








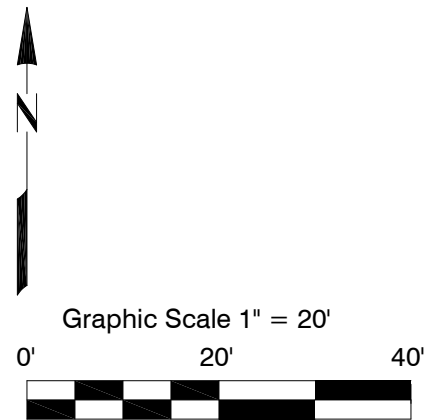


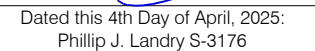
Property Description: Lot 2 Certified Survey Map Number 9424 All of Lots 15 and 16, in Block 4, in Blue Mound Vista No. 2, a Subdivision of a Part of the the Southeast 1/4 of the Southwest 1/4, of Section 30, Township 7 North, Range 21 East, in the City of Wauwatosa, Milwaukee County, WI.

<u>LEGEND</u>	
	10' Offset
	Monument Found as Noted
	3/4"x18" Iron Rod Set
	Existing Spot Grade
	Proposed Grade
	Proposed Contour
	Existing Contour
	Building Setback Line
	Proposed Silt Fence



- Stepped Retaining Walls
- | | | |
|---|--------|----------|
| A | Top | =771.0' |
| | Bottom | =769.0' |
| B | Top | =768.0' |
| | Bottom | =767.0' |
| C | Top | =765.5' |
| | Bottom | =764.5' |
| D | Top | =769.0' |
| | Step | =764.5' |
| E | Top | =769.0' |
| | Step | =764.5' |
| F | Top | =7764.0' |
| | Bottom | =759.0' |

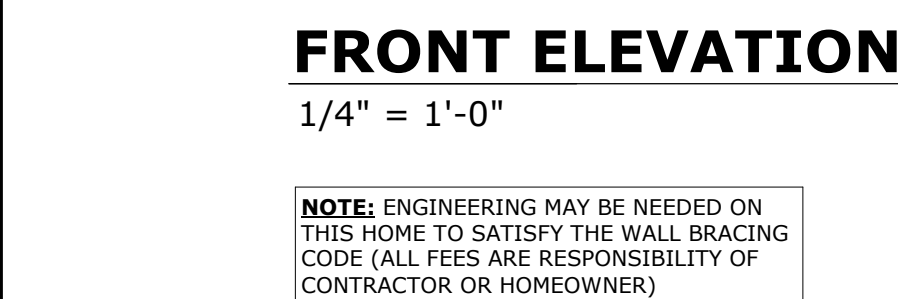
I hereby certify that we surveyed the property described above and that the map is a true representation thereof and shows the size and location of the property, it's exterior boundaries. Said survey meets the minimum standards for property surveys of the Wisconsin Administrative Code (A-E7) and the map hereon is correct to the best of my knowledge and belief. This Survey is solely for the use of the present owners of the property at the date below.



REVISIONS


BEARINGS ARE REFERENCED TO
C.S.M. 9424,
SOUTHWEST LINE
LOT 2,
BEARS N 00°00'00" E

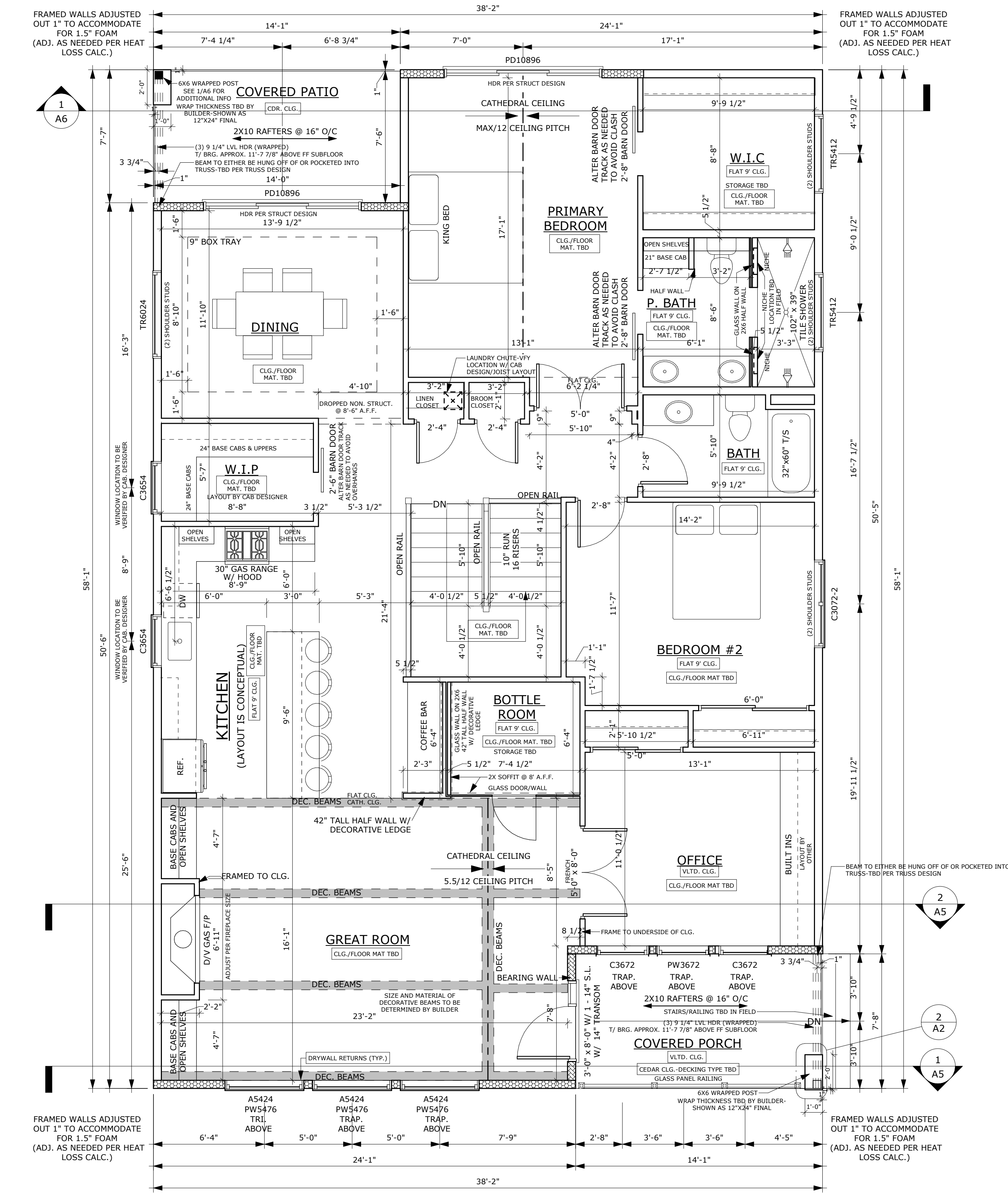
Sheet 01 of 01



GARAGE FLOOR AREA = 596 SF



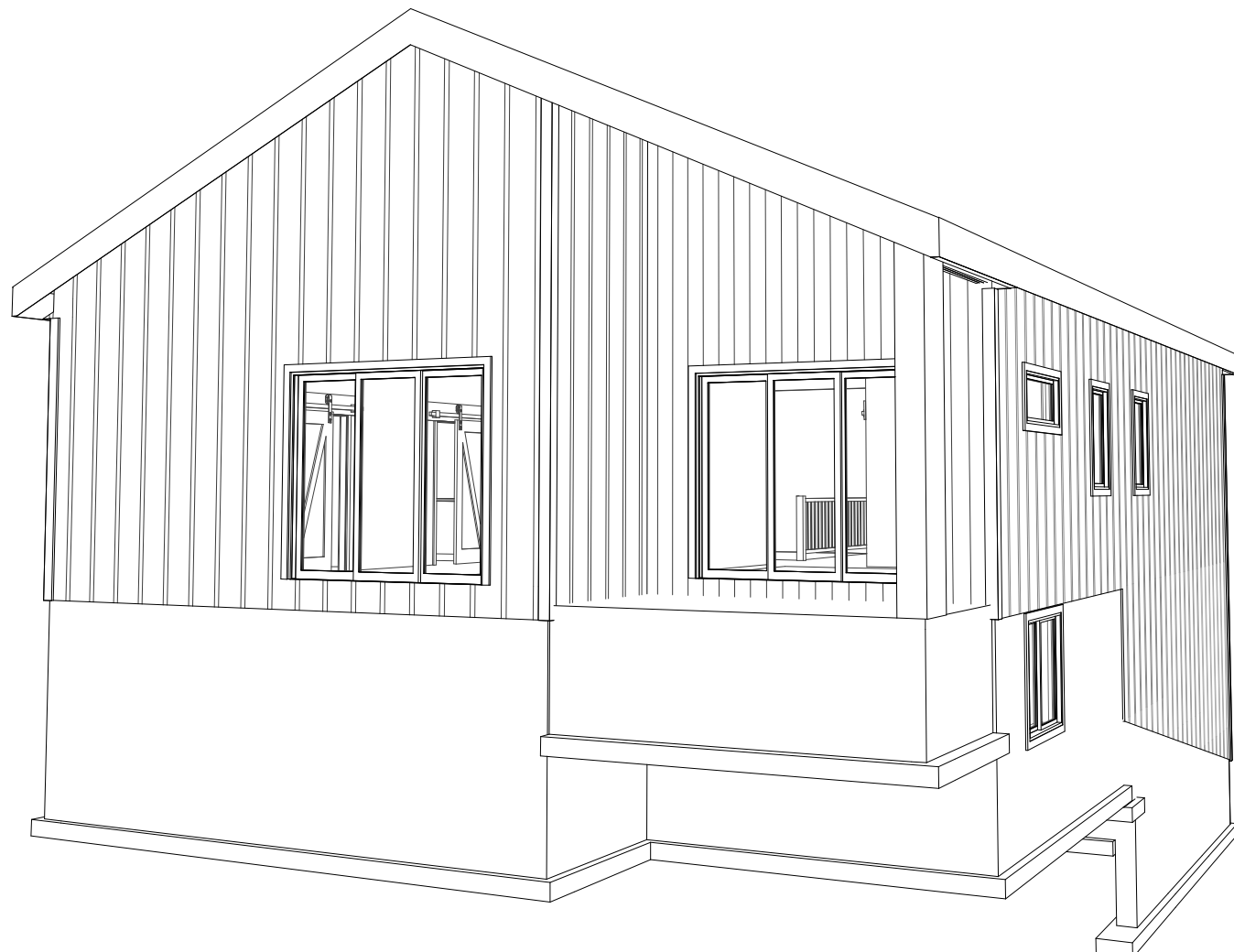
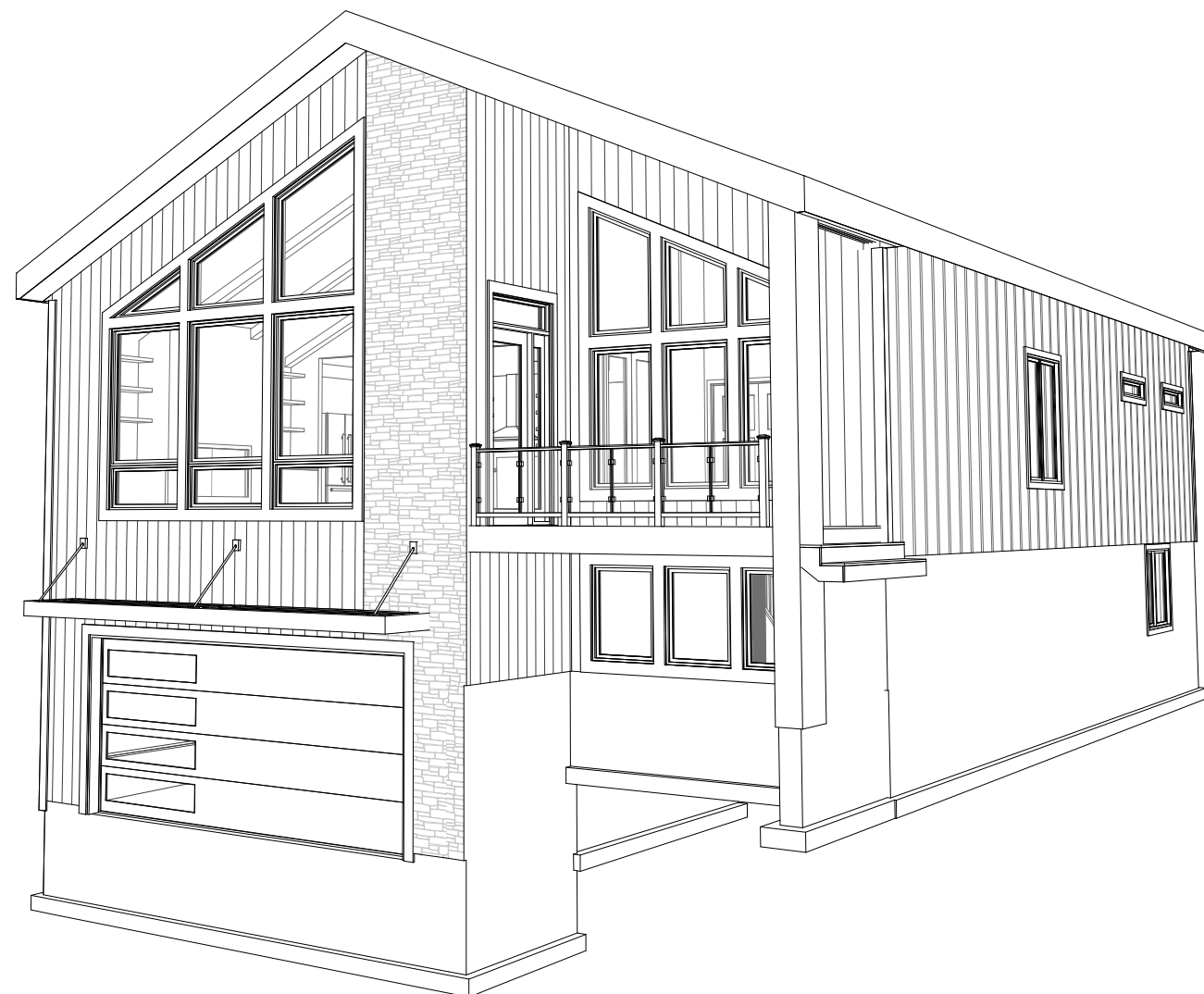
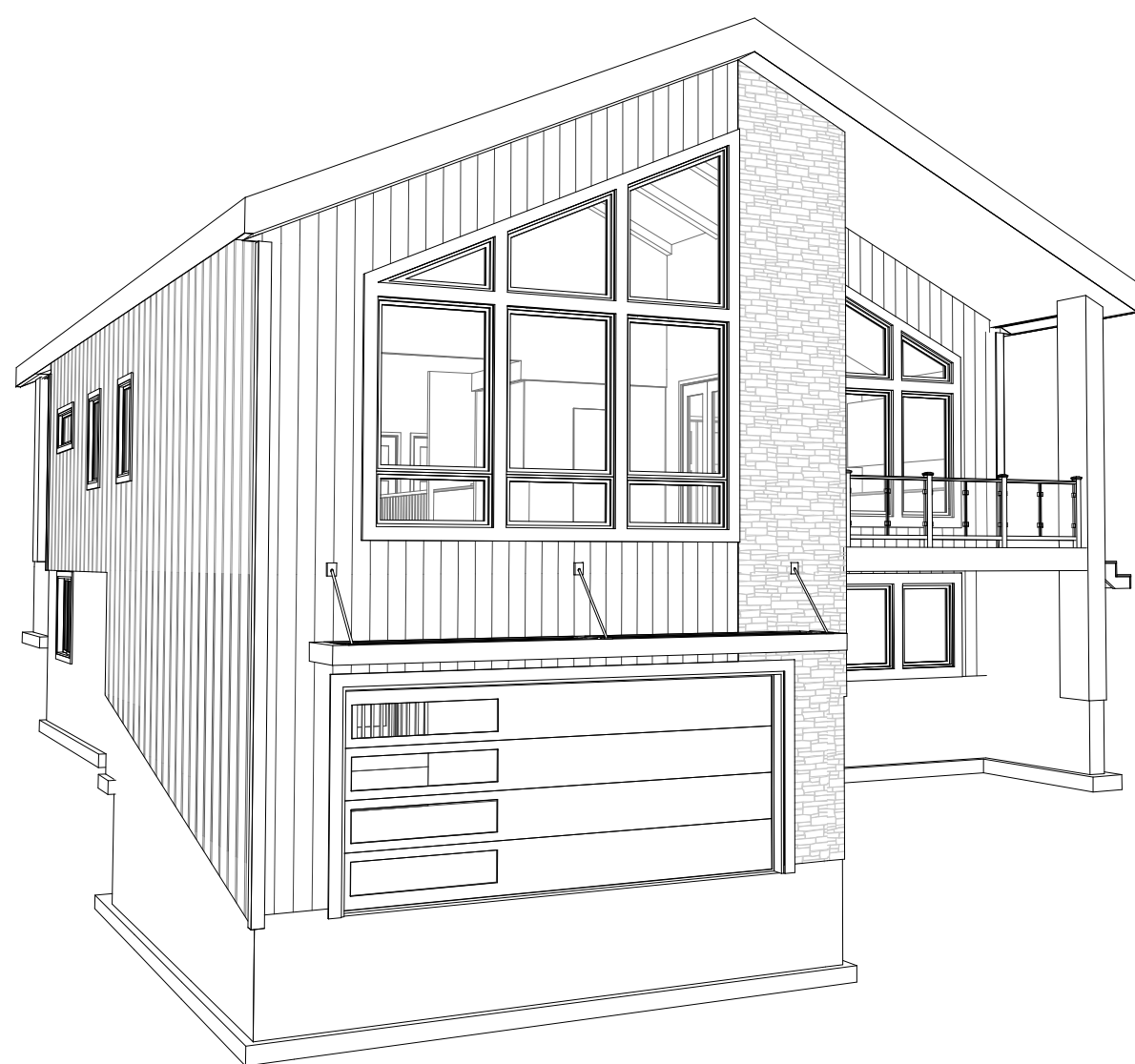
 DrexelTeam.com	DESIGNER	S.KOTTKE	<div>MARTHA DRIVE SPEC</div> <div>LOT#2</div>	<div>1732 W Martha Dr., Wauwatosa, WI 53226</div> <div>EBBEN CONSTRUCTION AND DESIGN</div>	<div>COPYRIGHT © 2024</div> <div>CONTRACTOR'S EXPLANATIONS TO THESE PLANS ARE TO BE PROVIDED TO THE ARCHITECT IN WRITING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACCURACY OF ALL SUPPLIES AND MATERIALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL ADJACENT PROPERTIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL ADJACENT PROPERTIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL ADJACENT PROPERTIES.</div>	PRELIMINARY PLAN	SJK	04/11/2024
	DESIGNER	S.KOTTKE				REVISION 1	SJK	05/20/2024
	DESIGNER	S.KOTTKE				REVISION 2	SJK	06/20/2024
	DESIGNER	S.KOTTKE				BID PLAN	SJK	7/12/2024
	DESIGNER	S.KOTTKE				BID REVISION 1	SJK	7/16/2024
	DESIGNER	S.KOTTKE				BID REVISION 2	SJK	8/5/2024
	DESIGNER	S.KOTTKE				BID REVISION 3	SJK	9/25/2025
	DESIGNER	S.KOTTKE				BID REVISION 4	SJK	04/23/2025
	DESIGNER	S.KOTTKE				BID REVISION 5	SJK	04/23/2025
	DESIGNER	S.KOTTKE				BID REVISION 6	SJK	04/23/2025



1 FIRST FLOOR PLAN

A2 1/4" = 1'-0"

NOTE: ENGINEERING MAY BE NEEDED ON THIS HOME TO SATISFY THE WALL BRACING CODE (ALL FEES ARE RESPONSIBILITY OF CONTRACTOR OR HOMEOWNER)



NEW HOME PLAN SPECIFICATIONS

FOUNDATION INFORMATION

- HOUSE FOUNDATION
 - 10" X 9'-0" POURED CONCRETE WALL
- GARAGE FOUNDATION
 - SEE PLAN POURED CONCRETE WALL
- PORCH/PATIO FOUNDATION (UNEXCAVATED)
 - 6" X 4'-0" POURED CONCRETE WALL (MIN. 4'-0" TALL)
- WALL THICKNESS FOR REPRESENTATION ONLY- MASON/CONTRACTOR TO VERIFY
- FINAL WALL/POST FOOTING SIZE AND DEPTH DETERMINED BY CONTRACTOR
- MASON TO LOCATE PILASTERS AND SIZE FOOTINGS PER CODE AND SOIL CONDITIONS
- WINDOWS/DOORS TO BE SET IN CONCRETE WALL- MAKE R.O. 3" BIGGER IN WIDTH AND HEIGHT
- BEARING WALLS TO SIT ON MIN. 16" X 8" CONT. CONCRETE FOOTINGS, STUDS @ 16" O.C.

WALL INFORMATION

- HOUSE EXTERIOR
 - STUDS @ 16" O.C. (UNLESS NOTED/SHOWN OTHERWISE)
- HOUSE INTERIOR
 - FIRST FLOOR WALL HEIGHT: 2 x 6 x 9' 1 1/8" (UNLESS NOTED/SHOWN OTHERWISE)
 - FIRST FLOOR WALL HEIGHT: 2 x 4 x 9' 1 1/8" (UNLESS NOTED/SHOWN OTHERWISE)
- GARAGE
 - WALL HEIGHT: SEE PLAN (UNLESS NOTED/SHOWN OTHERWISE)

FLOOR SYSTEMS

- BASEMENT
 - 4" CONCRETE SLAB
- FIRST FLOOR
 - VARIABLES-SEE PLAN
 - STANDARD LOADING (PER SQ. FT.)
 - 40' LL, 15' DL
 - ADDITIONAL LOADING (PER SQ. FT.) (WHEN APPLICABLE)
 - 10' DL FOR TILE FLOOR
 - 13' DL FOR GYPCRETE (1.5" THICK)
 - 20' DL FOR FIREPLACE FACE/HEARTH
 - 25' DL FOR GRANITE/QUARTZ
 - DEFLECTION: LL=L/480, TL=L/360
 - DURATION OF LOAD: 1.00%

ROOF SYSTEMS

- ENGINEERED WOOD TRUSSES @ 24" O.C. DESIGNED FOR: ZONE 2
- STD. LOADING (PER SQ. FT.)
 - 30# TCCL, 10# TCCL, 10# BCDL
- DEFLECTION: LL=L/240, TL=L/180
- DURATION OF LOAD: 1.15%

HEADERS

- STANDARD HEADER
- ALL HEADERS NOT LABELED AS LVL TO BE MIN. (2) 2x10'S
- HEADER FOR ON-SITE (UNLESS VALUE ENGINEERED FOR OFF-SITE CONSTRUCTION)
- TOP OF WINDOW R.O.S.

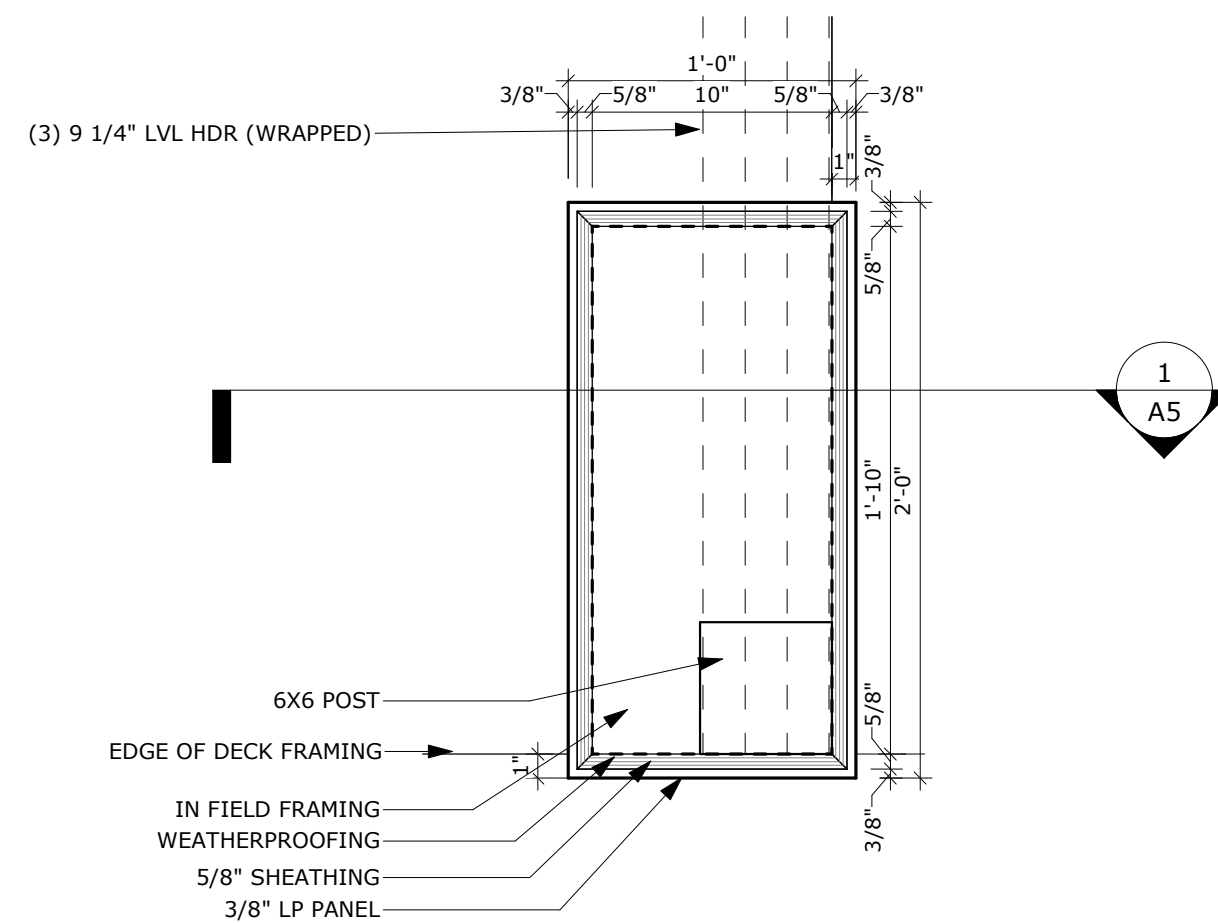
- FIRST FLOOR @ 7'-11 3/8" ABOVE SUBFLOOR (UNLESS NOTED/SHOWN OTHERWISE)
- MINIMUM OF (2) SHOULDER STUDS AT EACH END FOR ALL OPENINGS 6'-0" AND LARGER

GENERAL INFORMATION

- ALL DIMENSIONS ARE TO THE ROUGH STUD (UNLESS NOTED OTHERWISE)
- 2X6 WALLS=5 1/2", 2X4 WALLS = 3 1/2"
- ALL DIMENSIONS ARE TO OUTSIDE OF FOUNDATION WALLS/BRICK LEDGES
- GENERAL CONTRACTOR TO LOCATE THE FOLLOWING ITEMS IN THE FOUNDATION (WHEN APPLICABLE)
 - FLOOR DRAINS, ELECTRIC SERVICES, WATER HEATER, SUMP PIT + PUMP, FURNACE, GAS/LP LINE, BASEMENT, WINDOWS, ETC.
- ACTUAL STEPS IN FOUNDATION WALLS AND LOCATION OF WINDOW WALLS TO BE DETERMINED ON-SITE BY GENERAL CONTRACTOR
- DECK FRAMING SPECIFICATION TO MEET OR EXCEED REQUIREMENTS DEFINED WITHIN "APPENDIX B" OF THE WI UNIFORM DWELLING
- ALL CABINET LAYOUTS ARE CONCEPTUAL-CONSULT CABINET DESIGNER FOR EXACT SIZES AND LOCATIONS OF CABINETS, APPLIANCES, AND WINDOWS
- ALL DOOR HEIGHTS ARE 6'-8" UNLESS NOTED/SHOWN OTHERWISE

WALL HATCH LEGEND

- BALLOON FRAME TALL WALL
- 18'-5 7/8" +/- TALL WALL
- BEARING WALL/POST



2 POST DETAIL

A2 1 1/2" = 1'-0"

FIRST FLOOR AREA = 2007 SF
LOWER LEVEL AREA = 1218 SF
TOTAL AREA 3224 SF

GARAGE FLOOR AREA = 596 SF

BID PLAN - FOR BIDDING PURPOSES ONLY

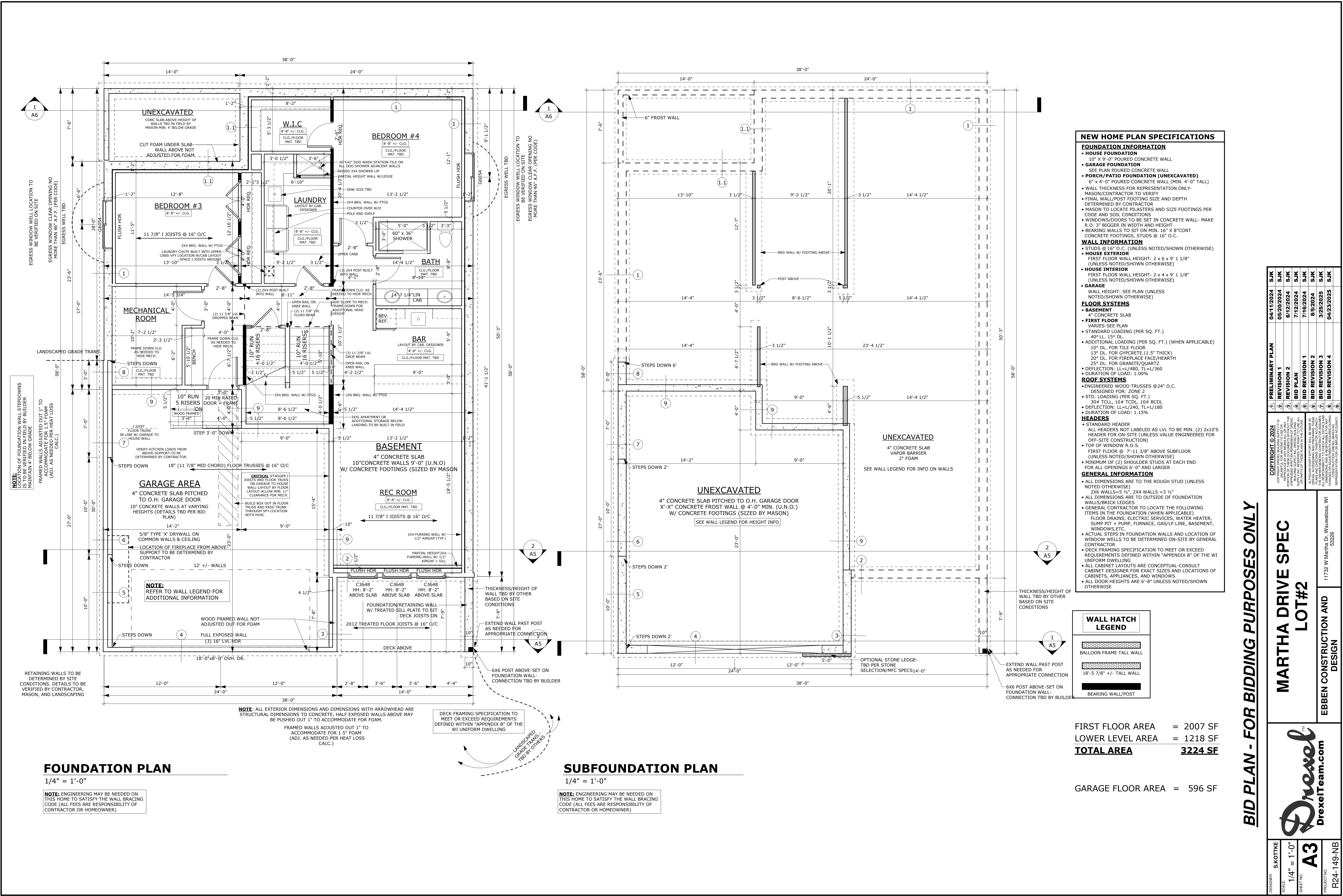
MARTHA DRIVE SPEC
LOT#2

Drexel
DrexelTeam.com

DESIGNER: SKOTTKE
SCALE: As indicated
SHEET NO: A2
PROJECT NO: R24-149-NB

EBBEN CONSTRUCTION AND DESIGN
11732 W Marina Dr, Wauwatosa, WI 53226

PRELIMINARY PLAN	REVISION 1	REVISION 2	BID PLAN	BID REVISION 1	BID REVISION 2	BID REVISION 3	BID REVISION 4
04/11/2024	05/20/2024	06/12/2024	07/12/2024	07/16/2024	08/15/2024	09/25/2025	04/23/2025
SJK	SJK	SJK	SJK	SJK	SJK	SJK	SJK



NEW HOME PLAN SPECIFICATIONS

FOUNDATION INFORMATION

- HOUSE FOUNDATION**
 - 10" x 9'-0" POURED CONCRETE WALL
- GARAGE FOUNDATION**
 - SEE PLAN POURED CONCRETE WALL
- PORCH/PATIO FOUNDATION (UNEXCAVATED)**
 - 6" x 4'-0" POURED CONCRETE WALL (MIN. 4'-0" TALL)
- WALL THICKNESS FOR REPRESENTATION ONLY- MASON/CONTRACTOR TO VERIFY
- FINAL WALL POST FOOTING SIZE AND DEPTH DETERMINED BY CONTRACTOR
- MASON TO LOCATE PILASTERS AND SIZE FOOTINGS PER CODE AND SOIL CONDITIONS
- WINDOWS/DOORS TO BE SET IN CONCRETE WALL- MAKE R.O. 3" BIGGER IN WIDTH AND HEIGHT
- BEARING WALLS TO SIT ON MIN. 16" X 8" CONT. CONCRETE FOOTINGS, STUDS @ 16" O.C.

WALL INFORMATION

- STUDS @ 16" O.C. (UNLESS NOTED/SHOWN OTHERWISE)
- HOUSE EXTERIOR**
 - FIRST FLOOR WALL HEIGHT: 2 x 6 x 9' 1 1/8" (UNLESS NOTED/SHOWN OTHERWISE)
- HOUSE INTERIOR**
 - FIRST FLOOR WALL HEIGHT: 2 x 4 x 9' 1 1/8" (UNLESS NOTED/SHOWN OTHERWISE)
- GARAGE**
 - WALL HEIGHT: SEE PLAN (UNLESS NOTED/SHOWN OTHERWISE)

FLOOR SYSTEMS

- BASEMENT**
 - 4" CONCRETE SLAB
- FIRST FLOOR**
 - VARIABLES-SEE PLAN
 - STANDARD LOADING (PER SQ. FT.)
 - 40' LL, 15' DL
 - ADDITIONAL LOADING (PER SQ. FT.) (WHEN APPLICABLE)
 - 10' DL FOR TILE FLOOR
 - 13' DL FOR GYPCRETE (1.5" THICK)
 - 20' DL FOR FIREPLACE FACE/HEARTH
 - 25' DL FOR GRANITE/QUARTZ
 - DEFLECTION: LL=L/240, TL=L/360
 - DURATION OF LOAD: 1.00%

ROOF SYSTEMS

- ENGINEERED WOOD TRUSSES @ 24" O.C. DESIGNED FOR: ZONE 2
- STD. LOADING (PER SQ. FT.)
 - 30# T.C.L.L., 10# T.C.D.L., 10# B.C.D.L.
- DEFLECTION: LL=L/240, TL=L/180
- DURATION OF LOAD: 1.15%

HEADERS

- STANDARD HEADER**
 - ALL HEADERS NOT LABELED AS LVL TO BE MIN. (2) 2x10'S HEADER FOR ON-SITE (UNLESS VALUE ENGINEERED FOR OFF-SITE CONSTRUCTION)
- TOP OF WINDOW R.O.S.**
 - FIRST FLOOR @ 7'-11 3/8" ABOVE SUBFLOOR (UNLESS NOTED/SHOWN OTHERWISE)
 - MINIMUM OF (2) SHOULDER STUDS AT EACH END FOR ALL OPENINGS 6'-0" AND LARGER

GENERAL INFORMATION

- ALL DIMENSIONS ARE TO THE ROUGH STUD (UNLESS NOTED OTHERWISE)
- 2X6 WALLS=3 1/2", 2X4 WALLS=3 1/2"
- ALL DIMENSIONS ARE TO OUTSIDE OF FOUNDATION WALLS/BRICK LEDGES
- GENERAL CONTRACTOR TO LOCATE THE FOLLOWING ITEMS IN THE FOUNDATION (WHEN APPLICABLE)
 - FLOOR DRAINS, ELECTRIC SERVICES, WATER HEATER, SUMP PIT + PUMP, FURNACE, GAS/LP LINE, BASEMENT, WINDOWS, ETC.
- ACTUAL STEPS IN FOUNDATION WALLS AND LOCATION OF WINDOW WALLS TO BE DETERMINED ON-SITE BY GENERAL CONTRACTOR
- DECK FRAMING SPECIFICATION TO MEET OR EXCEED REQUIREMENTS DEFINED WITHIN "APPENDIX B" OF THE WI UNIFORM DWELLING
- ALL CABINET LAYOUTS ARE CONCEPTUAL-CONSULT CABINET DESIGNER FOR EXACT SIZES AND LOCATIONS OF CABINETS, APPLIANCES, AND WINDOWS
- ALL DOOR HEIGHTS ARE 6'-8" UNLESS NOTED/SHOWN OTHERWISE

WALL HATCH LEGEND

- BALLOON FRAME TALL WALL
- 18'-5 7/8" +/- TALL WALL
- BEARING WALL/POST

FIRST FLOOR AREA = 2007 SF
LOWER LEVEL AREA = 1218 SF
TOTAL AREA 3224 SF

GARAGE FLOOR AREA = 596 SF

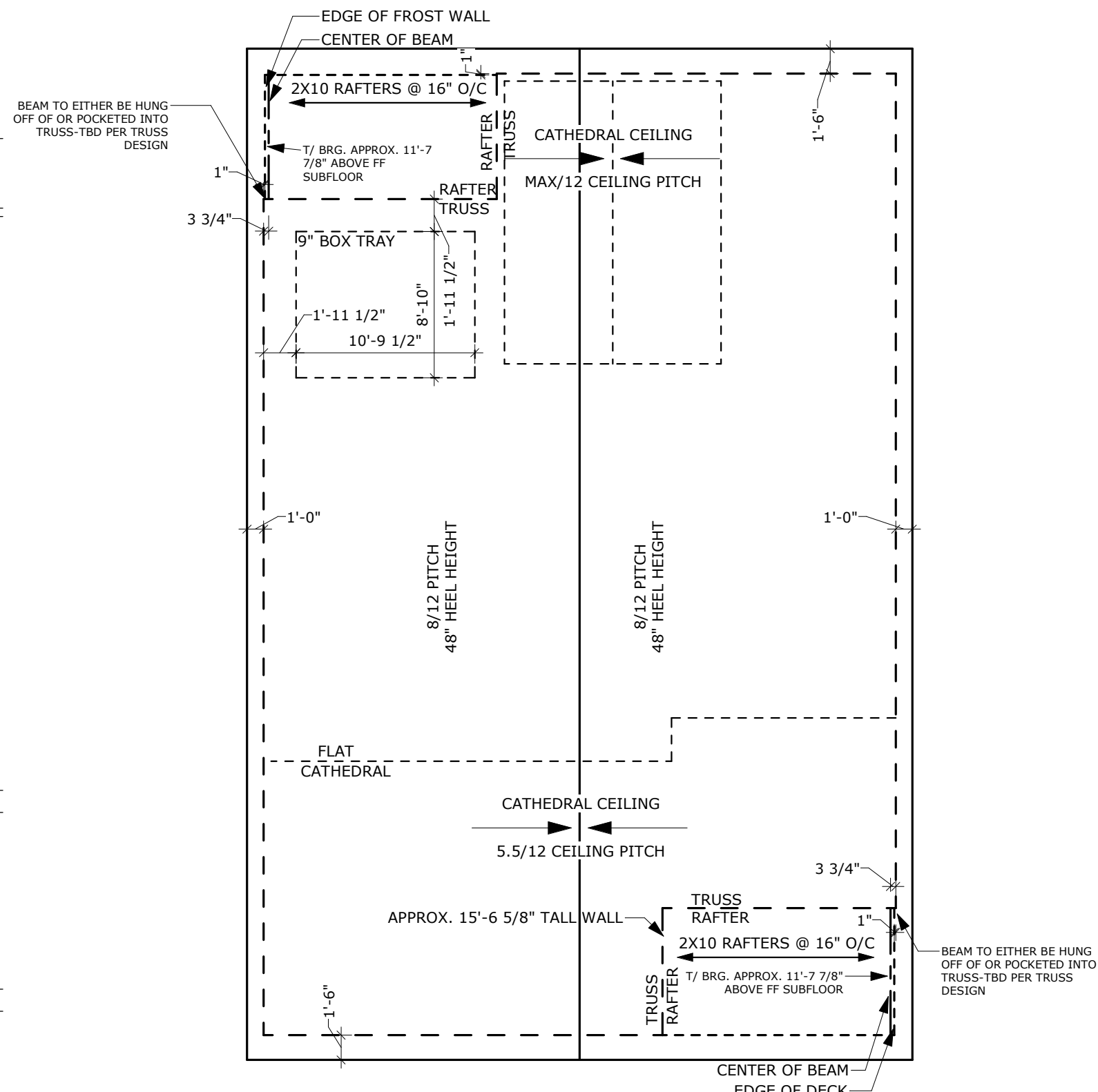
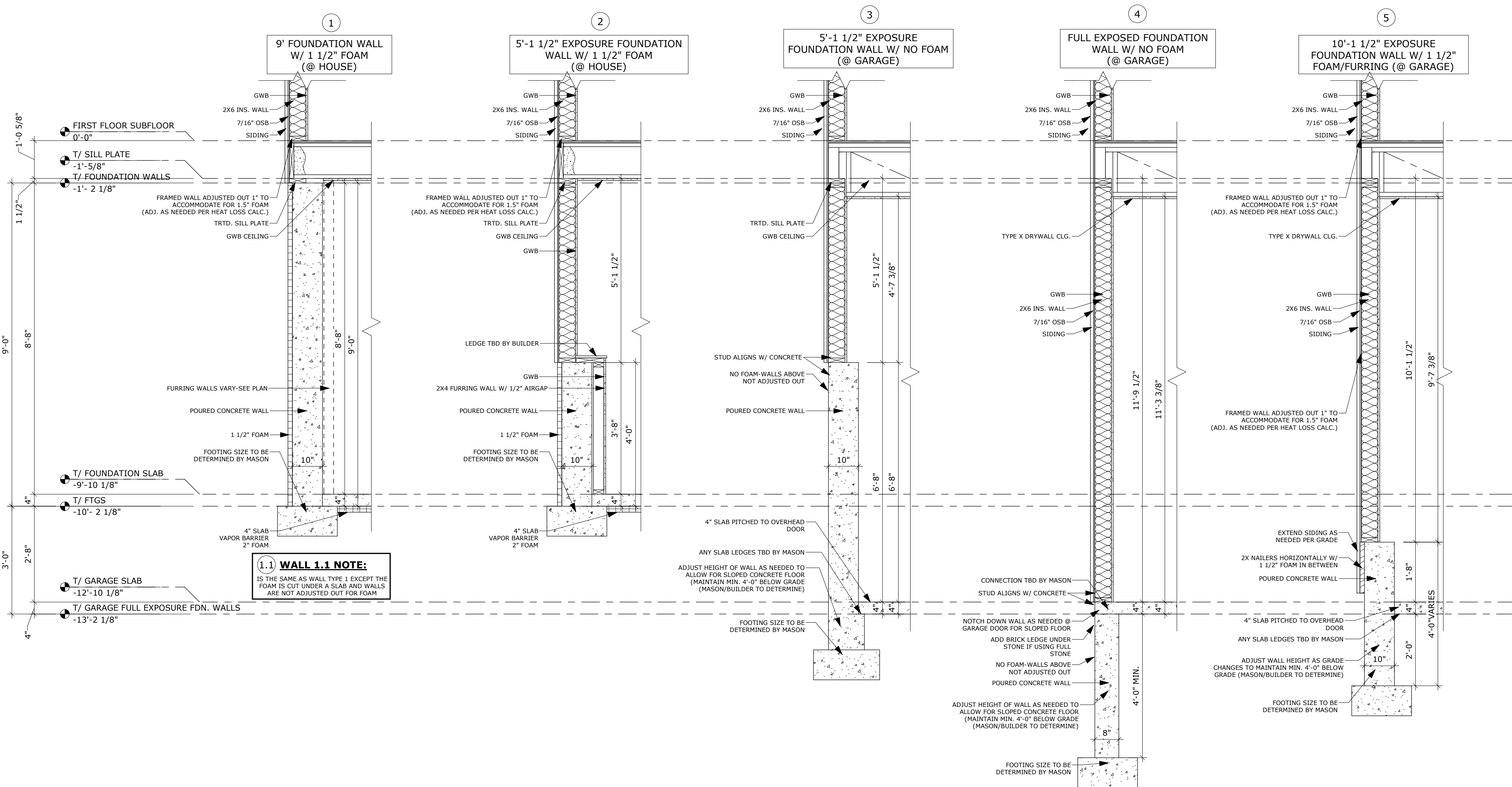
BID PLAN - FOR BIDDING PURPOSES ONLY

MARTHA DRIVE SPEC
LOT#2

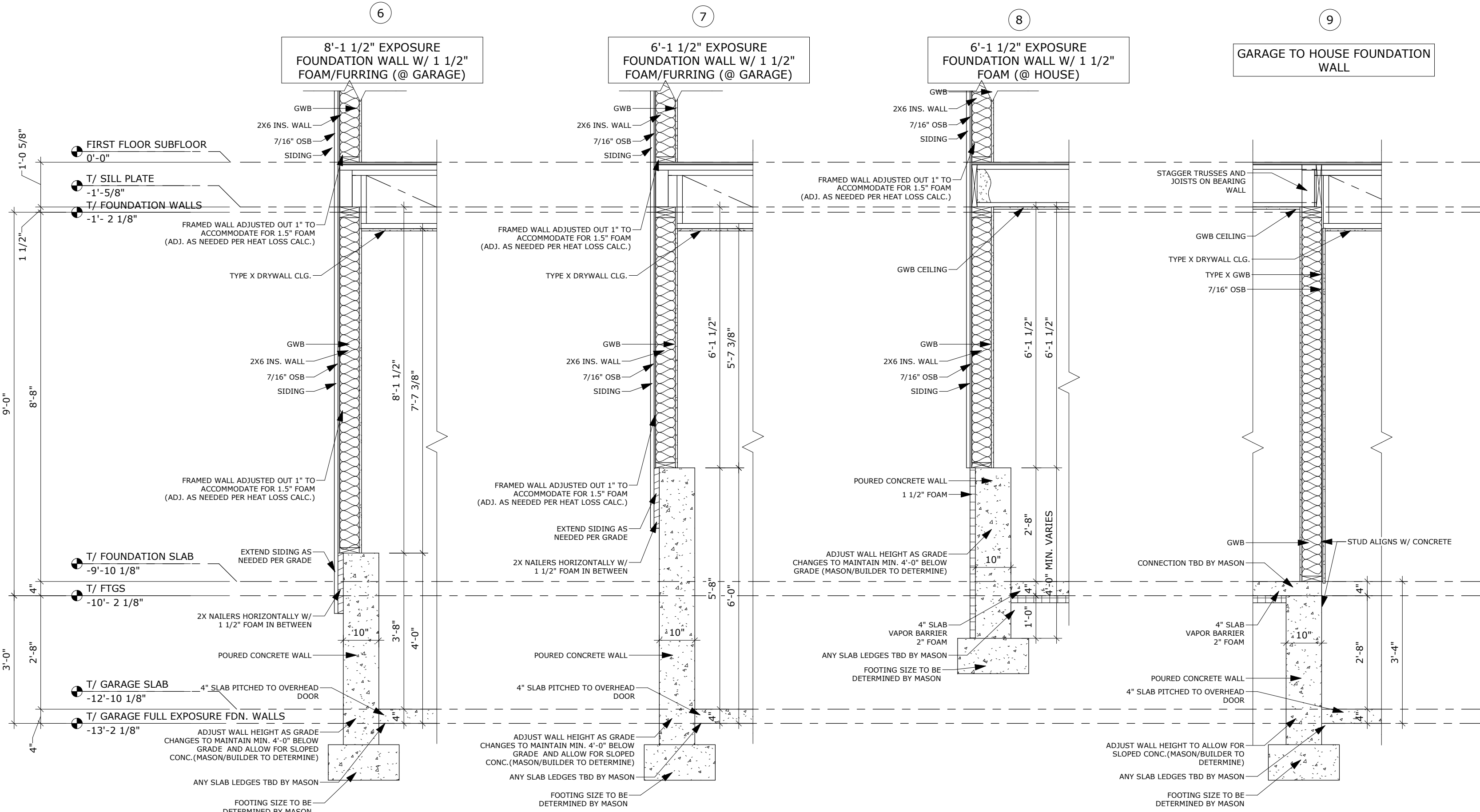
Drexel
DrexelTeam.com

DESIGNER: SKOTTVE
SCALE: 1/4" = 1'-0"
SHEET NO: **A3**
PROJECT NO: R24-149-NB

EBBEN CONSTRUCTION AND DESIGN
11732 W Martha Dr, Wauwatosa, WI 53226



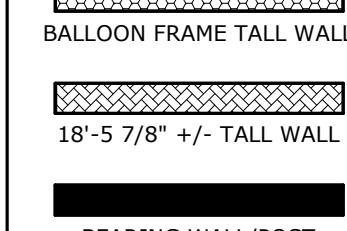
2 ROOF PLAN
A4 1/8" = 1'-0"



FIRST FLOOR AREA = 2007 SF
LOWER LEVEL AREA = 1218 SF
TOTAL AREA 3224 SF

GARAGE FLOOR AREA = 596 SF

WALL HATCH
LEGEND



1 WALL LEGEND
A4 1/2" = 1'-0"

NEW HOME PLAN SPECIFICATIONS

FOUNDATION INFORMATION

- HOUSE FOUNDATION
 - 10" x 9'-0" POURED CONCRETE WALL
- GARAGE FOUNDATION
 - SEE PLAN POURED CONCRETE WALL
- PORCH/PATIO FOUNDATION (UNEXCAVATED)
 - 6" x 4'-0" POURED CONCRETE WALL (MIN. 4'-0" TALL)
- WALL THICKNESS FOR REPRESENTATION ONLY- MASON/CONTRACTOR TO VERIFY
- FINAL WALL/POST FOOTING SIZE AND DEPTH DETERMINED BY CONTRACTOR
- MASON TO LOCATE PILASTERS AND SIZE FOOTINGS PER CODE AND SOIL CONDITIONS
- WINDOWS/DOORS TO BE SET IN CONCRETE WALL- MAKE R.O. 3" BIGGER IN WIDTH AND HEIGHT
- BEARING WALLS TO SIT ON MIN. 16" x 8" CONCENT. CONCRETE FOOTINGS, STUDS @ 16" O.C.

WALL INFORMATION

- STUDS @ 16" O.C. (UNLESS NOTED/SHOWN OTHERWISE)
- HOUSE EXTERIOR
 - FIRST FLOOR WALL HEIGHT: 2 x 6 x 9' 1 1/8" (UNLESS NOTED/SHOWN OTHERWISE)
- HOUSE INTERIOR
 - FIRST FLOOR WALL HEIGHT: 2 x 4 x 9' 1 1/8" (UNLESS NOTED/SHOWN OTHERWISE)
- GARAGE
 - WALL HEIGHT: SEE PLAN (UNLESS NOTED/SHOWN OTHERWISE)

FLOOR SYSTEMS

- BASEMENT
 - 4" CONCRETE SLAB
- FIRST FLOOR
 - VARIABLES-SEE PLAN
 - STANDARD LOADING (PER SQ. FT.)
 - 40# LL, 15# DL
 - ADDITIONAL LOADING (PER SQ. FT.) (WHEN APPLICABLE)
 - 10# DL FOR TILE FLOOR
 - 13# DL FOR GYPCRETE (1.5" THICK)
 - 20# DL FOR FIREPLACE FACE/HEARTH
 - 25# DL FOR GRANITE/QUARTZ
 - DEFLECTION: LL=L/480, TL=L/360
 - DURATION OF LOAD: 1.00%

ROOF SYSTEMS

- ENGINEERED WOOD TRUSSES @24" O.C. DESIGNED FOR: ZONE 2
- STD. LOADING (PER SQ. FT.)
 - 30# TC/L, 10# TC/DL, 10# BC/DL
- DEFLECTION: LL=L/240, TL=L/180
- DURATION OF LOAD: 1.15%

HEADERS

- STANDARD HEADER
 - ALL HEADERS NOT LABELED AS LVL TO BE MIN. (2) 2x10'S HEADER FOR ON-SITE (UNLESS VALUE ENGINEERED FOR OFF-SITE CONSTRUCTION)
- TOP OF WINDOW R.O.S.
 - FIRST FLOOR @ 7'-11 3/8" ABOVE SUBFLOOR (UNLESS NOTED/SHOWN OTHERWISE)
- MINIMUM OF (2) SHOULDER STUDS AT EACH END FOR ALL OPENINGS 6'-0" AND LARGER

GENERAL INFORMATION

- ALL DIMENSIONS ARE TO THE ROUGH STUD (UNLESS NOTED OTHERWISE)
 - 2X6 WALLS=5 1/2", 2X4 WALLS=3 1/2"
- ALL DIMENSIONS ARE TO OUTSIDE OF FOUNDATION WALLS/BRICK LEDGES
- GENERAL CONTRACTOR TO LOCATE THE FOLLOWING ITEMS IN THE FOUNDATION (WHEN APPLICABLE)
 - FLOOR DRAINS, ELECTRIC SERVICES, WATER HEATER, SUMP PIT + PUMP, FURNACE, GAS/LP LINE, BASEMENT, WINDOWS, ETC.
- ACTUAL STEPS IN FOUNDATION WALLS AND LOCATION OF WINDOW WELLS TO BE DETERMINED ON-SITE BY GENERAL CONTRACTOR
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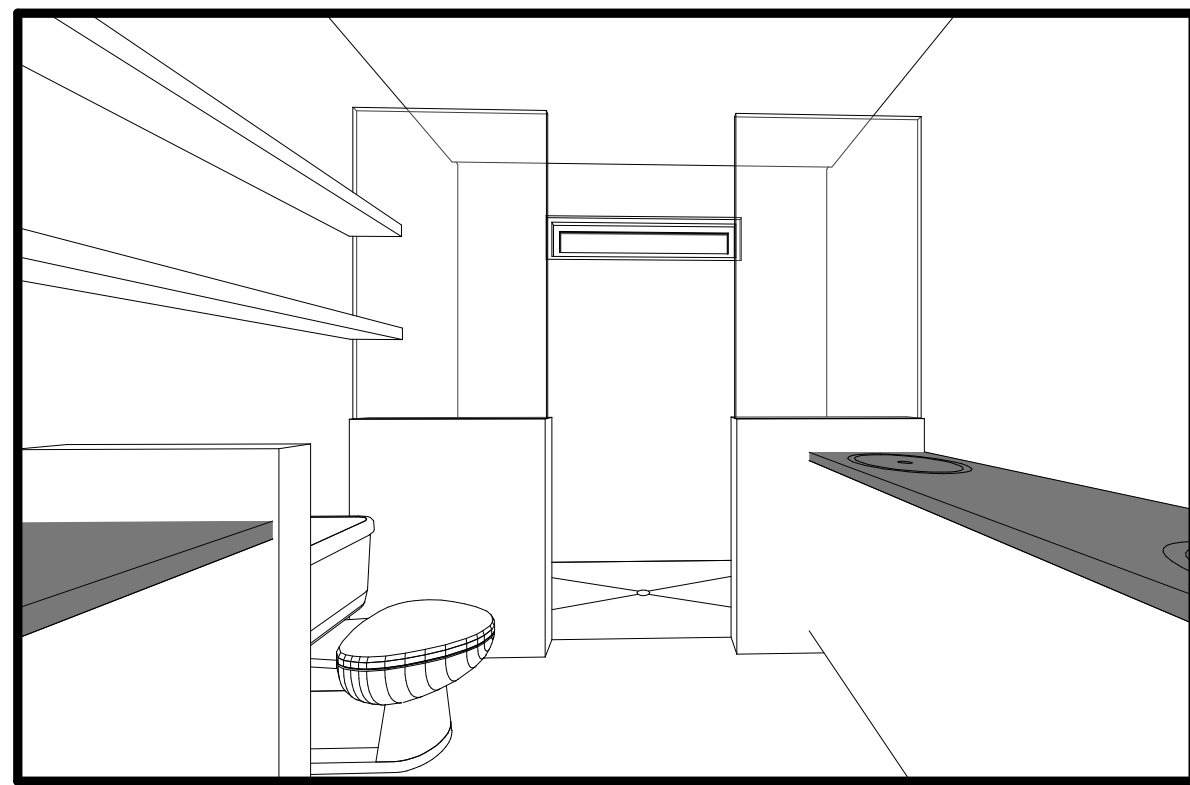
BID PLAN - FOR BIDDING PURPOSES ONLY

DESIGNER	SKOTTKE	REVISION 1	04/11/2024	SJK
SCALE	As indicated	REVISION 2	05/20/2024	SJK
SHEET NO.	A4	BID PLAN	6/12/2024	SJK
PROJECT NO.	R24-149-NB	BID REVISION 1	7/12/2024	SJK
		BID REVISION 2	7/16/2024	SJK
		BID REVISION 3	8/5/2024	SJK
		BID REVISION 4	3/25/2025	SJK
		BID REVISION 4	04/23/2025	SJK

MARTHA DRIVE SPEC
LOT#2

EBBEN CONSTRUCTION AND DESIGN















































11732 W Martha Dr, Wauwatessa, WI
53226



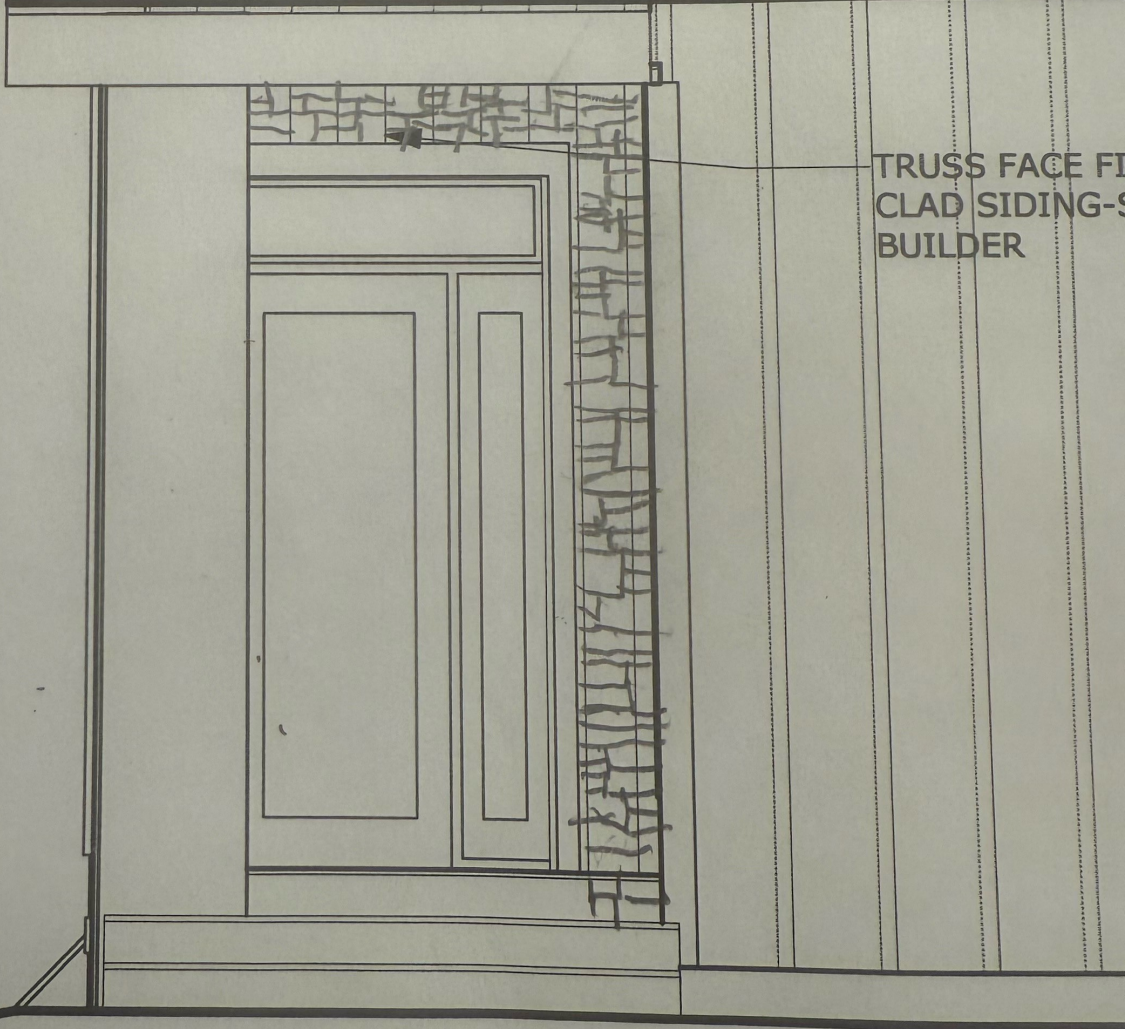
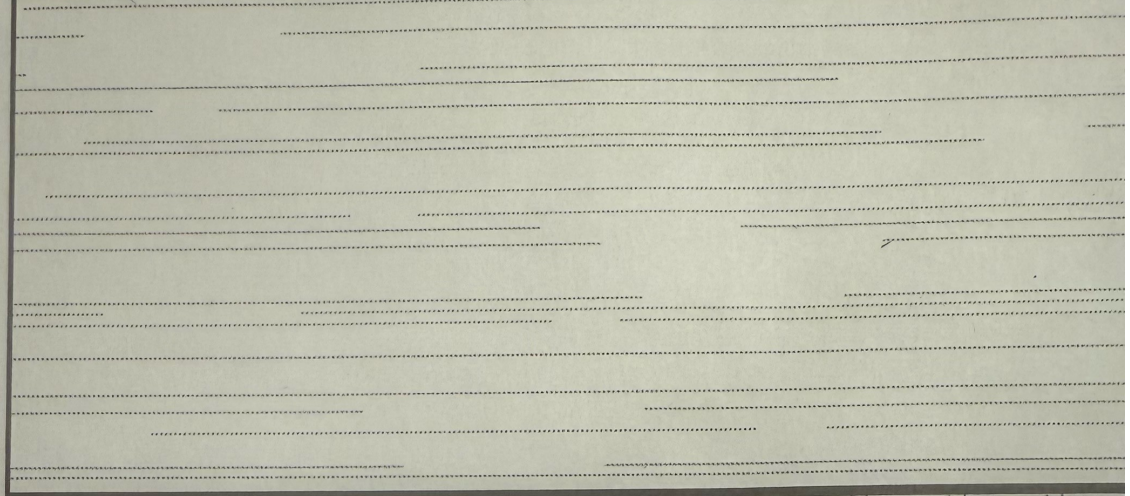
GARAGE FLOOR AREA = 596 SF

NEW HOME PLAN SPECIFICATIONS	
FOUNDATION INFORMATION	
<ul style="list-style-type: none"> HOUSE FOUNDATION 	<ul style="list-style-type: none"> CONCRETE WALL
<ul style="list-style-type: none"> GARAGE FOUNDATION 	<ul style="list-style-type: none"> SEE PLAN FOUNED CONCRETE WALL
<ul style="list-style-type: none"> PORCH/PATIO FOUNDATION (UNEXCAVATED) 	<ul style="list-style-type: none"> 6" x 4'-0" POURED CONCRETE WALL (MIN. 4'-0" TALL)
<ul style="list-style-type: none"> THICKNESS FOR RETENTION ONLY- 	<ul style="list-style-type: none"> 12" MIN. THICKNESS (PER RETENTION ONLY- DETERMINED BY CONTRACTOR)
<ul style="list-style-type: none"> FINAL WALL/POST FOOTING SIZE AND DEPTH 	<ul style="list-style-type: none"> 12" MIN. WALL/POST FOOTING SIZE AND DEPTH
<ul style="list-style-type: none"> DETERMINED BY CONTRACTOR 	<ul style="list-style-type: none"> 12" MIN. WALL/POST FOOTING SIZE AND DEPTH
<ul style="list-style-type: none"> CONCRETE WALLS AND SIZE FOOTINGS PER 	<ul style="list-style-type: none"> CONCRETE WALLS AND SIZE FOOTINGS PER
<ul style="list-style-type: none"> R.O. 3" BIGGER IN WIDTH AND HEIGHT 	<ul style="list-style-type: none"> R.O. 3" BIGGER IN WIDTH AND HEIGHT
<ul style="list-style-type: none"> CONCRETE WALL - MAKE 	<ul style="list-style-type: none"> CONCRETE WALL - MAKE
<ul style="list-style-type: none"> CONCRETE FOOTINGS, STUDS @ 15" O.C. 	<ul style="list-style-type: none"> CONCRETE FOOTINGS, STUDS @ 15" O.C.
WALL INFORMATION	
<ul style="list-style-type: none"> STUDS @ 15" O.C. (UNLESS NOTED/SHOWN OTHERWISE) 	<ul style="list-style-type: none"> STUDS @ 15" O.C. (UNLESS NOTED/SHOWN OTHERWISE)
<ul style="list-style-type: none"> HOUSE EXTERIOR HEIGHT: 2' x 6' x 9' 1 1/8" 	<ul style="list-style-type: none"> HOUSE EXTERIOR HEIGHT: 2' x 6' x 9' 1 1/8"
<ul style="list-style-type: none"> HOUSE INTERIOR (UNLESS NOTED/SHOWN OTHERWISE) 	<ul style="list-style-type: none"> HOUSE INTERIOR (UNLESS NOTED/SHOWN OTHERWISE)
<ul style="list-style-type: none"> GARAGE 	<ul style="list-style-type: none"> WALL HEIGHT: SEE PLAN (UNLESS NOTED/SHOWN OTHERWISE)
FLOOR SYSTEMS	
<ul style="list-style-type: none"> FIRST FLOOR 	<ul style="list-style-type: none"> 40" TALL, 15' DL
<ul style="list-style-type: none"> ADDITIONAL LOADING (PER SQ. FT.) (WHEN APPLICABLE) 	<ul style="list-style-type: none"> 10' DL FOR FLOOR (15" THICK)
<ul style="list-style-type: none"> 25' DL FOR TRAILER FACE/HEARTH 	<ul style="list-style-type: none"> 25' DL FOR TRAILER FACE/HEARTH
<ul style="list-style-type: none"> 25' DL FOR GRANITE/QUARTZ 	<ul style="list-style-type: none"> 25' DL FOR GRANITE/QUARTZ
<ul style="list-style-type: none"> DURATION OF LOAD: 1.15% 	<ul style="list-style-type: none"> DURATION OF LOAD: 1.15%
<ul style="list-style-type: none"> ENGINEER WOOD TRUSSES @ 24" O.C. 	<ul style="list-style-type: none"> ENGINEER WOOD TRUSSES @ 24" O.C.
<ul style="list-style-type: none"> DESIGNED FOR: ZONE 2 	<ul style="list-style-type: none"> DESIGNED FOR: ZONE 2
<ul style="list-style-type: none"> 30' TALL, 104' TALL, 104' BOLD 	<ul style="list-style-type: none"> 30' TALL, 104' TALL, 104' BOLD
<ul style="list-style-type: none"> DEFLECTION: LL+1/240, TL+1/180 	<ul style="list-style-type: none"> DEFLECTION: LL+1/240, TL+1/180
<ul style="list-style-type: none"> DURATION OF LOAD: 1.15% 	<ul style="list-style-type: none"> DURATION OF LOAD: 1.15%
ROOF SYSTEMS	
<ul style="list-style-type: none"> ALL HEADERS NOT LABELED AS L.V. TO BE MIN. (2) 2x10'S 	<ul style="list-style-type: none"> ALL HEADERS NOT LABELED AS L.V. TO BE MIN. (2) 2x10'S
<ul style="list-style-type: none"> HEADER FOR ON-SITE WALLS ENGINEERED FOR 	<ul style="list-style-type: none"> HEADER FOR ON-SITE WALLS ENGINEERED FOR
<ul style="list-style-type: none"> TOP OF WINDOW R.O. TO BE MIN. 	<ul style="list-style-type: none"> TOP OF WINDOW R.O. TO BE MIN.
<ul style="list-style-type: none"> FIRST FLOOR @ 7'-11 3/8" ABOVE SUBFLOOR 	<ul style="list-style-type: none"> FIRST FLOOR @ 7'-11 3/8" ABOVE SUBFLOOR
<ul style="list-style-type: none"> UNLESS NOTED/SHOWN OTHERWISE 	<ul style="list-style-type: none"> UNLESS NOTED/SHOWN OTHERWISE
<ul style="list-style-type: none"> FOR ALL OPENINGS 6'0" AND LARGER 	<ul style="list-style-type: none"> FOR ALL OPENINGS 6'0" AND LARGER
GENERAL INFORMATION	
<ul style="list-style-type: none"> ALL DIMENSIONS ARE TO THE ROUGH STUD (UNLESS NOTED OTHERWISE) 	<ul style="list-style-type: none"> ALL DIMENSIONS ARE TO THE ROUGH STUD (UNLESS NOTED OTHERWISE)
<ul style="list-style-type: none"> 2X6 WALLS @ 15" O.C. 2X4 WALLS @ 15" O.C. 	<ul style="list-style-type: none"> 2X6 WALLS @ 15" O.C. 2X4 WALLS @ 15" O.C.
<ul style="list-style-type: none"> WALLS/BRICK LEIGES 	<ul style="list-style-type: none"> WALLS/BRICK LEIGES
<ul style="list-style-type: none"> GENERAL CONTRACTOR TO LOCATE THE FOLLOWING 	<ul style="list-style-type: none"> GENERAL CONTRACTOR TO LOCATE THE FOLLOWING
<ul style="list-style-type: none"> ITEMS IN THE FOUNDATION (WHEN LABELED) 	<ul style="list-style-type: none"> ITEMS IN THE FOUNDATION (WHEN LABELED)
<ul style="list-style-type: none"> SUMP PUMP, FURNACE, GAS/LP LINE, BASEMENT 	<ul style="list-style-type: none"> SUMP PUMP, FURNACE, GAS/LP LINE, BASEMENT
<ul style="list-style-type: none"> WINDOWS ETC. 	<ul style="list-style-type: none"> WINDOWS ETC.
<ul style="list-style-type: none"> FOUNDATION WALLS AND LOCATION OF 	<ul style="list-style-type: none"> FOUNDATION WALLS AND LOCATION OF
<ul style="list-style-type: none"> WINDOW WALLS TO BE DETERMINED ON-SITE BY GENERAL CONTRACTOR 	<ul style="list-style-type: none"> WINDOW WALLS TO BE DETERMINED ON-SITE BY GENERAL CONTRACTOR
<ul style="list-style-type: none"> DECK FRAMING SPECIFICATION TO MEET OR EXCEED 	<ul style="list-style-type: none"> DECK FRAMING SPECIFICATION TO MEET OR EXCEED
<ul style="list-style-type: none"> UNIFORM DWELLING WITHIN "APPENDIX B" OF THE 	<ul style="list-style-type: none"> UNIFORM DWELLING WITHIN "APPENDIX B" OF THE
<ul style="list-style-type: none"> ALL CABINET LAYOUTS ARE CONCEPTUAL-CONSULT 	<ul style="list-style-type: none"> ALL CABINET LAYOUTS ARE CONCEPTUAL-CONSULT
<ul style="list-style-type: none"> CABINET DESIGNER FOR EXACT SIZES AND LOCATIONS 	<ul style="list-style-type: none"> CABINET DESIGNER FOR EXACT SIZES AND LOCATIONS
<ul style="list-style-type: none"> ALL DOOR HEIGHTS ARE 6'-8" UNLESS NOTED/SHOWN 	<ul style="list-style-type: none"> ALL DOOR HEIGHTS ARE 6'-8" UNLESS NOTED/SHOWN
<ul style="list-style-type: none"> OTHERWISE 	<ul style="list-style-type: none"> OTHERWISE

BID PLAN - FOR BIDDING PURPOSES ONLY

DESIGNER: S. KOTTKE SCALE: 1/4" = 1'-0" SHEET NO.: A5	 Drexel™ drexelteam.com	MARTHA DRIVE SPEC LOT#2	EBBEN CONSTRUCTION AND DESIGN 11732 W Martha Dr., Wauwatosa, WI 53226	COPYRIGHT © 2024 CONTRACT ENGINEERING SUPPORT IS PROVIDED BY ANNA WALKER, ALL CIVIL ENGINEERING WORK WAS REVIEWED BY EXPERTS WHO WERE NOT RESPONSIBLE FOR THE DESIGN. THE CLIENT IS RESPONSIBLE FOR THE DESIGN AND THE CLIENT IS RESPONSIBLE FOR THE DESIGN.				
				 PRELIMINARY PLAN	 REVISION 1	 REVISION 2	 BID PLAN	 BID REVISION 1
				 REVISION 1	 REVISION 2	 BID PLAN	 BID REVISION 1	 BID REVISION 2
				 REVISION 1	 REVISION 2	 BID PLAN	 BID REVISION 1	 BID REVISION 2
				 REVISION 1	 REVISION 2	 BID PLAN	 BID REVISION 1	 BID REVISION 2
				 REVISION 1	 REVISION 2	 BID PLAN	 BID REVISION 1	 BID REVISION 2
				 REVISION 1	 REVISION 2	 BID PLAN	 BID REVISION 1	 BID REVISION 2
				 REVISION 1	 REVISION 2	 BID PLAN	 BID REVISION 1	 BID REVISION 2
				 REVISION 1	 REVISION 2	 BID PLAN	 BID REVISION 1	 BID REVISION 2
				 REVISION 1	 REVISION 2	 BID PLAN	 BID REVISION 1	 BID REVISION 2

Y



TRUSS FACE FI
CLAD SIDING-S
BUILDER



1-23/4"

SECTION

(TYP.)

(TYP.)

S TBD
ILDER

AT ALL
REAKS

HERS-
PORTS
OARD

HERS

ANS.
ILDER

EXTEND POST WR
UNDERSIDE OF SC

VERTICAL CLAD S
SPECS TBD BY BU

GLASS PANEL RA

6X6 POST WRAP

SKIRT BOARD FI

STAIRS /RAILIN
DEPENDING ON

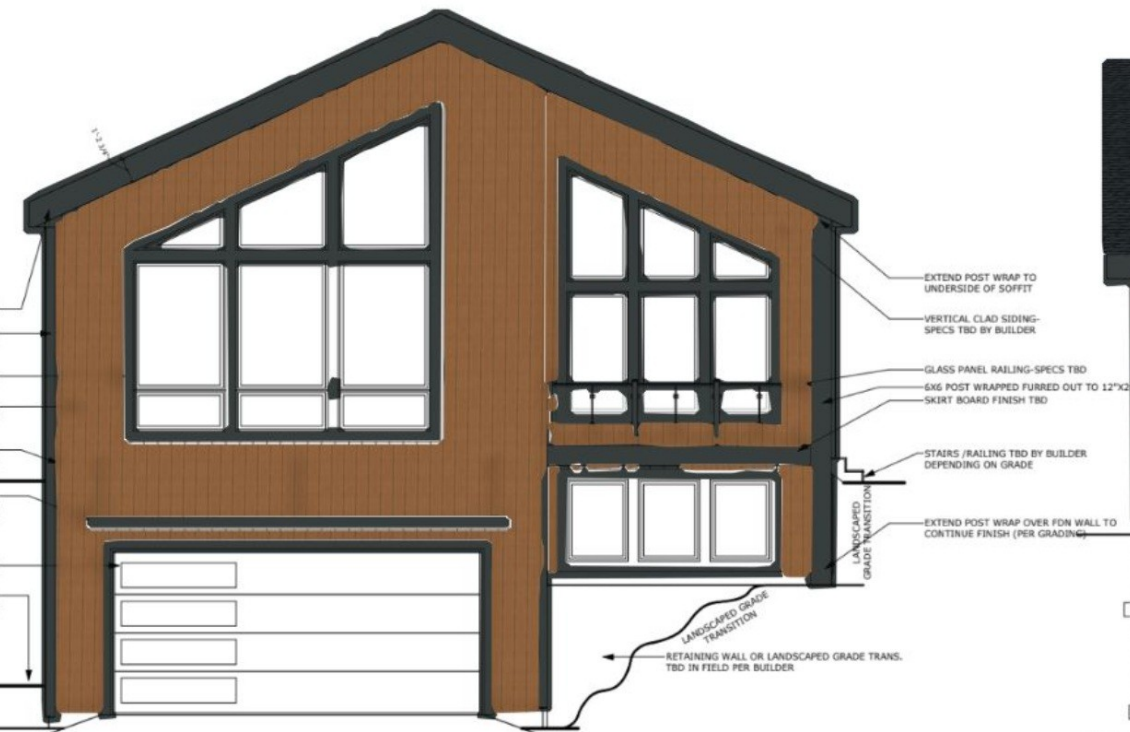
LANDSCAPED
GRADE TRANSITION

EXTEND POST
CONTINUE FIN

LANDSCAPED GRADE
TRANSITION

RETAINING WALL OR LANDSCAPED GRADE TRANS.
TBD IN FIELD PER BUILDER

STONE TYPE TBD BY BUILDER



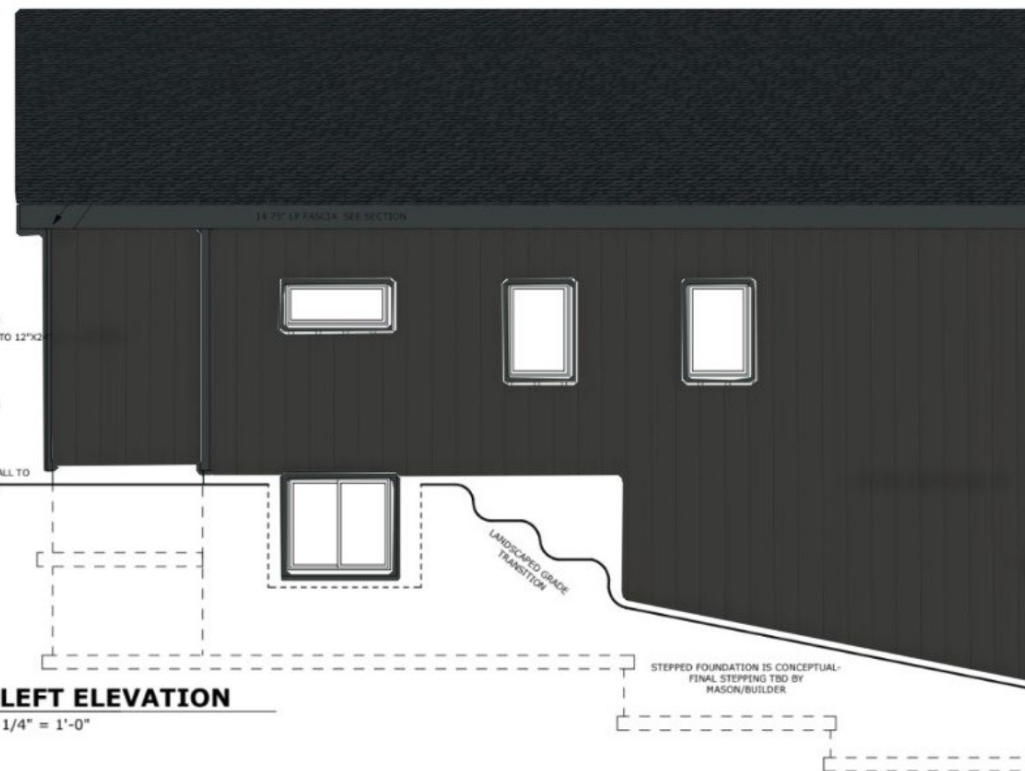
FRONT ELEVATION

1'-0"

ENGINEERING MAY BE NEEDED ON TO SATISFY THE WALL BRACING RECS ARE RESPONSIBILITY OF ENGINEER OR HOMEOWNER

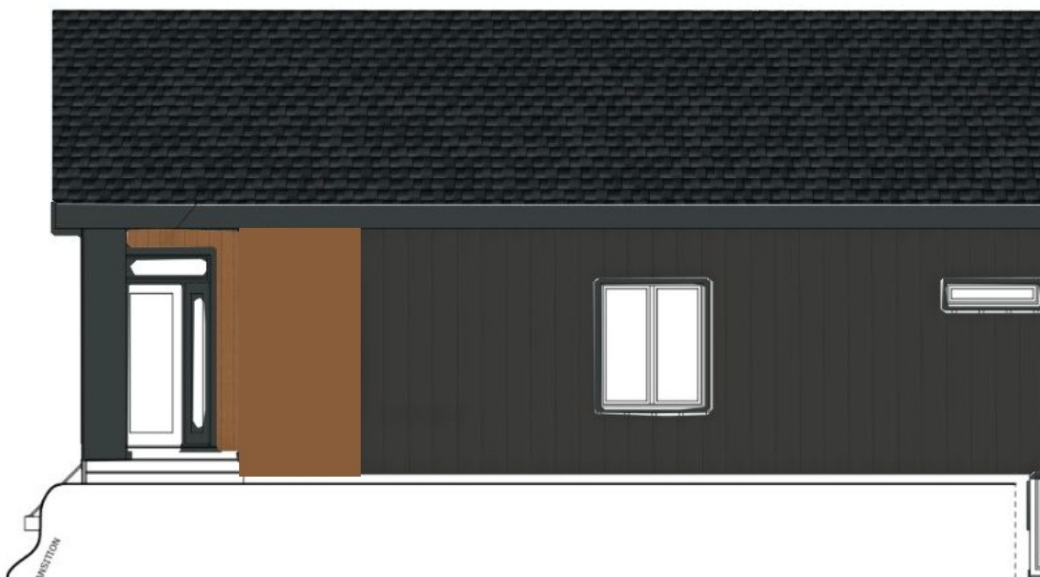


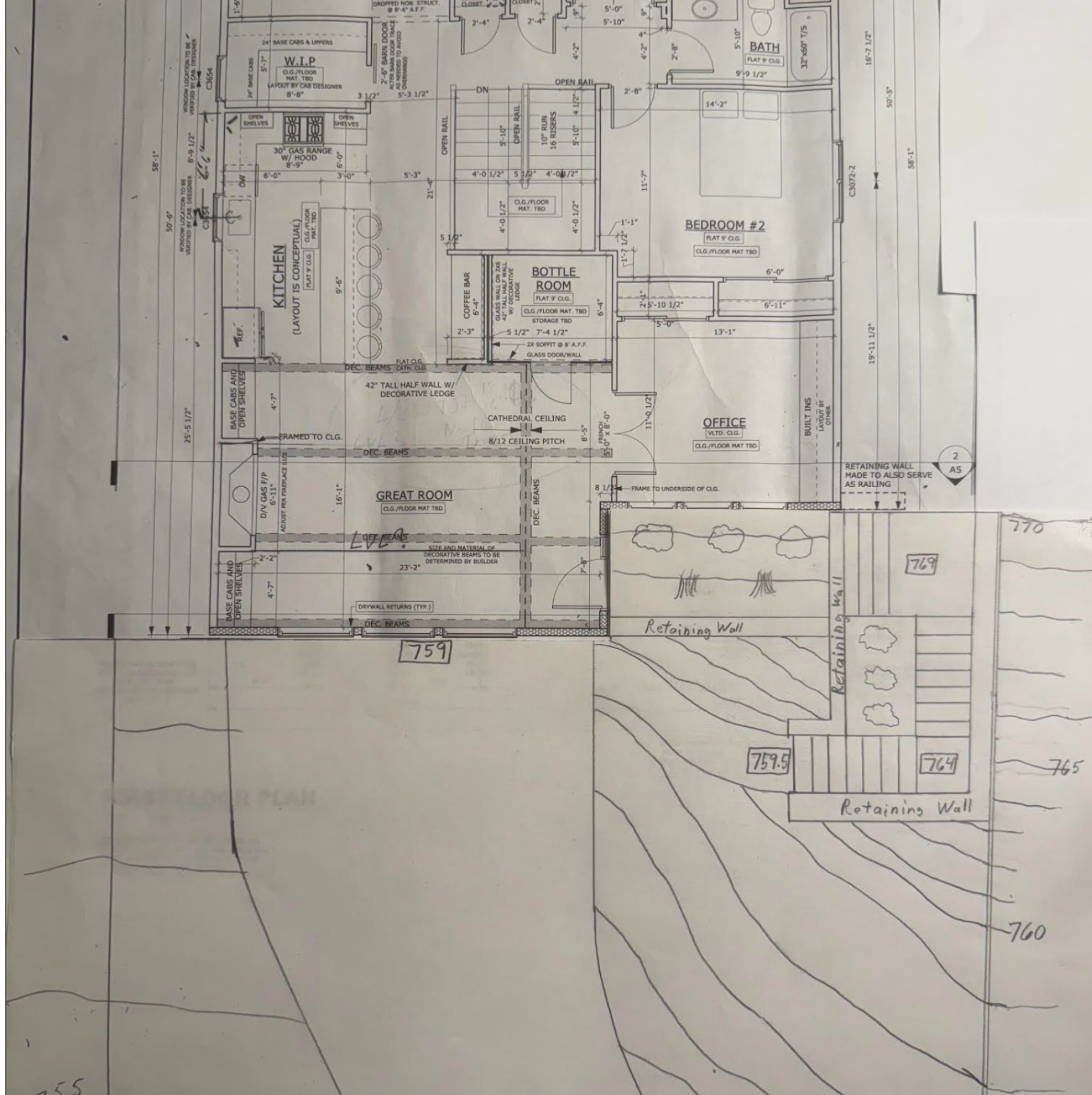
SIDE ELEVATION

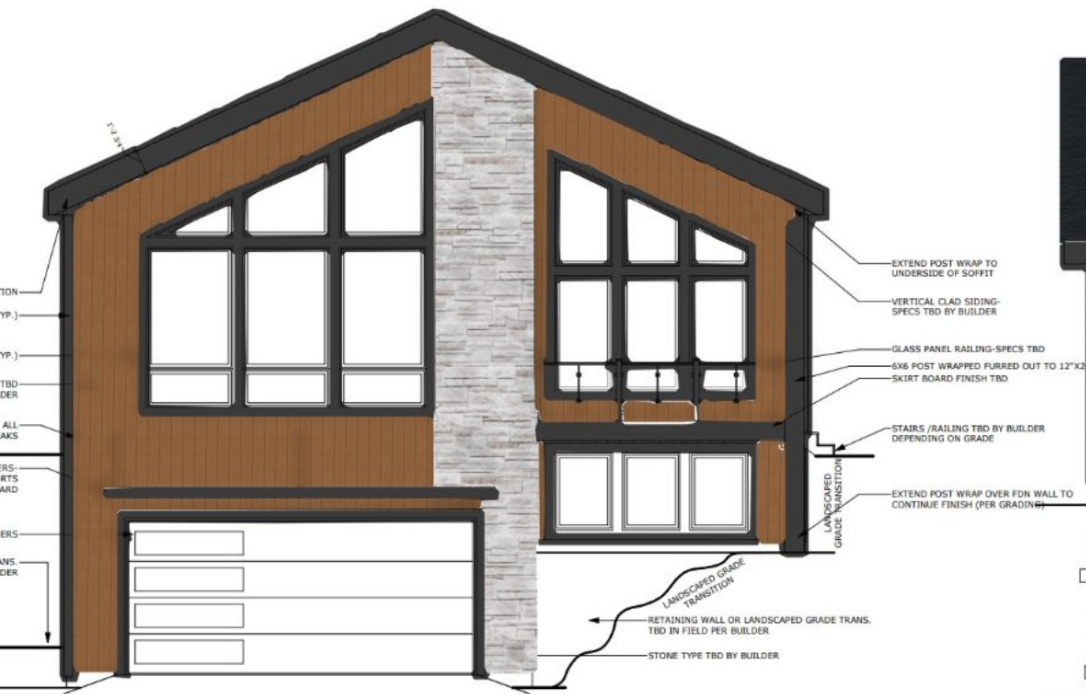


LEFT ELEVATION

1/4" = 1'-0"







FRONT ELEVATION

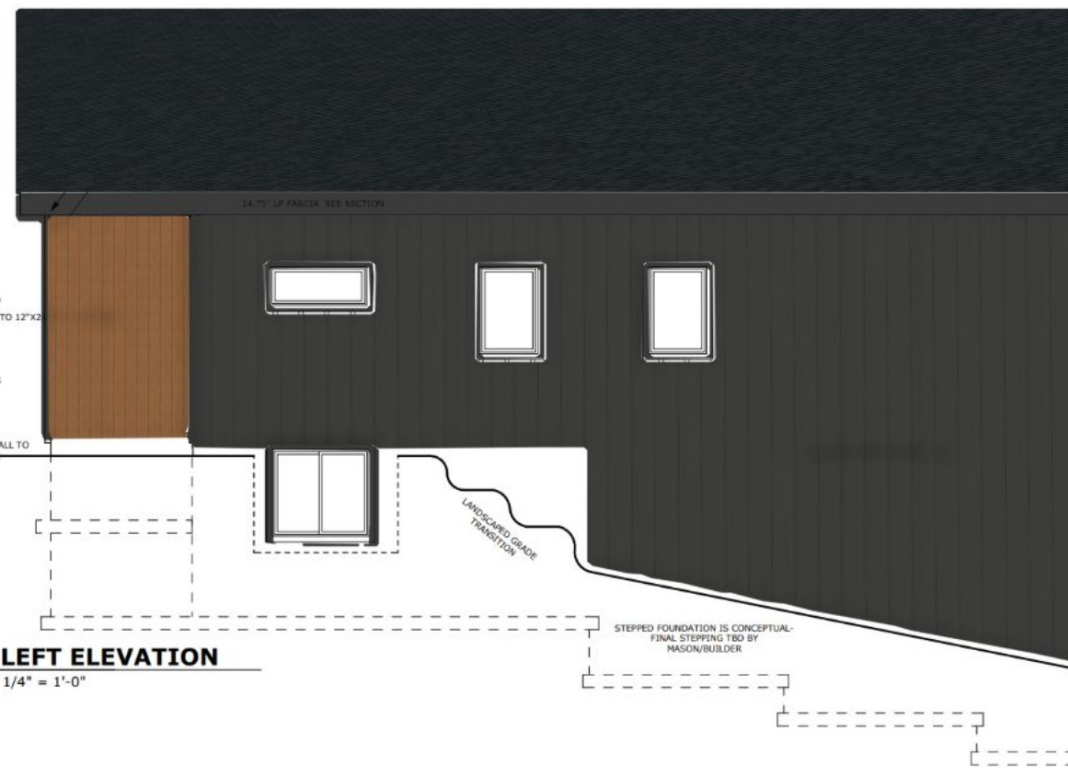
1/4" = 1'-0"

ENGINEERING MAY BE NEEDED ON
SOME TO SATISFY THE WALL BRACING
ALL FEES ARE RESPONSIBILITY OF
OWNER OR HOMEOWNER



REAR ELEVATION

AREA = 2007 SF
AREA = 1218 SF
3224 SF



LEFT ELEVATION

1/4" = 1'-0"



RIGHT ELEVATION

1/4" = 1'-0"

STON

Tight-Cut, Lunar Drift

Actual color may vary from printed representation.

