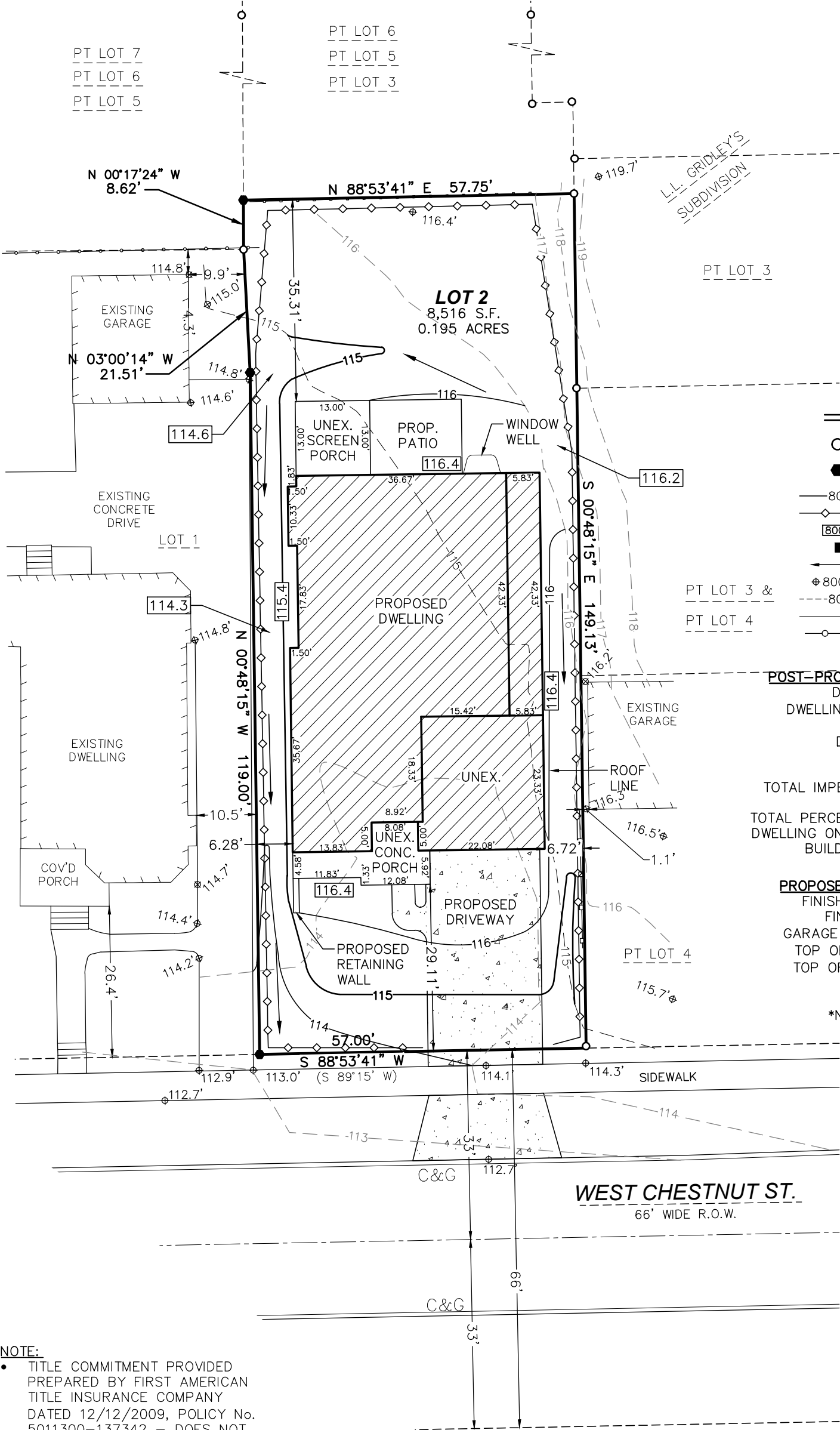


PLAT OF SURVEY

LOT 2 OF CSM NO. _____ L.L. GRIDLEY'S SUBDIVISION, BEING A PART OF THE SOUTHWEST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 21, TOWNSHIP 7 NORTH, RANGE 21 EAST, IN THE CITY OF WAUWATOSA, MILWAUKEE COUNTY, WISCONSIN.



BEARINGS BASED ON GRID NORTH OF THE WISCONSIN COUNTY COORDINATE SYSTEM, MILWAUKEE COUNTY ZONE (NAD 83 WISCORS 2011) AND REFERENCED TO THE SOUTH LINE OF THE SE 1/4 OF SEC. 21-7-21 MEASURED AS N88°53'41"E. VERTICAL DATUM IS CITY OF WAUWATOSA

LEGEND

- FOUND 1" IRON PIPE OR NOTED SET 0.75" O.D. X 18" REBAR WEIGHING 1.502 LBS/FT.
- 800— PROPOSED CONTOUR
- ◇ PROPOSED SILT FENCE
- 800.0 PROPOSED ELEVATION
- 10' OFFSET OR NOTED PROPOSED FLOW DIRECTION
- ⊕800.0 EXISTING SPOT GRADE
- - -800- - - EXISTING CONTOUR
- WOOD FENCE
- CHAINLINK FENCE

POST-PROJECT IMPERVIOUS AREA (SQ.FT.)

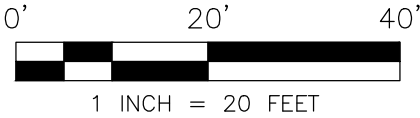
DWELLING ONLY = 2,988
DWELLING (CALC'D TO ROOF) = 3,251
FRONT PORCH = 149
DRIVEWAY/WALK = 743
REAR PATIO = 208

TOTAL IMPERVIOUS SURFACE AREA = 4,088
LOT SIZE = 8,516
TOTAL PERCENT IMPERVIOUS SURFACE = 48.0%
DWELLING ONLY IMPERVIOUS SURFACE = 38.2%
BUILDING LOT COVERAGE = 38%

PROPOSED GRADES PER GRADING PLAN

FINISH YARD GRADE WEST: 115.4
FINISH GRADE EAST: 116.4
GARAGE FLOOR: 116.72 (ZERO ENTRY)
TOP OF WALL: 116.05(W)/117.05(E)
TOP OF FOOTING: 108.05 (8' WALL)
DRIVE SLOPE = 8.2%

NO FORM "A" PROVIDED



NOTE:
• TITLE COMMITMENT PROVIDED PREPARED BY FIRST AMERICAN TITLE INSURANCE COMPANY DATED 12/12/2009, POLICY No. 5011300-137342 - DOES NOT LIST ANY PLOTTABLE EASEMENTS:

SURVEYOR'S CERTIFICATION:

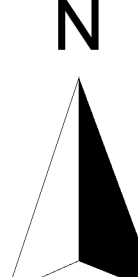
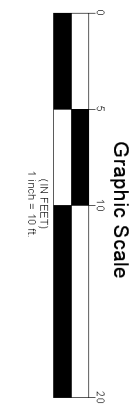
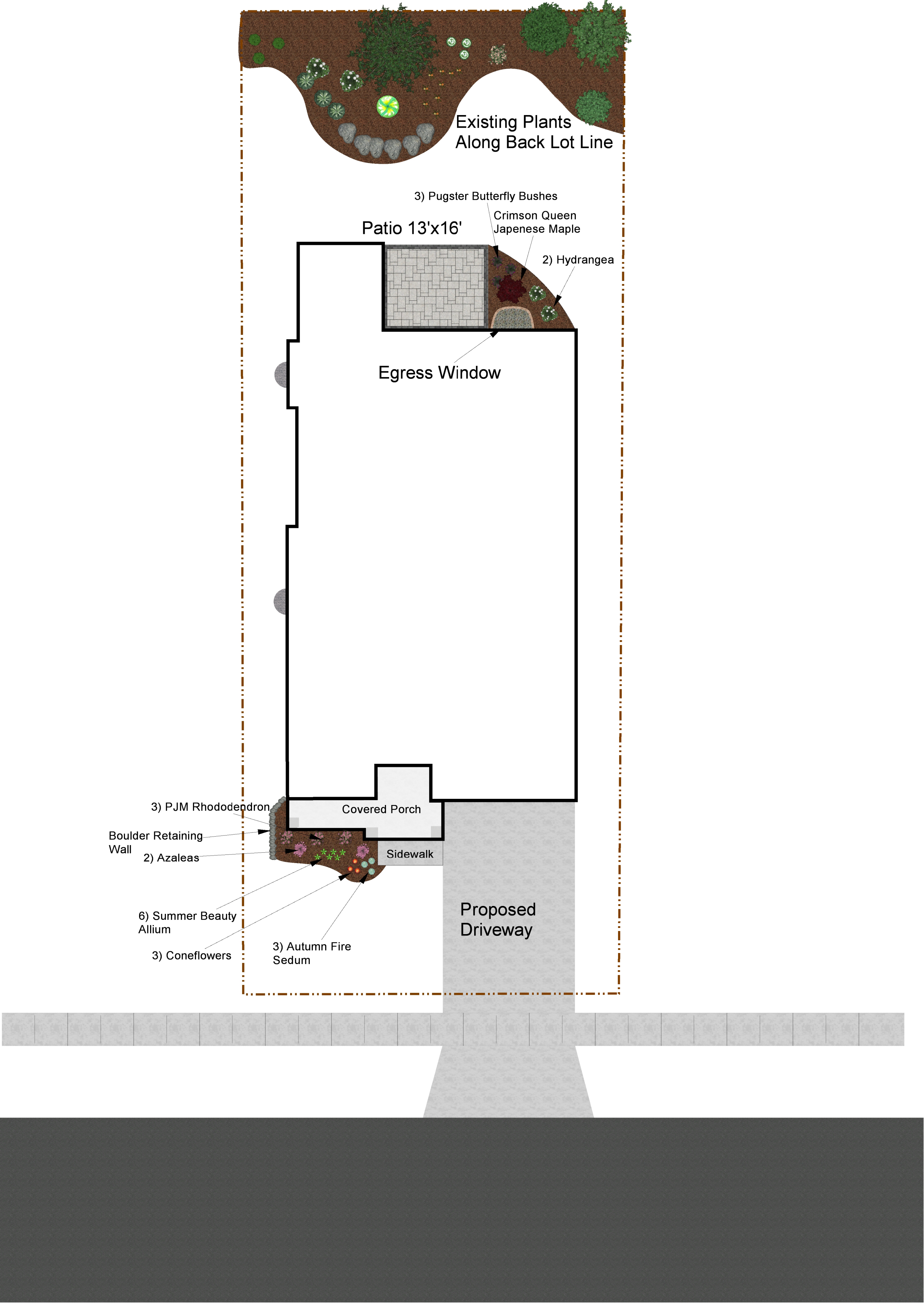
I HEREBY CERTIFY THAT I HAVE SURVEYED THE ABOVE DESCRIBED PROPERTY AND THE ABOVE MAP IS A TRUE REPRESENTATION THEREOF AND SHOWS THE SIZE AND LOCATION OF THE PROPERTY, ITS EXTERIOR BOUNDARIES, THE LOCATION OF ALL VISIBLE STRUCTURES AND DIMENSIONS OF ALL PRINCIPAL BUILDINGS THEREON, BOUNDARY FENCES, APPARENT EASEMENTS, ROADWAY AND VISIBLE ENCROACHMENTS, IF ANY. THIS SURVEY IS MADE FOR THE EXCLUSIVE USE OF THE PRESENT OWNERS OF THE PROPERTY, AND ALSO THOSE WHO PURCHASE, MORTGAGE, OR GUARANTEE, THE TITLE THERETO WITHIN ONE (1) YEAR FROM DATE HEREOF.

SIGNED: MATTHEW T. O'ROURKE, PROFESSIONAL LAND SURVEYOR S-2771

BUILDING DIMENSIONS SHOWN PER FOUNDATION PLAN DATED 07/23/2025



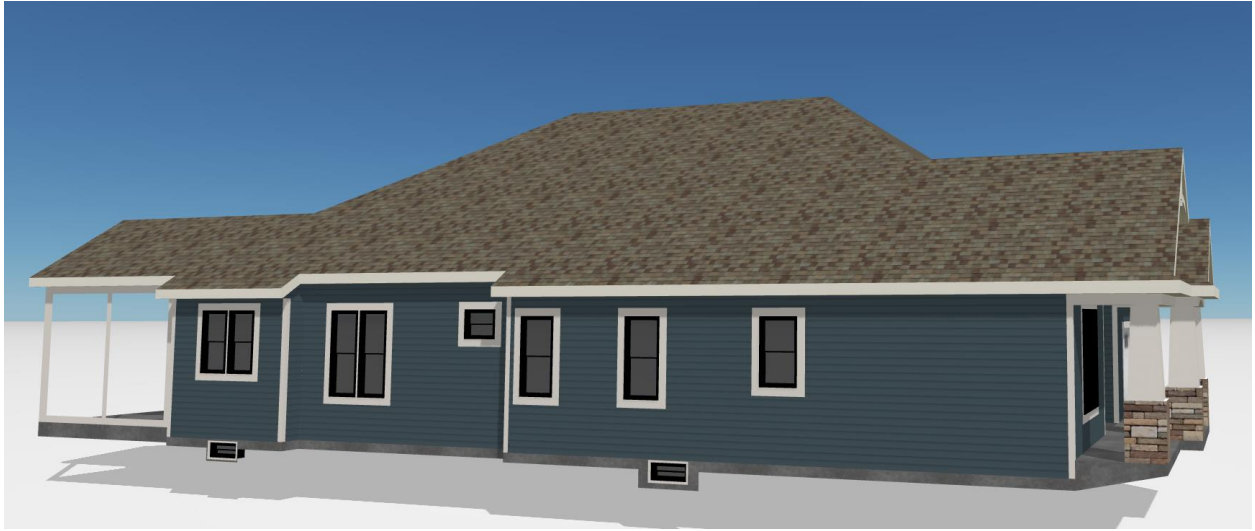
SHEET 1 OF 1	DATE 06/05/2025	CLIENT ASPEN HOMES	LOCATION LOT 2, L.L. GRIDLEY'S SUBDIVISION, WAUWATOSA, MILWAUKEE COUNTY, WISCONSIN	DRAWN BY JBK	CHECKED BY MTO	REV. ADJ. FOR ZERO ENTRY GAR. (06/09/2025) JBK	
	JOB NO. 24270	PROJECT WALSH				REV. ADJ. GRADES/CONTOURS (06/11/2025) JBK	
		LAYOUT PERMIT SURVEY				REV. ADDED PATIO (06/17/2025) JBK	
		DRAWING 24270_SURVEY.DWG				REV. UPDATED HOUSE/ADJ. GRADES (07/28/2025) VLM	

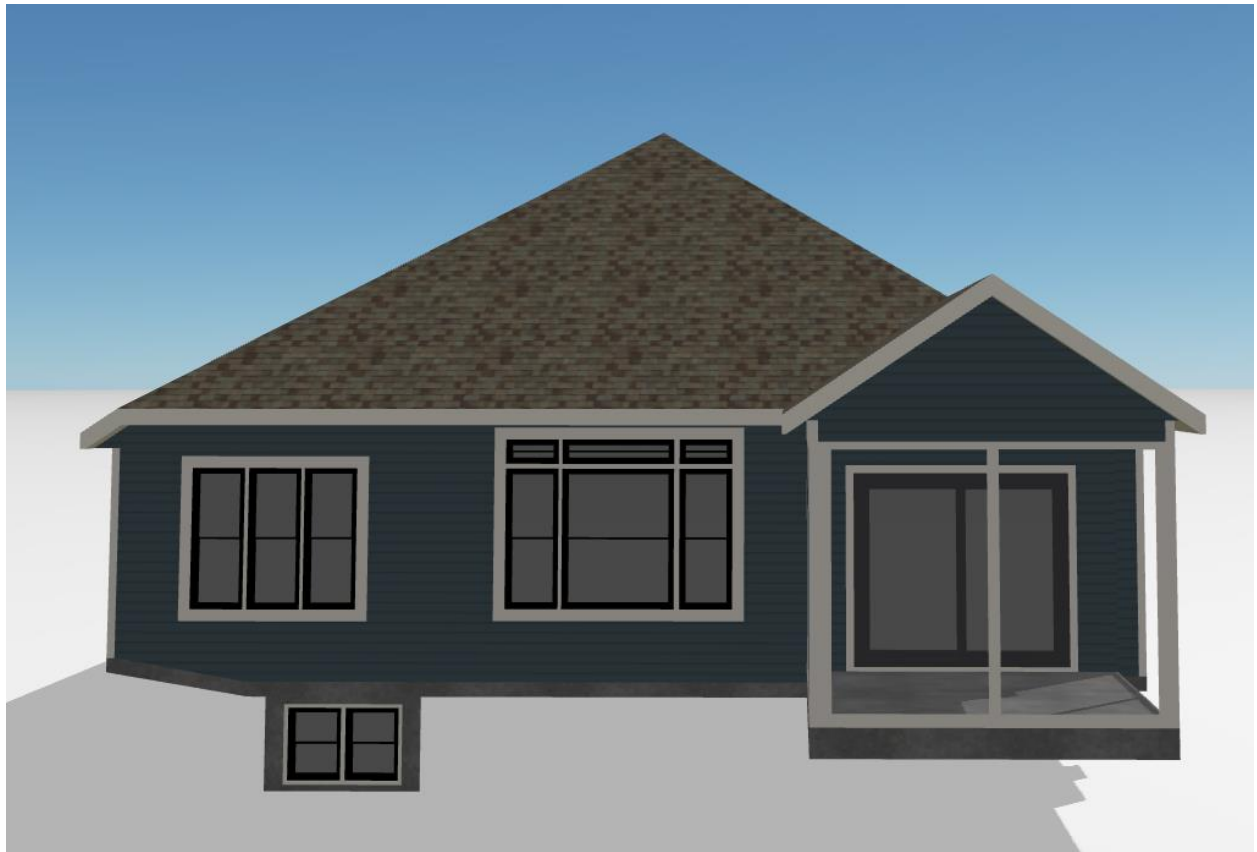


Landscape Notes		Walsh Initial Landscape Plan		DIG Landscape LLC		Revision		Sheet Title
Date	No.			262-288-4722 DIGwi.com		Date	Description	
				Landscape@DIGwi.com				

The front door and garage door will both be a wood tone color.





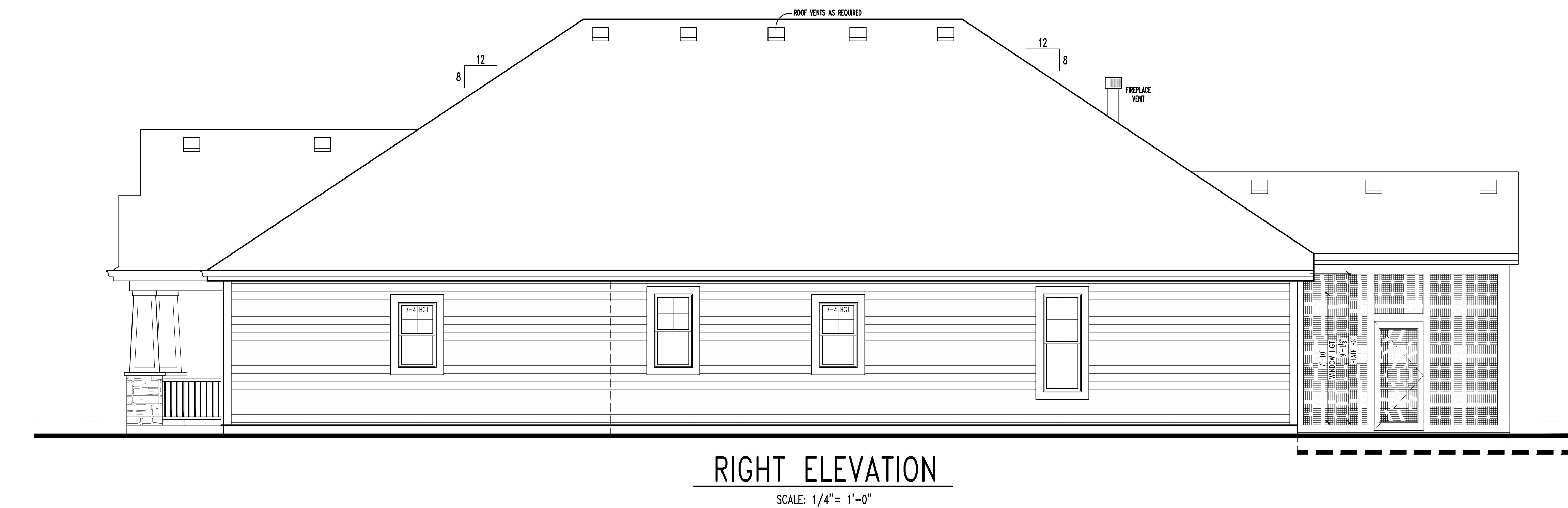
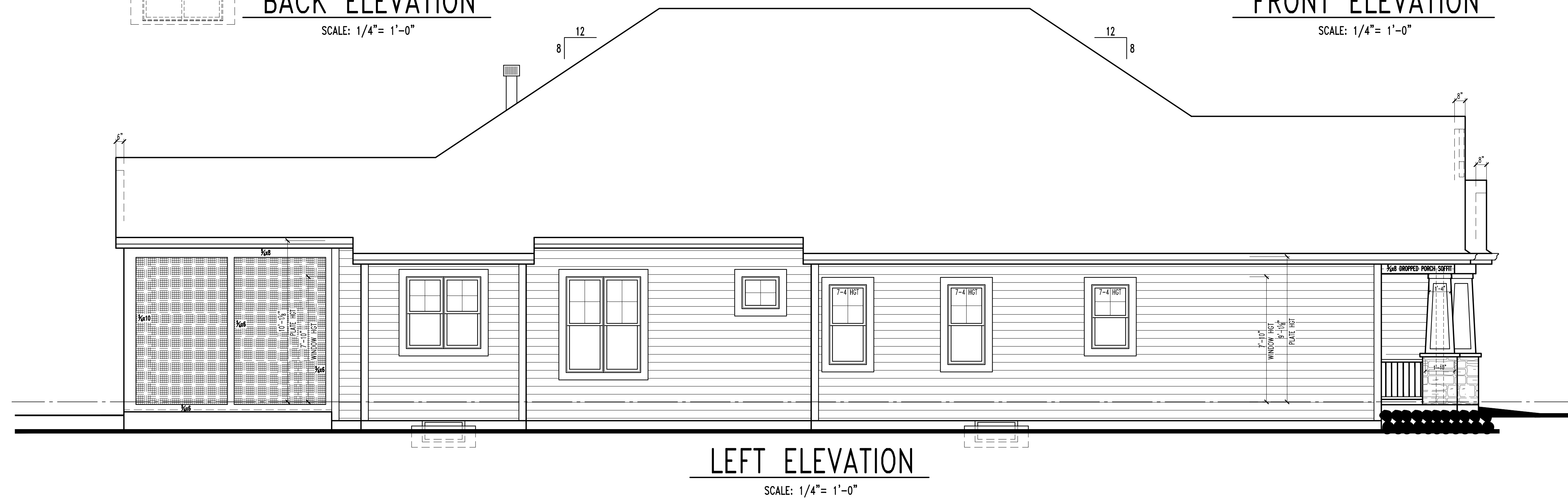
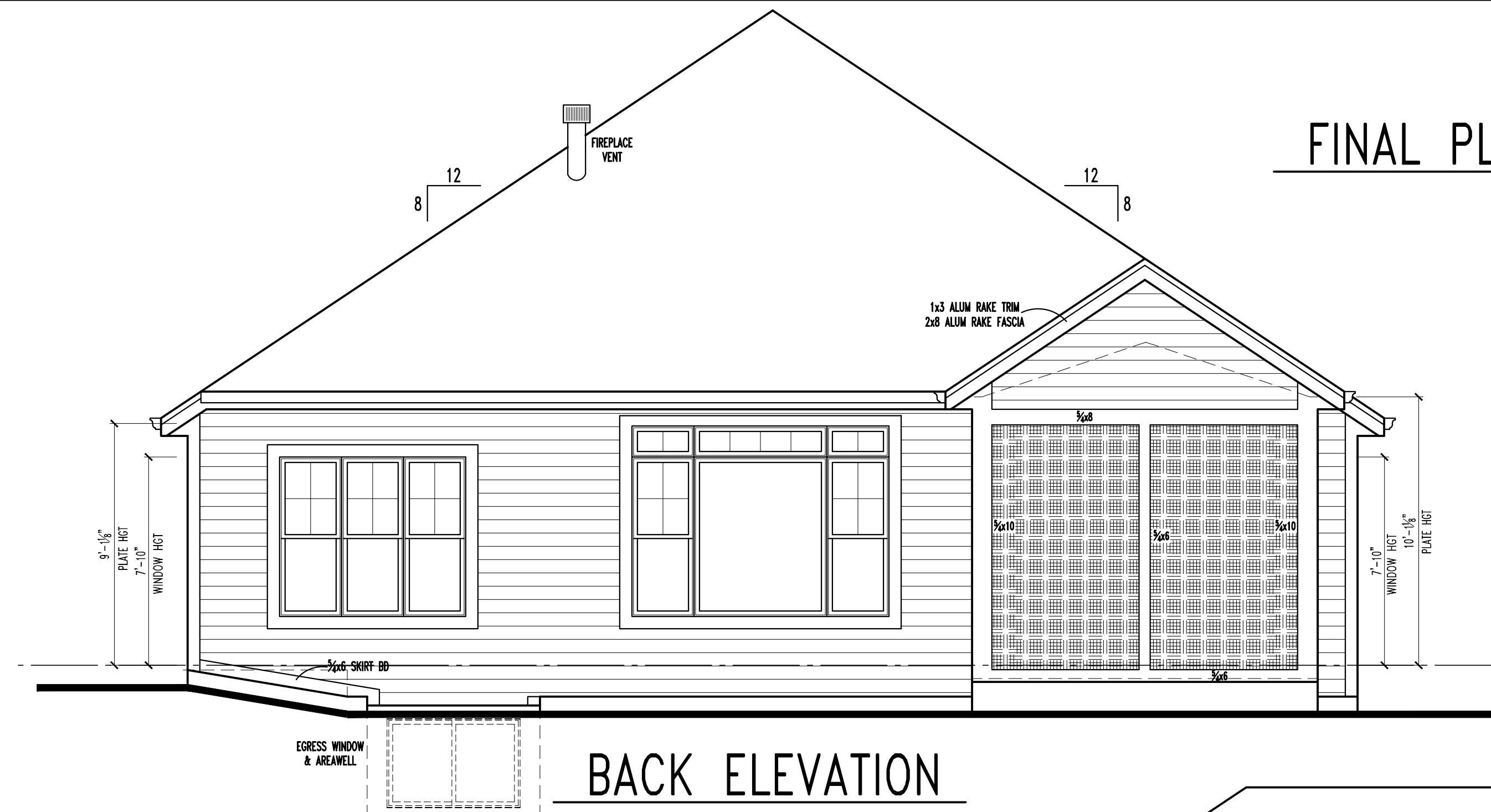






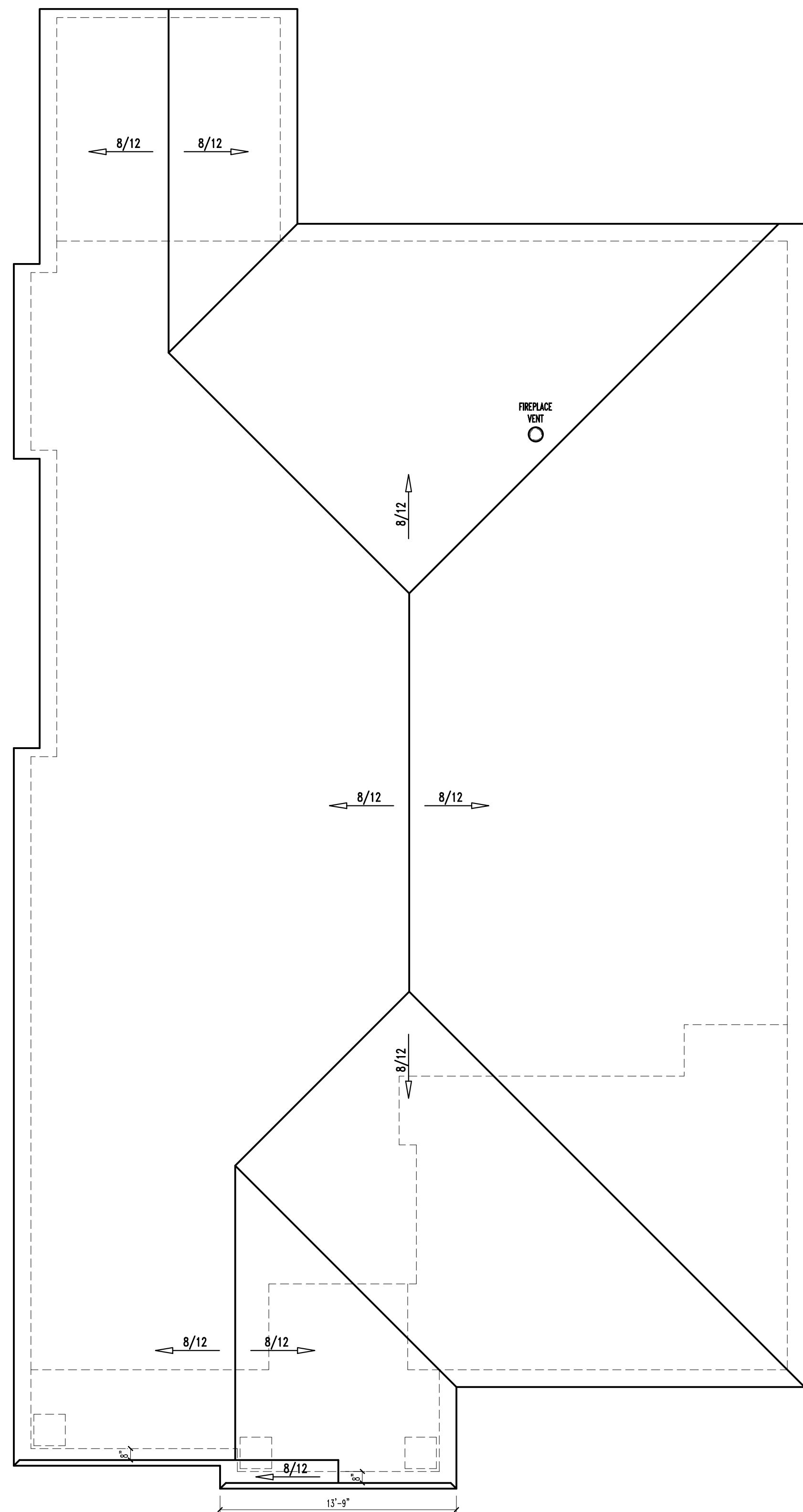


FINAL PLAN DOCUMENTS



MAIN LEVEL LIVING AREA: 2306 SQ.FT.
TOTAL LIVING AREA: 2306 SQ.FT.
OPT LOWER LEVEL: SQ.FT.
GARAGE AREA: 515 SQ.FT.

Revision Dates:		3-24-2025	7-18-2025
		4-24-2025	7-23-2025
		7-8-2025	
PROJECT:		Walsh	
MODEL:		Custom Ranch	
DRAWN BY:		jjm	
DATE:		1-14-2025	
TITLE:		ELEVATIONS FRONT & BACK	
Sheet No.		1 of 4	



ROOF PLAN
SCALE: 3/16" = 1'-0"

MAIN LEVEL PLAN

SCALE: 1/4" = 1'-0"
MAIN LEVEL LIVING AREA: 2306 SQ.FT.
TOTAL LIVING AREA: 2306 SQ.FT.
OPT LOWER LEVEL: SQ.FT.
GARAGE AREA: 515 SQ.FT.

NOTES:

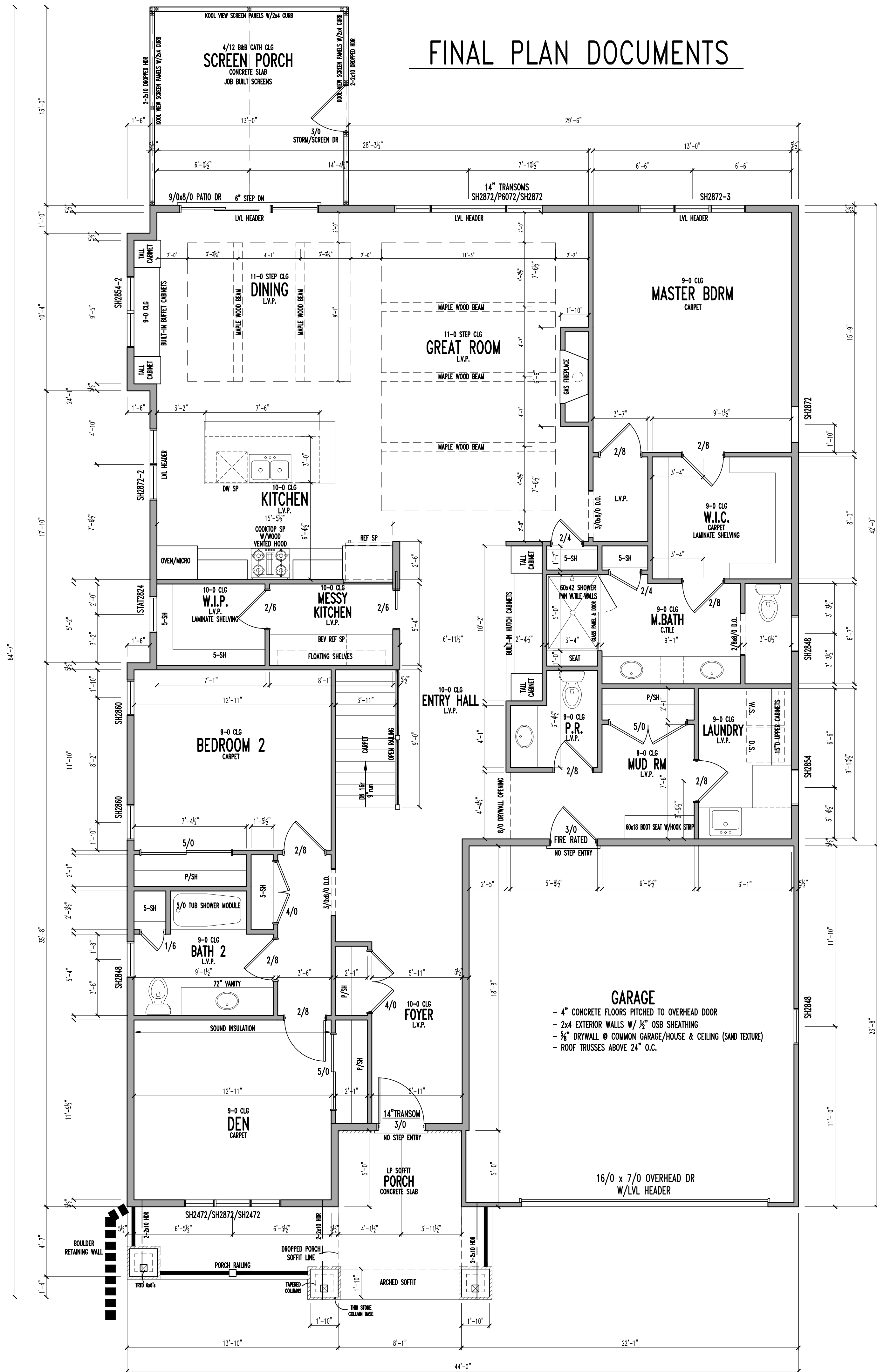
- ALL DIMENSIONS TO EXTERIOR WALLS TO BE STUD TO STUD 5/8".
- ALL DIMENSIONS TO INTERIOR WALLS TO BE STUD TO STUD 3/8".
- ALL ANGLED WALLS SHOWN ARE 45 DEGREES EXCEPT WHERE NOTED.
- ALL EXTERIOR HEADERS TO BE 2-2x10'S UNLESS NOTED OTHERWISE.
- LISTED SIZES OF MANUFACTURED HEADERS & BEAMS TO BE VERIFIED BY SUPPLIER.
- ALL FRAME WALLS GREATER THAN 10'-4 1/2" TALL TO BE STRUCTURALLY ANALYZED.
- ATTIC ACCESS LOCATIONS TO BE VERIFIED ON SITE.

STAIR NOTES:

STAIRS:
RUN SUB FLOOR NOSING 2 1/4" PAST FRAMING. FLOORING INSTALLER TO CUT OFF IF NEEDED
DEPENDING ON FINISH NOSING STYLE. (ALWAYS FIGURE FOR 3/4" PINE RISE @ FIRST STEP)

BASEMENT STAIRS:
IF DOOR @ TOP - TEMPORARY TREADS INSTALLED BY FRAMING CARPENTER. PINE TREADS &
RISERS INSTALLED BY FINISH CARPENTER (NO SIDE STRINGERS)
IF DOOR @ BOTTOM - PARTICLE BOARD TREADS & PINE RISERS INSTALLED BY FRAMING
CARPENTER. LEAVE 1 1/2" GAP FOR SIDE STRINGERS INSTALLED BY FINISH CARPENTER.

STAIRS TO SECOND FLOOR:
TEMPORARY TREADS INSTALLED BY FRAMING CARPENTER. PARTICLE BOARD TREADS & PINE
RISERS INSTALLED BY FRAMING CARPENTER ONCE SHINGLES ARE ON ROOF. LEAVE 1 1/2" GAP
FOR SIDE STRINGERS INSTALLED BY FINISH CARPENTER.



FINAL PLAN DOCUMENTS

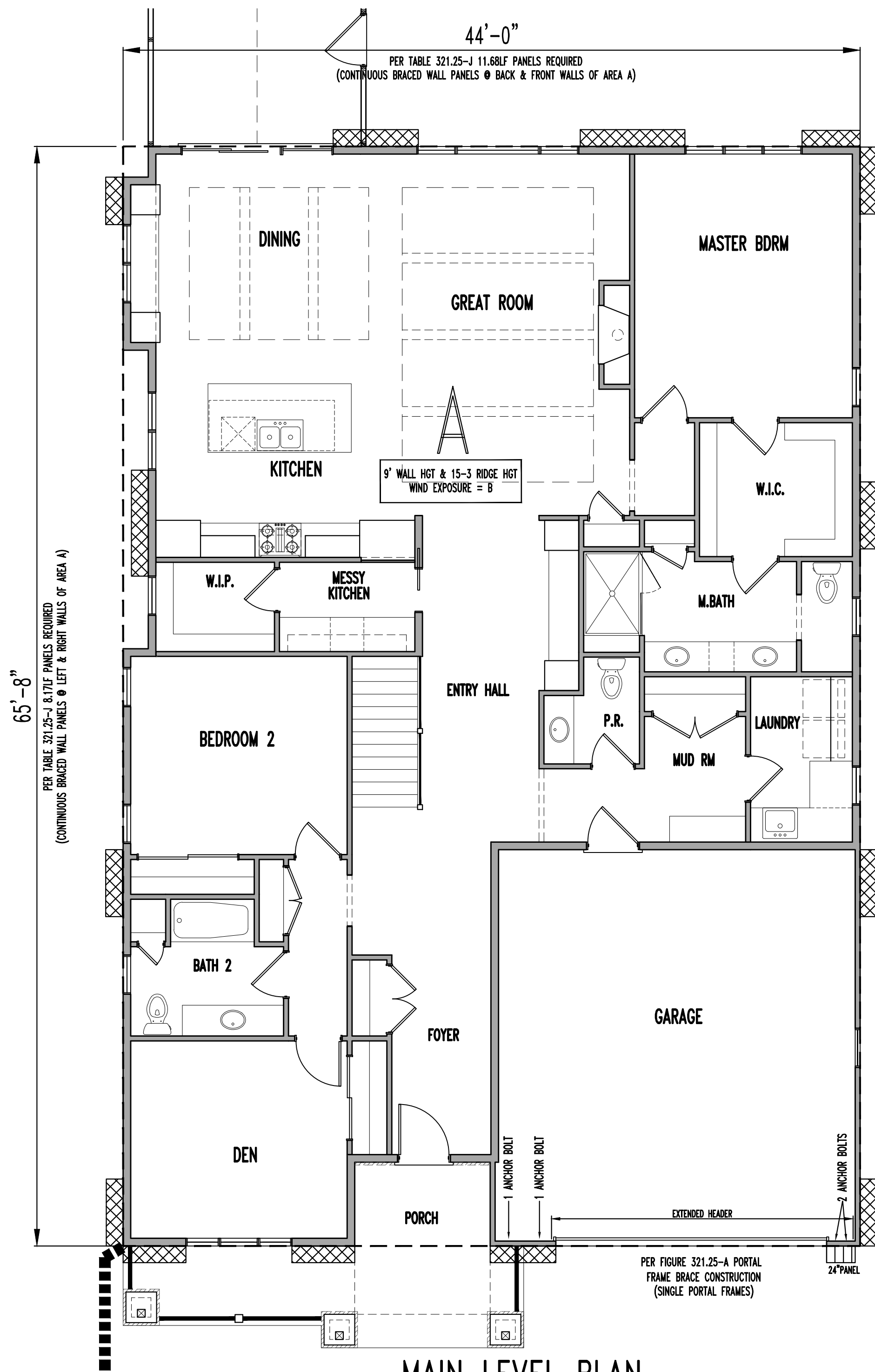
Revision Dates:
3-24-2025 7-23-2025
4-24-2025
7-8-2025
7-18-2025



MODEL: Custom Ranch
DRAWN BY: ijm
DATE: 1-14-2025

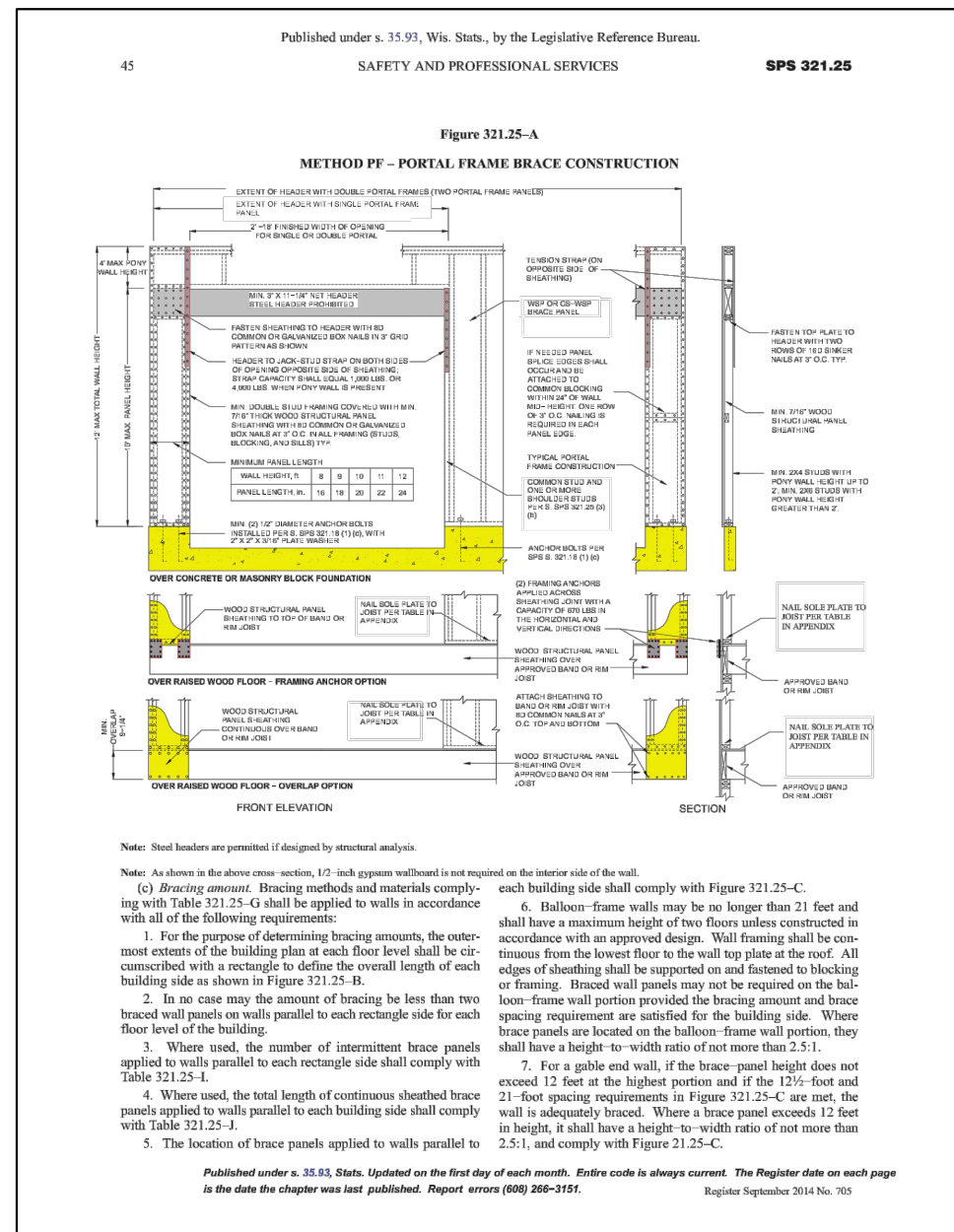
PROJECT: Walsh
TITLE: MAIN LEVEL

Sheet No.
3 of 4



MAIN LEVEL PLAN

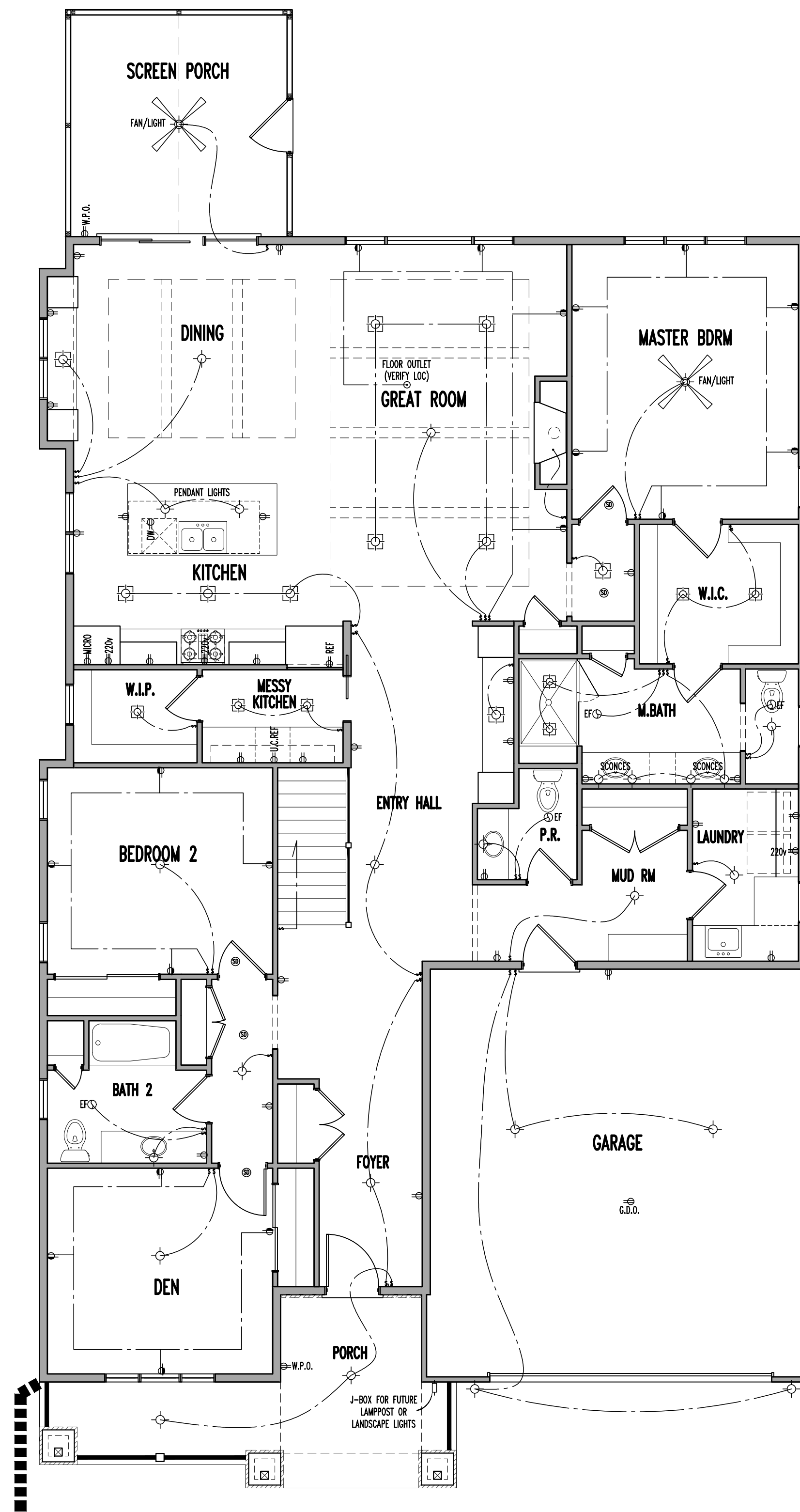
SCALE: 3/16" = 1'-0"
* WALL BRACING LAYOUT *



KEY FOR WALL BRACING PLAN (ALL BRACING TO COMPLY WITH CURRENT CODES)

- 48" WIDTH OF 3/16" OSB WOOD STRUCTURAL PANEL (WSP) W/6d COMMON NAIL OR 8d BOX NAIL (2 1/2" LONG x 0.113" DIA) OR 3/16" CROWN 16ga STAPLES (1 1/4" LONG). 6" O.C. EDGES, 12" O.C. FIELD (NAILS) 3" O.C. EDGES, 6" O.C. FIELD (STAPLES). OR 1x4 LET IN BRACING (LIB) @ 45 Degree & MAXIMUM 16" O.C. STUD SPACING W/2-8d COMMON NAILS OR 3-8d BOX NAILS (PER STUD & TOP & BOTTOM PLATES). OR METAL T-BRACING PER MANUFACTURING SPECS.
- 96" LINEAL RUN OF 1/2" GYPSUM BOARD (GB) ON BOTH SIDES OF WALL W/5d COOLER NAILS, OR #6 SCREWS, 7" EDGES 7" FIELD (INCLUDING TOP & BOTTOM PLATES)
- CONTINUOUSLY SHEATHED METHOD (CS-WSP). FASTENERS & SPACING SAME AS WSP ABOVE. PANEL LENGTH PER TABLE 321.25-H.
- PORTAL FRAMED METHOD (PF). MAXIMUM 12' WALL HGT. PANEL WIDTH, FASTENERS, & SPACING PER FIGURE 321.25

FINAL PLAN DOCUMENTS



MAIN LEVEL PLAN

SCALE: 3/16" = 1'-0"
* ELECTRICAL LAYOUT *
(ALL ELECTRICAL TO BE INSTALLED PER CODE)

- 1 CO2 DETECTOR
- 1 SETBACK THERMOSTATS (LOCATE ON SITE)

ALL CLOSETS & PANTRY THAT ARE WALK-IN TO HAVE LED DISC LIGHTS SUPPLIED & INSTALLED BY ELECTRICIAN.

EXTRA EXTERIOR OUTLET LOCATION T.B.D.

Walsh

PROJECT:

Sheet No.

4 of 4

ELECTRICAL & WALL BRACING LAYOUTS

MODEL: Custom Ranch
DRAWN BY: ijm
DATE: 1-14-2025

ASPEN HOMES

Revision Dates:
3-24-2025
4-24-2025
7-18-2025
7-23-2025