



Wauwatosa, WI

Design Review Board

Meeting Agenda - Final

7725 W. North Avenue
Wauwatosa, WI 53213

Thursday, August 20, 2026

7:00 PM

Committee Room #1

ROLL CALL

NEW BUSINESS

1. 9700 W Blue Mound Rd - Veterinary Surgical Specialists - Addition [26-1400](#)
2. 67th & Powell - New Residential Home [26-1411](#)

ADJOURNMENT

NOTICE TO PERSONS WITH A DISABILITY

Persons with a disability who need assistance to participate in this meeting should call the City Clerk's office at (414) 479-8917 or send an email to tclerk@wauwatosa.net, with as much advance notice as possible.



Wauwatosa, WI

Staff Report

7725 W. North Avenue
Wauwatosa, WI 53213

File #: 26-1400

Agenda Date: 8/20/2026

Agenda #: 1.

9700 W Blue Mound Rd - Veterinary Surgical Specialists - Addition



Front Elevation from Bluemound



WestExisting Elevation



Rear Elevation from NE



East Elevation From NW

Stamp:

I HEREBY CERTIFY THAT THIS PLAN AND SPECIFICATION WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY REGISTERED ARCHITECT OR ENGINEER UNDER THE LAWS OF THE STATE OF PROJECT STATE AS SIGNED BY MY HAND AND SEAL.

Consultant Information

Project Information:

Veterinary Surgical Specialists
9700 W Bluemound Rd
Wauwatosa, WI

Issue For:

Preliminary Design

Issue Date:

07/23/26

△ DATE	REVISION
XXXXXX	PERMIT SUBMITTAL
XXXXXX	CLIENT UPDATES
XXXXXX	DESIGN DIRECTIVE
XXXXXX	CLIENT CHANGES
XXXXXX	CLIENT CHANGES

REVIEWED BY: RJR

DRAWN BY: RJR

ACS PROJECT NUMBER:

0A0000

SHEET TITLE:

Existing Building Images

SHEET NUMBER:

A0.1

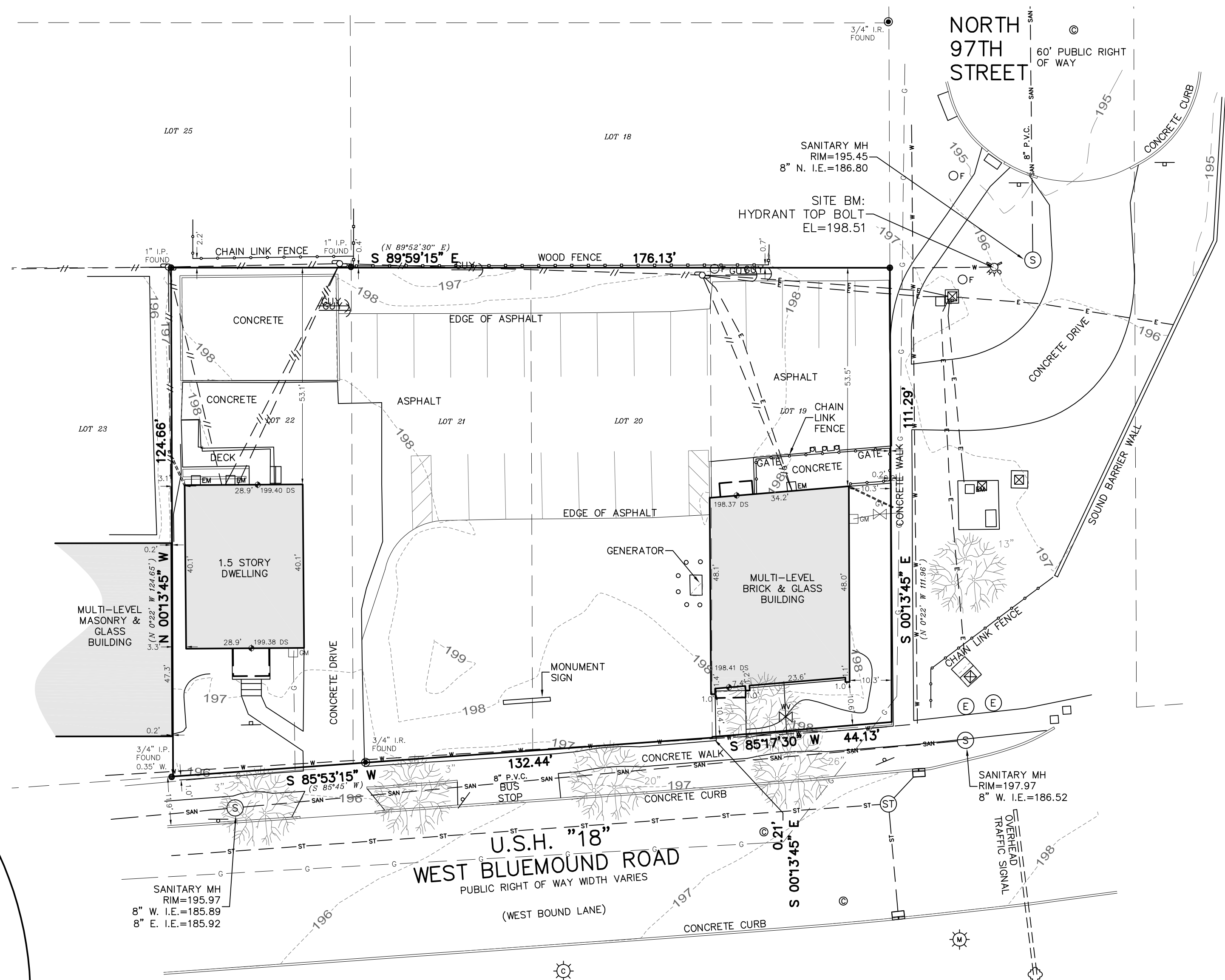


CAPITOL SURVEY ENTERPRISES
2015 LA CHANDELLE CT.
BROOKFIELD, WI 53045
PH: (262) 786-6600
FAX: (414) 786-6608
WWW.CAPITOLSURVEY.COM



LEGEND

SAN	SANITARY SEWER	ET	ELECTRIC TRANSFORMER	HY	HYDRANT
ST	STORM SEWER	EM	ELECTRIC METER	WV	WATER VALVE
W	WATER MAIN	EB	ELECTRIC BOX AT GRADE	GV	GAS VALVE
G	BURIED GAS LINE	TB	TELEPHONE BOX AT GRADE	MA	MANHOLE
TEL	BURIED TELEPHONE LINE	TP	TELEPHONE PEDESTAL	SM	STORM MANHOLE
E	BURIED ELECTRIC LINE	GM	GAS METER	CB	CATCH BASIN
FO	BURIED FIBER OPTIC LINE	AC	AIR CONDITIONER	CI	CURB INLET
///	OVERHEAD UTILITY LINES	UP	UTILITY POLE	MLP	METAL LIGHT POLE
CATV	BURIED CABLE TELEVISION LINES	WS	WOOD SIGN	CLP	CONCRETE LIGHT POLE
COMB	COMBINATION SEWER	MS	METAL SIGN	WLP	WOOD LIGHT POLE
WF	WOOD FENCE	FP	FLAG POLE	WB	WALL BOX
MF	METAL FENCE	B	BOLLARD	FOM	FIBER OPTIC MARKER
ET&B	EDGE OF TREES AND BRUSH	BL	BOLLARD LIGHT	GW	GUY WIRE
SE	DOOR SILL ELEVATION	YL	YARD LIGHT		
FD	FIRE DEPARTMENT CONNECTION				



LEGAL DESCRIPTION

LOT 19 EXCEPTING THAT PART SOUTH OF A LINE THAT IS 0.21' NORTH OF THE SOUTHWEST CORNER OF LOT 19 AND 0.67' NORTH OF THE SOUTHEAST CORNER OF LOT 19, AND ALL OF LOTS 20-22, BLOCK 2, AVONDALE, BEING PART OF THE NORTHWEST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 29, TOWNSHIP 7 NORTH, RANGE 21 EAST, IN THE CITY OF WAUWATOSA, MILWAUKEE COUNTY, WISCONSIN.

CONTAINING 20,819 SQUARE FEET OR 0.4779 ACRES

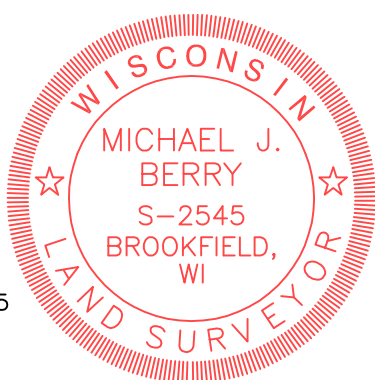
NOTES

- SUBJECT PROPERTY ZONED: CO - OFFICE DISTRICT.
- SETBACKS BASED ON CITY OF WAUWATOSA ZONING CODE AND ARE AS FOLLOWS: FRONT - 10 FEET
STREET SIDE - 5 FEET
INTERIOR SIDE - 3 FEET
REAR - 25 FEET
MAXIMUM HEIGHT - .40 FEET
- LEGAL DESCRIPTION FROM DOCUMENTS.
- THE UNDERGROUND UTILITY INFORMATION AS SHOWN HEREON IS BASED, IN PART, ON INFORMATION FURNISHED BY THE UTILITY COMPANIES, DIGGERS' HOTLINE AND THE LOCAL MUNICIPALITY. WHILE THIS INFORMATION IS BELIEVED TO BE RELIABLE, ITS ACCURACY AND COMPLETENESS CANNOT BE GUARANTEED NOR CERTIFIED TO.
- SUBJECT PROPERTY IS LOCATED WITHIN AN AREA HAVING A ZONE DESIGNATION X: AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOOD PLAIN PER INFORMATION FROM THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA), ON FLOOD INSURANCE RATE MAP NO. 55079C0066F, WITH A DATE OF IDENTIFICATION OF OCTOBER 24, 2024, IN COMMUNITY NO. 550278, CITY OF WAUWATOSA, WHICH IS THE COMMUNITY IN WHICH THE SUBJECT PROPERTY IS SITUATED.
- PROJECT BENCHMARK - CONCRETE MONUMENT W/BRASS CAP MARKING THE CENTER OF SECTION 29. EL. = 162.53 - CITY OF WAUWATOSA DATUM..
- SITE BENCHMARK - AS PLOTTED HEREON.
- ALL BEARINGS REFER TO THE WISCONSIN COUNTY COORDINATE SYSTEM, MILWAUKEE COUNTY.

I, MICHAEL J. BERRY, P.L.S. 2545, CERTIFY THAT THIS PROPERTY SURVEY COMPLIES WITH CHAPTER A-E 7 OF THE WISCONSIN ADMINISTRATIVE CODE AND IS CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

JUNE 10, 2026
DATE

MICHAEL J. BERRY, P.L.S.
PROFESSIONAL LAND SURVEYOR S-2545



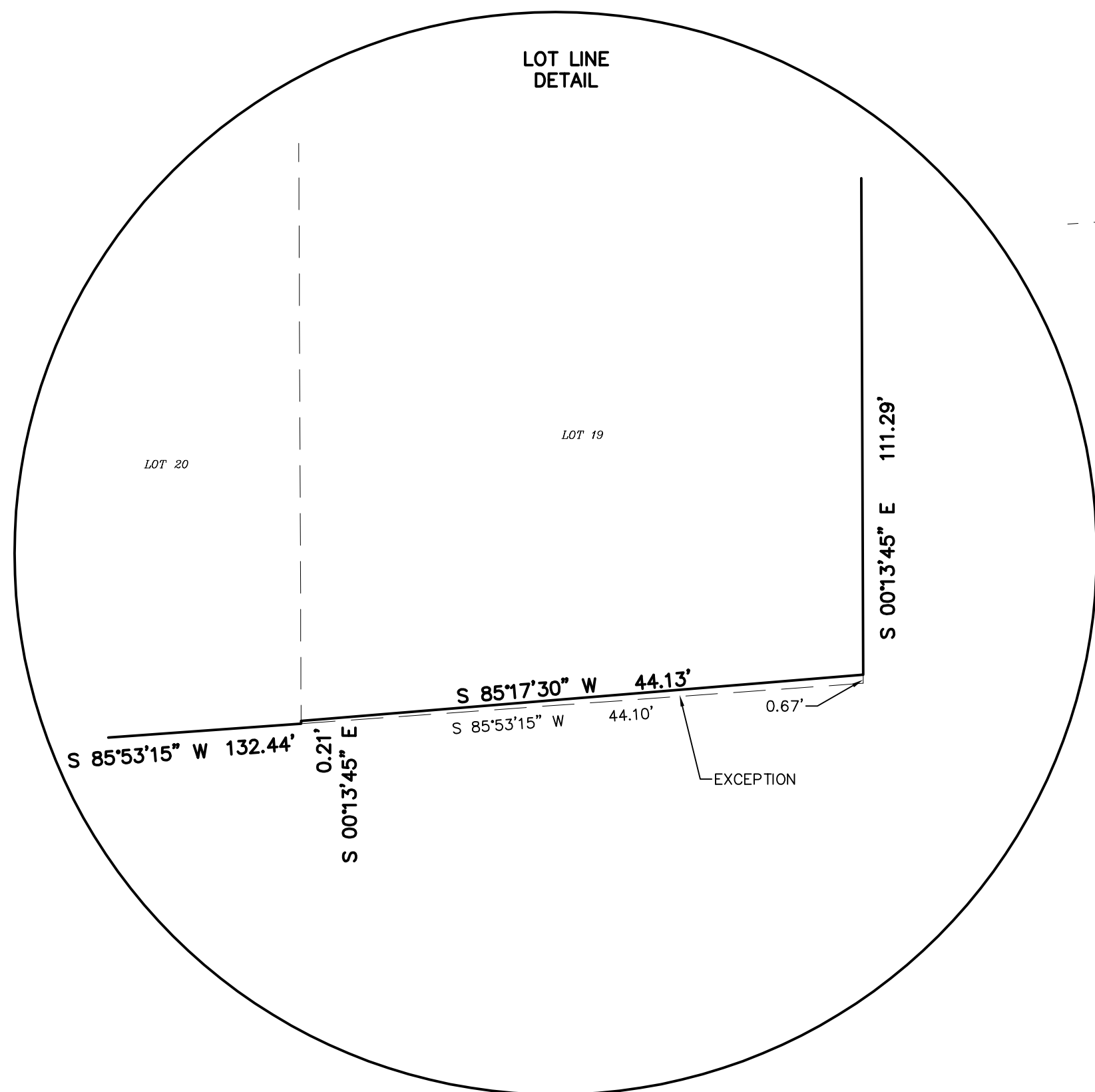
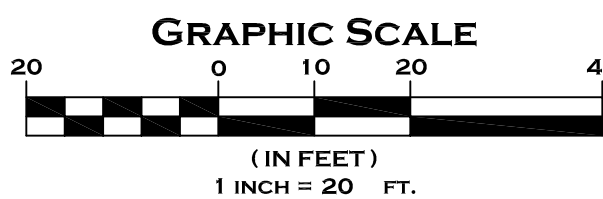
PLAT OF SURVEY

FOR

VETERINARY SURGERY SPECIALISTS

9700-9720 W. BLUEMOUND RD.
WAUWATOSA, WI

DRAWN BY:	DHS	DATE:	JUNE 10, 2026
CHECKED BY:	MJB	DRAWING NO.	P - 0
CSE Job No.:	26-051	SHEET	1 OF 1





100 W. Research Dr.
Suite 250
Waukegan, WI
54986
T (262) 373-8880
acs-architects.com

MKE ATL CIN

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mp:

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Consultant Information

Subject Information:

Veterinary Surgical Specialists
9700 W Bluemound Rd
Wauwatosa, WI

For:

Preliminary Design

Due Date:

23/26

DATE	REVISION
XX/XX/XX	PERMIT SUBMITTAL
XX/XX/XX	CLIENT UPDATES
XX/XX/XX	DESIGN DIRECTIVE
XX/XX/XX	CLIENT CHANGES
XX/XX/XX	CLIENT CHANGES

VIEWED BY:

IN BY:

S PROJECT NUMBER:

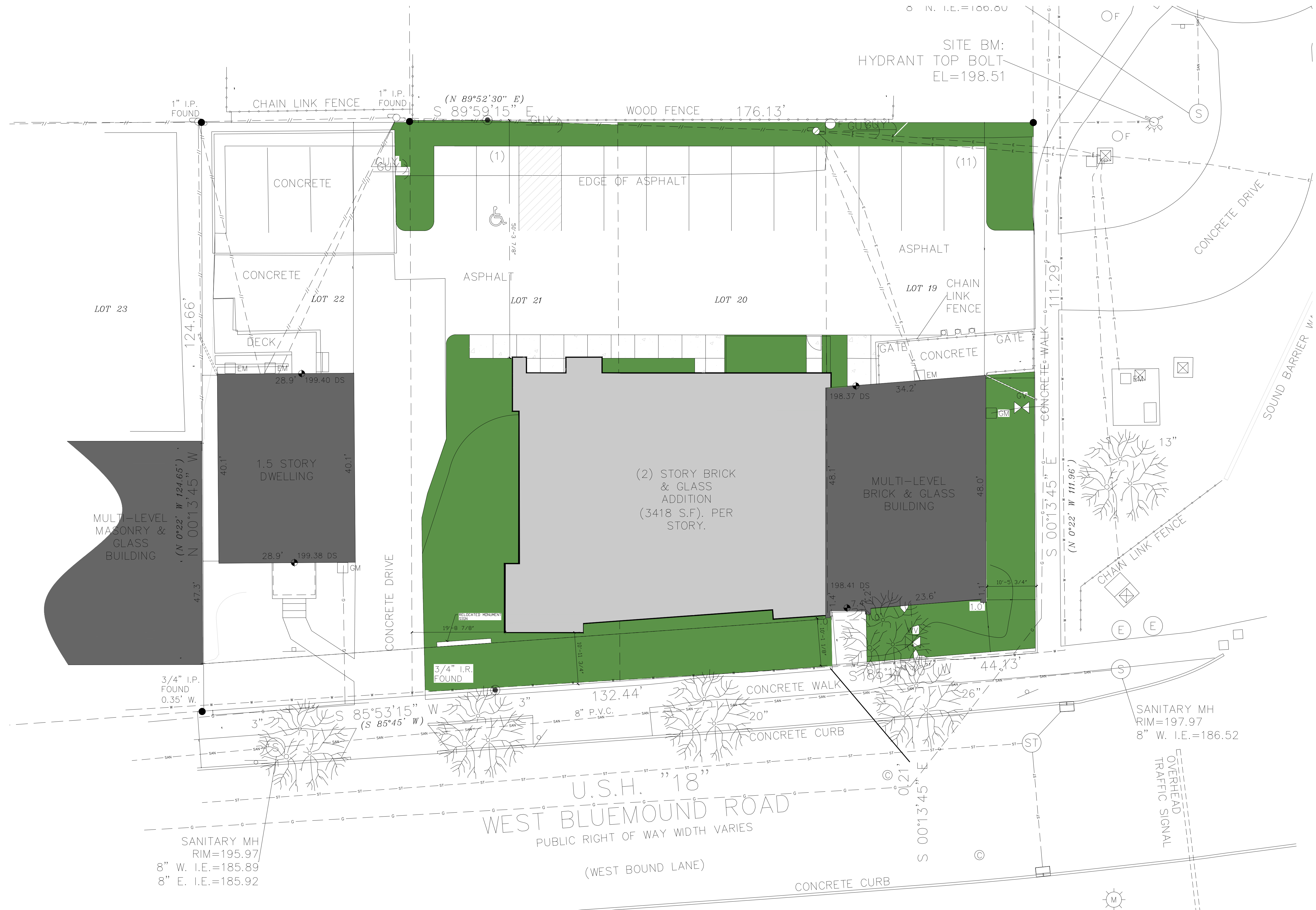
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HEET TITLE:

Architectural Site Plan

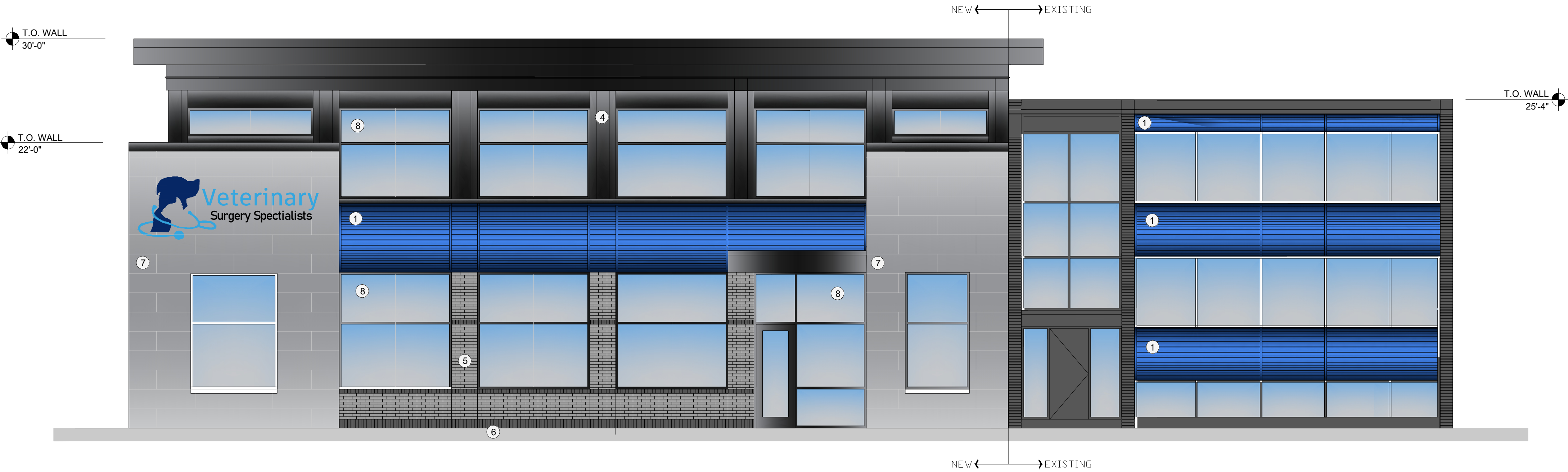
SHEET NUMBER:

ASP



1 Proposed Site Plan
Scale: 1"=10'

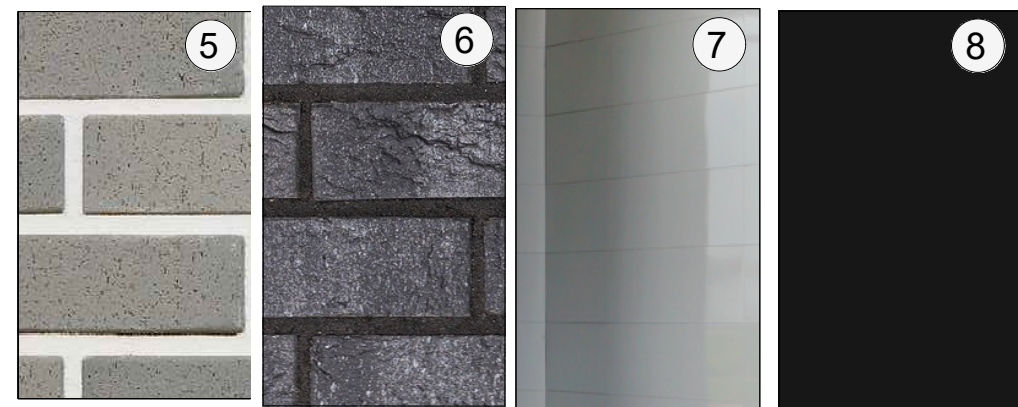
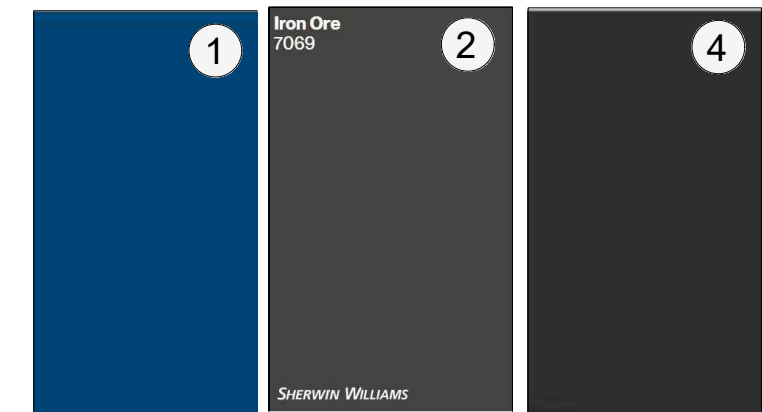
Scale: 1"=10'



1 South Elevation
Scale: 1/8"=1'-0"

BUILDING ELEVATION FINISHES

1. ARCHITECTURAL WALL PANEL - PAC CLAD - BOX RIB 1 - INTERSTATE BLUE .
2. EXISTING PAINTED BRICK/CMU - SHERWIN WILLIAMS - IRON ORE SW 7069
3. EXISTING BLACK POWDER COATED FENCE
4. PRE-FINISHED BREAK METAL - PAC CLAD - GRAPHITE
5. BRICK VENEER - BELDEN BRICK COMPANY - ENGLISH GRAY VELOUR
6. BRICK VENEER - BELDEN BRICK COMPANY - SETI TEXTURED BLACK
7. ARCHITECTURAL WALL PANELS - NICHHA - ILLUMINATION SERIES - COLOR - GLACIER
8. ANODIZED ALUMINUM WINDOW FRAMING WITH CLEAR VISION GLASS - COLOR - BLACK



10700 W. Research Dr. T (262) 373-8880
Suite 250 acs-architects.com
Milwaukee WI
53226

NPB MKE ATL CIN

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Consultant Information

Project Information:

Veterinary Surgical Specialists
9700 W Bluemound Rd
Wauwatosa, WI

Issue For:

Preliminary Design

Issue Date:

05/15/26

DATE	REVISION
XXXXXX	PERMIT SUBMITTAL
XXXXXX	CLIENT UPDATES
XXXXXX	DESIGN DIRECTIVE
XXXXXX	CLIENT CHANGES
XXXXXX	CLIENT CHANGES

REVIEWED BY: RJR

DRAWN BY: RJR

ACS PROJECT NUMBER:

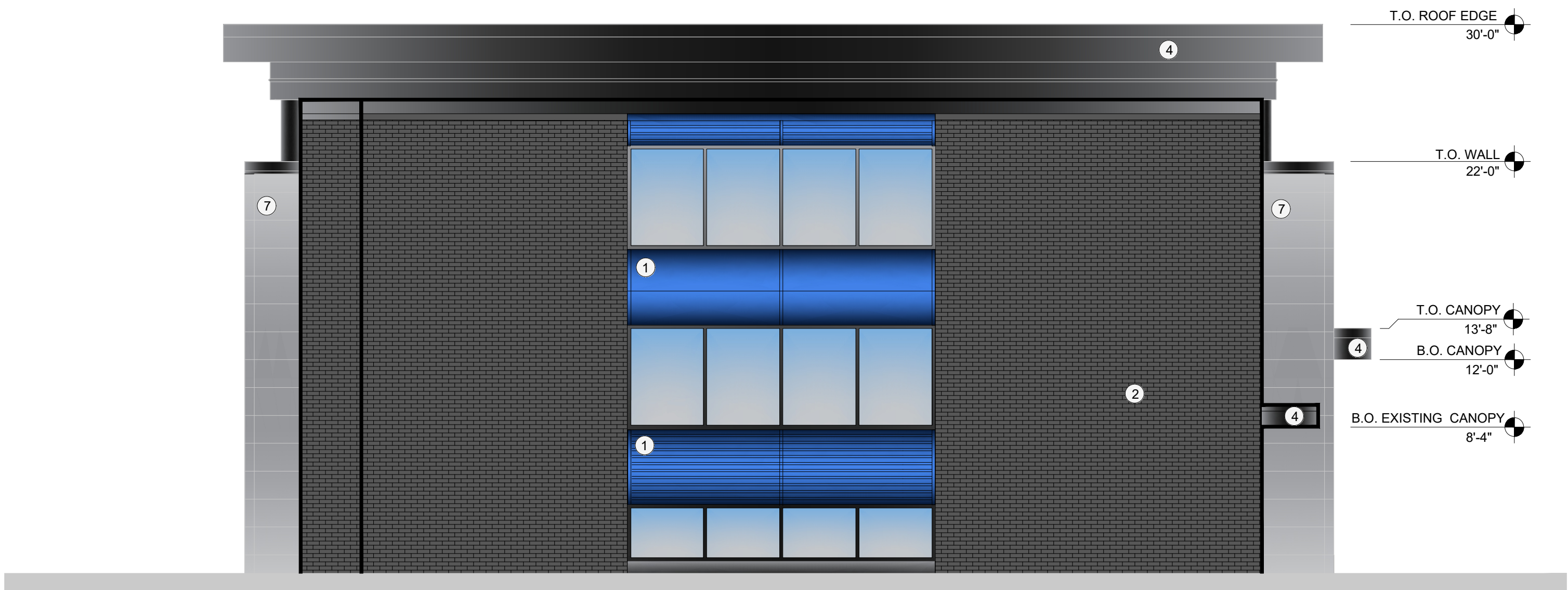
0A0000

SHEET TITLE:

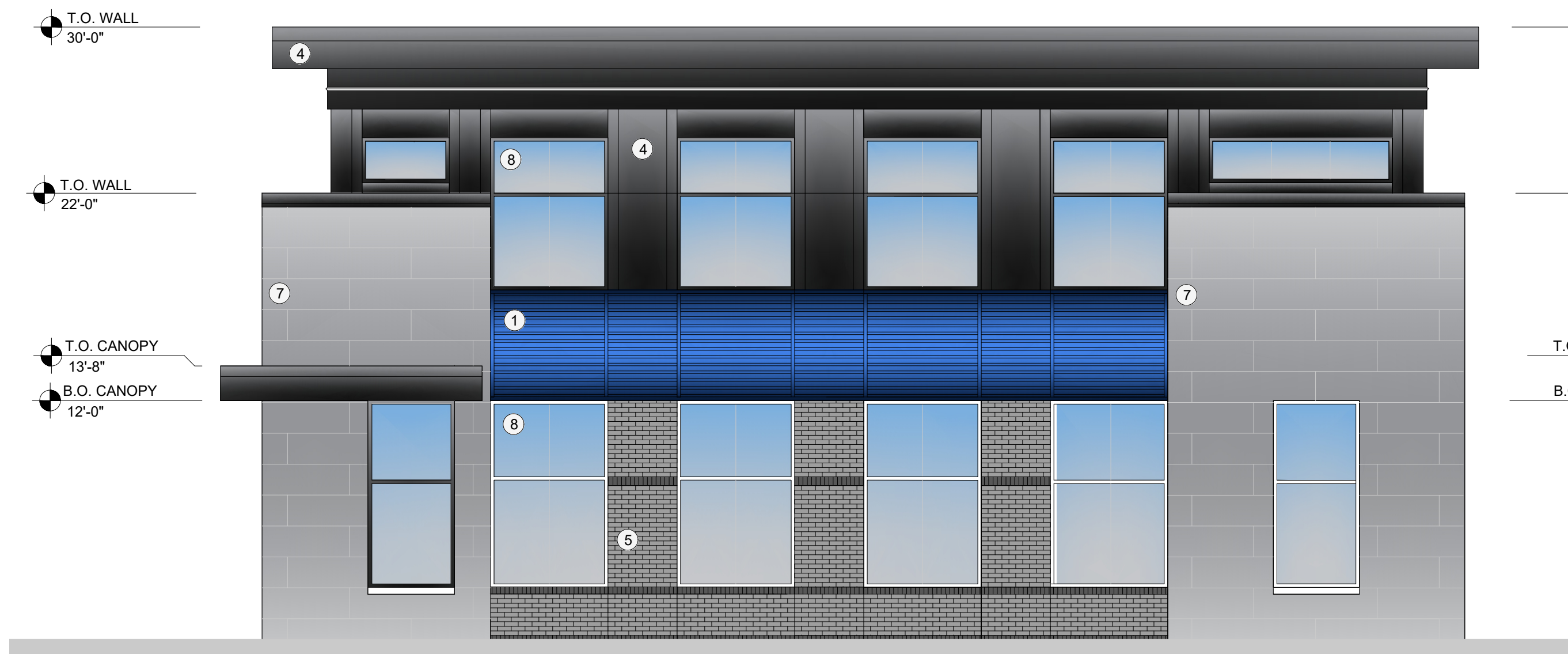
Proposed Elevations

SHEET NUMBER:

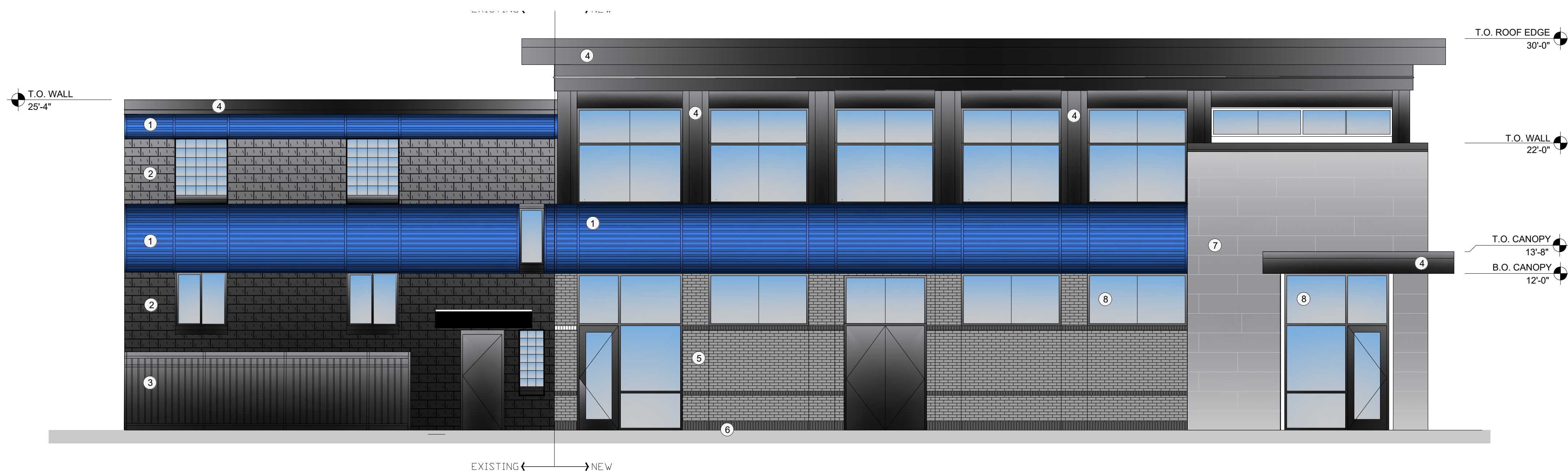
A1.0



2 East Elevation
Scale: 1/8"=1'-0"



3 West Elevation
Scale: 1/8"=1'-0"



4 North Elevation
Scale: 1/8"=1'-0"



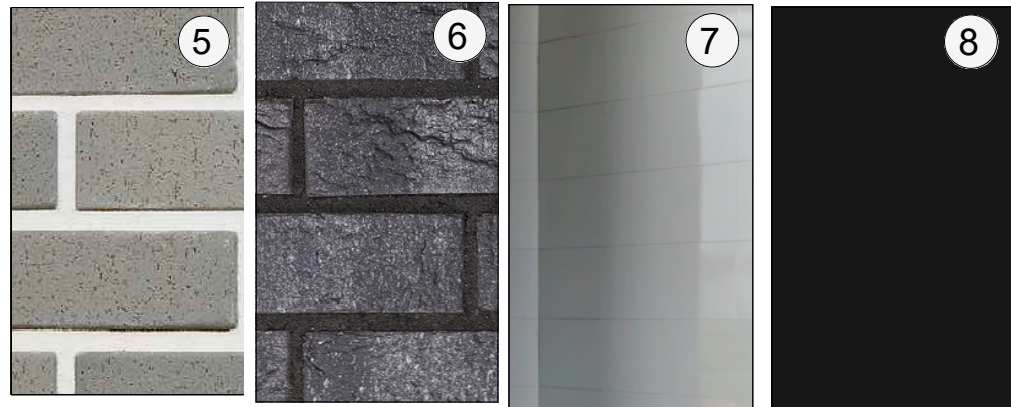
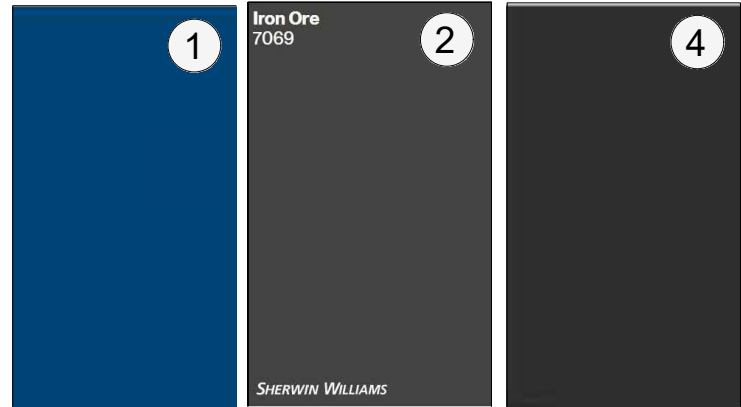
PERSPECTIVE VIEW FROMSOUTH WEST
Scale:N.T.S.



VIEW FROM PARKING FIELD
Scale:N.T.S.

BUILDING ELEVATION FINISHES

1. ARCHITECTURAL WALL PANEL - PAC CLAD - BOX RIB 1 - INTERSTATE BLUE .
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Issue Date:

05/15/26

△ DATE	REVISION
XXXXXXXX	PERMIT SUBMITTAL
XXXXXXXX	CLIENT UPDATES
XXXXXXXX	DESIGN DIRECTIVE
XXXXXXXX	CLIENT CHANGES
XXXXXXXX	CLIENT CHANGES

REVIEWED BY: RJR

DRAWN BY: RJR

ACS PROJECT NUMBER:

0A0000

SHEET TITLE:

RENDERINGS

SHEET NUMBER:

A1.1



Wauwatosa, WI

Staff Report

7725 W. North Avenue
Wauwatosa, WI 53213

File #: 26-1411

Agenda Date: 8/20/2026

Agenda #: 2.

67th & Powell - New Residential Home

BUILDING INFORMATION:

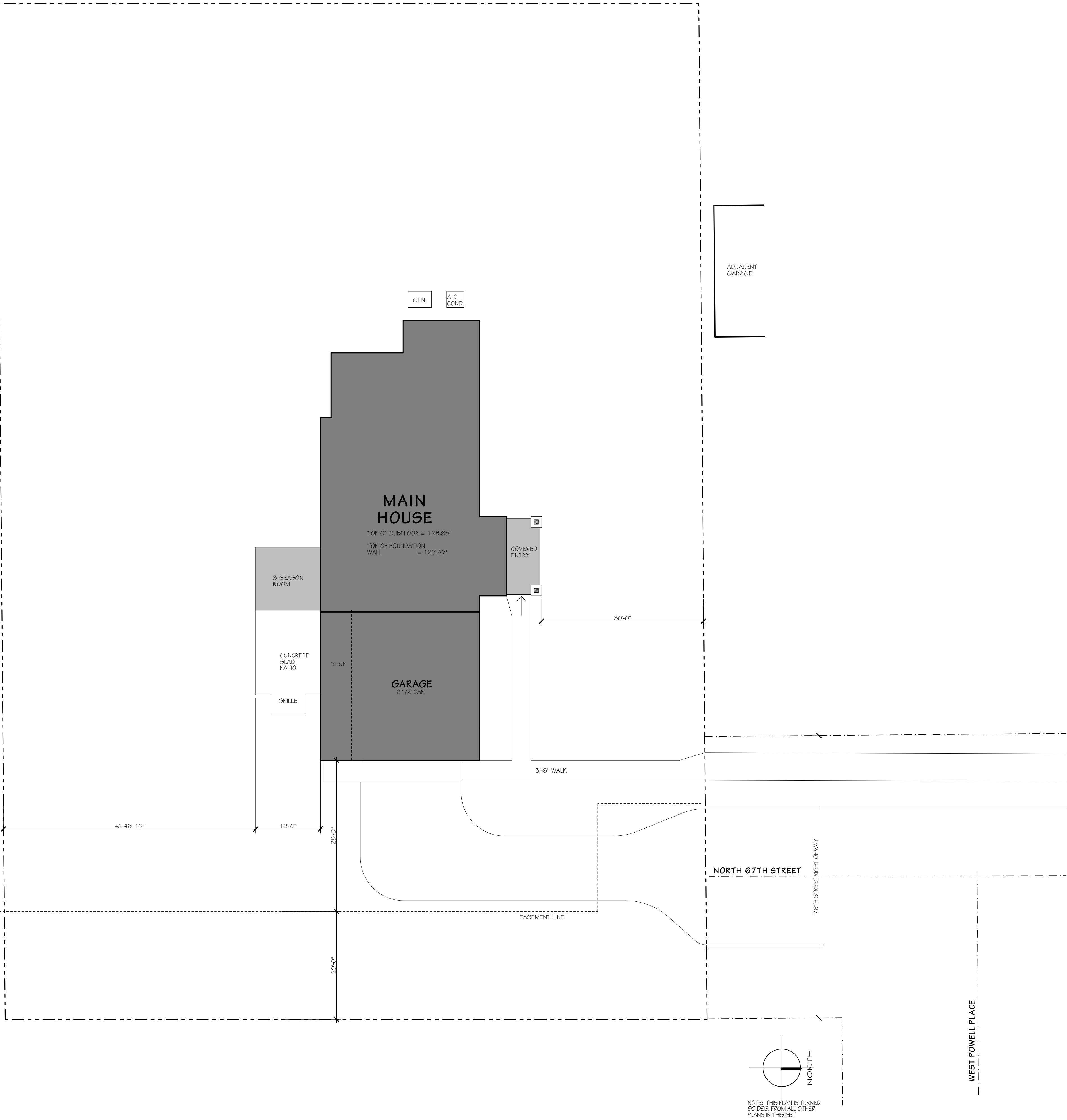
PROJECT TYPE:	NEW SINGLE-FAMILY RESIDENCE
ZONED:	SINGLE-UNIT RESIDENTIAL-6 (R1-6)
CONSTRUCTION CLASS:	WOOD FRAME
TAX KEY NUMBERS:	3690428000 3690429000 3690430000
STORIES:	1 PLUS BASEMENT
SPRINKLERED:	NO
CITY:	WAUWATOSA
COUNTY:	MILWAUKEE

AREA BREAKDOWN:

HOUSE	
FIRST FLOOR LIVING AREA:	1,550 S.F.
UNFINISHED LOWER LEVEL:	1,550 S.F.
GARAGE/SHOP	826 S.F.
3-SEASON ROOM	144 S.F.

DRAWING INDEX:

A-00.1	SITE PLAN, AND NOTES
A-1.00	LOWER LEVEL FLOOR PLAN / FOOTING & FOUNDATION PLAN
A-1.01	FIRST FLOOR PLAN
A-1.02	ROOF PLAN
A-1.11	FLOOR FRAMING PLAN
A-1.12	ROOF FRAMING PLAN
A-2.00	EXTERIOR ELEVATIONS, AND FIREPLACE SECTION
A-2.01	EXTERIOR ELEVATIONS
A-4.00	WALL SECTIONS, AND DETAILS
A-4.01	WALL SECTIONS
A-4.02	WALL SECTIONS
A-5.00	INTERIOR ELEVATIONS
A-5.01	INTERIOR ELEVATIONS
LP-1.00	LOWER LEVEL LIGHTING & POWER PLAN
LP-1.01	FIRST FLOOR LIGHTING & POWER PLAN



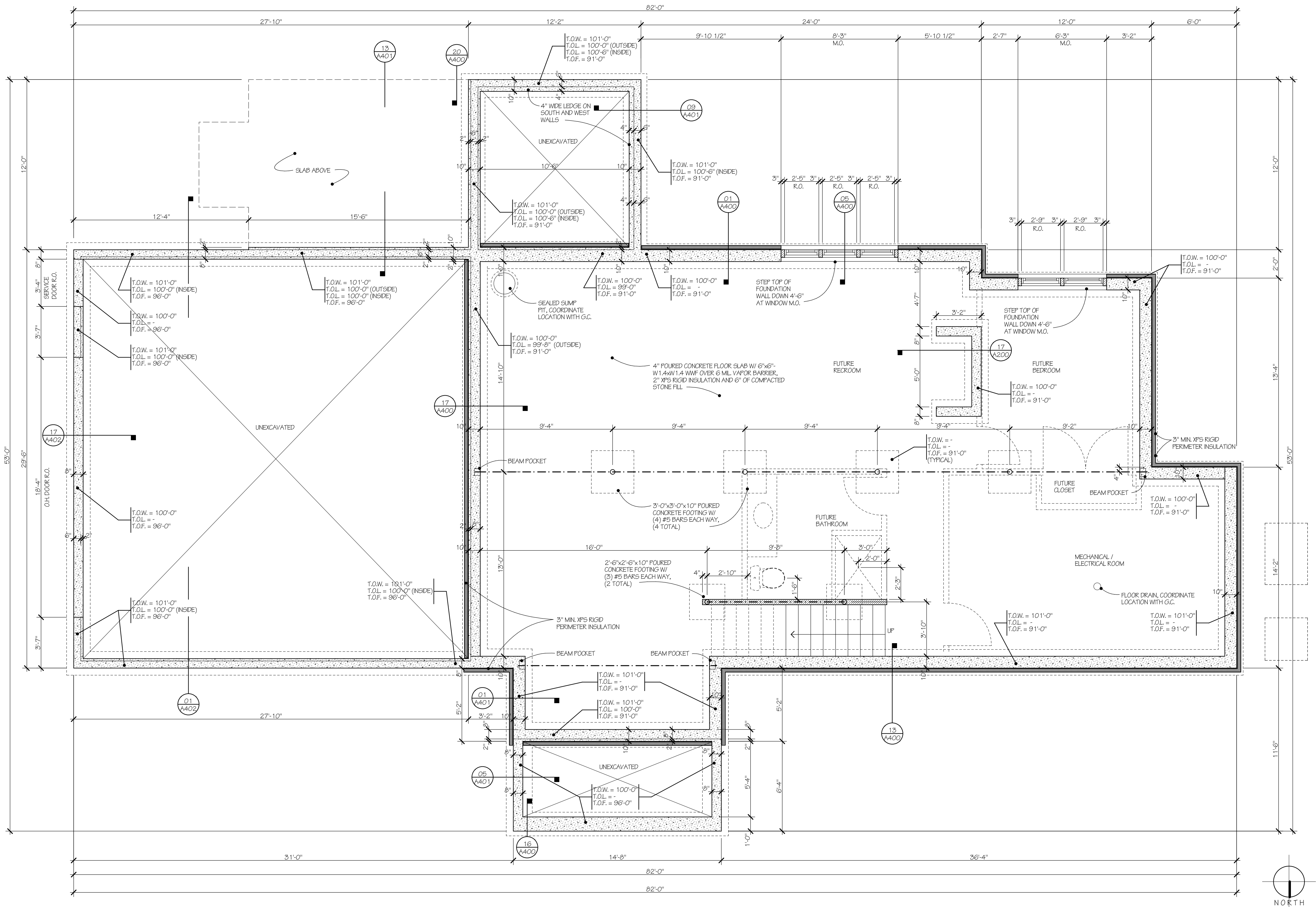
CONCRETE SPECIFICATIONS:

FLOOR SLABS - 4,000 PSI
FOOTINGS AND MISCELLANEOUS CONCRETE WORK - 3,000 PSI
WALLS AND EXTERIOR CONCRETE EXPOSED TO WEATHER - 4,000 PSI
MAXIMUM SLUMP - 4"
WATER CEMENT RATIO NOT TO EXCEED 0.48
6% AIR ENTIREMENT (+/- 1%)
WATER TO BE POTABLE
REINFORCING BARS - ASTM A615, GRADE 60 MINIMUM

DRAWING ELEVATIONS:

ELEVATIONS NOTED ON THIS PLAN ARE BASED ON THE TOP OF A
TYPICAL 9" WALL SET AT 100'-0".
100'-0" WILL BE 1'-2 1/8" BELOW THE FIRST FLOOR TOP OF SUBFLOOR.
SEE CIVIL DRAWINGS FOR HEIGHT OF FIRST FLOOR SUBFLOOR AS IT
RELATES TO THE SURVEY ELEVATION DATUM.

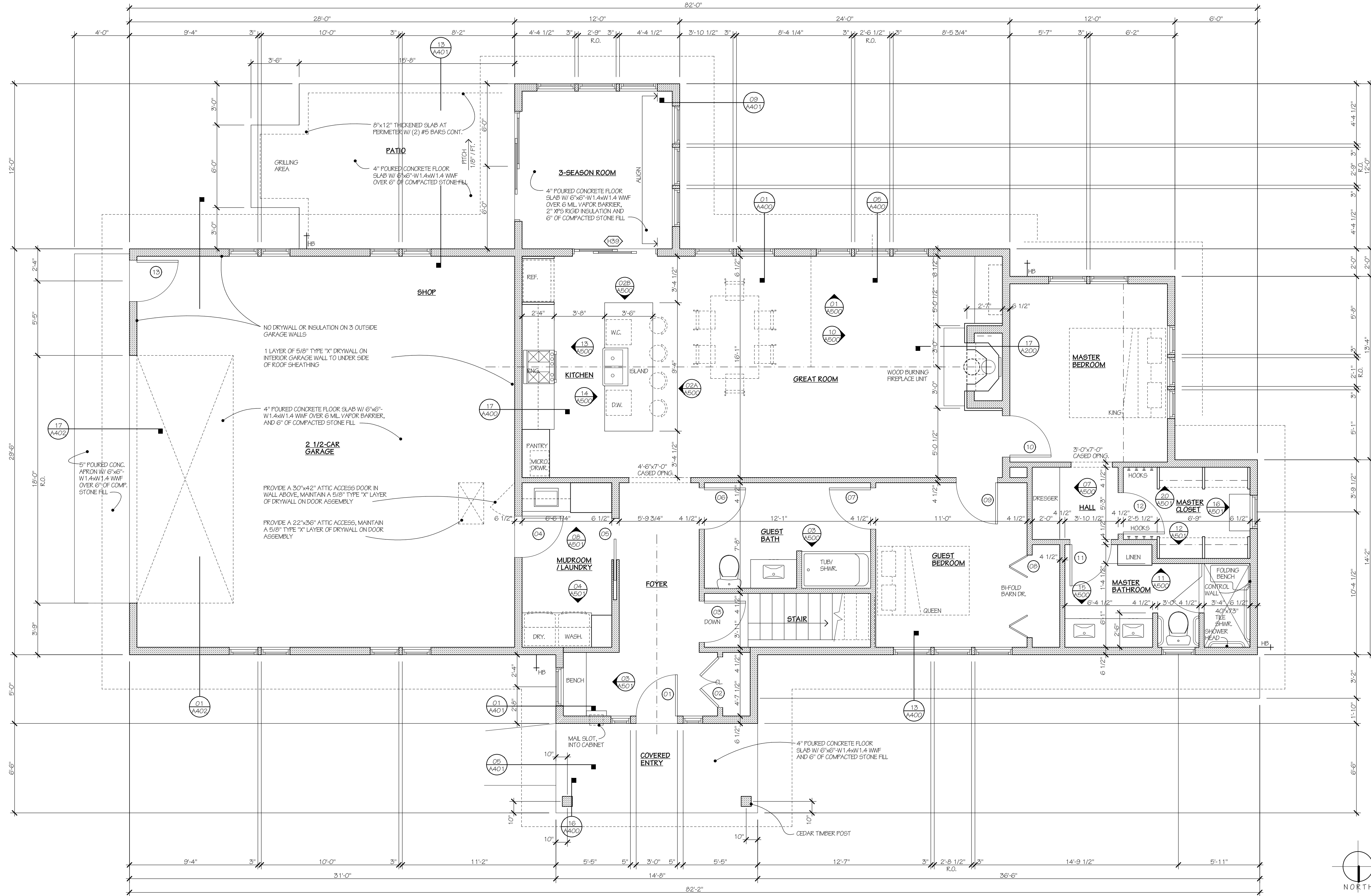
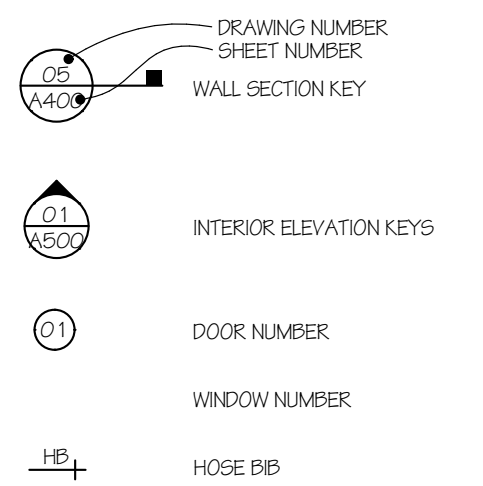
T.O.W. = TOP OF WALL
T.O.L. = TOP OF LEDGE
T.O.F. = TOP OF FOOTING



WALL LAYOUT:

- ALL EXTERIOR DIMENSIONS TO STUD WALLS ARE TO THE OUTSIDE FACE OF THE SHEATHING.
- DIMENSIONS TO TIMBER POSTS ARE TO THE CENTER OF POST
- ALL INTERIOR DIMENSIONS ARE TO THE FACE OF 1/2" GYPSUM BOARD.

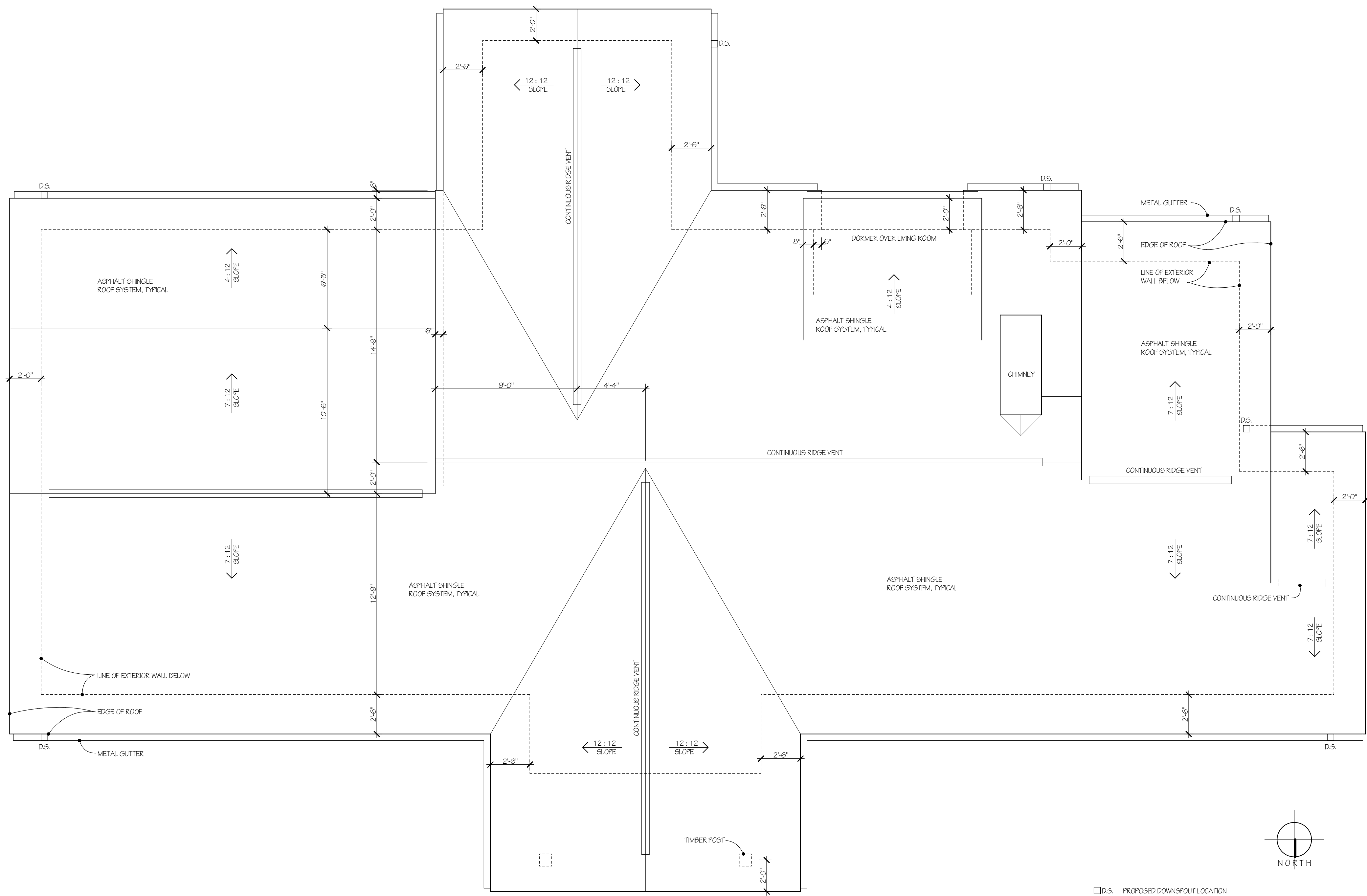
DRAWING KEY:



HOUSE - FIRST FLOOR PLAN

1/4" = 1'-0"

01



HOUSE - ROOF PLAN

1/4" = 1'-0"

01

TONY RESIDENCE
NORTH 67TH STREET
WAUWATOSA, WISCONSIN 53213

WYDEVEN
ARCHITECTS
7667 West State Street, Suite 303
Wauwatosa, Wisconsin 53213
Phone: 414-614-4677 Email: Bruce@WydevenArchitects.com

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REVISIONS
REVISED 08-08-25
UPDATED ELEVATIONS,
09-23-25
UPDATED DRAWINGS
PER WAUWATOSA DESIGN
REVIEW, 12-02-25

PROJECT NO. 2310

DATE:
JANUARY 20, 2025

SHEET

A-1.02₁₂

WINDOW AND DOOR HEADERS

SEE HEADER SCHEDULE FOR ALL WINDOW AND DOOR HEADERS ON EXTERIOR WALLS AND INTERIOR BEARING WALLS.

ALL INTERIOR NON-LOAD BEARING HEADERS ARE TO BE (2) 2x6s WITH 1 SHOULDER STUD AND 1 KING STUD ON EACH END.

PROVIDE (2) 2x6 STUDS BETWEEN ALL WINDOWS IN SERIES. HEADER TO BE CONTINUOUS FOR FULL WIDTH OF WINDOWS IN SERIES.

HEADER SCHEDULE

PROVIDE THE QUANTITY OF STUDS AT EACH BEARING END OF HEADER UNLESS NOTED OTHERWISE.

TAG	HEADER SIZE	SHOULDER STUDS
HD-1	(2) 2x6	(1)
HD-2	(2) 2x10	(2)
HD-3	(3) 7 1/4" LVL	(2)
HD-4	(2) 11 7/8" LVL	(2)
HD-5	(3) 2x6	(2)
HD-6	(3) 2x10	(2)
HD-7	(3) 9 1/2" LVL	(2)
HD-8	(3) 11 7/8" LVL	(3)

IN ADDITION TO THE SHOULDER STUDS, PROVIDE KING STUDS AS NOTED ON THE "KING STUD SCHEDULE".

LATERAL BRACING

PROVIDE THE FOLLOWING ANCHORS TO ALL WALL SHEATHING THROUGHOUT:

FASTEN OSB SHEATHING WITH A MINIMUM OF 6x COMMON NAILS AT 6" O/C AT PANEL EDGES AND 12" O/C AT INTERMEDIATE STUDS, FULL HEIGHT OF WALL.

KING STUD SCHEDULE

EXTERIOR OPENINGS

A.	0'-0" < OPENING ≤ 5'-0"	(1) STUD
B.	5'-0" < OPENING ≤ 8'-0"	(2) STUDS
C.	8'-0" < OPENING ≤ 12'-0"	(3) STUDS
D.	12'-0" < OPENING ≤ 16'-0"	(4) STUDS

INTERIOR OPENINGS

A.	0'-0" < OPENING ≤ 8'-0"	(1) STUD
B.	8'-0" < OPENING ≤ 16'-0"	(2) STUDS

KING STUD SCHEDULE APPLIES TO ALL HEADERS UNLESS NOTED OTHERWISE ON FRAMING PLAN

GENERAL FRAMING NOTES:

- ALL STRUCTURAL JOIST, RAFTERS, BEAMS, AND HEADERS NOTED TO BE SOLID LUMBER ARE TO BE DOUGLAS FIR #2 GRADE OR BETTER.

- ALL STUDS, BLOCKING AND NAILERS TO BE SPF, DOUGLAS FIR, SOUTHERN PINE, OR HEM-FIR, #2 GRADE OR BETTER.

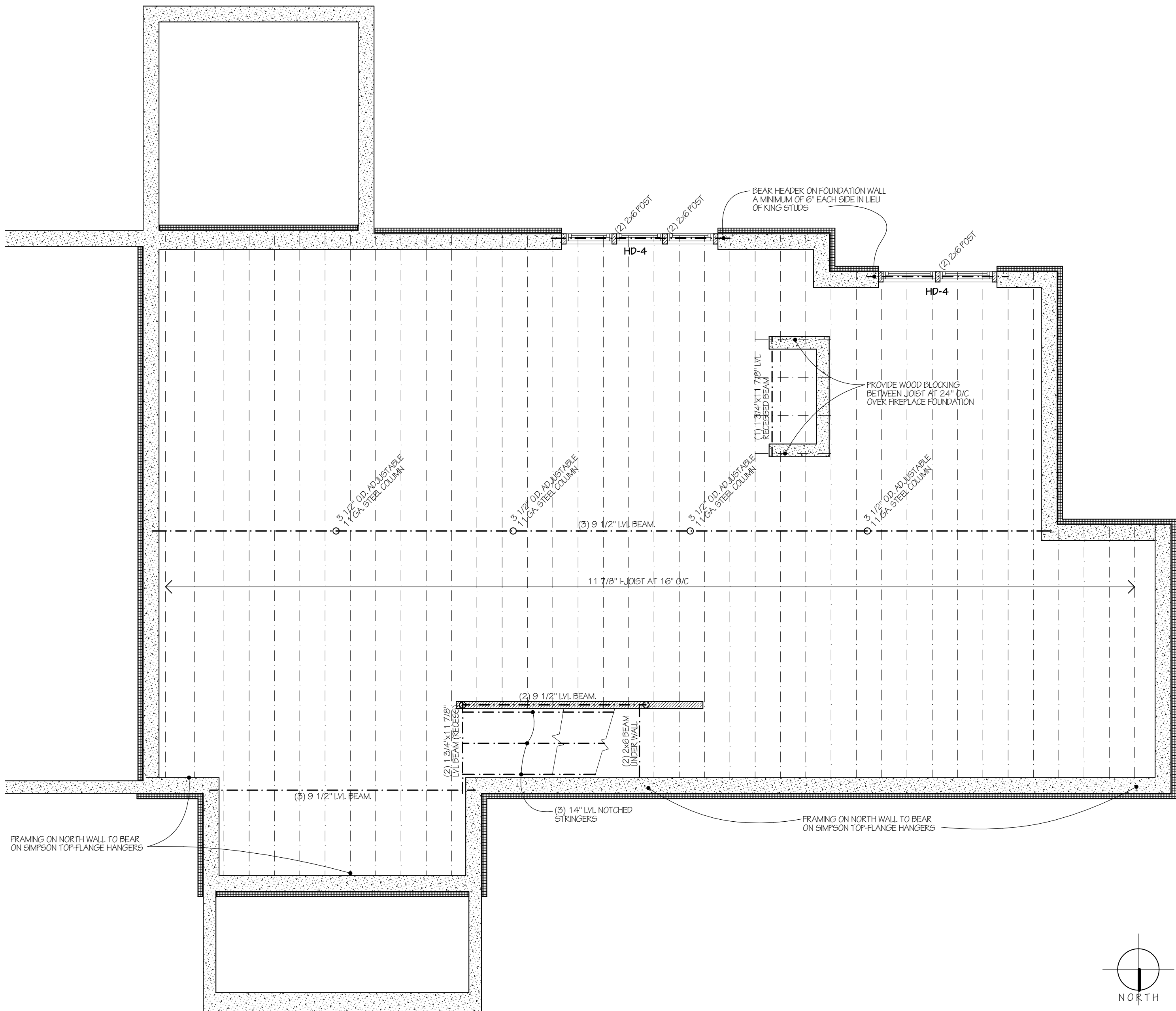
- ALL CEDAR TIMBERS AND RAFTERS TO BE WESTERN RED CEDAR, #2 GRADE OR BETTER.

- ALL LVL FRAMING TO MEET THE FOLLOWING MINIMUM REQUIREMENTS:

F _y	2,600 psi
F _v	750 psi
E _x	2,910,000 psi
E _y	1,900,000 psi
G _x	118,750 psi

- TRUSS LAYOUT: THE TRUSS LAYOUT SHOWN IS CONCEPTUAL. THE TRUSS MANUFACTURER IS TO PREPARE A FINAL LAYOUT BASED ON THEIR FINAL TRUSS DESIGN.

PROVIDE THE FOLLOWING LOADINGS:
30 PSF LIVE LOAD
20 PSF WIND LOAD
15 PSF DEAD LOAD
MAX. LIVE LOAD DEFLECTION = L/260



HOUSE - FLOOR FRAMING PLAN

1/4" = 1'-0"

01

WINDOW AND DOOR HEADERS

SEE HEADER SCHEDULE FOR ALL WINDOW AND DOOR HEADERS ON EXTERIOR WALLS AND INTERIOR BEARING WALLS.

ALL INTERIOR NON-LOAD BEARING HEADERS ARE TO BE (2) 2x6s WITH 1 SHOULDER STUD AND 1 KING STUD ON EACH END.

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TAG	HEADER SIZE	SHOULDER STUDS
HD-1	(2) 2x6	(1)
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HD-6	(3) 2x10	(2)
HD-7	(3) 9 1/2" LVL	(2)
HD-8	(3) 11 7/8" LVL	(2)

IN ADDITION TO THE SHOULDER STUDS, PROVIDE KING STUDS AS NOTED ON THE KING STUD SCHEDULE.

LATERAL BRACING

PROVIDE THE FOLLOWING ANCHORS TO ALL WALL SHEATHING THROUGHOUT:

FASTEN OSB SHEATHING WITH A MINIMUM OF 8d COMMON NAILS AT 6" O/C AT PANEL EDGES AND 12" O/C AT INTERMEDIATE STUDS, FULL HEIGHT OF WALL.

KING STUD SCHEDULE

EXTERIOR OPENINGS

A.	0'-0" < OPENING ≤ 5'-0"	(1) STUD
B.	5'-0" < OPENING ≤ 8'-0"	(2) STUDS
C.	8'-0" < OPENING ≤ 12'-0"	(3) STUDS
D.	12'-0" < OPENING ≤ 16'-0"	(4) STUDS

INTERIOR OPENINGS

A.	0'-0" < OPENING ≤ 8'-0"	(1) STUD
B.	8'-0" < OPENING ≤ 16'-0"	(2) STUDS

KING STUD SCHEDULE APPLIES TO ALL HEADERS UNLESS NOTED OTHERWISE ON FRAMING PLAN

GENERAL FRAMING NOTES:

- ALL STRUCTURAL JOIST, RAFTERS, BEAMS, AND HEADERS NOTED TO BE SOLID LUMBER ARE TO BE DOUGLAS FIR #2 GRADE OR BETTER.

- ALL STUDS, BLOCKING AND NAILERS TO BE SPF, DOUGLAS FIR, SOUTHERN PINE, OR HEM-FIR, #2 GRADE OR BETTER.

- ALL CEDAR TIMBERS AND RAFTERS TO BE WESTERN RED CEDAR, #2 GRADE OR BETTER.

- ALL LVL FRAMING TO MEET THE FOLLOWING MINIMUM REQUIREMENTS:

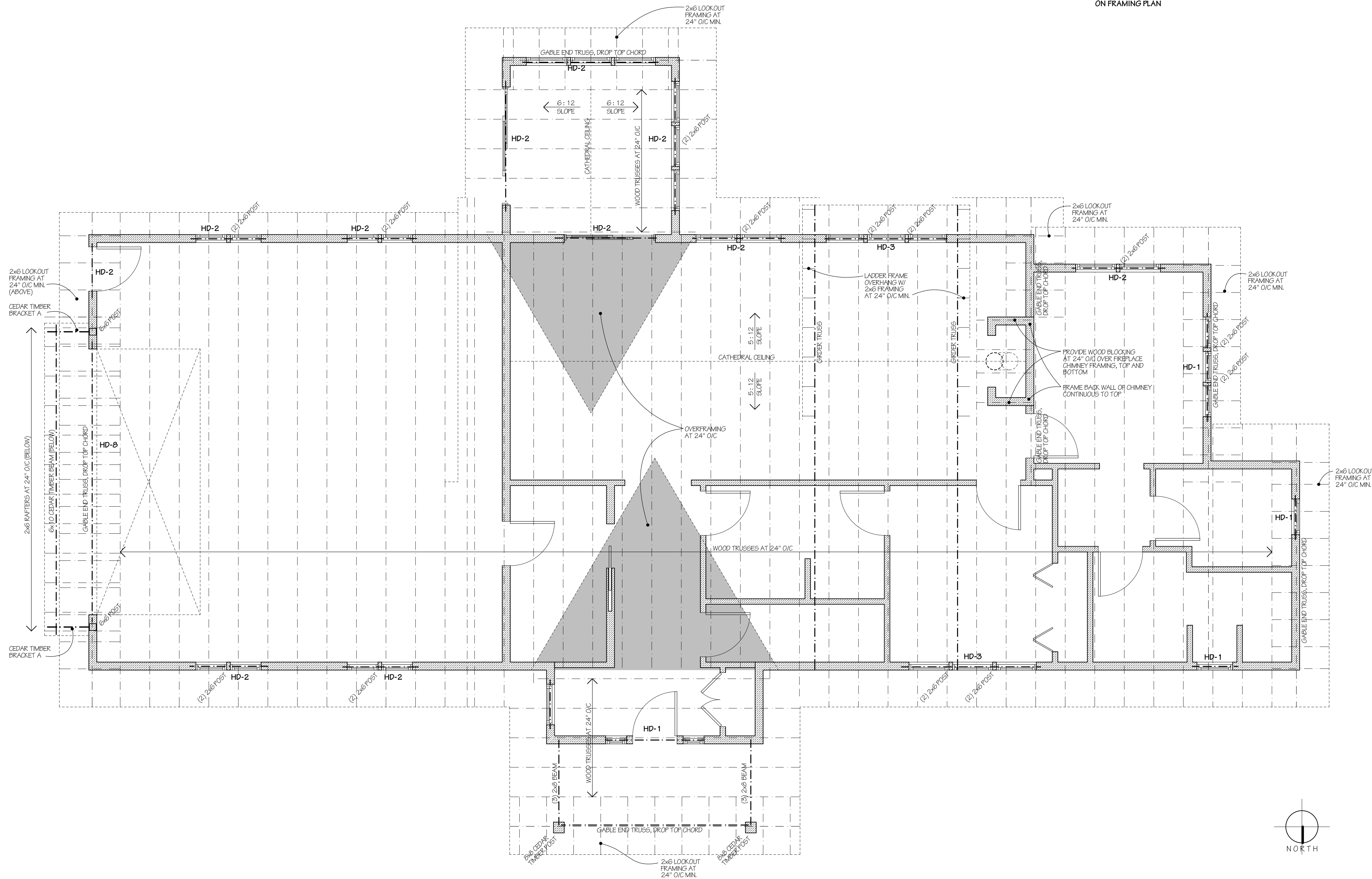
Fb:	2,600 psi
Fv:	750 psi
Fc:	2.5-10 psi
Fw:	255 psi
E:	1,300,000 psi
G:	118,750 psi

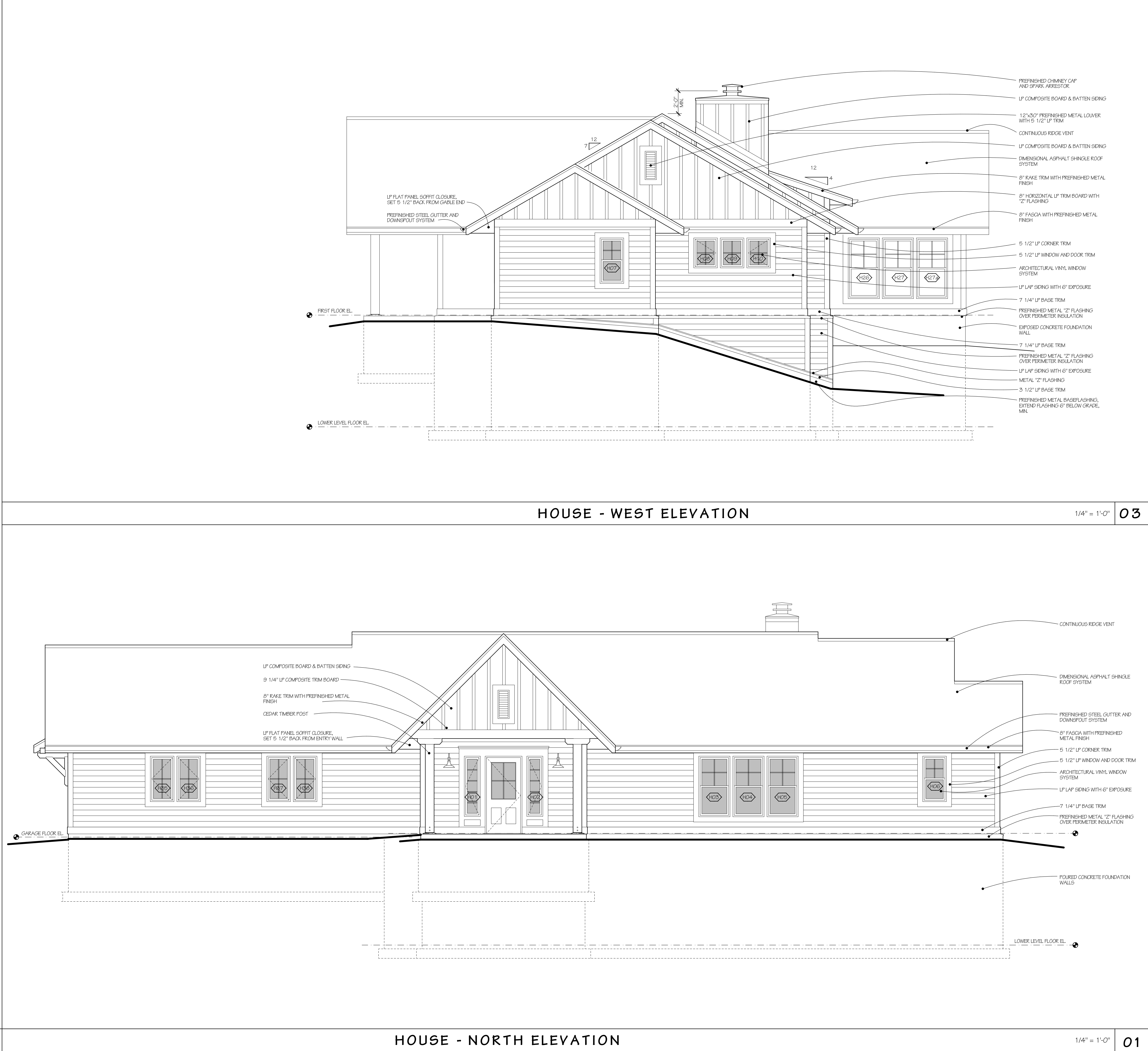
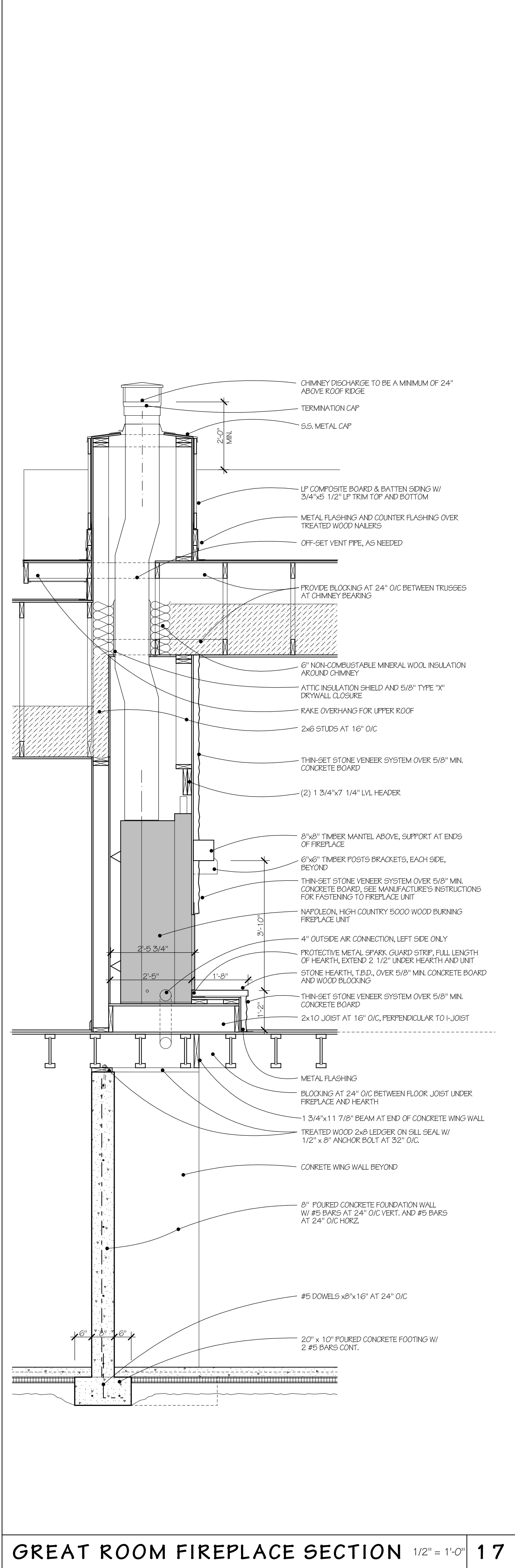
- TRUSS LAYOUT, THE TRUSS LAYOUT SHOWN IS CONCEPTUAL. THE TRUSS MANUFACTURER IS TO PREPARE A FINAL LAYOUT BASED ON THEIR FINAL TRUSS DESIGN.

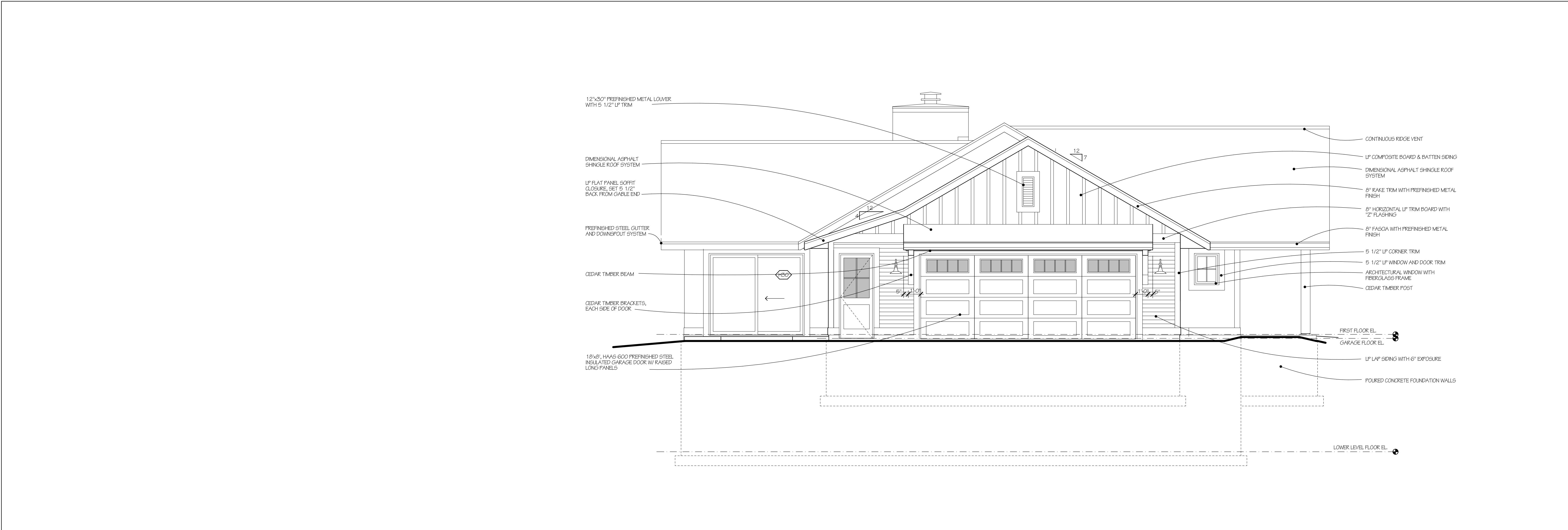
PROVIDE THE FOLLOWING LOADING:

30 PSF LIVE LOAD
20 PSF WIND LOAD
15 PSF DEAD LOAD

MAX. LIVE LOAD DEFLECTION = L/360







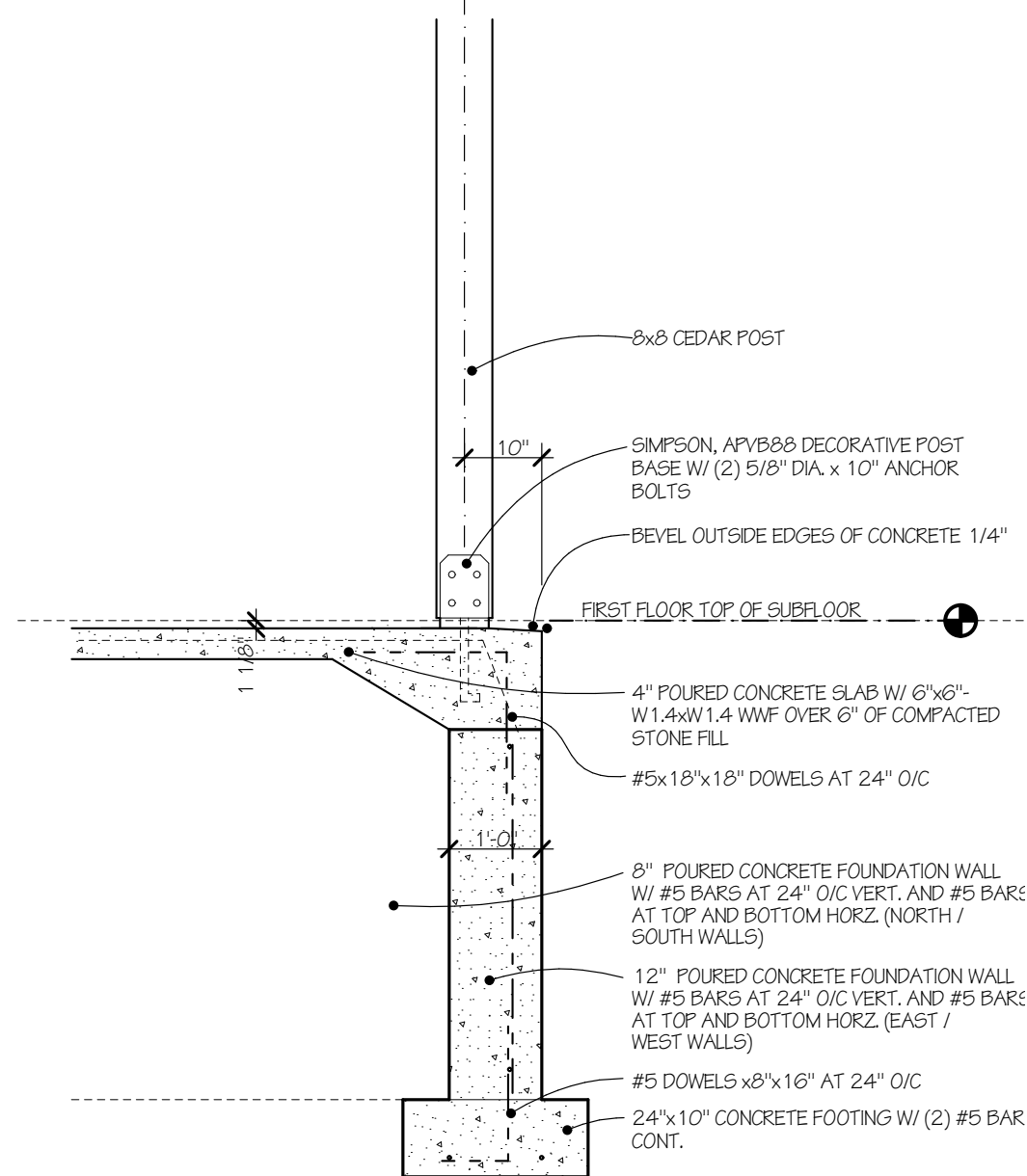
HOUSE - EAST ELEVATION

1/4" = 1'-0" 03



HOUSE - SOUTH ELEVATION

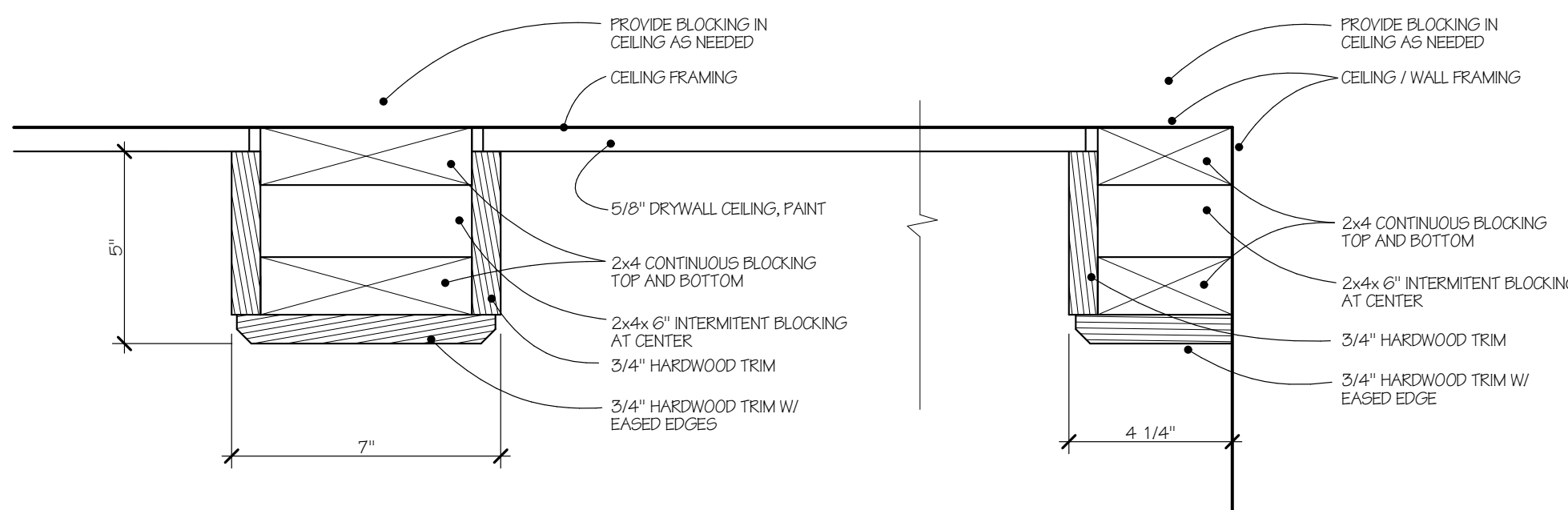
1/4" = 1'-0" 01



ENTRY PIER DETAIL

3" = 1'-0"

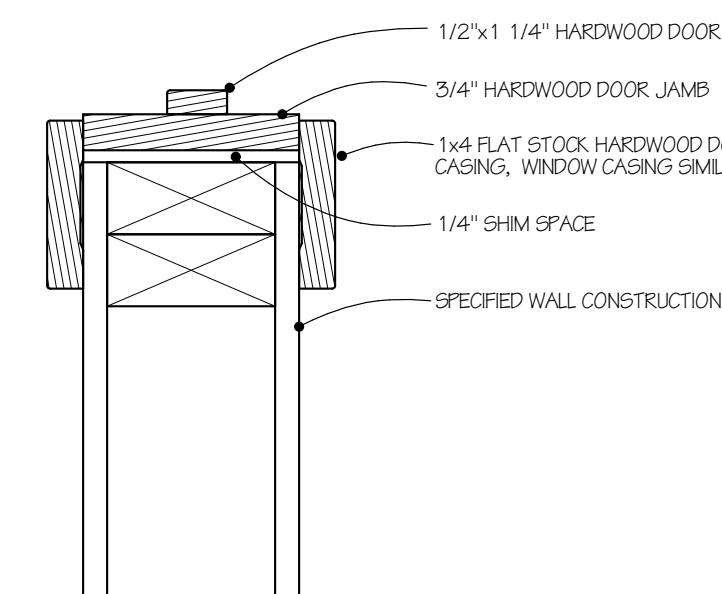
16



BEAMS IN GREAT ROOM CEILING

3" = 1'-0"

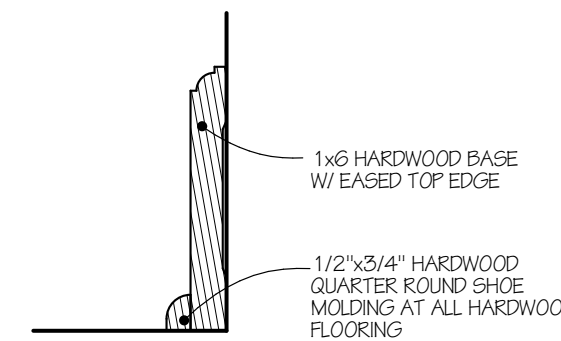
12



C-1 CASING

3" = 1'-0"

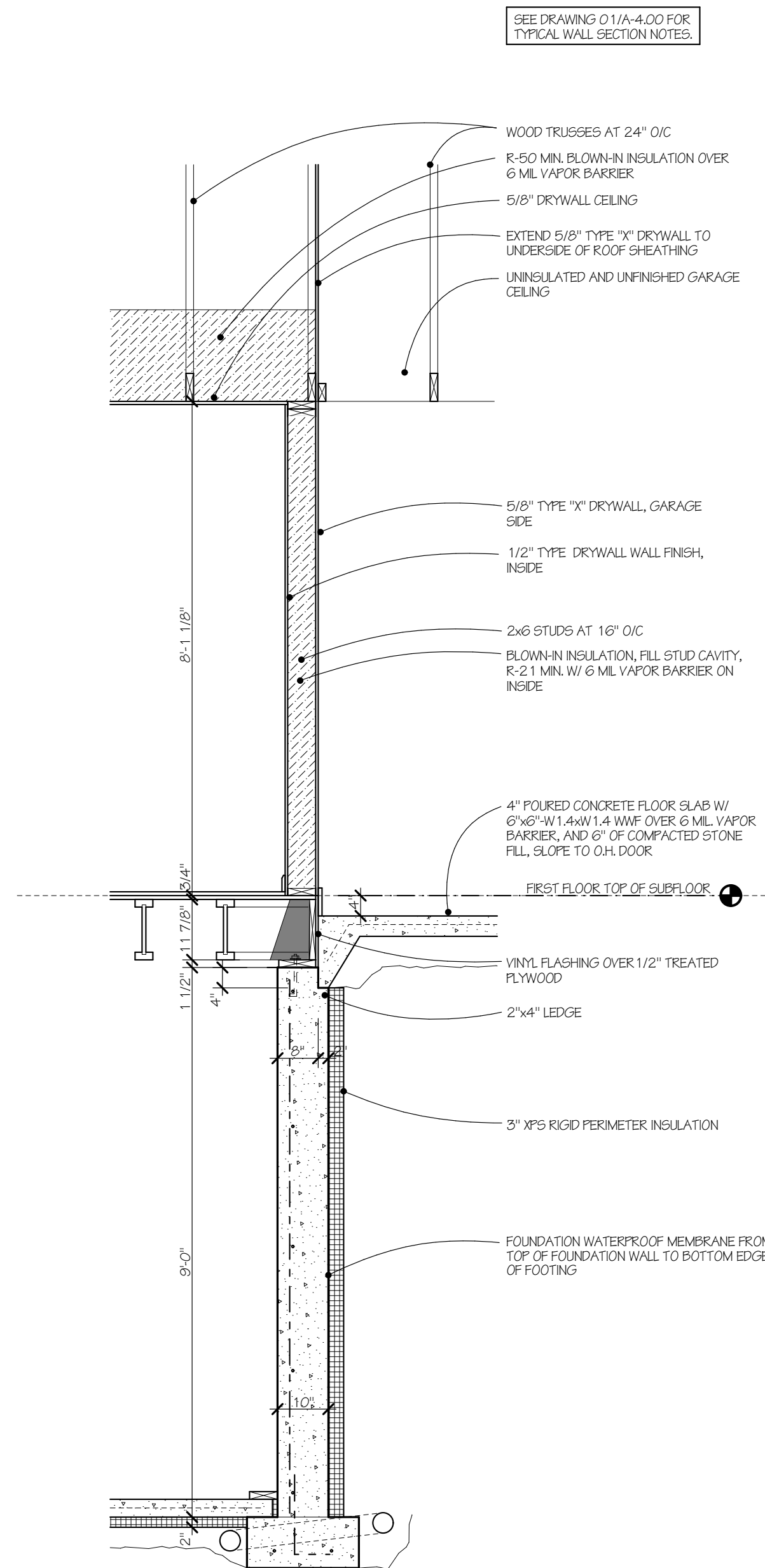
08



B-1 BASE

3" = 1'-0"

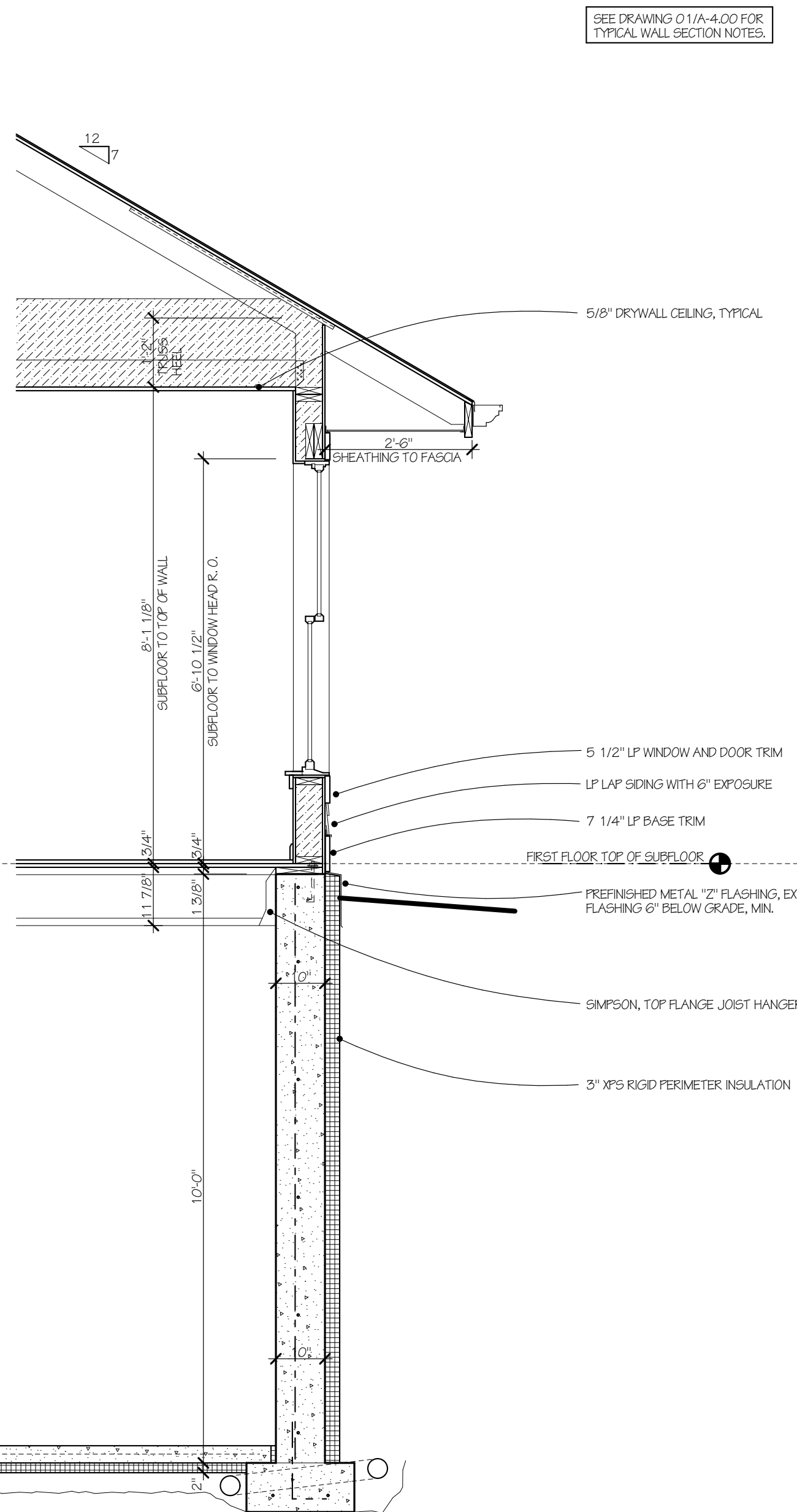
04



GARAGE / HOUSE SECTION

1/2" = 1'-0"

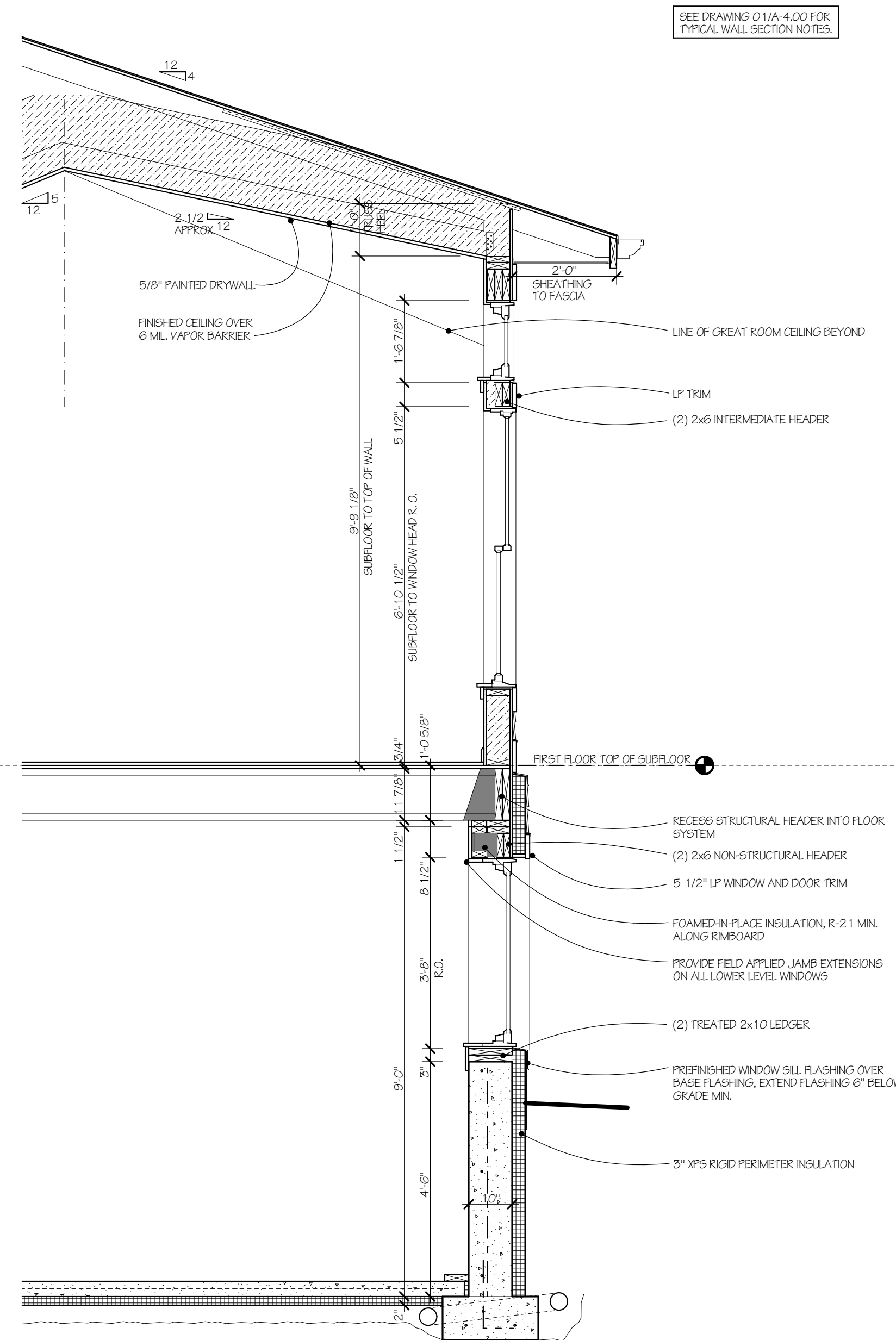
17



NORTH WALL SECTION

1/2" = 1'-0"

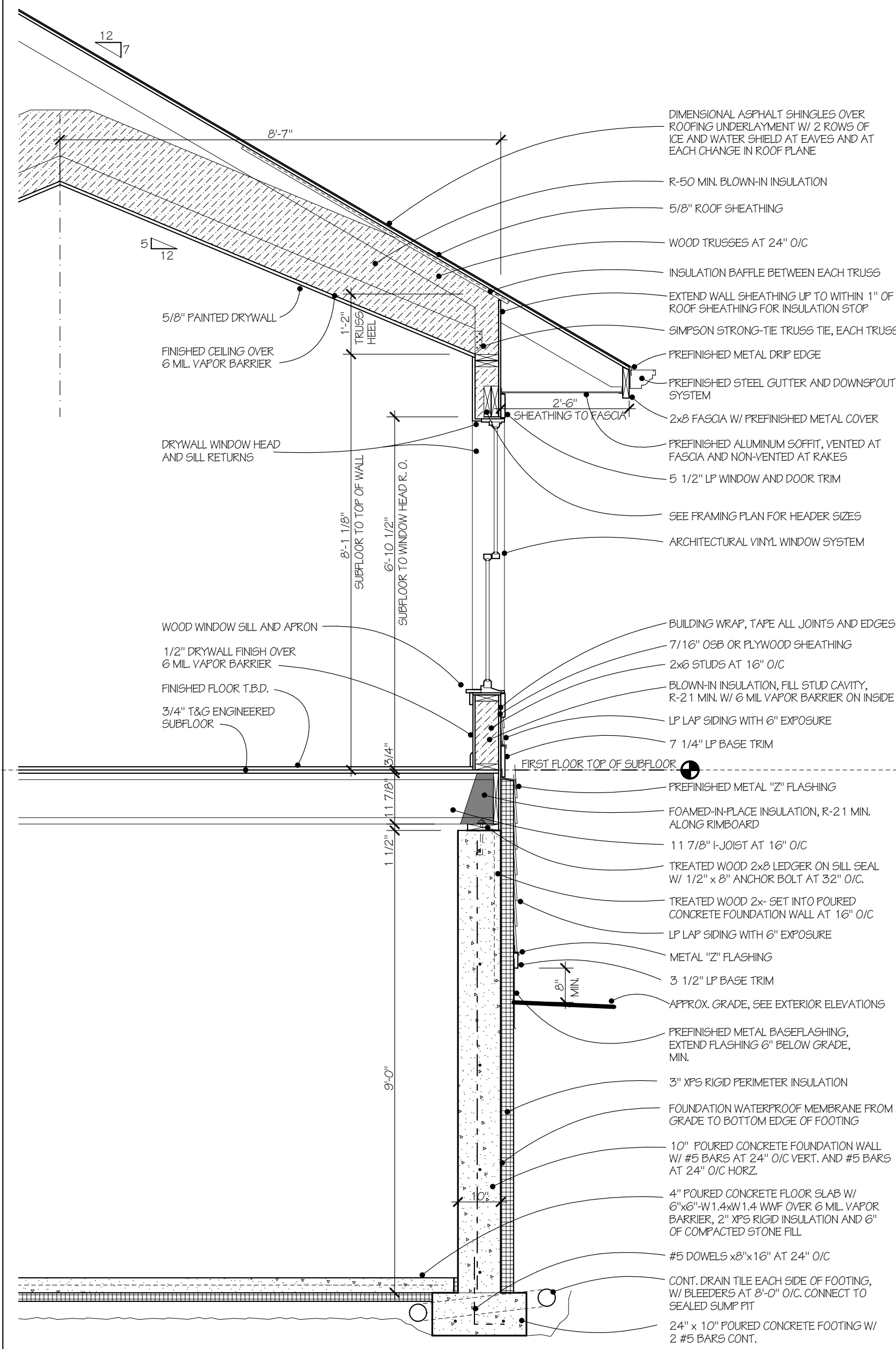
13



WALL SECTION AT GREAT ROOM DORMER

1/2" = 1'-0"

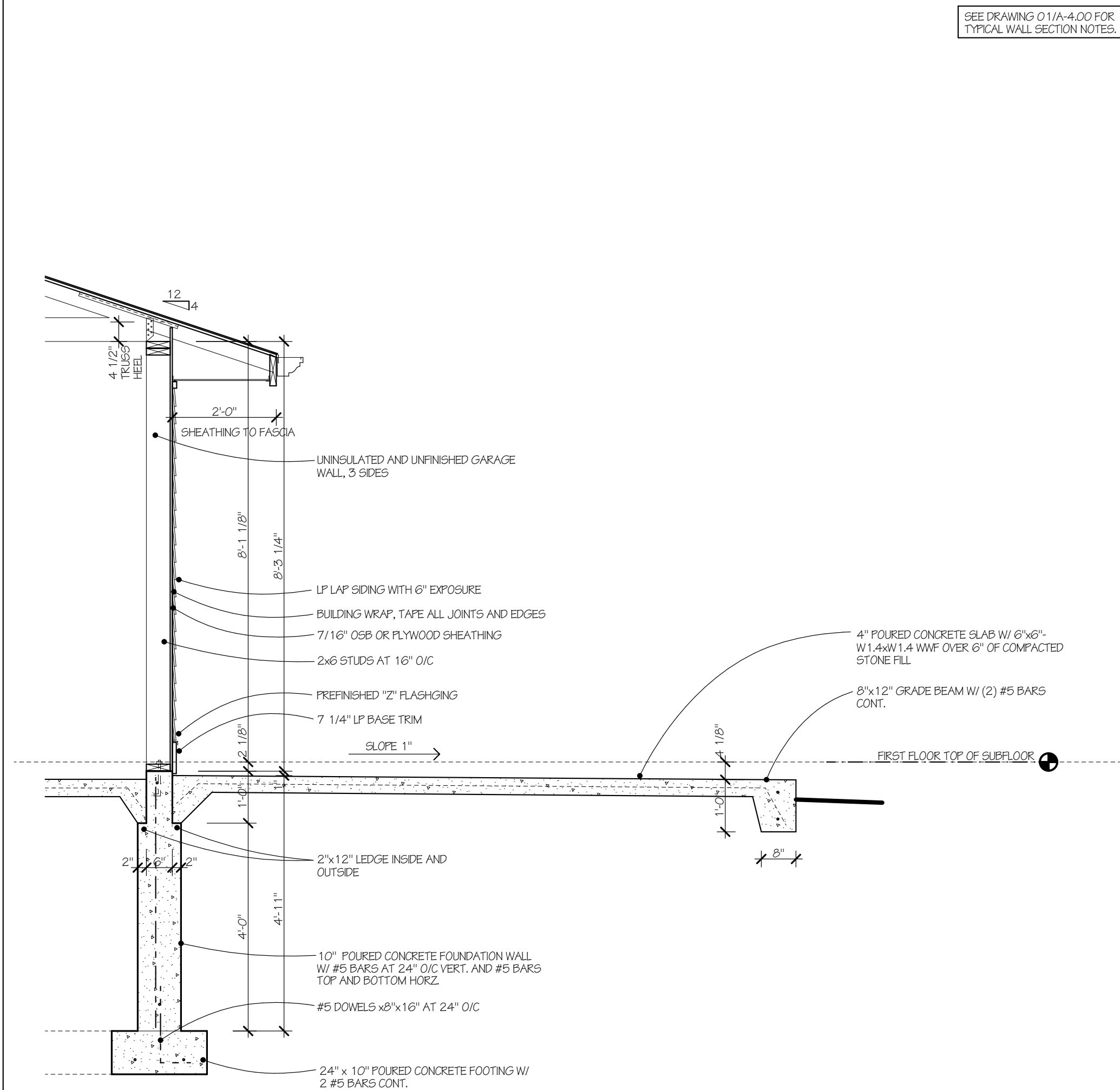
05



WALL SECTION AT GREAT ROOM

1/2" = 1'-0"

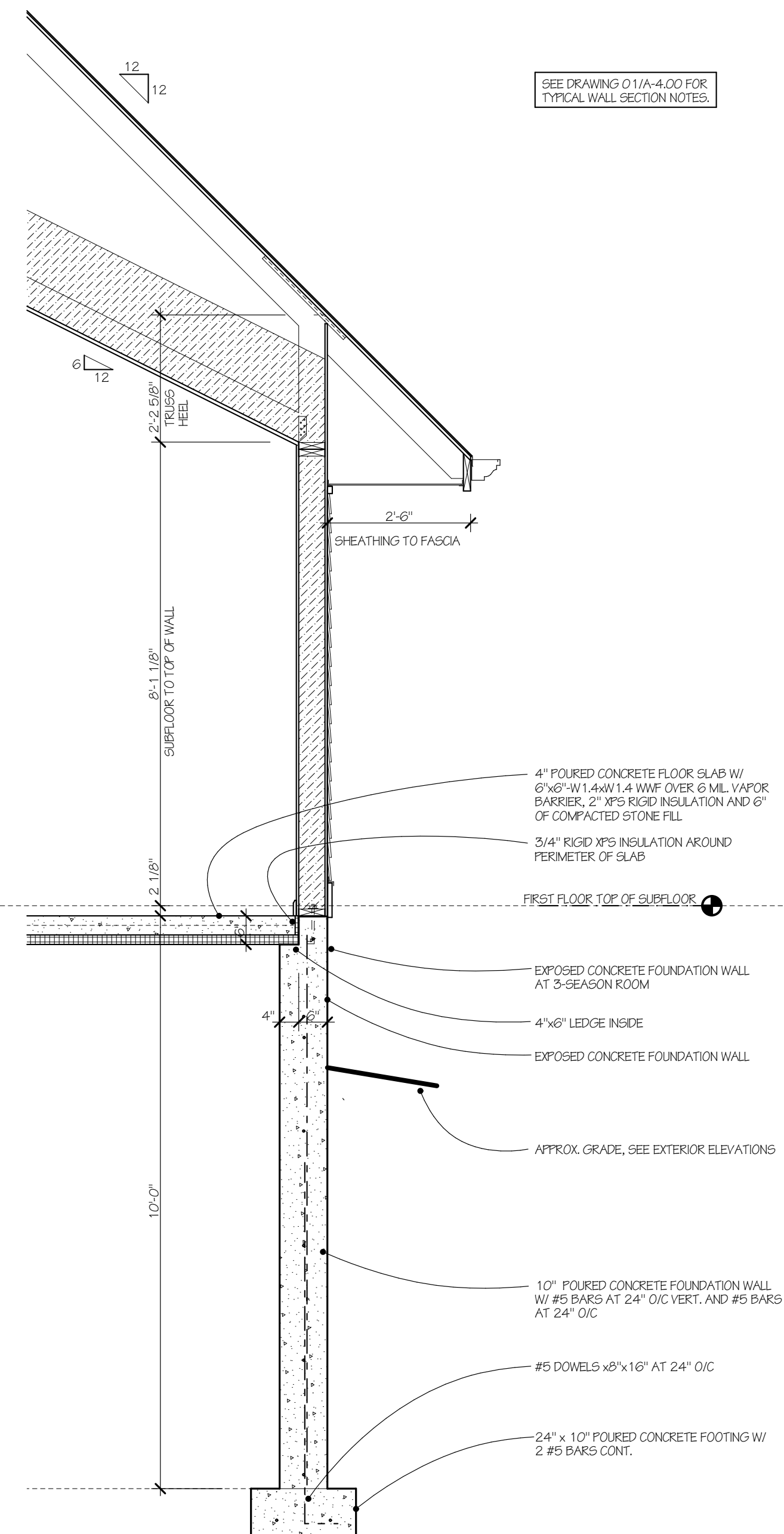
01



WALL SECTION AT COVERED PATIO

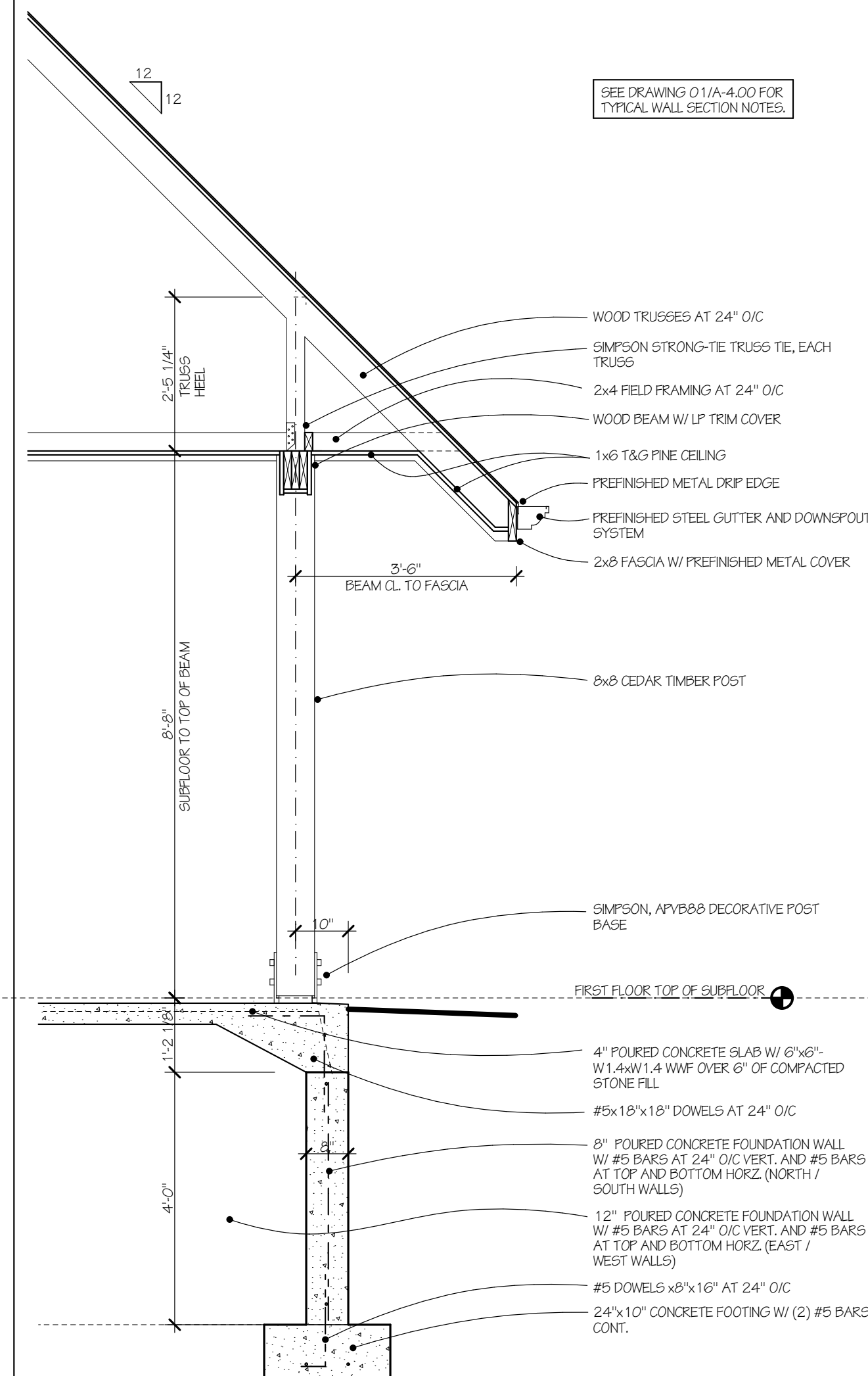
$$1/2'' = 1'-0''$$

13

WALL SECTION AT 3-SEASON ROOM $1/2" = 1'-0"$

1 1/2" = 1'-0"

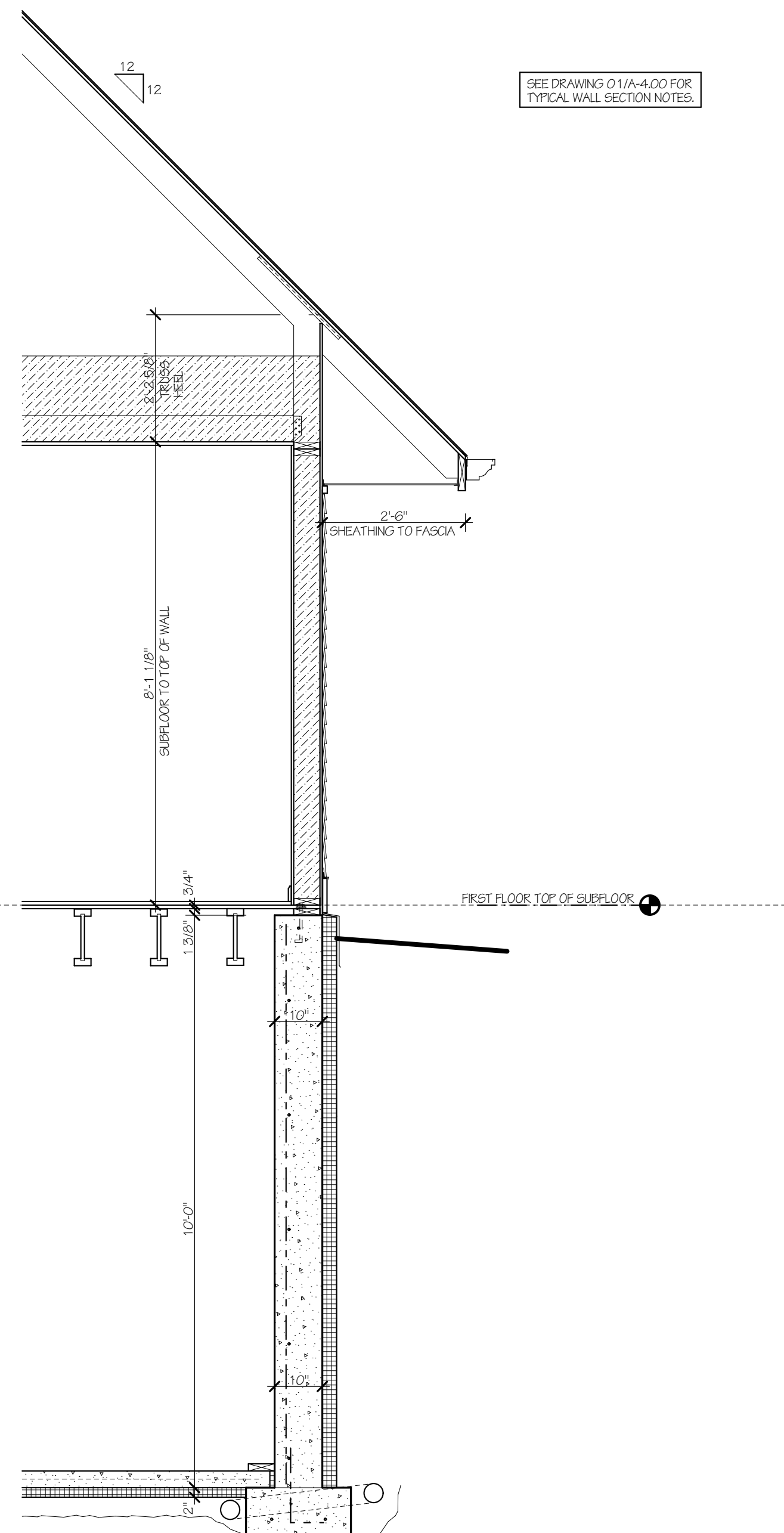
09



WALL SECTION AT ENTRY

$$1/2'' = 1'-0''$$

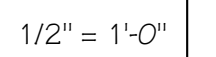
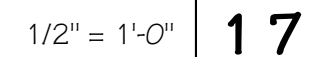
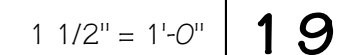
05



WALL SECTION AT FOYER

$$1/2'' = 1'-0''$$

01



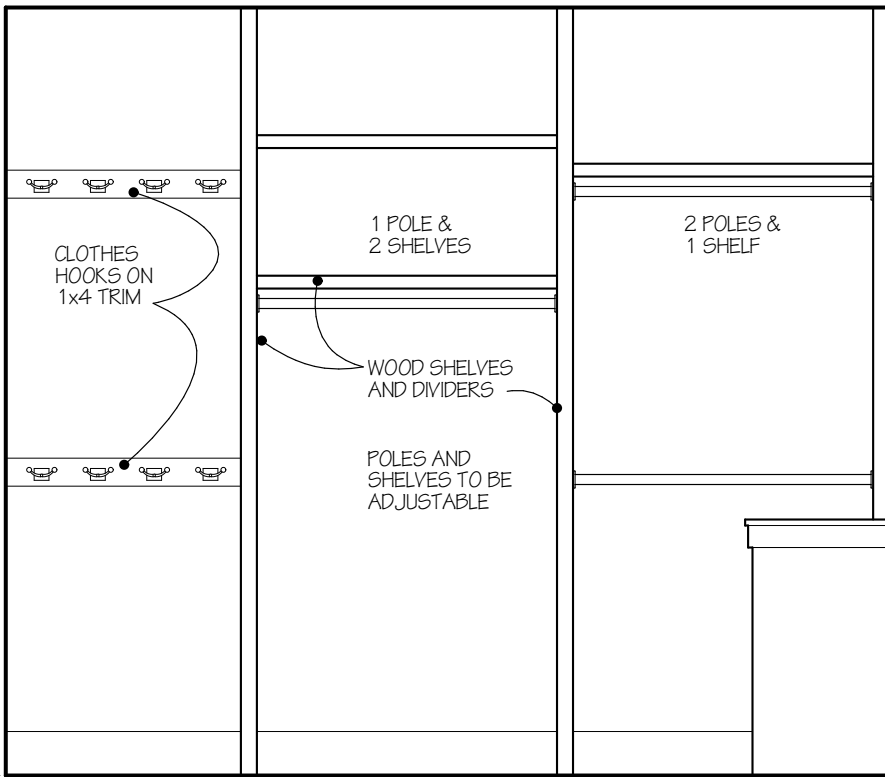
INTERIOR ELEVATIONS

MASTER BATHROOM - LOOKING NORTH 1/2" = 1'-0"15	MASTER BATHROOM - LOOKING SOUTH 1/2" = 1'-0"11	MASTER HALL - LOOKING EAST 1/2" = 1'-0"07	GUEST BATHROOM - LOOKING NORTH 1/2" = 1'-0"03

KITCHEN / ISLAND - LOOKING WEST 1/2" = 1'-0"14	GREAT ROOM - LOOKING WEST 1/2" = 1'-0"10	A - LOOKING EAST B - LOOKING NORTH KITCHEN ISLAND 1/2" = 1'-0"02

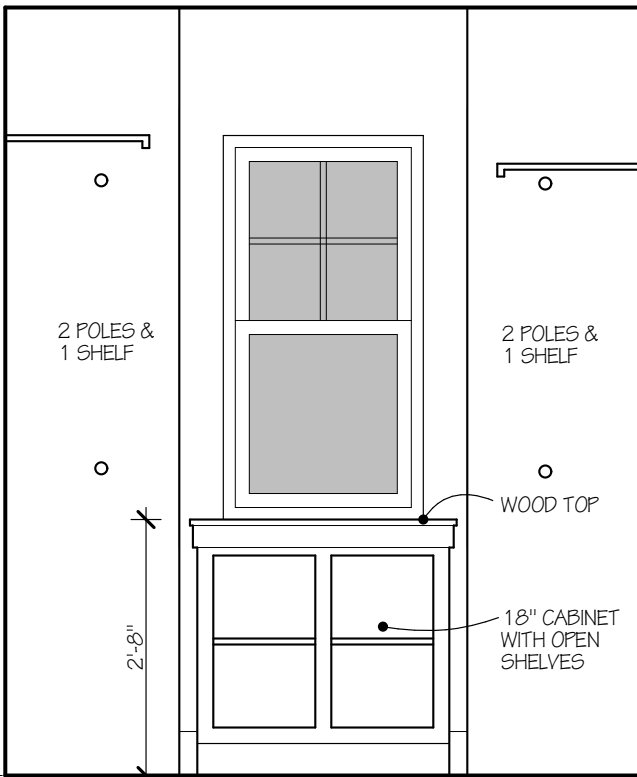
KITCHEN - LOOKING EAST 1/2" = 1'-0"13	LIVING ROOM - LOOKING SOUTH 1/2" = 1'-0"01

INTERIOR ELEVATIONS



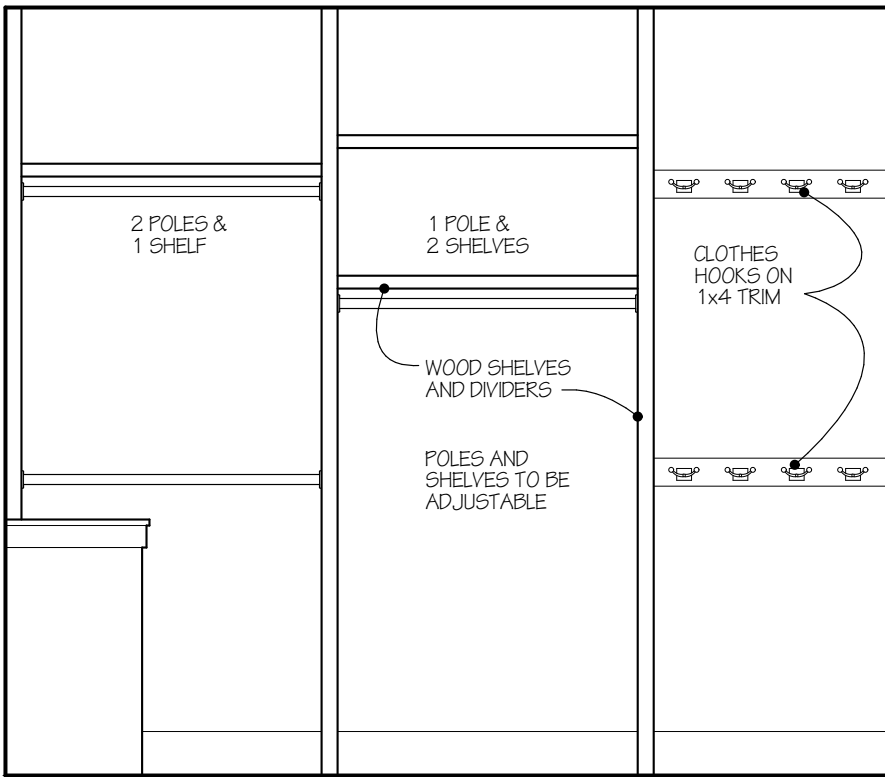
MASTER CLOSET - LOOKING SOUTH 1/2" = 1'-0"

20



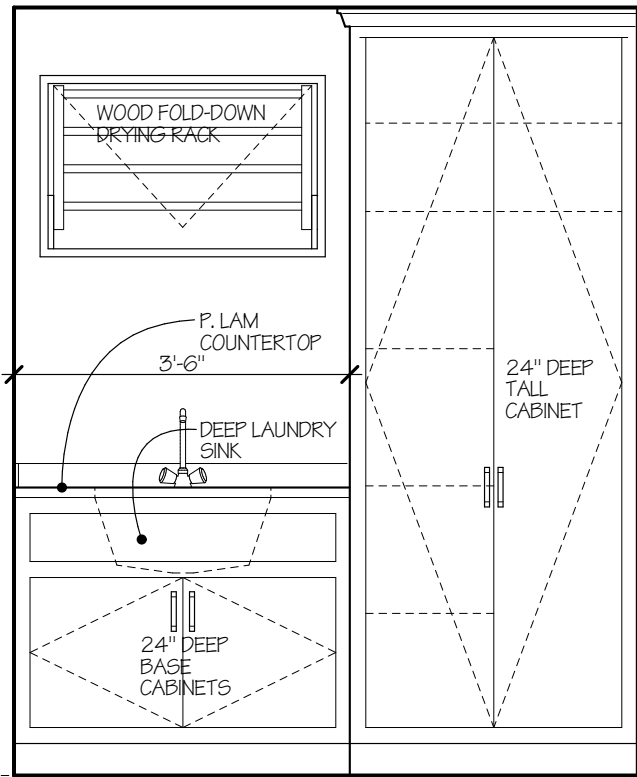
MASTER CLOSET - LOOKING WEST 1/2" = 1'-0"

16



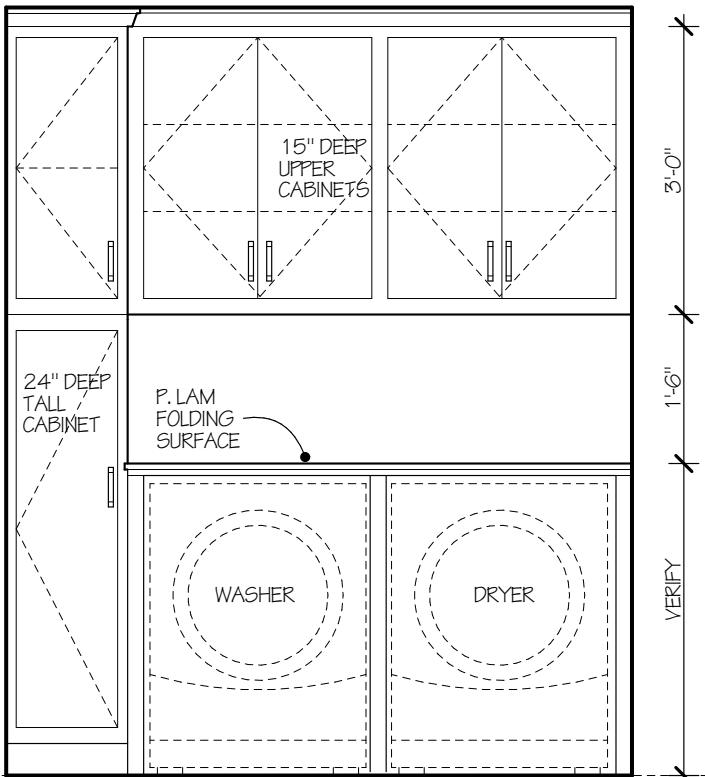
MASTER CLOSET - LOOKING NORTH 1/2" = 1'-0"

12



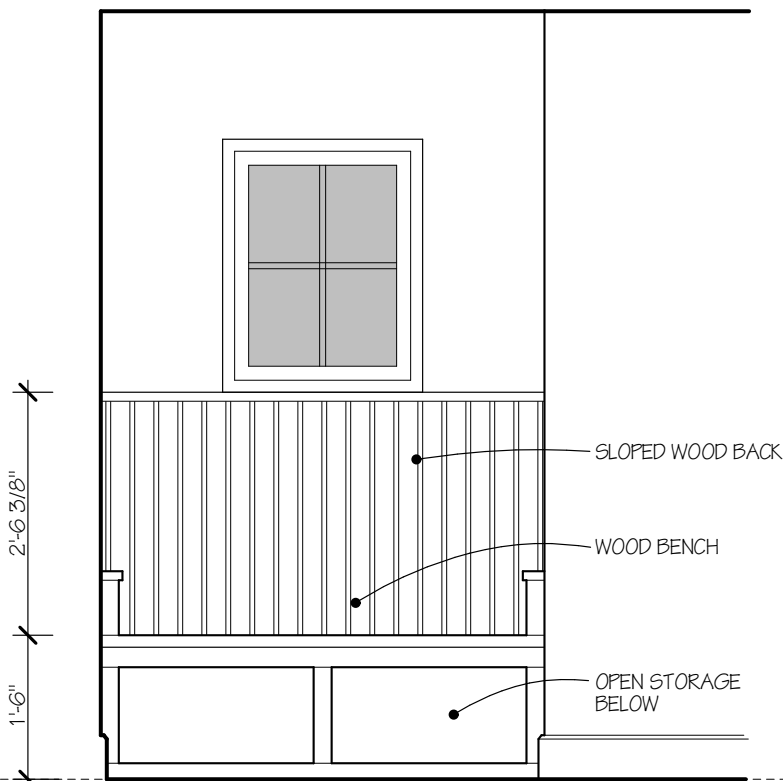
LAUNDRY - LOOKING SOUTH 1/2" = 1'-0"

08



LAUNDRY - LOOKING NORTH 1/2" = 1'-0"

04

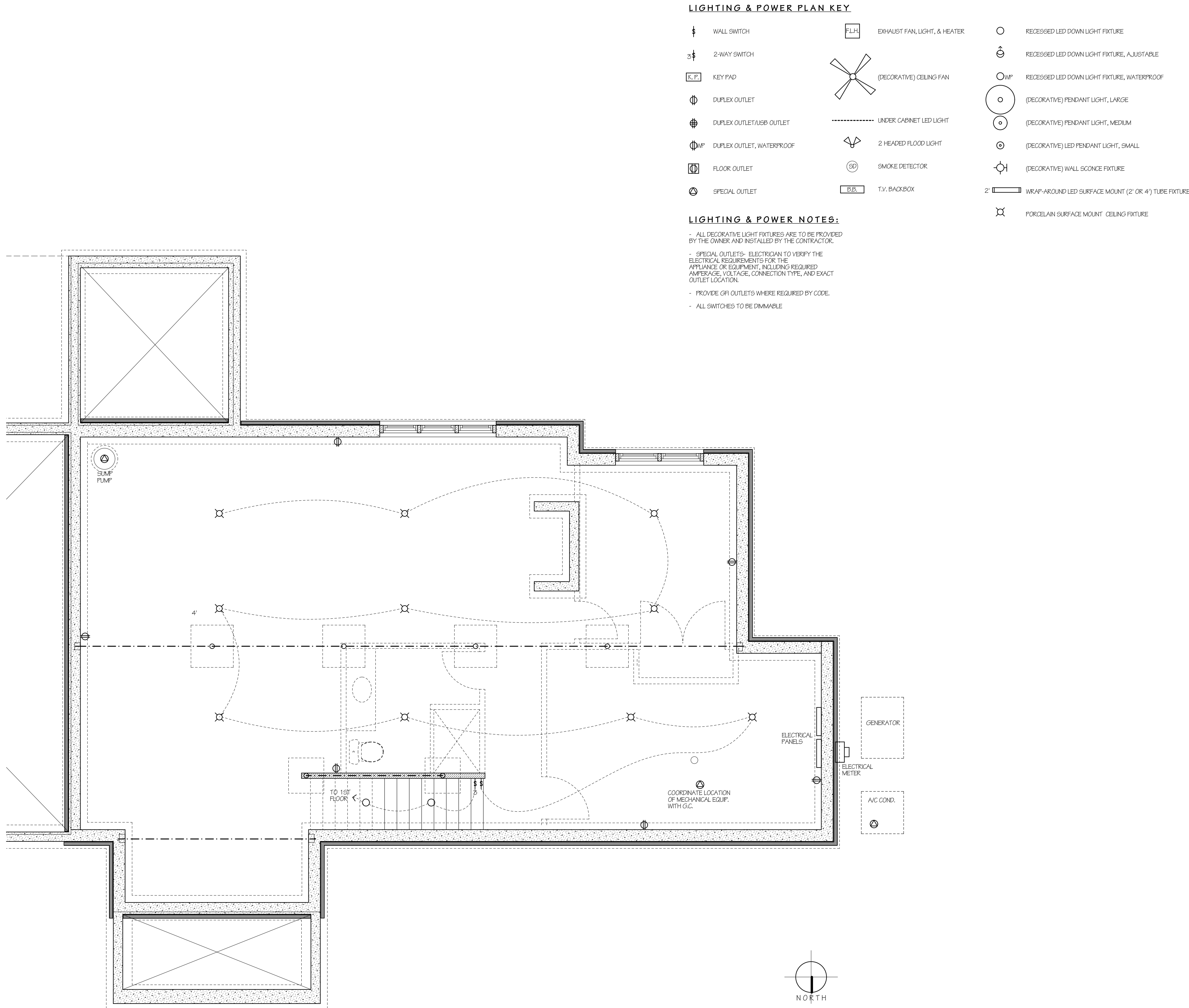


ENTRY - LOOKING EAST 1/2" = 1'-0"

03

1/2" = 1'-0"

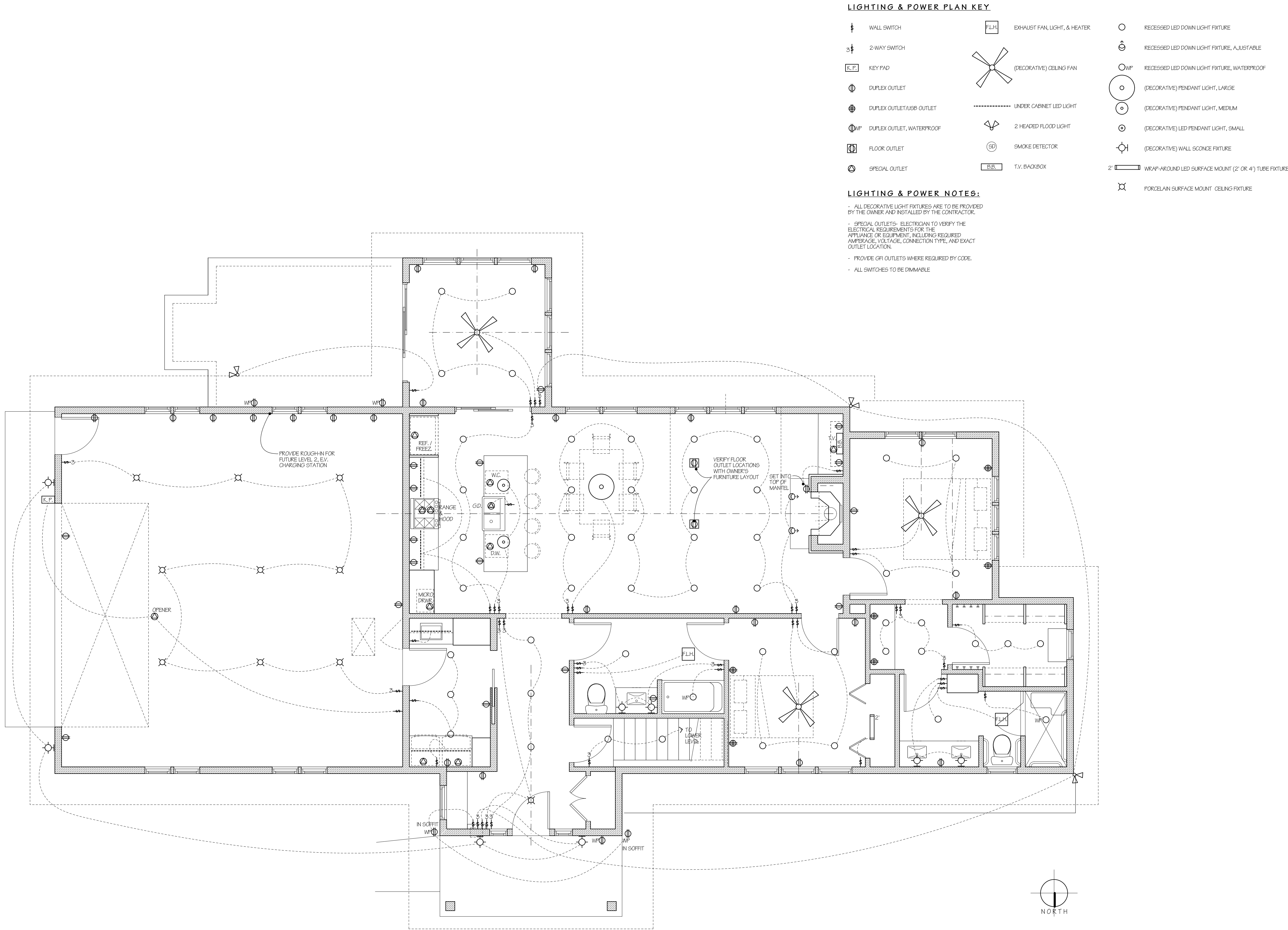
01



HOUSE - LOWER LEVEL LIGHTING & POWER PLAN

1/4" = 1'-0"

01



HOUSE - FIRST FLOOR LIGHTING & POWER PLAN

1/4" = 1'-0"

01

SITE AREAS

PROPOSED PAVEMENT = 1,661 S.F. (0.038 ACRES)
PROPOSED BUILDING = 3,585 S.F. (0.082 ACRES)
EXISTING IMPERVIOUS AREA = 80 S.F. (0.002 ACRES)
EXISTING OPEN SPACE = 24,383 S.F. (0.560 ACRES)
PROPOSED IMPERVIOUS AREA = 5,246 S.F. (0.120 ACRES) [21% OF THE SITE]
PROPOSED OPEN SPACE = 19,217 S.F. (0.441 ACRES) [79% OF THE SITE]
TOTAL SITE AREA = 24,463 S.F. (0.562 ACRES)

NOTES:

- EXISTING CONDITIONS BASED ON SURVEY BY SURVEYING ASSOCIATES INC.
- DISTURBED AREA = 22,883 S.F. (0.525 ACRES)
- STORM WATER MANAGEMENT REQUIREMENTS FOR THIS DEVELOPMENT ARE HANDLED BY A BIO-RETENTION BASIN LOCATED IN THE SOUTHWEST CORNER OF THE PROPERTY.
MMSD CHAPTER 13 REQUIRED VOLUME = 5,166 S.F. * 1/2" = 215 C.F.
PROVIDED DETENTION VOLUME (AT SPILLWAY ELEVATION) = 2,073 C.F.
- STORM SEWER MATERIAL AND INSTALLATION PER APPLICABLE SECTIONS OF THE LATEST EDITIONS OF THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN (STANDARD SPECIFICATIONS), WISCONSIN ADMINISTRATIVE PLUMBING CODE AND THE CITY OF WAUWATOSA REQUIREMENTS.
- ALL TRENCHES IN PAVEMENT AREAS SHALL HAVE GRAVEL BACKFILL.
- THE CONTRACTOR SHALL VERIFY SIZE, LOCATION, DEPTH AND CONDITION OF STORM SEWER CONNECTION PRIOR TO UTILITY CONSTRUCTION. NOTIFY THE ENGINEER WITH ANY DISCREPANCIES.
- STORM SEWER: PVC ASTM D3034 OR ADSN-12 HDPE
*MATERIAL PER CITY REQUIREMENT. CONTRACTOR TO VERIFY.
- CONTRACTOR TO PROVIDE TRACER WIRE OR OTHER METHOD OF LOCATING FOR ALL UNDERGROUND EXTERIOR NON-METALLIC STORM PIPE PER WISCONSIN PLUMBING CODE SECTION 182.0715(2r).
- HEAVY MACHINERY SHALL AVOID GOING OVER THE AREA OF THE PROPOSED BIO-RETENTION BASIN BOTTOM.
- SANITARY SEWER AND WATER TO BE DESIGNED BY OTHERS.

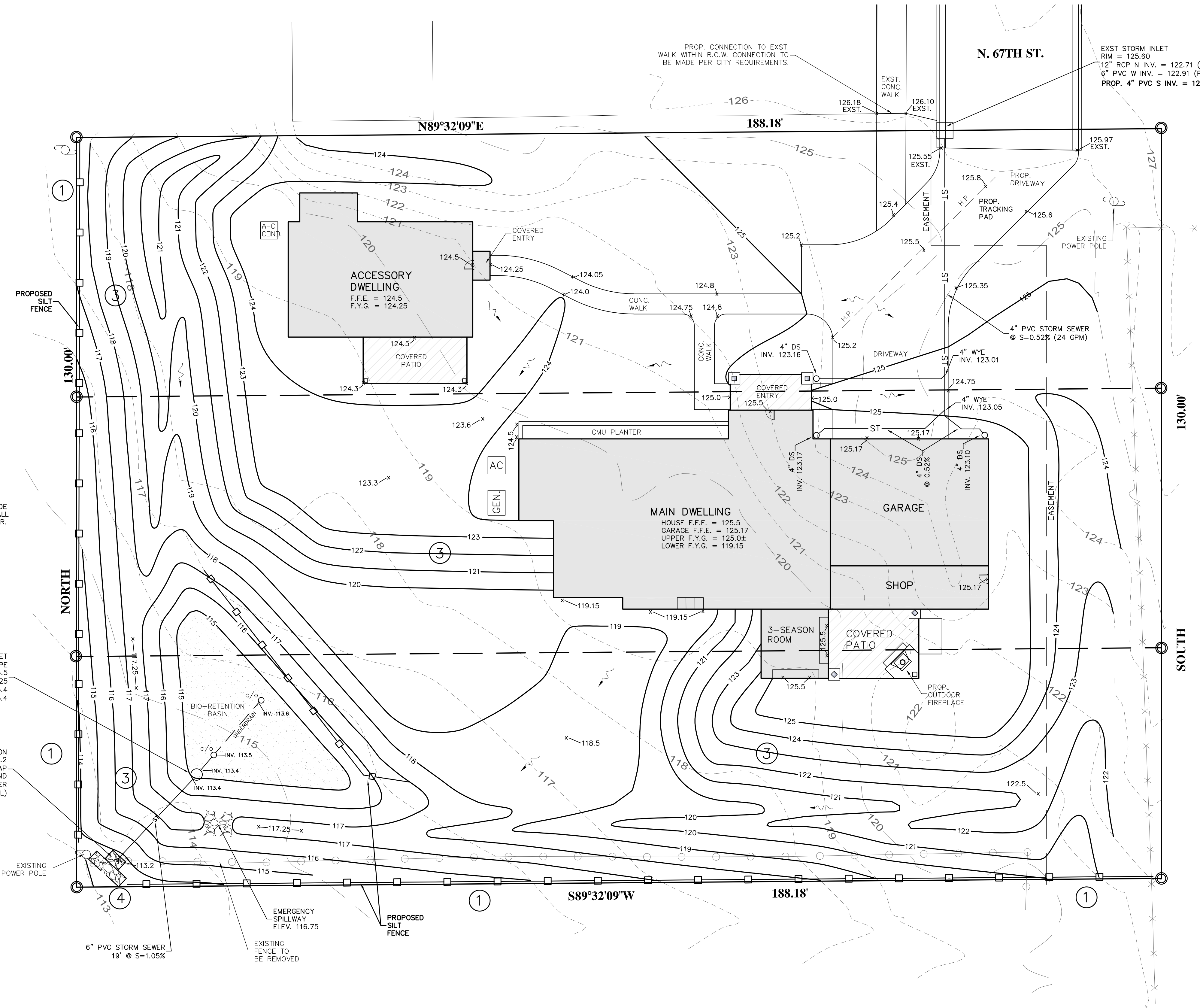
EROSION CONTROL PRACTICES SCHEDULE

- 1 SILT FENCE
- 2 CONSTRUCTION EXIT
- 3 EROSION MATTING
- 4 OUTLET PROTECTION/ LEVEL SPREADER

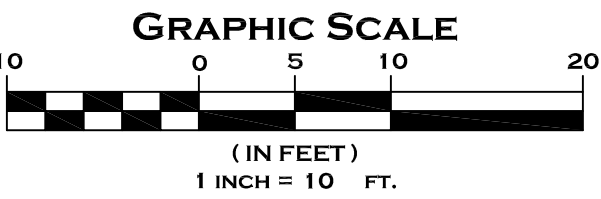
FOR FINAL STABILIZATION, PROVIDE CLASS I, TYPE B EROSION MAT PER 'WISDOT EROSION CONTROL PAL' (OR EQUAL) IN ALL ROADSIDE DITCHES, DEFINED SWALES, SIDE SLOPES, OUTLOT BERMS AND ALL OTHER SLOPES 4:1 OR GREATER. INSTALL PER MANUFACTURERS SPECIFICATIONS.

BASIN OUTLET
24" BASIN STANDPIPE
RIM 116.5
6" ORIFICE 115.25
6" UNDERDRAIN 113.4
6" OUTLET INV. 113.4

BASIN 6" ENDSECTION
INV. 113.2
W/2'X3' RIP RAP
ON FABRIC AND
2'X7' LEVEL SPREADER
(SEE DETAIL)



LEGEND	
----- 114 -----	EXISTING CONTOUR
----- 115 -----	PROPOSED CONTOUR
x 115.5	PROPOSED ELEVATION
----- ST -----	EXISTING STORM SEWER
----- ST -----	PROPOSED STORM SEWER
□-----□	PROPOSED SILT FENCE



SITE GRADING, STORM SEWER
AND EROSION CONTROL PLAN C1.0

