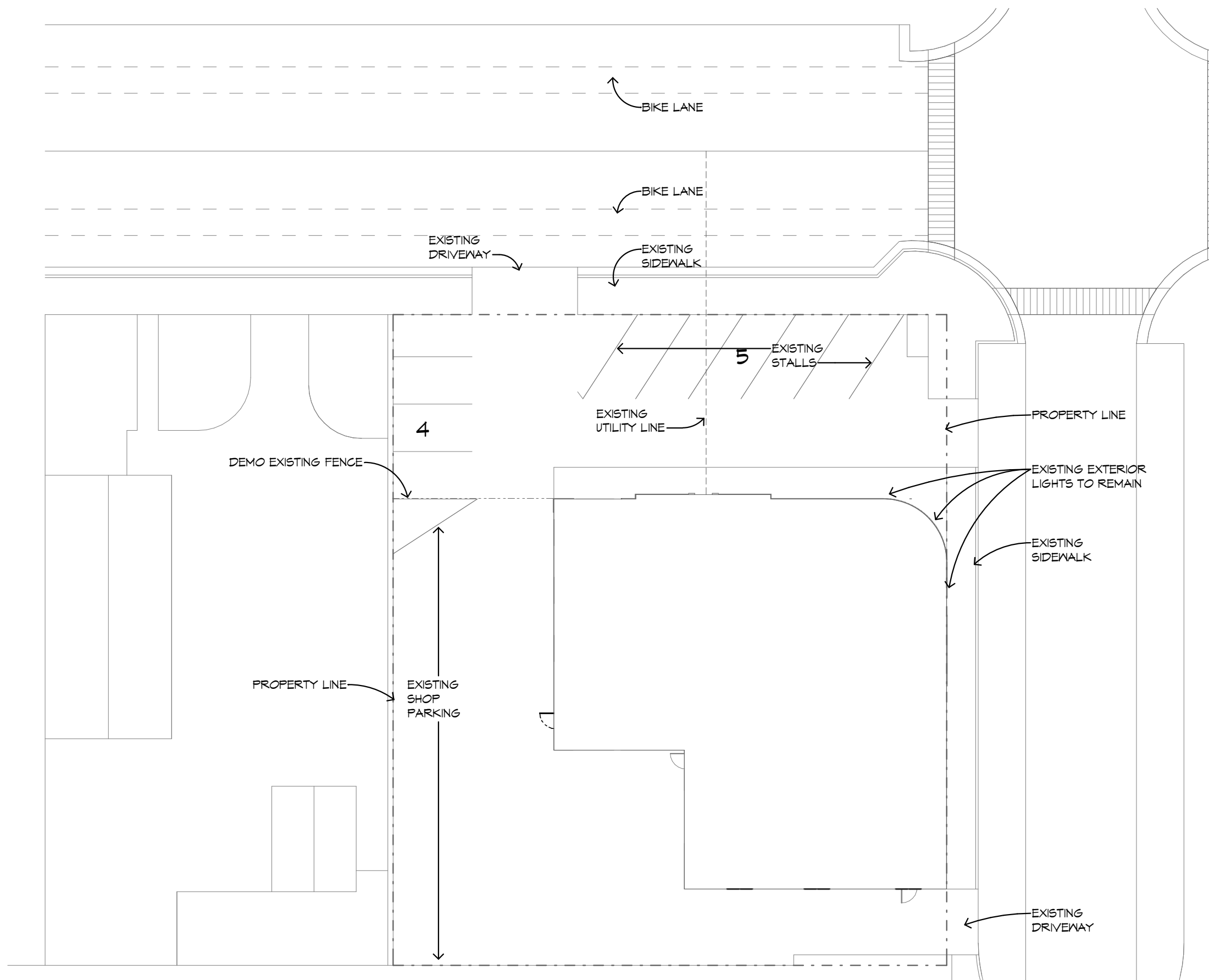
4 SITE SECTION
1/4" = 1'-0"



7 LANDSCAPE AREAS
1" = 30'-0"



NEW SITE PLAN
1" = 20'-0"



SITE DEMO PLAN
1" = 20'-0"



FLASH LAUNDROMAT

7105 W North Ave, Wauwatosa

SITE & LANDSCAPING

8/12/2025

September 16, 2025

Jennifer Stilling, PE (she/her)
Senior Civil Engineer
City of Wauwatosa
7725 W. North Ave
Wauwatosa, WI 53213
Phone: 414.479.8934
jstilling@wauwatosa.net

RE: 7105 W. North Ave: Landscaping Exemption Application
To the Board of Public Works
Email Follow-up received on September 16, 2025

To Jennifer Stilling, PE,

As requested by your email, below is a narrative response addressing the comments and questions desired for the staff to prepare the Board of Public Works report.

Why do the proposed planters in the perimeter must be provided above grade?

Response: The proposed 18” high planters along North Avenue were designed to be above grade to serve as both a barrier between the sidewalk and parking stalls, and to add additional good soil for the plantings above the contaminated soil identified in the DNR report. No requirements for a raised bed were identified in the Guide to Landscaping and Screening Code. If the planters are being classified as a fence under 15.28.030(B.1), we are willing to reduce the width of the planter by 18” to be compliant. If a raised planter is not desired by the board, we ask that we be given a variance on the guarantee for plantings located above the contaminated soil.

Any information/requirements from the DNR regarding the existing site contamination would be helpful as to why the Landscaping Code cannot be fully followed.

Response: During a phone conversation with David Hanson (DNR - Redevelopment Specialist – Remediation and Redevelopment Program), he commented that the contaminated soils are not a danger to the public. Our

request for a variance on landscaping is not due to the DNR report, it is due to the size of the lot and number of required plantings.

Per the Guide to Landscaping and Screening Code, we are required to provide a 10'-0" deep landscape buffer along North Avenue, to include (4) trees and (16) shrubs. Within the parking area, we are required to have 10% landscaped with (3) shade trees. Given the size of the lot, this would cause us to lose (3) parking stalls from the plans. This reduction would make the project infeasible, so we are requesting a variance to avoid reducing the parking count.

The plans show that 9 parking spaces are required, but because this property is within the North Ave overlay district, there is no parking requirement.

Response: If the North Ave Overlay District overrides the standard parking requirement, we will omit that line item from the drawings.

The previously approved site plan from 1981 showed that there were 13 parking spaces. The proposed plan shows 14 parking spaces.

Response: The proposed project is for the auto shop to be replaced with a Flash Laundromat. The number of parking stalls within walking distance for a customer carrying laundry is directly tied to the financial viability of this use. If we are unable to gain any additional stalls from the (13) identified in the 1981 approved site plan, we will need to withdraw this application and either leave the site as-is or restore it to the 1981 condition, to be determined by the City of Wauwatosa.

Our calculations show that the interior landscaping area that is being provided is 353 SF + 126 SF = 479 SF, or 9.3%.

Response: We would like to understand why the 76 sq ft of interior landscaping along the building does not count towards the calculation, and where else within the site would be counted. If a different location is identified that does not reduce the parking count, we will remove the landscaping in front of the building and add it in the desired location.

Only the tree within the 353 SF landscaping area can be counted towards the tree requirement (the two trees next to North Ave are being counted toward the perimeter).

Response: We understand that per the Guide to Landscaping and Screening Code, (7) total trees are required for this lot. Given the size of the lot, we do not see a way to meet these requirements without eliminating (3) parking stalls from the plans. This reduction would make the project infeasible, so we are requesting a variance to avoid reducing the parking count.

I am concerned about how someone parking in the van accessible spot will be able to back out based on its close proximity to the building. Does a turning template show that a vehicle can safely back out of this spot if there are vehicles parked in the adjacent spot or across the drive aisle?

Response: A turning template using an 11'-6" interior and 19'-2" exterior radius was used during the drafting of the site plan and does clear the building and angled parking. In order to meet the clearances for a 14'-6" interior and 25'-6" exterior radius turning template, the van accessible stall would need to switch places with the second stall, and the second stall would be identified as a compact stall. If this change is desired, we will update the plan accordingly.

Could this area be reconfigured such that it is for van spot and access aisle only? The spots could then be moved south from the building and then angled to match what is being proposed on the other side of the access aisle. A small landscaping island could then be added in between the van spot and the building to get the overall site to meet the 10% requirement.

Response: If this area is reconfigured to be a van spot only, we would be reduced to (13) parking stalls and the site plan revisions would become infeasible.

Please let us know if you have any further questions or comments on the Landscaping Exemption Application.

Thank you,

Chris Doerner
Project Manager
262-226-9668



Staff Report

File #: 25-1610

Agenda Date: 9/24/2025

Agenda #: 3.

Approve an agreement with the Wisconsin Department of Transportation (WisDOT) for the City of Wauwatosa to receive traffic mitigation funding for signal enhancements

Submitted by:

Boris Veleusic, City Engineer

Department

Engineering

A. Issue

Approve an agreement with the Wisconsin Department of Transportation (WisDOT) for the City of Wauwatosa to receive traffic mitigation funding for signal and intersection improvements at the intersections of Wisconsin Ave./N. 76th St. and Wisconsin Ave./Glenview Ave.

B. Background/Options

As part of the upcoming multi-year WisDOT I-94 East-West Freeway Project, WisDOT has evaluated regional routes and determined that Wisconsin Ave. will be a critical alternate route for diversion traffic during construction. The funding provided with this agreement will improve intersection operations at the two referenced intersections and will result in enhanced traffic operations and reduced congestion and delays along the Wisconsin Ave. corridor.

C. Strategic Plan (Area of Focus)

Factor 5: Infrastructure. Goal - ensure the effective and efficient maintenance and improvement of infrastructure and utilities.

D. Fiscal Impact

WisDOT is awarding a total of \$370,000 for these intersection improvements, \$40,000 for signal timing adjustments and \$330,000 for traffic signal enhancements. Although the WisDOT will be paying for the intersection project expenses the City will need to pay for the costs and then seek reimbursement so we will need to amend the expense and revenue sides of the City's budget to account for that.

E. Recommendation

Authorize execution of the attached agreement and approval of Level III fund transfers to the expense and

revenue budget lines to allow for payment of the project and revenue from the WisDOT.

Recommendation: Common Council

AGREEMENT BETWEEN
THE WISCONSIN DEPARTMENT OF TRANSPORTATION
AND
THE CITY OF WAUWATOSA DEPARTMENT OF PUBLIC WORKS

State Project I.D. 1060-27-71
Contract No. 03
2025-2026 Traffic Mitigation
I-94 East-West Freeway Project

This agreement is made and entered into between the Wisconsin Department of Transportation (DEPARTMENT) and the City of Wauwatosa Department of Public Works (CITY) provides for services as described herein. The Wisconsin Department of Transportation and City of Wauwatosa Department of Public Works are partnering during the I-94 East West Freeway Project (PROJECT) to ensure safer and more efficient travel in the City of Wauwatosa.

The DEPARTMENT advises implementation of a comprehensive and cost-effective transportation management plan that will help ensure the safety, accessibility and mobility for the traveling public in the PROJECT area. The PROJECT area is defined as interstate IH 94 from 70th St on the west to 16th St on the east within the 3.26-mile project corridor. Included in the PROJECT area are local alternate route streets within two miles of the interstate roadways.

To mitigate traffic impacts caused by the PROJECT, the DEPARTMENT will provide **\$370,000** to the CITY. In turn, the CITY will provide planning, coordination and staffing services (as outlined in Attachments A & B) in an effort to mitigate traffic impacts in the PROJECT area and stay informed of PROJECT roadway closures and construction progress for a 15-month period commencing on October 1, 2025 and ending on December 31, 2026.

The monies provided by this agreement will allow for dedicated staff to assist in:

- New traffic signal cabinet, controller, vehicle detection, and traffic signal poles/heads at 76th St & Wisconsin Ave
- New vehicle detection, signal poles/heads, and pavement marking at Glenview Ave & Wisconsin Ave
- Traffic signal timing work

Signal Timing Adjustments

The CITY will provide signal timing adjustments at key locations along detour routes throughout the PROJECT area including the entire priority detour and alternate routes. The determination of signal timing adjustments is based upon traffic volumes at specific intersections.

That portion of the funds provided under this agreement which may be used for signal integration shall not exceed the amount of \$40,000.

Traffic Signal Enhancements

The CITY will design, purchase and install signal equipment outlined in Attachment A at Wisconsin Ave at 76th St and Wisconsin Ave at Glenview Ave to be used in conjunction with signal timing improvements along the entire priority detour and alternate routes. The portion of the funds provided under this agreement which may be used for the design, purchase, and integration of signal systems shall not exceed the amount of **\$330,000**.

Project Approval Process

For all signal hardware and timings, the CITY and DEPARTMENT shall agree upon the location(s) and specifications of proposed work. The CITY shall provide a benefit/cost analysis to the DEPARTMENT for work exceeding \$25,000. The DEPARTMENT will review the proposal and provide approval/disapproval for the work. The CITY may perform work under this contract without prior agreement from the DEPARTMENT in the event of an emergency or unsafe condition.

Basis of Payment

The CITY shall charge actual costs incurred and attributable to the work performed and described above under this agreement to the DEPARTMENT. The DEPARTMENT will provide to the CITY reimbursable funding for these functions in the amount of **\$370,000**. Total reimbursement to the CITY for traffic mitigation measures under this agreement will not exceed **\$370,000**. Billings, or a billing, shall be directed monthly by the CITY as expenses are incurred to the attention of Stephanie Leraneth, Wisconsin Department of Transportation, Southeast Region, 141 NW Barstow Street P.O. Box 798, Waukesha WI, 53187-0798 and will include a statement of expenses supported by a description of items and services provided and expended. The DEPARTMENT shall pay the bill promptly upon receipt thereof.

Notifications

Other correspondence and notifications required under this agreement shall be given as follows:

Notice to the City:

David Simpson
Director of Public Works
7725 W. North Ave.
Wauwatosa, WI 53213
(414) 471-8422 x5903

James Archambo
Director of Administration
7725 W. North Ave.
Wauwatosa, WI 53213
(414) 479-8915

Notice to the Department: Stephanie Leranth

Construction Program Work Zone and Traffic
Engineer WisDOT Southeast Region - Southeast
Freeways PDS 141 NW Barstow Street
Waukesha, WI 53187
(414) 750-1397
Stephanie.Leranth@dot.wi.gov

Signatures

This agreement may only be amended by a written document signed by each of the parties hereto.

APPROVED _____
For the City of Wauwatosa Department of Works Date

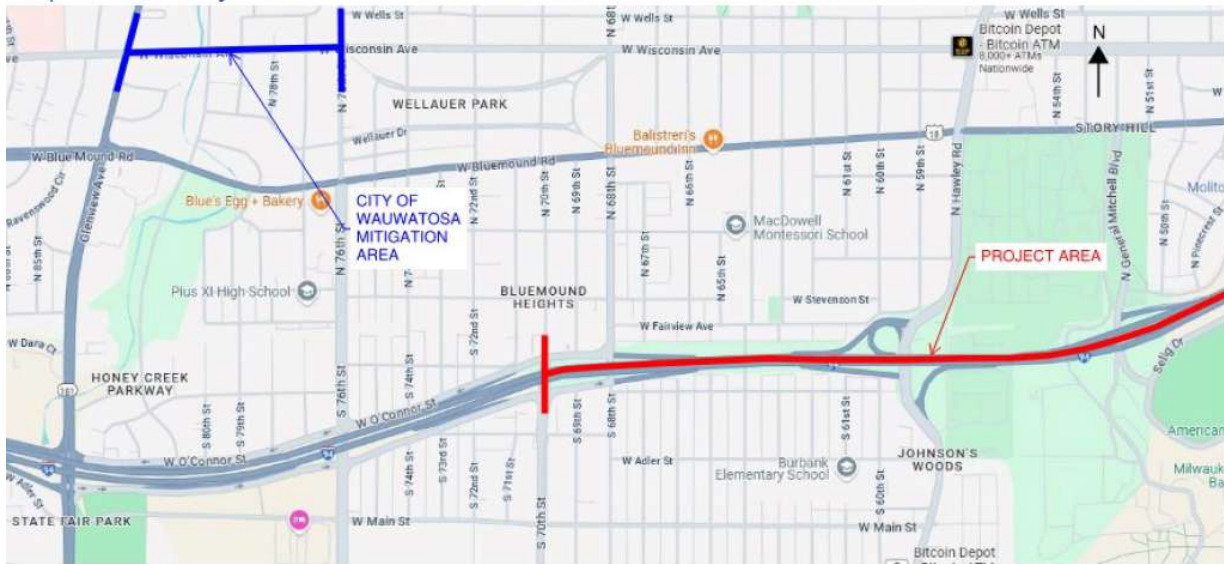
APPROVED _____
For the City of Wauwatosa Comptroller Date

APPROVED _____
For the Wisconsin Department of Transportation Date

APPROVED _____
Governor, State of Wisconsin Date

Attachment A – Traffic Signal Improvement Locations

Map of Locations:



List of Locations:

- Wisconsin Ave at Glenview Ave (84th St)
 - Upgrade vehicle detection system
 - Replace the signal poles and signal heads to install EB/WB protected/permitted left turn.
 - Restripe the intersection to match the reconfiguration noted above
- Wisconsin Ave at 76th St
 - New cabinet and controller (include conduit/wiring)
 - Upgrade to the “No Traffic” system
 - Replace the signal poles

Cost Table

Glenview Ave & Wisconsin Ave	
Item	Estimated Price
Signal Modifications/ Detection/ Pavement Markings	\$ 55,000.00
Design	\$ 10,000.00
Total:	\$ 65,000.00

76th St & Wisconsin Ave	
Item	Estimated Price
Removal of old signal and installation of new signals	\$ 250,000.00
Design	\$ 15,000.00
Total:	\$ 265,000.00

Wisconsin Ave				
Item	# Retimings	Cost per Retiming	Quantity	Total Cost
Signal Timing Revisions	4	\$ 2,000.00	5	\$40,000.00

Attachment B

Letter of Agreement Regarding I-94 E-W Traffic Signal Operation and Maintenance Between the Wisconsin Department of Transportation and The City of Wauwatosa

The Wisconsin Department of Transportation (WisDOT), an agency of the State of Wisconsin, and the City of Wauwatosa, a municipal body corporate, enter into this Letter of Agreement (LOA) for purposes of installing and managing adaptive traffic signal technology associated with the reconstruction of the I-94 E-W Project in Milwaukee County.

WisDOT is reconstructing I-94 E-W from 70th St to 16th St, the STH 175 system interchange, and various underpasses as part of the I-94 E-W Project (the Project) and desires to partner with the City of Wauwatosa (the City) to provide traffic congestion mitigation during construction. As part of that mitigation WisDOT desires to provide funds to the City to improve the operation of Wisconsin Ave. The improvements include traffic signal equipment replacement, traffic signal communication hardware.

WisDOT and the City acknowledge and agree that the improvements to the intersections Wisconsin Ave are critical to managing traffic during the Project construction and that failure to update traffic signal timings and maintain the traffic signal equipment to the terms set forth herein could result in traffic management issues up to and including additional traffic congestion within and around the Project including within the City of Wauwatosa.

Pursuant to the above-referenced common objectives, WisDOT and the City agree to the following:

- The City of Wauwatosa will own, maintain, and operate the traffic signals and intersections listed on Attachment A
- The City of Wauwatosa agrees to complete improvements of the traffic signal and intersection upgrades by February 1, 2026.
- The City of Wauwatosa acknowledges that WisDOT is not obligated to provide funds for additional equipment purchases, operations, or maintenance, during the I-94 E-W Project
- The City of Wauwatosa will perform regular operations, emergency and preventative maintenance on the equipment funded by WisDOT, installed and owned by the City.
- The City of Wauwatosa commits to implementing updated traffic signal timing plans during the many stages and traffic switches of the I-94 E-W Project.
- WisDOT commits to provide the City of Wauwatosa of upcoming I-94 E-W stage changes and traffic switches at least 2 weeks prior to the event.



Wauwatosa, WI

7725 W. North Avenue
Wauwatosa, WI 53213

Staff Report

File #: 25-1612

Agenda Date: 9/24/2025

Agenda #: 4.

Consideration of approval of Change Order #02 for Contract 25-19, 2025 Sidewalk Repair Program

Submitted by:

Jeni Schroeder, PE

Department

Engineering, Department of Public Works

A. Issue

Consideration of approval of Change Order #02 for Contract 25-19, 2025 Sidewalk Repair Program in the amount of \$39,658.11.

B. Background/Options

This Change Order (CO) is for new work that was added to Contract 25-19 after bidding. The work includes building a new curb bump out and two pedestrian ramps in the northeast corner of Wauwatosa Avenue and Wright Street as part of the City's new Traffic Calming Program, funded by the Vehicle Registration Fee. Plans and layout are included in the attachments.

This intersection has been deemed one of the most dangerous within the City limits. It is a Safe Routes to School crossing and has a high number of vehicles passing on the right when others are stopped for pedestrians. The new curb bump out is designed to prevent vehicles making this movement from passing through the intersection and coming into conflict with the pedestrians.

Because the Sidewalk Program contractor is a concrete contractor, experienced with building ADA pedestrian ramps, it is the best fit contract to modify to get the work done in a timely manner.

C. Strategic Plan (Area of Focus)

Priority 2: Public Safety, Goal 2 - Proactively address pedestrian, bicycle and vehicular safety.

Priority 3: Infrastructure, Goal 2 - Ensure the City's infrastructure supports public health through multi-modal transportation and recreation opportunities.

D. Fiscal Impact

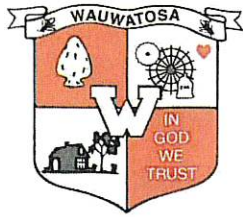
The contract amount after Change Order #2 is \$826,314.27 which is 16.95% over the original contract award amount of \$706,548.66, requiring approval.

However, the work in this CO and in the amount of \$39,658.11 will be charged to Project SE002, Traffic Calming, not Project 2025, Sidewalk Repair Program.

E. Recommendation

Approval of Change Order #02 for Contract 25-19, 2025 Sidewalk Repair Program in the amount of \$39,658.11.

Recommendation: Council



CITY OF WAUWATOSA
ENGINEERING SERVICES DIVISION
7725 WEST NORTH AVENUE
WAUWATOSA, WI 53213
Telephone: (414) 479-8927

CONTRACT MODIFICATION

CONTRACT NUMBER: 25-19

PROJECT DESCRIPTION: Sidewalk Repair Program

PRIME CONTRACTOR: Milwaukee General Construction Company, Inc.

CONTRACT MODIFICATION NUMBER: 002

CONTRACT MODIFICATION DESCRIPTION: Adding sidewalk ramp replacement
at Wauwatosa Ave. and W. Wright St.

THE FOLLOWING MODIFICATIONS TO THE CONTRACT ARE HEREBY ORDERED:

The following are bid items quantities changes to the contract:

Line Item	Item Code	Item Description	UofM	Unit Price	Original Quantity	Original Cost	Revised Quantity	Revised Cost
B8	D1-04	Base Aggregate Dense 1-1/4-Inch	TON	\$26.50	66.4	\$1,759.31	72	\$1,907.67
B9	D1-16	Removing Concrete Curb and Gutter	LF	\$10.00	431	\$4,310.00	533	\$5,330.00
B10	D1-18	Removing Concrete Sidewalk and Drive Approach	SF	\$2.25	2753	\$6,194.25	3183	\$7,162.75
B11	D1-19	Sawcutting	FT	\$2.25	704	\$1,584.00	892	\$2,007.00
B13	D2-05	31" Concrete Curb & Gutter	LF	\$50.00	448	\$22,400.00	515	\$25,750.00
B14	D3-03	5" Concrete Sidewalk and Driveway	SF	\$11.50	3585	\$41,227.50	4070	\$46,805.00
B15	D3-10	Detectable Warning Field	SF	\$55.00	188	\$10,340.00	213	\$11,715.00
B16	D4-18	Base Patching Concrete	SY	\$60.00	309	\$18,540.00	395	\$23,700
B17	D4-26	2 1/2" Asphaltic Surface	SY	\$79.00	309	\$24,411.00	362	\$28,598.00
B18	D5-02	Topsoil and Sod	SF	\$2.25	1615	\$3,633.75	2070	\$4,657.50
B19	D5-75	Inlet Protection - Type D	EACH	\$95.00	13	\$1,235.00	14	\$1,330.00
B20	D6-01	Traffic Control	LS	\$11,300.00	1	\$11,300.00	1	\$17,110.00
B22	D7-01	Adjusting Water Valve	EACH	\$500.00	2	\$1,000.00	4	\$2,000.00
B23	D7-03	Adjusting Storm Manhole	EACH	\$2,200.00	1	\$2,200.00	2	\$4,400.00

NET BID ITEM VALUE CHANGE: \$32,338.11

Page 1 of 4

- 1) ORIGINAL TO FILE
- 2) COPY TO CONTRACTOR

The following items are scope changes that shall be incorporated into the contract:

CO2.1 – Item D2-14, 73” Concrete Curb & Gutter – 43 LF @ \$90.00/LF = \$3,870.00

Description This provision describes furnishing: all materials, equipment, tools, labor and incidentals necessary for the construction of concrete curb and gutter at locations as shown on the Contract Drawings and directed by the Engineer.

Materials The grade and class of all concrete shall conform to Grade A or Grade A-FA of said State Specs so that a minimum compressive strength of 3600 pounds per square inch is developed in 28 days of curing (Grade A2 may be used for sidewalks). Other grades may be used with the approval of the Engineer. The use of a water reducing admixture is subject to Section 501 of the State Specs.

Construction Curb & gutter construction shall conform to Section 601 of the State Specs. The surface of curb and gutter construction shall be finished by troweling and brushing.

Construct Concrete Curb and Gutter in accordance with the construction details shown in the plans.

Honeycombing occurring along the back of the curb and flange face shall be pointed with mortar (1 part Portland Cement to three parts Fine Aggregate) after removal of the forms. All excess concrete behind the curb shall be removed before backfilling.

Tie new work to existing concrete pavement using tie bars driven or epoxied into the existing concrete.

Measurement The City will measure Concrete Curb and Gutter by the linear foot measured along the flow line acceptably completed. No deduction will be made for inlet grates within the new curb and gutter.

Payment The City will pay for measured quantities at the contract unit price under the following bid items:

ITEM CODE	DESCRIPTION	UNIT
D2-14	73” Concrete Curb and Gutter	LF

Concrete Curb and Gutter, as measured above, is full compensation for special construction required at driveways, alleys, and curb ramps; for providing materials, including concrete, expansion joints; for placing, finishing, protecting, and curing; for sawing joints; and restoring the worksite. All tie bars required for construction of this item shall be incidental.

CO2.2 – Item E3-22, Concrete Bases Type 5 – 1 EA @ \$3,450.00/EA = \$3,450.00

Description This work shall consist of construction of base mounted pole concrete foundations, including necessary hardware, as shown on the plans, in accordance with the pertinent provisions of Section 654 of the State Specs and as hereinafter provided.

Materials Materials shall be in accordance with Section 654 of the State Specs and as shown on the plans.

Construction Anchor bolts shall be cast into the base as shown on the plans. Anchor bolts to be provided by City. Bolt circle diameters shall be verified before constructing the bases.

Manufactured elbows shall be furnished and installed in all bases by the contractor, except as noted on the details. Elbows shall be installed to permit conduit to be installed in as nearly straight-line runs as possible, without unnecessary bends. Bases not installed to this standard will not be accepted.

Anchor bolts and conduits shall be installed to center the pole on the concrete base to the tolerance as indicated on the plans. Bases not conforming to this requirement are subject to replacement at the sole discretion of the Engineer.

Measurement The City will measure Concrete Bases Type 5 by each unit acceptably completed.

Payment The City will pay for measured quantities at the contract unit price under the following bid items:

ITEM CODE	DESCRIPTION	UNIT
E3-22	Concrete Bases Type 5	EA

Concrete Bases Type 5, as measured above, is full compensation for furnishing and installing all materials, including conduit, bushings, caps and/or plugs, ground rod, anchor bolts, cadwelding, copper grounding wire; bar steel reinforcement, and concrete masonry; for providing openings through existing pavement where required; for excavation, including hand-digging as required, backfill, and disposal of surplus materials; and for all labor, tools, equipment, and incidentals necessary to complete this item of work.

NET SCOPE CHANGE VALUE: \$7,320.00

The net change of this change order is \$39,658.11.

The following additional time is to be added to the contract:

No additional time is to be added as part of the scope changes within this Contract Modification.

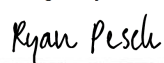
The following attachments shall be incorporated into the contract documents:

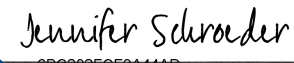
Add Wauwatosa Ave. & Wright St. ramp sheets.

All work under this Contract Modification shall be performed in accordance with contract specifications unless otherwise noted or modified in this or previous Contract Modification(s).

ORIGINAL CONTRACT AMOUNT:	\$	706,548.66
TOTAL INCREASE OR DECREASE OF PREVIOUS CONTRACT MODIFICATION(S):	\$	80,107.50
INCREASE OR DECREASE FROM THIS CONTRACT MODIFICATION:	\$	<u>39,658.11</u>
REVISED CONTRACT AMOUNT:	\$	<u><u>826,314.27</u></u>

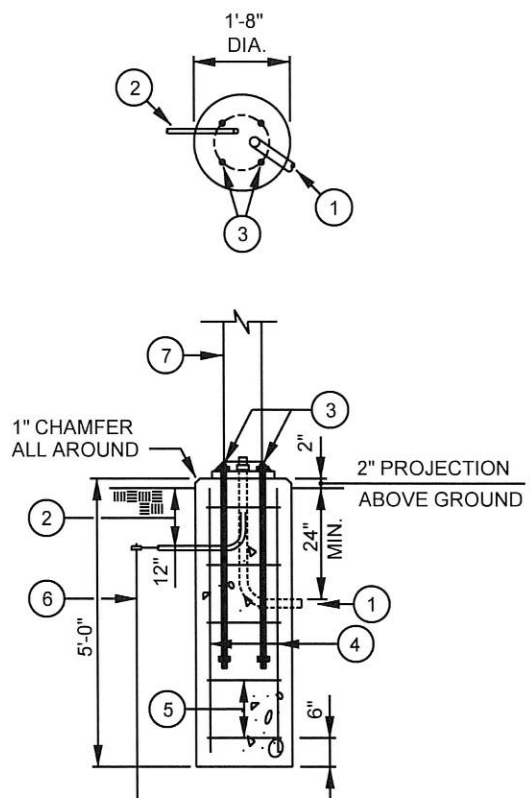
APPROVED BY:

Signed by:		
	vice president	9/18/2025
<small>ADE09A5AB0AA419...</small>		
CONTRACTOR SIGNATURE	TITLE	DATE

DocuSigned by:		
	Senior Civil Engineer	9/19/2025
<small>0BC282F0F3A44AD...</small>		
CITY OF WAUWATOSA	TITLE	DATE


BOARD OF PUBLIC WORKS AND COMMON COUNCIL APPROVAL REQUIRED:	YES
RESOLUTION NUMBER:	N/A

Common Council approval is also required if this contract modification or the cumulative total of this contract modification and previous contract modification(s) exceeds 15% of the original contract amount. This Contract Modification does not become incorporated into the contract until required approvals are obtained from the City of Wauwatosa.

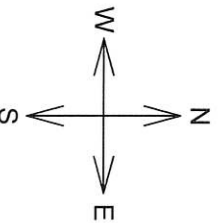


- (1) CONDUIT(S) AS NOTED ON THE PLANS.
- (2) (1) 1" DIA. CONDUIT FOR GROUNDING PURPOSES, EXIT 12" BELOW GRADE.
- (3) (4) 1" DIA. x 3'-6" LONG ANCHOR RODS, 12-3/4" BOLT CIRCLE (CONTRACTOR SHALL VERIFY WITH POLE OR PEDESTAL MANUFACTURER).
- (4) (6) NO. 4 x 4'-8" LONG VERTICAL BAR STEEL REINF. COATED WITH POWDER EPOXY RESIN.
- (5) (5) NO. 4 x 5'-1" HOOP TIES WITH 1'-5" MINIMUM OVERLAP ON ENDS OF EACH HOOP, AT 1'-0" C-C, COATED WITH POWDER EPOXY RESIN.
- (6) (1) 5/8" DIA. x 8' LONG COPPERCLAD GROUND ROD WITH APPROVED CLAMP AND AWG NO. 8 BARE COPPER GROUNDING CONDUCTOR, PROVIDE 3' TAIL FOR FUTURE CONNECTION TO POLE.
- (7) RFRB (BY OTHERS).

CONCRETE BASE FOR RAPID FLASHING BEACON

CONTRACT:	25-19	 <p>CITY OF WAUWATOSA</p> <p>ENGINEERING SERVICES DIVISION</p>	DATE	DESCRIPTION
FILE NO:	XX-XXX		5/4/2021	ADDENDUM 1
DRAWN BY:	RPC			ADDED SHEET NUMBER
CHECKED BY:	JMS			DELETED MILLING TRANS. TO C&G DETAIL
SCALE:	NOT TO SCALE			ADDED HAND RAILING DETAIL

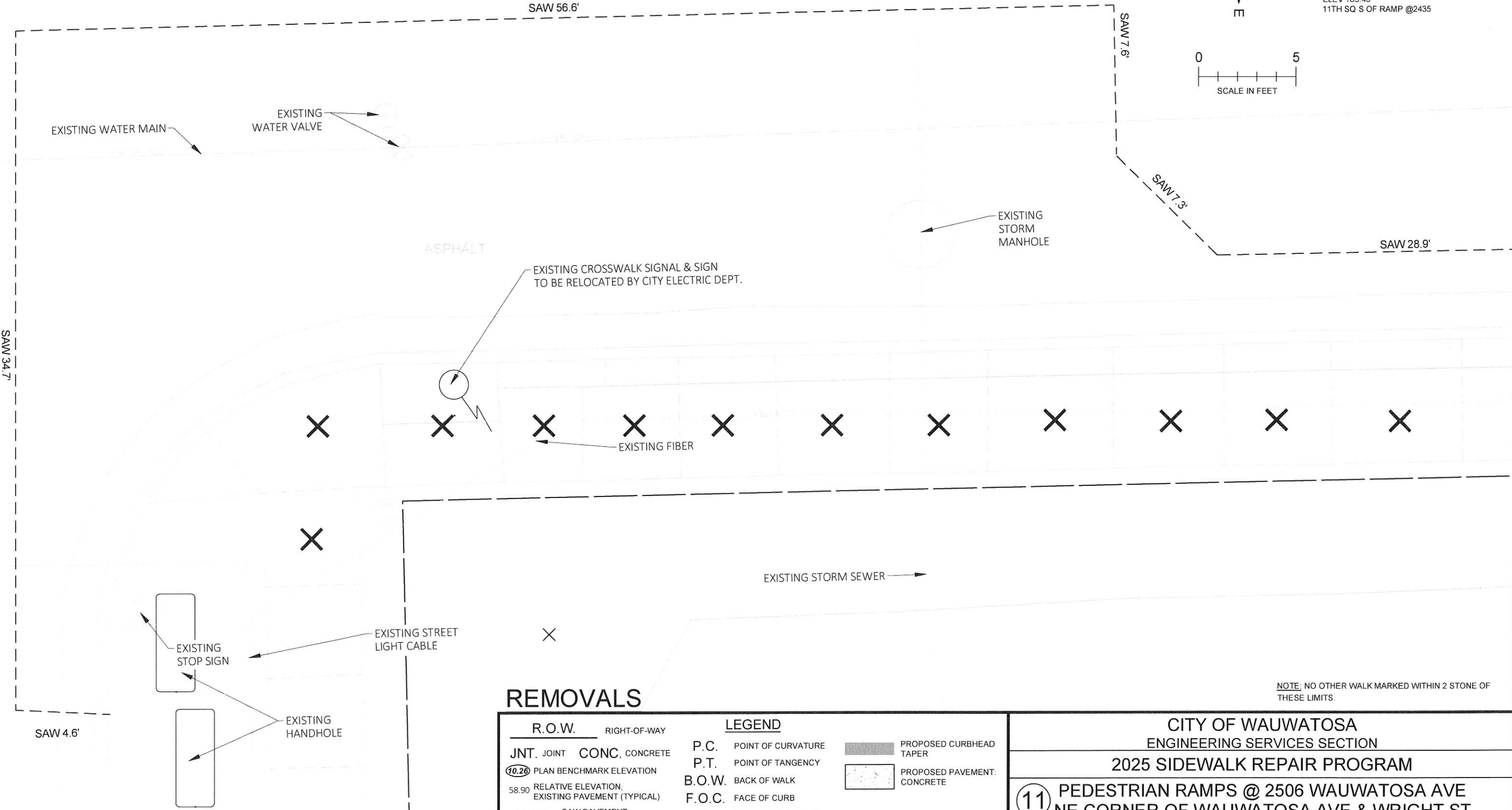
WAUWATOSA AVE.



POINT 102
ELEV 169.45
11TH SQ S OF RAMP @2435



WRIGHT ST.



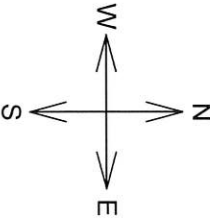
REMOVALS

R.O.W. RIGHT-OF-WAY		LEGEND	
JNT. JOINT	CONC. CONCRETE	P.C. POINT OF CURVATURE	PROPOSED CURBHEAD TAPER
(10.26) PLAN BENCHMARK ELEVATION		P.T. POINT OF TANGENCY	PROPOSED PAVEMENT: CONCRETE
58.90 RELATIVE ELEVATION, EXISTING PAVEMENT (TYPICAL)		B.O.W. BACK OF WALK	
SAW SAW PAVEMENT, FULL DEPTH		F.O.C. FACE OF CURB	
X PAVEMENT REMOVAL SYMBOL		+ RELATIVE ELEVATION, PROPOSED PAVEMENT (TYPICAL)	DETECTABLE WARNING FIELD, (2.5' X 2') CAST IRON, NATURAL FINISH
- - - EXISTING STREET LIGHT		Alignment lines for proposed ramp & associated landing	

NOTE: NO OTHER WALK MARKED WITHIN 2 STONE OF THESE LIMITS.

CITY OF WAUWATOSA ENGINEERING SERVICES SECTION	
2025 SIDEWALK REPAIR PROGRAM	
11 PEDESTRIAN RAMPS @ 2506 WAUWATOSA AVE NE CORNER OF WAUWATOSA AVE & WRIGHT ST	
REFERENCES:	WAUWATOSA CONTRACT NO.: 25-19
SCALE: AS SHOWN	DRAWN BY: RC CHECKED BY: JS
SHEET 1 OF 4	FILE NAME: 76TH & WRIGHT_PROP.dwg

WAUWATOSA AVE.



POINT 102
ELEV 169.45
11TH SQ S OF RAMP @2435



SAW 56.6'

SAW 7.6'

SAW 7.3'

SAW 28.9'

SAW 4.6'

ASPHALT

EXISTING CROSSWALK SIGNAL & SIGN
TO BE RELOCATED BY CITY ELECTRIC DEPT.

EXISTING
STORM
MANHOLE

EXISTING STORM
INLET

EXISTING FIBER

EXISTING STORM SEWER

EXISTING STREET
LIGHT CABLE

NOTE: NO OTHER WALK MARKED WITHIN 2 STONE OF
THESE LIMITS.

REMOVALS

R.O.W.	RIGHT-OF-WAY	LEGEND
JNT.	JOINT	CONC. CONCRETE
(10.26)	PLAN BENCHMARK ELEVATION	
58.90	RELATIVE ELEVATION, EXISTING PAVEMENT (TYPICAL)	
SAW	SAW PAVEMENT, FULL DEPTH	
X	PAVEMENT REMOVAL SYMBOL	
---	EXISTING STREET LIGHT	
P.C.	POINT OF CURVATURE	
P.T.	POINT OF TANGENCY	
B.O.W.	BACK OF WALK	
F.O.C.	FACE OF CURB	
+	RELATIVE ELEVATION, PROPOSED PAVEMENT (TYPICAL)	
9.96		
///	ALIGNMENT LINES FOR PROPOSED RAMP & ASSOCIATED LANDING	
		PROPOSED CURBHEAD TAPER
		PROPOSED PAVEMENT: CONCRETE
		DETECTABLE WARNING FIELD, (2.5' X 2') CAST IRON, NATURAL FINISH

CITY OF WAUWATOSA
ENGINEERING SERVICES SECTION

2025 SIDEWALK REPAIR PROGRAM

11 PEDESTRIAN RAMPS @ 2506 WAUWATOSA AVE
NE CORNER OF WAUWATOSA AVE & WRIGHT ST

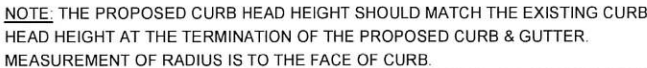
REFERENCES: WAUWATOSA CONTRACT NO.: 25-19

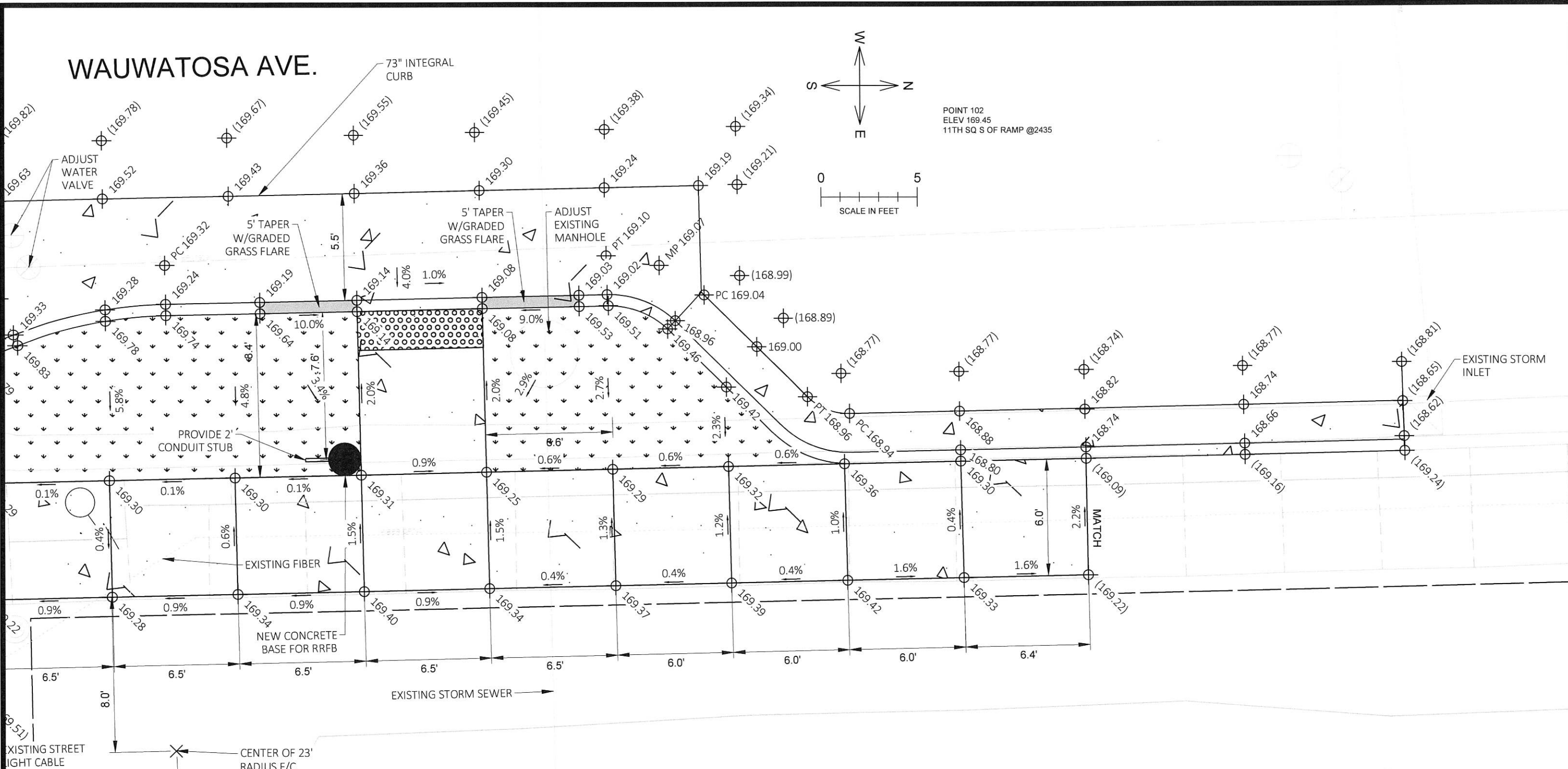
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CHECKED BY: JS

SHEET 2 OF 4

FILE NAME: 76TH & WRIGHT_PROP.dwg





PROPOSED

R.O.W.		LEGEND	
JNT.	JOINT	P.C.	POINT OF CURVATURE
CONC.	CONCRETE	P.T.	POINT OF TANGENCY
10.26	PLAN BENCHMARK ELEVATION	B.O.W.	BACK OF WALK
58.90	RELATIVE ELEVATION, EXISTING PAVEMENT (TYPICAL)	F.O.C.	FACE OF CURB
SAW	SAW PAVEMENT, FULL DEPTH	+	RELATIVE ELEVATION, PROPOSED PAVEMENT (TYPICAL)
X	PAVEMENT REMOVAL SYMBOL	9.96	
- - -	EXISTING STREET LIGHT	---	ALIGNMENT LINES FOR PROPOSED RAMP & ASSOCIATED LANDING

NOTE: THE PROPOSED CURB HEAD HEIGHT SHOULD MATCH THE EXISTING CURB HEAD HEIGHT AT THE TERMINATION OF THE PROPOSED CURB & GUTTER. MEASUREMENT OF RADIUS IS TO THE FACE OF CURB.

CITY OF WAUWATOSA ENGINEERING SERVICES SECTION	
2025 SIDEWALK REPAIR PROGRAM	
11	PEDESTRIAN RAMPS @ 2506 WAUWATOSA AVE NE CORNER OF WAUWATOSA AVE & WRIGHT ST
REFERENCES:	WAUWATOSA CONTRACT NO.: 25-19
SCALE: AS SHOWN	DRAWN BY: RC CHECKED BY: JS
SHEET 4 OF 4	FILE NAME: 76TH & WRIGHT_PROP.dwg

WHEREAS, the Board of Public Works is requesting a change order to Contract 25-19 to add scope items to install a new curb bump out and two pedestrian ramps in the northeast corner of Wauwatosa Avenue and Wright Street;

WHEREAS, the estimated total cost of the scope changes within Change Order #02 is \$39,658.11;

NOW, THEREFORE, BE IT RESOLVED by the Common Council of the City of Wauwatosa that a change order for additional work to install a new curb bump out and two pedestrian ramps in the northeast corner of Wauwatosa Avenue and Wright Street be approved as part of Contract 25-19.



Wauwatosa, WI

7725 W. North Avenue
Wauwatosa, WI 53213

Staff Report

File #: 25-1316

Agenda Date: 9/24/2025

Agenda #: 5.

July 2025 Monthly Pumpage Report

Department:

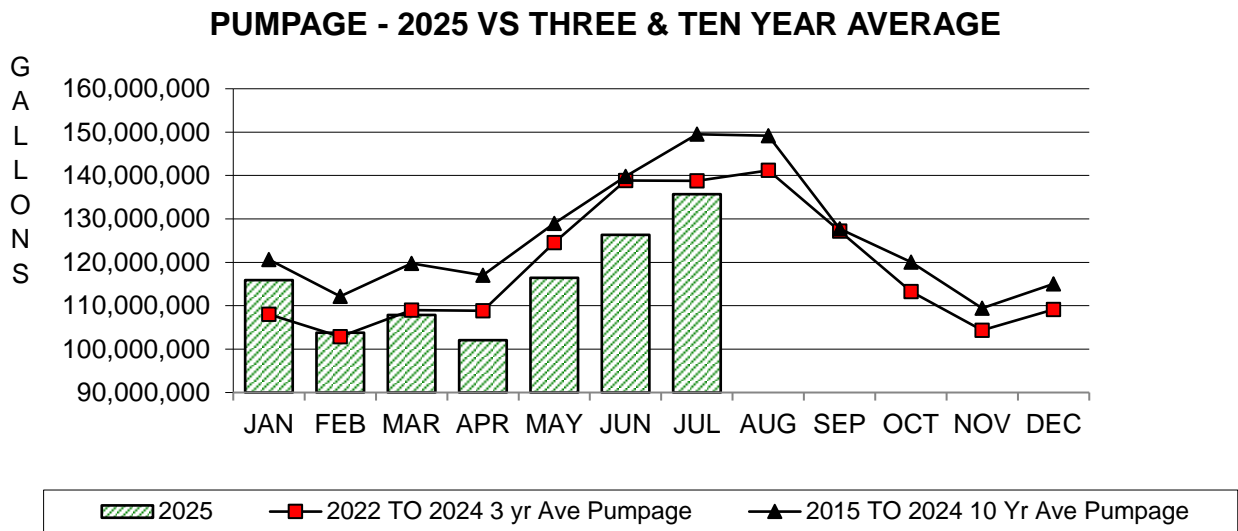
Water Department

August 19, 2025

Board of Public Works
City of Wauwatosa, Wisconsin

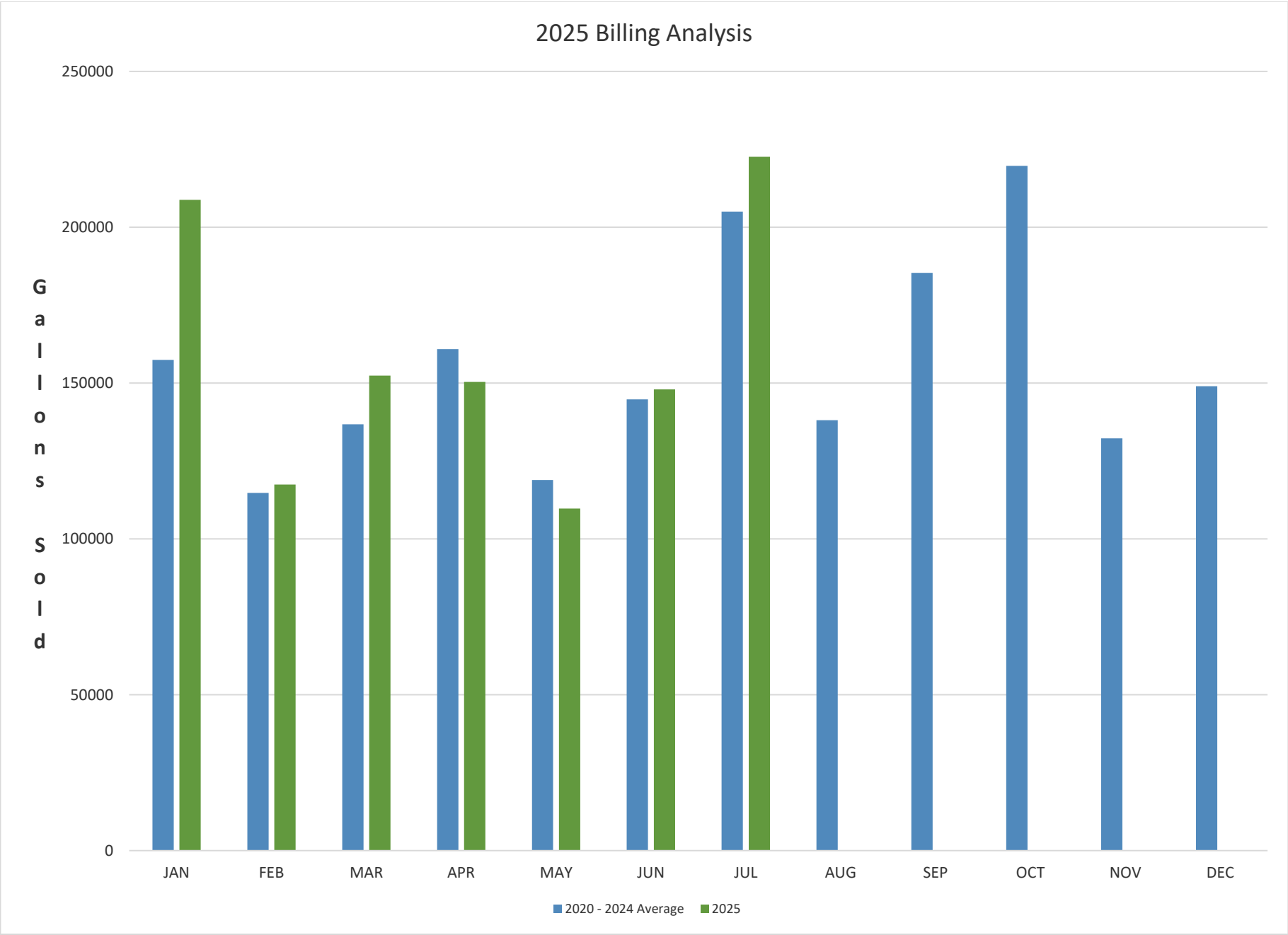
Dear Members:

Below is the pumpage in gallons for May of 2025.

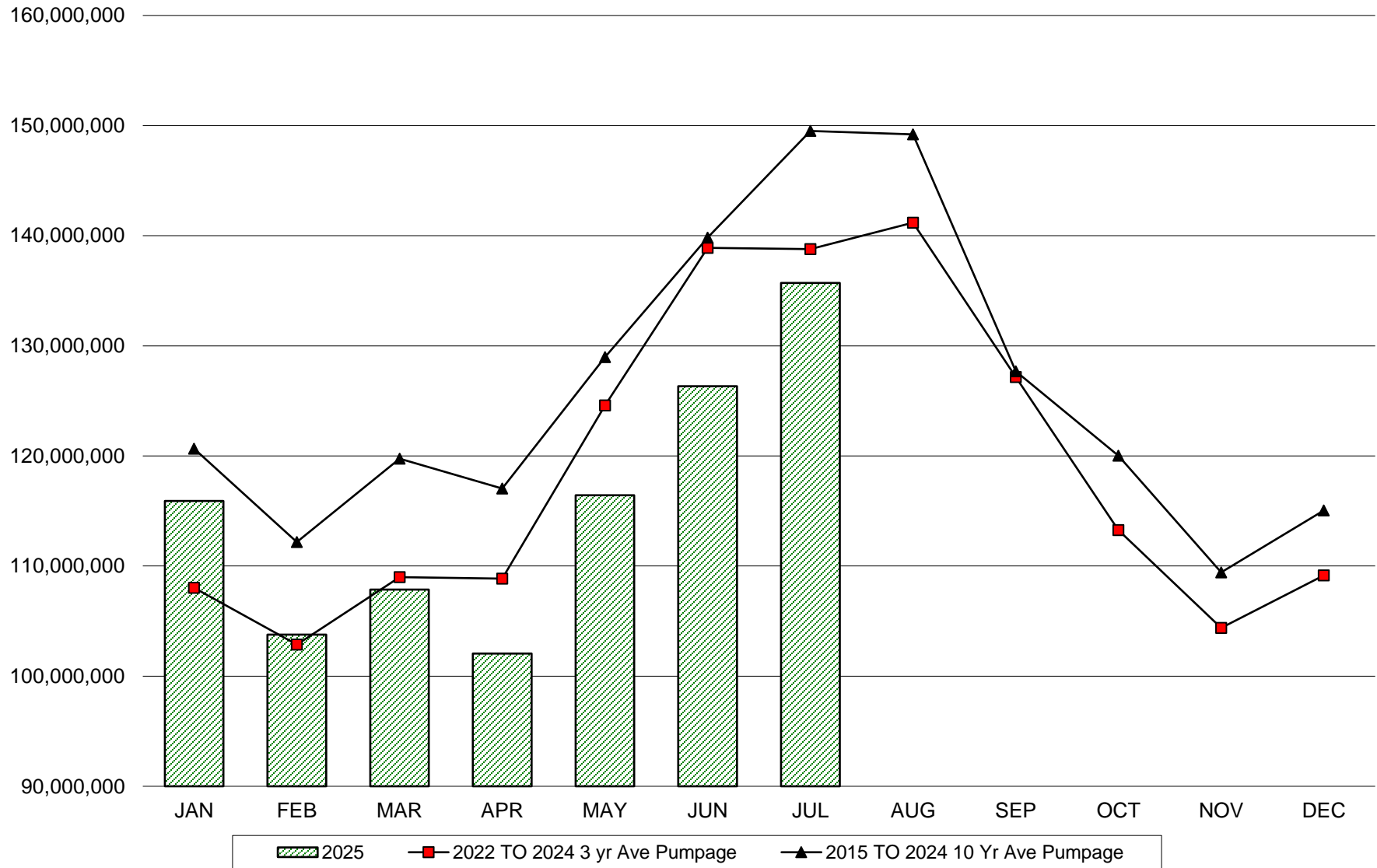


MONTHS	2025	2024	3 YEAR AVERAGE	10 YEAR AVERAGE
January	115,900,000	110,250,000	108,018,333	120,654,500
February	103,780,000	106,335,000	102,867,333	112,189,500
March	107,870,000	105,670,000	108,991,333	119,760,740
April	102,060,000	110,160,000	108,853,333	117,028,300
May	116,430,000	116,430,000	124,580,667	128,965,681
June	126,330,000	126,010,000	138,885,333	139,830,155
July	135,700,000	130,580,000	138,787,933	149,509,280
August		138,640,000	141,182,133	149,198,640
September		145,530,000	127,171,133	127,688,440
October		121,190,000	113,271,667	120,030,700
November		106,560,000	104,371,333	109,427,000
December		115,350,000	109,155,000	115,057,100
	808,070,000	1,432,705,000	1,426,135,533	1,509,340,036

Very truly yours,
Adam Florin
Water Superintendent



PUMPAGE - 2024 VS THREE & TEN YEAR AVERAGE



Wauwatosa Water Station Discharge Meters - Monthly Report
Month of July 2025

DAY	64th	Blanchard	Glenview	Potter	To System
1	1,180,000	1,730,000	50,000	1,520,000	4,480,000
2	1,260,000	1,760,000	250,000	1,570,000	4,840,000
3	1,190,000	1,990,000	70,000	1,270,000	4,520,000
4	770,000	1,990,000	0	1,170,000	3,930,000
5	1,050,000	1,760,000	60,000	1,200,000	4,070,000
6	770,000	1,730,000	0	1,140,000	3,640,000
7	1,100,000	1,440,000	80,000	1,290,000	3,910,000
8	1,050,000	1,860,000	0	1,410,000	4,320,000
9	1,140,000	1,860,000	170,000	1,440,000	4,610,000
10	1,110,000	1,650,000	110,000	1,460,000	4,330,000
11	680,000	1,670,000	0	1,300,000	3,650,000
12	910,000	1,870,000	0	1,040,000	3,820,000
13	1,210,000	1,640,000	0	1,320,000	4,170,000
14	1,290,000	1,660,000	70,000	1,650,000	4,670,000
15	1,240,000	1,680,000	190,000	1,690,000	4,800,000
16	1,110,000	1,650,000	100,000	1,500,000	4,360,000
17	1,130,000	1,620,000	90,000	1,370,000	4,210,000
18	1,130,000	1,800,000	0	1,530,000	4,460,000
19	990,000	1,720,000	0	1,190,000	3,900,000
20	1,190,000	1,760,000	0	1,270,000	4,220,000
21	1,360,000	1,980,000	0	1,450,000	4,790,000
22	1,410,000	1,770,000	160,000	1,770,000	5,110,000
23	1,390,000	1,870,000	80,000	1,300,000	4,640,000
24	1,230,000	1,880,000	0	1,500,000	4,610,000
25	1,390,000	1,870,000	80,000	1,460,000	4,800,000
26	770,000	1,620,000	0	1,210,000	3,600,000
27	1,250,000	1,890,000	150,000	1,340,000	4,630,000
28	1,280,000	1,840,000	290,000	1,550,000	4,960,000
29	1,750,000	1,750,000	60,000	1,470,000	5,030,000
30	980,000	1,950,000	0	1,400,000	4,330,000
31	830,000	1,840,000	50,000	1,570,000	4,290,000
Total	35,140,000	55,100,000	2,110,000	43,350,000	135,700,000



Wauwatosa, WI

7725 W. North Avenue
Wauwatosa, WI 53213

Staff Report

File #: 25-1467

Agenda Date: 9/24/2025

Agenda #: 6.

Consideration of ratification of project partial payments for work completed pursuant to the terms of the contract

BE IT RESOLVED, By the Board of Public Works of the City of Wauwatosa, Wisconsin that the proper City Officers be and they are hereby authorized and directed to issue City orders in favor of the contractor listed below in the amount listed in the column headed "Amount" as partial payment for work completed pursuant to the terms of the contract noted.

Contractor: Mid City Corporation

Payment No.: 2

Contract/Project No.: 24-56/5113 West Zone Pumping Station

Amount: \$428,713.34



Wauwatosa, WI

7725 W. North Avenue
Wauwatosa, WI 53213

Staff Report

File #: 25-1655

Agenda Date: 9/24/2025

Agenda #: 7.

Project Updates

Submitted by:

Nick Deming, Construction Manager

23-90 - 2023 Fiber

- Updating permit with DOT.

25-01 - Wisconsin Avenue

- Paving and restoration continue on Wisconsin Ave between 72nd and 68th over the next couple weeks.
- Work is complete on 70th St.
- Electrical and Signal work will also occur over the next couple of weeks.

25-07 - Watertown Plank Road

- Water main tie-ins complete
- Outfall work and box culvert work on-going
- Grading and paving in the EB lanes east of 115th St. is scheduled to start in the next couple weeks.

25-07 - 2025 Sanitary Sewer Improvements (Diane Dr. & Discovery Parkway)

- Preconstruction meeting was held on 9/9.
- Work on Diane Dr. is schedule to begin in early October.
- Work on Discovery is slated for October pending scheduling of a crew for pipe installation.

25-25 - Burleigh St. Path and Asphalt Repair

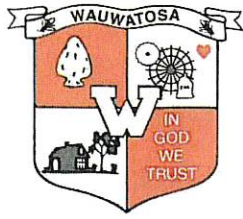
- Concrete is scheduled for the week of 9/22.
- The path is scheduled to be paved the week of 9/29.

Wisconsin Avenue Bridge (WisDOT Led)

- The abutments are near complete with work set to begin on the stream channel realignment the week of 9/22.
- Water main work is complete.
- Storm sewer work is underway.

25-11 Harvard Alley

- Alley is substantially complete.



CITY OF WAUWATOSA
ENGINEERING SERVICES DIVISION
7725 WEST NORTH AVENUE
WAUWATOSA, WI 53213
Telephone: (414) 479-8927

CONTRACT MODIFICATION

CONTRACT NUMBER: 25-19

PROJECT DESCRIPTION: Sidewalk Repair Program

PRIME CONTRACTOR: Milwaukee General Construction Company, Inc.

CONTRACT MODIFICATION NUMBER: 002

CONTRACT MODIFICATION DESCRIPTION: Adding sidewalk ramp replacement
at Wauwatosa Ave. and W. Wright St.

THE FOLLOWING MODIFICATIONS TO THE CONTRACT ARE HEREBY ORDERED:

The following are bid items quantities changes to the contract:

Line Item	Item Code	Item Description	UofM	Unit Price	Original Quantity	Original Cost	Revised Quantity	Revised Cost
B8	D1-04	Base Aggregate Dense 1-1/4-Inch	TON	\$26.50	66.4	\$1,759.31	72	\$1,907.67
B9	D1-16	Removing Concrete Curb and Gutter	LF	\$10.00	431	\$4,310.00	533	\$5,330.00
B10	D1-18	Removing Concrete Sidewalk and Drive Approach	SF	\$2.25	2753	\$6,194.25	3183	\$7,162.75
B11	D1-19	Sawcutting	FT	\$2.25	704	\$1,584.00	892	\$2,007.00
B13	D2-05	31" Concrete Curb & Gutter	LF	\$50.00	448	\$22,400.00	515	\$25,750.00
B14	D3-03	5" Concrete Sidewalk and Driveway	SF	\$11.50	3585	\$41,227.50	4070	\$46,805.00
B15	D3-10	Detectable Warning Field	SF	\$55.00	188	\$10,340.00	213	\$11,715.00
B16	D4-18	Base Patching Concrete	SY	\$60.00	309	\$18,540.00	395	\$23,700
B17	D4-26	2 1/2" Asphaltic Surface	SY	\$79.00	309	\$24,411.00	362	\$28,598.00
B18	D5-02	Topsoil and Sod	SF	\$2.25	1615	\$3,633.75	2070	\$4,657.50
B19	D5-75	Inlet Protection - Type D	EACH	\$95.00	13	\$1,235.00	14	\$1,330.00
B20	D6-01	Traffic Control	LS	\$11,300.00	1	\$11,300.00	1	\$17,110.00
B22	D7-01	Adjusting Water Valve	EACH	\$500.00	2	\$1,000.00	4	\$2,000.00
B23	D7-03	Adjusting Storm Manhole	EACH	\$2,200.00	1	\$2,200.00	2	\$4,400.00

NET BID ITEM VALUE CHANGE: \$32,338.11

Page 1 of 4

- 1) ORIGINAL TO FILE
- 2) COPY TO CONTRACTOR

The following items are scope changes that shall be incorporated into the contract:

CO2.1 – Item D2-14, 73” Concrete Curb & Gutter – 43 LF @ \$90.00/LF = \$3,870.00

Description This provision describes furnishing: all materials, equipment, tools, labor and incidentals necessary for the construction of concrete curb and gutter at locations as shown on the Contract Drawings and directed by the Engineer.

Materials The grade and class of all concrete shall conform to Grade A or Grade A-FA of said State Specs so that a minimum compressive strength of 3600 pounds per square inch is developed in 28 days of curing (Grade A2 may be used for sidewalks). Other grades may be used with the approval of the Engineer. The use of a water reducing admixture is subject to Section 501 of the State Specs.

Construction Curb & gutter construction shall conform to Section 601 of the State Specs. The surface of curb and gutter construction shall be finished by troweling and brushing.

Construct Concrete Curb and Gutter in accordance with the construction details shown in the plans.

Honeycombing occurring along the back of the curb and flange face shall be pointed with mortar (1 part Portland Cement to three parts Fine Aggregate) after removal of the forms. All excess concrete behind the curb shall be removed before backfilling.

Tie new work to existing concrete pavement using tie bars driven or epoxied into the existing concrete.

Measurement The City will measure Concrete Curb and Gutter by the linear foot measured along the flow line acceptably completed. No deduction will be made for inlet grates within the new curb and gutter.

Payment The City will pay for measured quantities at the contract unit price under the following bid items:

ITEM CODE	DESCRIPTION	UNIT
D2-14	73” Concrete Curb and Gutter	LF

Concrete Curb and Gutter, as measured above, is full compensation for special construction required at driveways, alleys, and curb ramps; for providing materials, including concrete, expansion joints; for placing, finishing, protecting, and curing; for sawing joints; and restoring the worksite. All tie bars required for construction of this item shall be incidental.

CO2.2 – Item E3-22, Concrete Bases Type 5 – 1 EA @ \$3,450.00/EA = \$3,450.00

Description This work shall consist of construction of base mounted pole concrete foundations, including necessary hardware, as shown on the plans, in accordance with the pertinent provisions of Section 654 of the State Specs and as hereinafter provided.

Materials Materials shall be in accordance with Section 654 of the State Specs and as shown on the plans.

Construction Anchor bolts shall be cast into the base as shown on the plans. Anchor bolts to be provided by City. Bolt circle diameters shall be verified before constructing the bases.

Manufactured elbows shall be furnished and installed in all bases by the contractor, except as noted on the details. Elbows shall be installed to permit conduit to be installed in as nearly straight-line runs as possible, without unnecessary bends. Bases not installed to this standard will not be accepted.

Anchor bolts and conduits shall be installed to center the pole on the concrete base to the tolerance as indicated on the plans. Bases not conforming to this requirement are subject to replacement at the sole discretion of the Engineer.

Measurement The City will measure Concrete Bases Type 5 by each unit acceptably completed.

Payment The City will pay for measured quantities at the contract unit price under the following bid items:

ITEM CODE	DESCRIPTION	UNIT
E3-22	Concrete Bases Type 5	EA

Concrete Bases Type 5, as measured above, is full compensation for furnishing and installing all materials, including conduit, bushings, caps and/or plugs, ground rod, anchor bolts, cadwelding, copper grounding wire; bar steel reinforcement, and concrete masonry; for providing openings through existing pavement where required; for excavation, including hand-digging as required, backfill, and disposal of surplus materials; and for all labor, tools, equipment, and incidentals necessary to complete this item of work.

NET SCOPE CHANGE VALUE: \$7,320.00

The net change of this change order is \$39,658.11.

The following additional time is to be added to the contract:

No additional time is to be added as part of the scope changes within this Contract Modification.

The following attachments shall be incorporated into the contract documents:

Add Wauwatosa Ave. & Wright St. ramp sheets.

All work under this Contract Modification shall be performed in accordance with contract specifications unless otherwise noted or modified in this or previous Contract Modification(s).

ORIGINAL CONTRACT AMOUNT:	\$	706,548.66
TOTAL INCREASE OR DECREASE OF PREVIOUS CONTRACT MODIFICATION(S):	\$	80,107.50
INCREASE OR DECREASE FROM THIS CONTRACT MODIFICATION:	\$	<u>39,658.11</u>
REVISED CONTRACT AMOUNT:	\$	<u>826,314.27</u>

APPROVED BY:

Signed by:



vice president

9/18/2025


ADE09A5AB0AA419...

CONTRACTOR SIGNATURE

TITLE

DATE

DocuSigned by:



Senior Civil Engineer

9/19/2025

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CITY OF WAUWATOSA

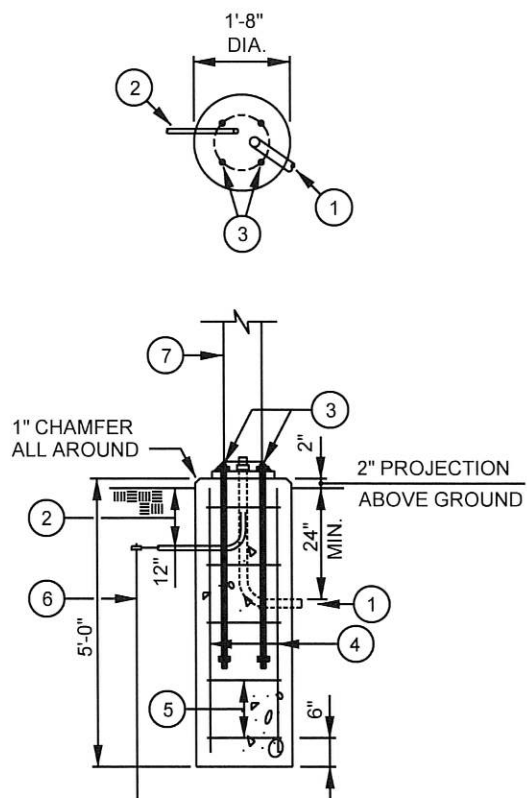
TITLE

DATE

BOARD OF PUBLIC WORKS AND COMMON COUNCIL APPROVAL REQUIRED: YES


RESOLUTION NUMBER: N/A

Common Council approval is also required if this contract modification or the cumulative total of this contract modification and previous contract modification(s) exceeds 15% of the original contract amount. This Contract Modification does not become incorporated into the contract until required approvals are obtained from the City of Wauwatosa.

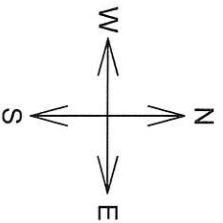


- ① CONDUIT(S) AS NOTED ON THE PLANS.
- ② (1) 1" DIA. CONDUIT FOR GROUNDING PURPOSES, EXIT 12" BELOW GRADE.
- ③ (4) 1" DIA. x 3'-6" LONG ANCHOR RODS, 12-3/4" BOLT CIRCLE (CONTRACTOR SHALL VERIFY WITH POLE OR PEDESTAL MANUFACTURER).
- ④ (6) NO. 4 x 4'-8" LONG VERTICAL BAR STEEL REINF. COATED WITH POWDER EPOXY RESIN.
- ⑤ (5) NO. 4 x 5'-1" HOOP TIES WITH 1'-5" MINIMUM OVERLAP ON ENDS OF EACH HOOP, AT 1'-0" C-C, COATED WITH POWDER EPOXY RESIN.
- ⑥ (1) 5/8" DIA. x 8' LONG COPPERCLAD GROUND ROD WITH APPROVED CLAMP AND AWG NO. 8 BARE COPPER GROUNDING CONDUCTOR, PROVIDE 3' TAIL FOR FUTURE CONNECTION TO POLE.
- ⑦ RRFB (BY OTHERS).

CONCRETE BASE FOR RAPID FLASHING BEACON

CONTRACT:	25-19	 <p>CITY OF WAUWATOSA</p> <p>ENGINEERING SERVICES DIVISION</p>	DATE	DESCRIPTION
FILE NO:	XX-XXX		5/4/2021	ADDENDUM 1
DRAWN BY:	RPC			ADDED SHEET NUMBER
CHECKED BY:	JMS			DELETED MILLING TRANS. TO C&G DETAIL
SCALE:	NOT TO SCALE			ADDED HAND RAILING DETAIL

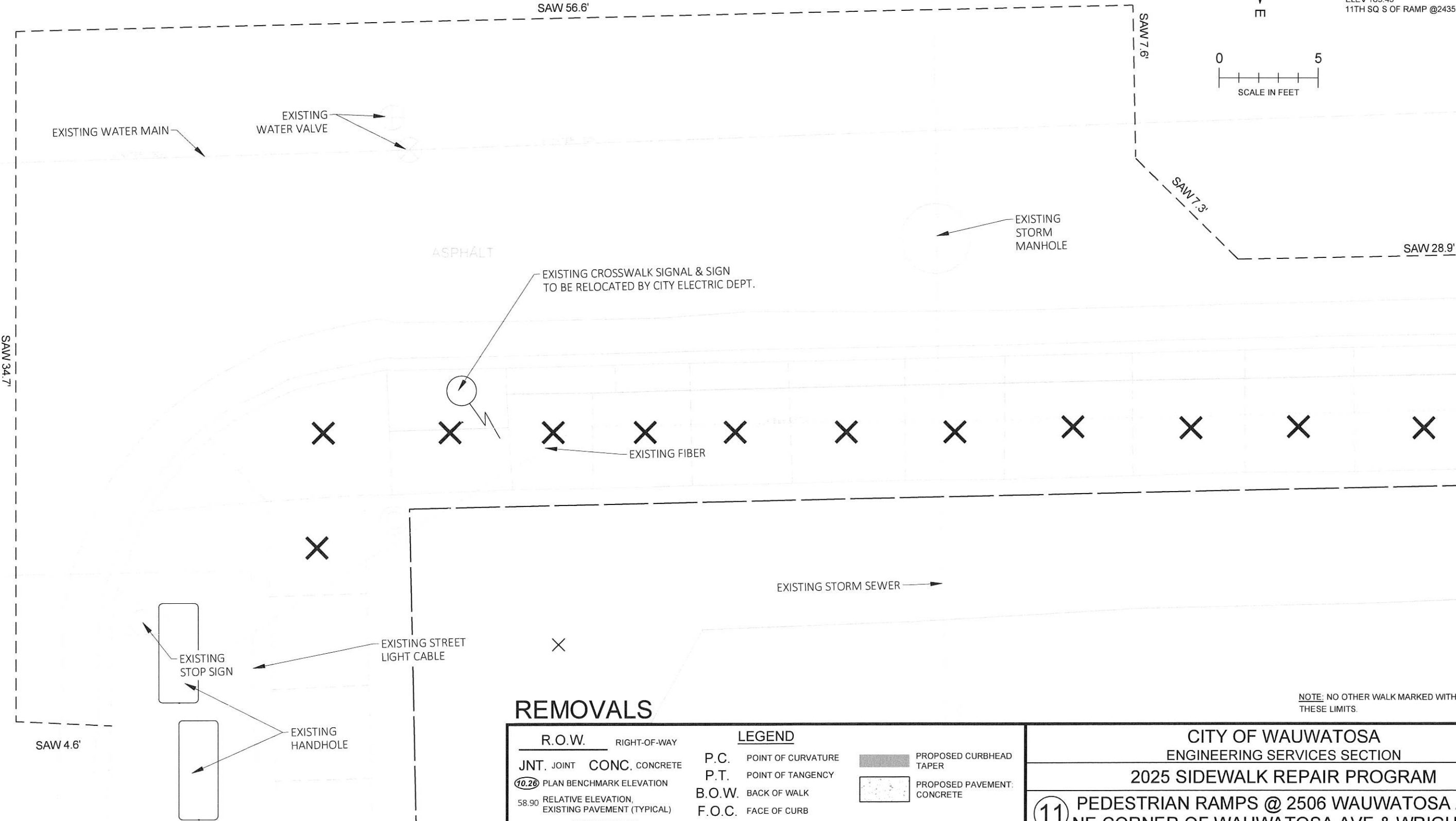
WAUWATOSA AVE.



POINT 102
ELEV 169.45
11TH SQ S OF RAMP @2435



WRIGHT ST.



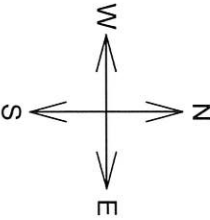
REMOVALS

R.O.W. RIGHT-OF-WAY		LEGEND	
JNT. JOINT	CONC. CONCRETE	P.C. POINT OF CURVATURE	PROPOSED CURBHEAD TAPER
(10.26) PLAN BENCHMARK ELEVATION		P.T. POINT OF TANGENCY	PROPOSED PAVEMENT: CONCRETE
58.90 RELATIVE ELEVATION, EXISTING PAVEMENT (TYPICAL)		B.O.W. BACK OF WALK	
SAW SAW PAVEMENT, FULL DEPTH		F.O.C. FACE OF CURB	
X PAVEMENT REMOVAL SYMBOL		+ RELATIVE ELEVATION, PROPOSED PAVEMENT (TYPICAL)	DETECTABLE WARNING FIELD, (2.5' X 2') CAST IRON, NATURAL FINISH
--- EXISTING STREET LIGHT		--- ALIGNMENT LINES FOR PROPOSED RAMP & ASSOCIATED LANDING	

NOTE: NO OTHER WALK MARKED WITHIN 2 STONE OF THESE LIMITS.

CITY OF WAUWATOSA ENGINEERING SERVICES SECTION	
2025 SIDEWALK REPAIR PROGRAM	
(11) PEDESTRIAN RAMPS @ 2506 WAUWATOSA AVE NE CORNER OF WAUWATOSA AVE & WRIGHT ST	
REFERENCES:	WAUWATOSA CONTRACT NO.: 25-19
SCALE: AS SHOWN	DRAWN BY: RC CHECKED BY: JS
SHEET 1 OF 4	FILE NAME: 76TH & WRIGHT_PROP.dwg

WAUWATOSA AVE.



POINT 102
ELEV 169.45
11TH SQ S OF RAMP @2435



SAW 56.6'

SAW 7.6'

SAW 7.3'

SAW 28.9'

SAW 4.6'

ASPHALT

EXISTING CROSSWALK SIGNAL & SIGN
TO BE RELOCATED BY CITY ELECTRIC DEPT.

EXISTING
STORM
MANHOLE

EXISTING STORM
INLET

EXISTING FIBER

EXISTING STORM SEWER

EXISTING STREET
LIGHT CABLE

NOTE: NO OTHER WALK MARKED WITHIN 2 STONE OF
THESE LIMITS.

REMOVALS

R.O.W.	RIGHT-OF-WAY	LEGEND
JNT.	JOINT	P.C. POINT OF CURVATURE
CONC.	CONCRETE	P.T. POINT OF TANGENCY
(10.26)	PLAN BENCHMARK ELEVATION	B.O.W. BACK OF WALK
58.90	RELATIVE ELEVATION, EXISTING PAVEMENT (TYPICAL)	F.O.C. FACE OF CURB
SAW	SAW PAVEMENT, FULL DEPTH	+ RELATIVE ELEVATION, PROPOSED PAVEMENT (TYPICAL)
X	PAVEMENT REMOVAL SYMBOL	9.96
---	EXISTING STREET LIGHT	ALIGNMENT LINES FOR PROPOSED RAMP & ASSOCIATED LANDING
		PROPOSED CURBHEAD TAPER
		PROPOSED PAVEMENT: CONCRETE
		DETECTABLE WARNING FIELD, (2.5' X 2') CAST IRON, NATURAL FINISH

CITY OF WAUWATOSA
ENGINEERING SERVICES SECTION

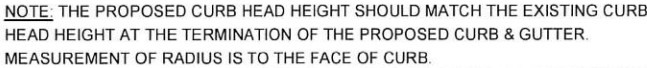
2025 SIDEWALK REPAIR PROGRAM

11 PEDESTRIAN RAMPS @ 2506 WAUWATOSA AVE
NE CORNER OF WAUWATOSA AVE & WRIGHT ST

REFERENCES: WAUWATOSA CONTRACT NO.: 25-19

SCALE: AS SHOWN DRAWN BY: RC
CHECKED BY: JS

SHEET 2 OF 4 FILE NAME: 76TH & WRIGHT_PROP.dwg





NOTE: THE PROPOSED CURB HEAD HEIGHT SHOULD MATCH THE EXISTING CURB HEAD HEIGHT AT THE TERMINATION OF THE PROPOSED CURB & GUTTER. MEASUREMENT OF RADIUS IS TO THE FACE OF CURB.

FILE NAME: 76TH & WRIGHT_PROP.dwg