



Wauwatosa, WI

Board of Zoning Appeals

Meeting Agenda

7725 W. North Avenue
Wauwatosa, WI 53213

Thursday, May 28, 2026

6:00 PM

Zoom Only:
<https://us02web.zoom.us/j/89325102239>,
Meeting ID: 893 2510 2239

Regular Meeting

VIRTUAL MEETING INFORMATION

Members of the public may observe and participate in the meeting via Zoom only at the link above. To access the Zoom meeting via phone, call 1-312-626-6799 and enter the Meeting ID.

CALL TO ORDER

ROLL CALL

NEW BUSINESS

1. Request by Kirsten Jablonski for a fence code exception for a rear yard fence located at 2203 N 69th Street [26-0991](#)
2. Request by Thomas Vavra IV, Vavra Design, for a lot coverage variance for a detached accessory structure (garage) at 1851 Church Street [26-0989](#)
3. Request by Michael Davis, Insite Landscape Design, for front and side street setback variances for a Veterans Memorial Plaza located at the corner of Milwaukee Avenue and Harwood Avenue. [26-0990](#)

ADJOURNMENT

NOTICE TO PERSONS WITH A DISABILITY

Persons with a disability who need assistance to participate in this meeting should call the City Clerk's office at (414) 479-8917 or send an email to tclerk@wauwatosa.net, with as much advance notice as possible.



Staff Report

File #: 26-0991

Agenda Date: 5/28/2026

Agenda #: 1.

Request by Kirsten Jablonski for a fence code exception for a rear yard fence located at 2203 N 69th Street

Submitted by:

Andrew Krause, Code Enforcement Officer

Department:

Development

A. Background

The applicant is requesting a code exception for a proposed six-foot fence to be constructed in the rear yard abutting a street at 2203 N 69th Street.

Proposed fence

One exception is requested:

- Maximum height. The proposed fence is six feet. Approximately 31 feet (section in yellow) would be located in the side and rear yard abutting a street where the maximum permitted height is 4'-6". The applicant has already obtained an encroachment agreement through the Board of Public works for approximately 74 total feet of fencing to be in the Right of Way.

Allowed by City code

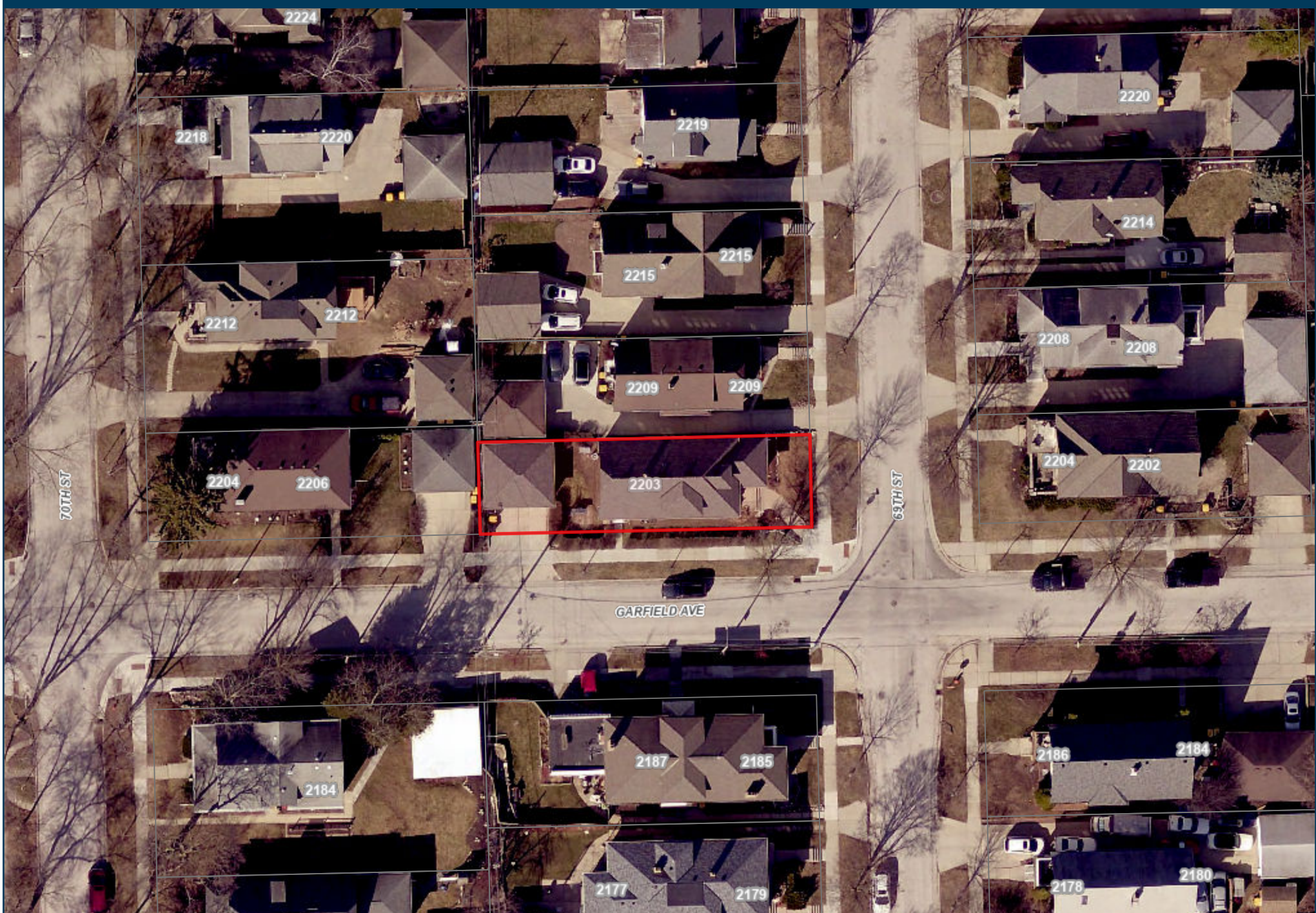
Under 15.28.030A., fences located in the rear yard abutting a street cannot:

- Exceed four and a half feet in height.

B. Recommendation

Under the exception provisions, the applicant must demonstrate to the Board that a hardship exists created by conforming to the fence regulations. The Board should consider all of the following, making findings that each of these factors applies in favor of granting the exception:

1. Whether strict application of the code would create a hardship to the property owner;
2. Whether the hardship results from conditions which are unique to the property, or unusual in comparison to the properties to which the code is generally applicable; and
3. Whether the application of the exception will be consistent with the intent of the ordinance and not impair public safety.



2203 N 69th Street

City of
Wauwatosa



PLAT OF SURVEY

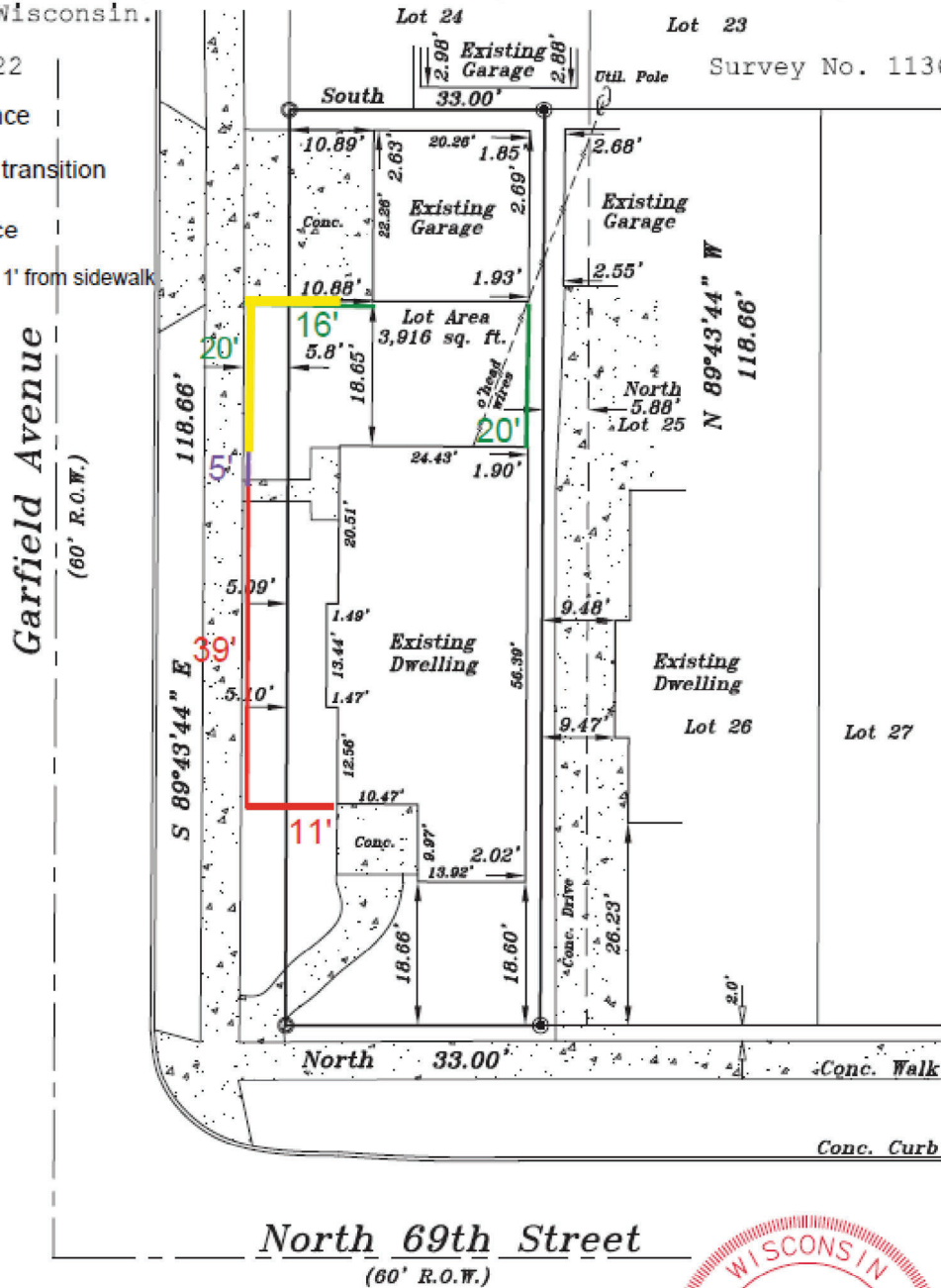
LOCATION: 2203 North 69th Street, Wauwatosa, Wisconsin

LEGAL DESCRIPTION: Lot 25 except the North 5.88 feet in Block 7 in CONTINUATION OF INGLEWOOD, being part of the Northwest 1/4 of Section 22, Town 7 North, of Range 21 East, in the City of Wauwatosa, County of Milwaukee, Wisconsin.

July 29, 2022

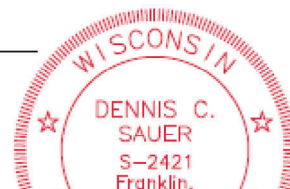
- Green = 6' Fence
- Purple = 4' to 6' transition
- Red = 4' Fence

*Fence on southside is 1' from sidewalk



North 69th Street
(60' R.O.W.)

GRAPHIC SCALE



Description:

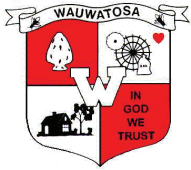
We are requesting to install a wood stockade fence in the Garfield Avenue right-of-way one foot from the sidewalk (we already have the easement agreement with the city). The proposed fence would be 4.5 feet tall for the length of the house and then would transition to 6 feet tall from the rear of the house to the driveway.

The fence variance we are applying for is to allow a 6 foot fence from the rear of the house to the driveway and garage.

Fence Exemption Reasons

1. Whether strict application of the code would create a hardship to the property owner;
 - With a young family, we are interested in providing safety and security from the busyness of an unenclosed yard. With an addition of a 6 foot fence in the rear of the house, we can enjoy our backyard without pedestrians viewing or intruding. We live on an extremely busy road. One reason for this request was an armed robbery of a corner house a few blocks south from us around 4 years ago. They had a fence for their backyard but it wasn't 6 feet tall so people were able to see them in their backyard. We would like to be able to feel safe and secure in our yard.
2. Whether the hardship results from conditions which are unique to the property, or unusual in comparison to the properties to which the code is generally applicable; and
 - Being on a corner lot and close to North Ave. (restaurants/shops) and Washington Elementary School, we frequently have cars parked along Garfield Ave providing minimal privacy. This doesn't allow us to feel like our yard is private with people constantly coming and going from their cars to go to North Ave.
3. Whether the application of the exception will be consistent with the intent of the ordinance and not impair public safety.
 - From the drawing, the fence will be 4.5 feet from the length of the house along Garfield Ave. slowly tapering to 6 feet along the rear of the house. The fence will be set back enough to not impair visibility of the intersection of N. 69th St as well as one foot from the sidewalk per approved easement application from 2022.

CITY OF WAUWATOSA
MEMO



To: **Board of Public Works**

From: **John Henderson, Office Assistant – Engineering**

Date: **July 13, 2022**

Subject: **Request by Kirsten and Reynaldo Guzman for an encroachment to build a fence within the City right-of-way at 2203 N. 69th Street**

A. Issue

Request by Kirsten and Reynaldo Guzman for an encroachment to build a fence within the City right-of-way at 2203 N 69th Street

B. Background/Options

The applicant is requesting a right-of-way encroachment to install a wood stockade fence in the Garfield Avenue right-of-way a foot from the sidewalk. The proposed fence would be 4.5 feet tall for the length of the house and then would transition to 6 feet tall from the rear of the house to the driveway.

C. Staff comments:

Public Works:

Engineering:

Building and Safety:

The proposed fence requires a variance for the street side setback from the Board of Zoning Appeals. A 3' setback is required from the property line on the side street.

C. Recommendation

Staff recommends that the Board of Public Works allow a proposed fence subject to the execution of a hold harmless agreement and Board of Zoning Appeals approval.



Board of Public Works Application

City of Wauwatosa
7725 West North Avenue
Wauwatosa, WI 53213
414-479-8907
www.wauwatosa.net

Property Information

Project Address: 2203 N 69th St Wauwatosa, WI 53213

Applicant or Agent Information

Name Kirsten Jablonksi (Guzman) & Reynaldo Guzman Jr

Company _____

Address 2203 N 69th St

City Wauwatosa State WI Zip 53213

Phone 262-424-3728

Email kirstenguzman1@gmail.com

Property Owner Information

Name Kirsten Jablonksi (Guzman) & Reynaldo Guzman Jr

Company _____

Address 2203 N 69th St

City Wauwatosa State WI Zip 53213

Phone 262-424-3728

Email kirstenguzman1@gmail.com

APPLICATION TYPE
All fees are \$100 unless noted.

<input checked="" type="checkbox"/> Encroachment	<input type="checkbox"/> Property Maintenance Appeal	<input type="checkbox"/> Site Plan Appeal
<input type="checkbox"/> Air Condenser Location	<input type="checkbox"/> Landscape Appeal	<input type="checkbox"/> Commercial Fence Appeal
<input type="checkbox"/> Well abandonment	<input type="checkbox"/> Neighborhood Association Signs	<input type="checkbox"/> ROW Construction Staging
<input type="checkbox"/> City Co-Location	<input type="checkbox"/> Extension of Work Hours	<input type="checkbox"/> Parking Exception \$150
<input type="checkbox"/> Swimming Pool Location	<input type="checkbox"/> Other	

Make checks payable to: City of Wauwatosa

This application must be completed and filed with the Development Office and is required for Board of Public Works review.

Proposed Request- Specify reason for petition and what particular hardships are involved. Examples: insufficient lot area, insufficient front, side or rear setback, placement of equipment would decrease efficiency, etc.

We have a very small yard and would like to put up a fence to have an enclosed area for our dog to play, privacy because we live along a busy road, and safety. If we put the fence 3ft past the lot line, the fence would be almost touching the h

Applicant or Agent Signature: Kirsten Jabl & Reynaldo Guzman Date: 7/1/22

FOR CITY USE ONLY: Accepted by _____ Date _____ Zoning District _____ Aldermanic District _____ MT# _____	Fee Amount Paid <u>100</u>	Meeting Dates
	Receipt # <u>5380-2</u>	BPW _____
	Date paid <u>7-8-22</u>	Council _____
	<small>Updated December 2021</small>	Other _____

(over)

Attachment: 2203 N 69th BPW app (Request by Kirsten and Reynaldo Guzman for an encroachment to build a fence within the City ROW)

2215

2209

2203

Brown square -
approximate location of
front porch
Blue = 6ft high fence
Red = 4.5ft high fence
Along Garfield Ave, the
fence would be 1ft off
of the sidewalk

UNIVERSAL DESIGN



SOLID DOG EAR DESIGN



Attachment: 2203 N 69th BPW fence sample photos (Request by Kirsten and Reynaldo Guzman for an encroachment to build a fence within the



Staff Report

File #: 26-0989

Agenda Date: 5/28/2026

Agenda #: 2.

Request by Thomas Vavra IV, Vavra Design, for a lot coverage variance for a detached accessory structure (garage) at 1851 Church Street

Submitted by:

Art Piñon

Department:

Development

A. Issue

The applicant is requesting two (2) variances to exceed the maximum permitted lot coverage requirements associated with the construction of a proposed 750-square-foot accessory structure (detached garage) at 1851 Church Street, located within the Mixed Residential (MR) zoning district. The subject property is currently developed with a triplex and an existing two-car detached garage. The applicant proposes to replace the existing garage with a new three-car detached garage in order to provide one enclosed parking space for each residential unit.

The requested variances are summarized as follows:

Variance 1 - Accessory Structure Lot Coverage

- Maximum Permitted: 12%
- Proposed: 12.25%

Variance 2 - Total Lot Coverage (Primary and Accessory Structures Combined)

- Maximum Permitted: 42%
- Proposed: 44.5%

Attached to this report are the applicant's written responses addressing the four variance findings required pursuant to WMC 24.16.060.H, as well as the associated project plans.

B. Recommendation

The standard four criteria should be applied to make the determination for the requested variances:

1. Exceptional circumstances do exist pertaining to this lot.
2. That a variance is necessary for the preservation and enjoyment of the property rights possessed by other properties in the district and vicinity.
3. That the variance will not create special detriment to adjacent property and will not materially impair or be contrary to the purpose and spirit of this or to the public interests.
4. That the difficulty or hardship was not created by the property owner.

March 31st 2026

City of Wauwatosa Development Department
7725 W. North Avenue
Wauwatosa, WI 53213

Re: Variance Criteria

To whom it may concern,

1. Exceptional Circumstances do exist pertaining to this lot.

The request for the variance to construct a three-car garage is not general to the neighborhood, but is specific to this lot. The neighborhood is comprised of single-family homes, which require less off-street parking. This building was constructed as a three-family residence, which requires us to provide a three-car garage to keep the residence from parking on the street. With this being a unique property with three units, this is rare for the area.

2. A variance is necessary for the preservation and enjoyment of the property rights possessed by other properties in the district and vicinity.

The existing three-unit apartment that we are converting to a condo unit was built with a small two-car garage. As this will now be occupied by homeowners. We need to provide a single-car spot in a garage for each unit. This will also allow for a second car to be parked in front of the garage for each unit. This request will not cause substantial detriment to the neighboring properties, as it will help to keep extra cars off the street.

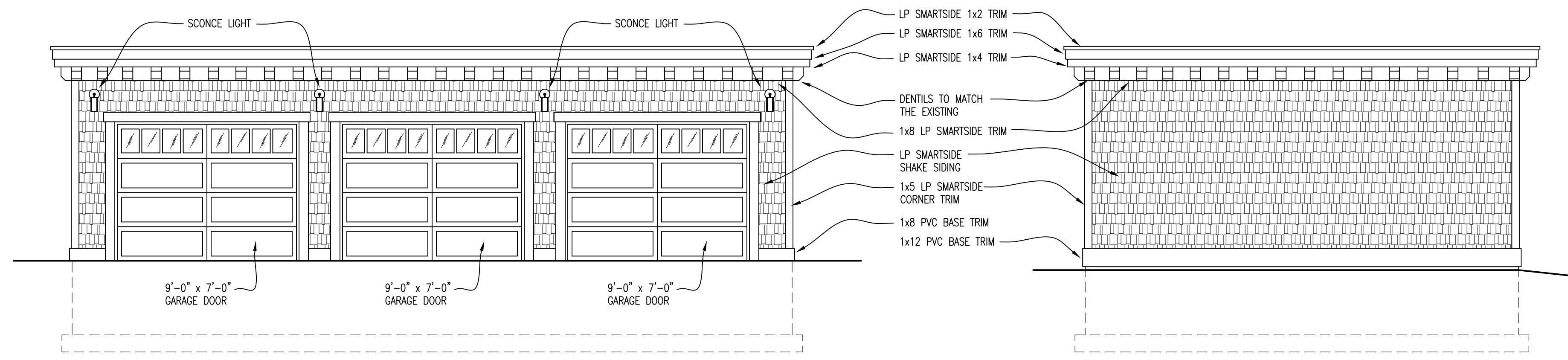
3. The variance will not create a special detriment to adjacent property and will not materially impair or be contrary to the purpose and spirit of this or to the public interests.

The variance for the three-car garage will not create a special detriment to the adjacent properties, as it will allow for the three new condo units to be able to park on the property, not on the street. The proposed garage is a low structure which will not obscure the views of the neighbors. This variance will add to the public interest by removing the cars that were parked in the street with the two-car garage.

4. The difficulty or hardship was not created by the property owner.

The existing building was originally built with a two-car garage. If this were being developed today as a three-unit residential building, the building and garage would be sized to fit the property without the need for a variance.

Sincerely,
Brad Paradies

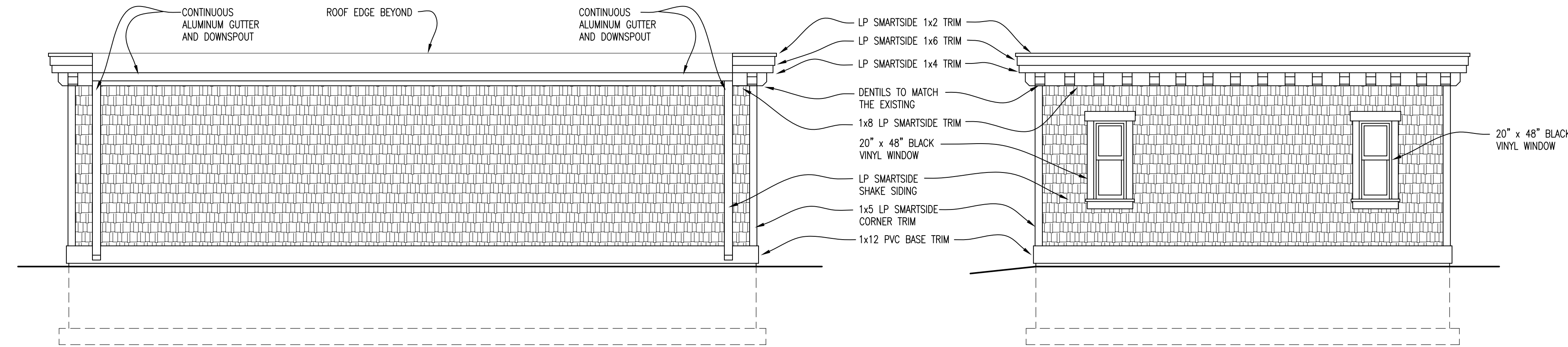


NORTH EXTERIOR ELEVATION

SCALE: 1/4" = 1'-0"

WEST EXTERIOR ELEVATION

SCALE: 1/4" = 1'-0"

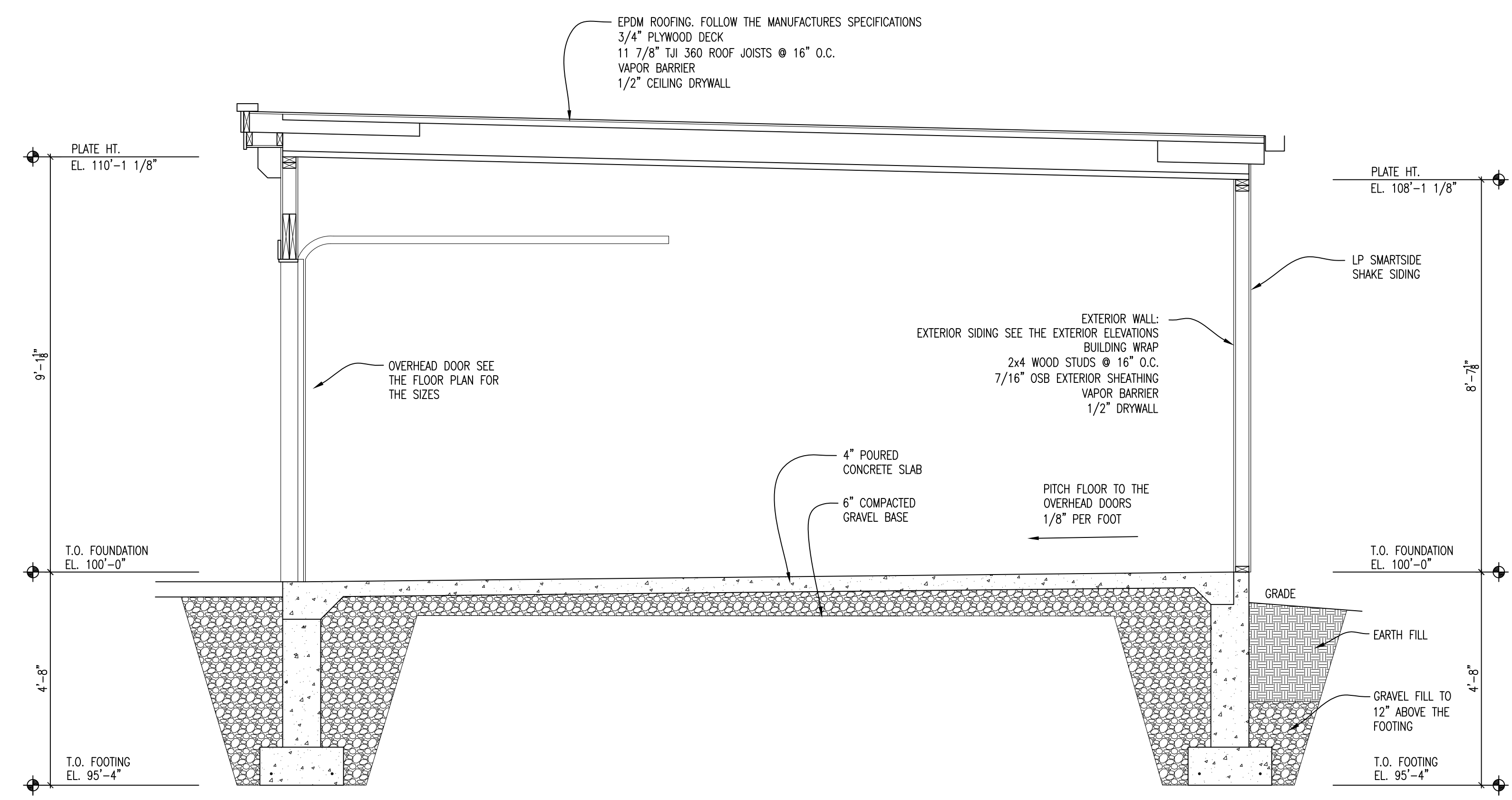


NORTH EXTERIOR ELEVATION

SCALE: 1/4" = 1'-0"

EAST EXTERIOR ELEVATION

SCALE: 1/4" = 1'-0"



1 CROSS SECTION

1/4" = 1'-0"

GARAGE ELEVATIONS
GARAGE SECTION

PROPOSED THREE CAR GARAGE
1851 CHURCH ST
WAUWATOSA, WISCONSIN

DATE: 3-30-2026
REVISION DATE:

JOB NO.: 2024064.00
DRAWN BY: TEV IV

A2-00



Staff Report

File #: 26-0990

Agenda Date: 5/28/2026

Agenda #: 3.

Request by Michael Davis, Insite Landscape Design, for front and side street setback variances for a Veterans Memorial Plaza located at the corner of Milwaukee Avenue and Harwood Avenue.

Submitted by:

Art Piñon

Department:

Development

A. Background

The applicant is requesting two (2) variances related to front and side yard setbacks for a proposed veterans memorial plaza located at the western corner of Milwaukee Avenue and Harwood Avenue in the Neighborhood Residential (NR) Zone. The subject site is a triangular lot with frontage on two streets and is primarily surrounded by residential development.

Both variance requests are needed to accommodate two semi-circular pergolas that are part of the proposed memorial plaza. All other components of the memorial, including flagpoles, landscaping, and hardscape elements, comply with City Code. Setbacks for structures in the NR zone are regulated under WMC 24.02.030. A summary of the requested variances is provided below:

Variance 1 - Front Yard Setback (Pergolas extending beyond setback along Harwood Avenue):

Required: 25 feet

Proposed: 0 feet

Variance 2 - Side Yard Setback (Pergolas extending beyond setback along Milwaukee Avenue):

Required: 15 feet

Proposed: 0 feet

On April 16, 2026, the project was presented to the City's Design Review Board (DRB), where the Board directed modifications to the proposed site layout. The revised plans, incorporating the DRB's recommended changes, were subsequently presented to the Board of Zoning Appeals on April 23, 2026, for informational purposes and preliminary feedback. Following those revisions, the Design Review Board approved the project on May 7, 2026.

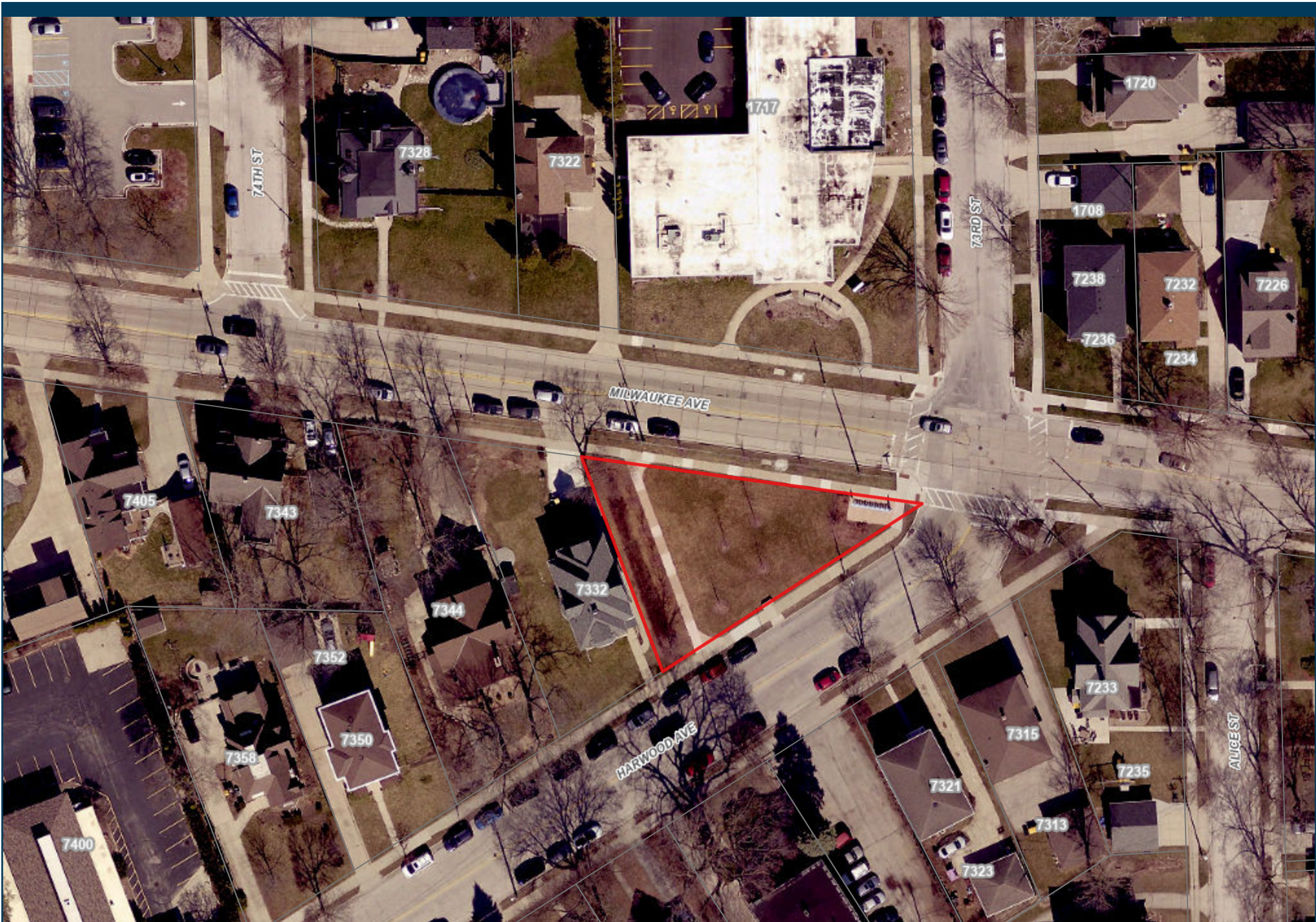
A justification letter addressing the required approval criteria, site plan, and conceptual renderings are attached.

B. Recommendation

The standard four criteria should be applied to make the determination for the requested variances:

1. Exceptional circumstances do exist pertaining to this lot.
2. That a variance is necessary for the preservation and enjoyment of the property rights possessed by other properties in the district and vicinity.
3. That the variance will not create special detriment to adjacent property and will not materially impair or be contrary to the purpose and spirit of this or to the public interests.

4. That the difficulty or hardship was not created by the property owner.



Veterans Memorial Plaza

City of
Wauwatosa



May 18, 2026

Mr. Art Piñon
Principal Planner
Planning Division
7725 W. North Avenue
Wauwatosa, WI 53213

RE: Request for variance from the setbacks along both Milwaukee Avenue and Harwood Avenue in the City of Wauwatosa

Project No.: L23-025

Dear Mr. Pinon:

The following is a brief project description and a written statement addressing the variance criteria for presentation to the City of Wauwatosa Board of Zoning Appeals.

The purpose is to create a Veterans Memorial Plaza that will honor all Veterans regardless of when they served (war or peace), what branch of the military service or what component (active, Reserves, or National Guard) to serve as a physical reminder of the service to our country by everyday citizens

The memorial would consist of the following:

1) A black granite monument, about 7 feet in height with the following inscription on the front of the monument:

*In Honor and Memory of all the
Men and Women
Who Served in the Armed Forces of the
United States of America to preserve
Our Freedom*

2) Encircling the monument will be 7 flagpoles: with the National Colors with POW Flag below on a 35-foot flagpole and (6) 25-foot flagpoles with the flags of the service branches (Army, Marines, Navy, Air Force, Space Force and Coast Guard)

3) The plaza is 56'-0" in diameter and is a series of concentric circles and arcs with memorial walkway. The walkways are made up of personalized, engraved bricks to honor Veterans, family members, or friends who have served our country. The plaza has been modified/reduced from its original design to better fit on the site.

4) Adjacent to the ring of service branch flags are two semi-circular single sloped pergolas that pay tribute to and honor the flags and pavers, giving the plaza a bit more sense of space and this takes some queues from the national memorial in Arlington.

Application

1) Exceptional circumstances exist pertaining to the subject lot;

- The subject property is uniquely constrained due to its rather small triangular shape and the presence of both front- yard and street-side setback requirements (25 feet and 15 feet) along two intersecting lot lines at the corner. These overlapping setback requirements significantly reduce the permitted buildable area and leave only a limited development footprint on the site. The overall square footage of the existing parcel is 8, 723 square feet. The amount of buildable square footage inside the two street yard setbacks is 3,456 square feet. That is 39.6% of the lot square footage. These circumstances are unique to the property and are not generally applicable to neighboring parcels which are much larger and primarily rectangular or trapezoidal in shape.
- Additional site constraints exist on the western portion of the property, where an existing 4'-6" wide pedestrian walking path and 18'-6" wide swath of existing mature trees are required by City Engineering to be preserved. This reduces the buildable area by another 1,469 square feet. The remaining buildable area is 1,987 square feet, which is 22.8% of the lot square footage. As a result, the proposed pergola structures cannot reasonably be relocated further west without negatively impacting these protected site features.
- The property is designated for single-family residential development; however, due to the small size & buildable area, unusual shape and configuration of the lot, it is likely that any meaningful improvement or structure constructed on the property would require some form of variance relief. These circumstances are unique to the property and are not generally applicable to neighboring parcels.
- The applicant explored several alternative pergola configurations in an effort to minimize setback encroachment, including an east-west orientation. The applicant has reduced the original size, configuration and layout to better fit the small site. However, during the design review process, the City's Design Review Board directed the applicant to orient the pergola in a north-south configuration, along the site major axis centerline to improve access to the public plaza and achieve a superior site design that better serves the surrounding neighborhood and community and siding the pergola north. The proposed configuration therefore reflects both the practical limitations of the site and compliance with the City's design objectives.

2) That the requested variance is necessary for the preservation and enjoyment of the property rights possessed by other properties in the district and vicinity;

- Most properties within the surrounding neighborhood are generally trapezoidal or rectangular in shape, containing a front yard, rear yard, and two side-yard setback areas. These lots typically have two side setbacks of only three (3) feet, along with a front-yard setback of twenty-five (25) feet and a rear-yard setback equal to twenty percent (20%) of the lot depth. This configuration results in a centralized and comparatively larger buildable area, allowing neighboring property owners to reasonably develop, maintain, and enjoy residential structures on their properties.
- In contrast, the subject property is uniquely constrained by its triangular shape, the presence of two intersecting lot lines at the corner, both of which are subject to substantial setback requirements (25 feet and 15 feet) and an existing public walking path at the west **end** of the site that is required to be preserved. These conditions reduce the available buildable footprint on the site as compared to surrounding properties in the district. As a result, the subject property does not afford the same reasonable development opportunities or enjoyment of property rights that neighboring properties possess.

- The requested variance is therefore necessary to allow the subject property to achieve a level of functional use and development consistent with other properties in the vicinity.

3) That the variance will not create special detriment to adjacent property and will not materially impair or be contrary to the purpose and spirit of this ordinance or to the public interests;

- The granting of the requested variance will not create a special detriment to surrounding properties or be contrary to the purpose and spirit of this ordinance or to the public interests. The proposed pergola structures have been thoughtfully designed and arranged to provide as much separation as reasonably possible from the nearest adjacent residential structures, while still accommodating the constraints of the site and the project's intended public memorial.
- The property is intended to serve a public and community-oriented use. Existing site features at the western portion of the property, including the pedestrian walking path and mature shade trees, will be preserved and incorporated into the overall design. The pergolas are intended to create an attractive and functional public gathering space that will enhance the usability of the Veterans Plaza and provide a benefit to the surrounding neighborhood and Wauwatosa community.
- In addition, the pergolas and the Veterans Plaza project as a whole have undergone rigorous review process and the approval by the City's Design Review Board. The Board evaluated the project for quality of design, compatibility with surrounding development, and overall continuity with the character of the area. A great deal of thought and care was implemented in the design to be harmonious with the surrounding environment and cause no harm to adjacent property owners. The approved design is intended to contribute positively to the appearance of the neighborhood and support long- term community value and enjoyment.

4) That the difficulty or hardship was not created by the property owner.

- The hardship associated with the subject property was not created by the applicant or current property owner. Rather, the hardship results from the unique physical characteristics and configuration of the property, including its triangular shape, intersecting front and street-side setback requirements, and limited buildable area. Additional constraints include the required preservation of the existing pedestrian path and mature trees located on the western portion of the property.
- These site conditions are inherent to the property and existed prior to the applicant's proposed improvements. Furthermore, the applicant explored several alternative pergola configurations in an effort to reduce setback impacts; however, the final orientation was directed through the City's Design Review process to improve public access and overall site design. As such, the need for the variance is driven by unique property constraints and City design considerations, rather than any action or hardship created by the property owner.

Respectfully,

Michael C. Davis



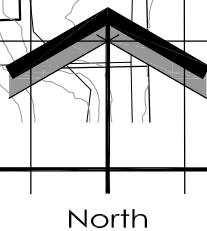
Project Sheet Legend:

- LG0.1 LEGEND SHEET
- AG0.2 ACCESSIBILITY SHEET
- SD1.1 PROPOSED SITE PLAN
- SD1.2 PROPOSED GRADING PLAN
- SD1.3 PROPOSED PLAZA CROSS-SECTION & DETAILS
- SD1.4 PROPOSED CEDAR PERGOLA SECTIONS & DETAILS
- SD1.5 PROPOSED HARDSCAPE MATERIALS
- SD1.6 PROPOSED HARDSCAPE MATERIALS
- SD1.7 PROPOSED HARDSCAPE MATERIALS
- LSP1.1 PROPOSED LANDSCAPE PLAN
- LSP1.2 PROPOSED LANDSCAPE DETAILS
- LGT1.1 PROPOSED LIGHTING PLAN
- LGT1.2 PROPOSED PROJECT LIGHT FIXTURES
- LGT1.3 PROPOSED PROJECT LIGHT FIXTURES



1 PROPOSED SITE REFERENCE PLAN

SCALE: 1" = 80'-0"



GENERAL SITE NOTES:

1. ALL PAVING RADIUS SHALL BE 5'-0" UNLESS NOTED OTHERWISE.
2. PROVIDE CONCRETE SIDEWALKS AS INDICATED ON PLAN.
3. UTILITY DESIGN AND WORK BY DESIGN / BUILD CONTRACTOR.
4. GRADING AT ACCESSIBLE ROUTE TO COMPLY WITH COMM. CH. 69 DESIGN GUIDELINES.
5. FINISHED FLOOR ELEVATION = 100'-0" ON ARCHITECTURAL DRAWINGS VERIFY ACTUAL ELEVATION WITH DESIGN / BUILD CONTRACTOR.
6. SITE ENGINEERING (ELECTRICAL, STORM WATER DRAINAGE, ETC.) BY DESIGN / BUILD CONTRACTOR.
7. ALL PROPERTY LINE BEARINGS AND LENGTHS BASED ON OWNER PROVIDED DATA.
8. VERIFY EXACT PLAZA PLACEMENT WITH DESIGN / BUILD CONTRACTOR.
9. CONSTRUCTION SITE EROSION AND SEDIMENTATION CONTROL SHALL COMPLY WITH THE REQUIREMENTS OF THE CITY OF WAUWATOSA AND SHALL EMPLOY EROSION CONTROL MEASURES AS SHOWN AND SPECIFIED IN THE DEPARTMENT OF NATURAL RESOURCES WISCONSIN CONSTRUCTION SITE BEST MANAGEMENT PRACTICES HANDBOOK (BMP HANDBOOK).
10. EROSION CONTROL MEASURES SHALL BE ADJUSTED TO MEET FIELD CONDITIONS AT THE TIME OF CONSTRUCTION AND SHALL BE INSTALLED PRIOR TO ANY GRADING OR DISTURBANCE OF EXISTING SURFACE MATERIAL ON THE SITE.
11. PERIODIC INSPECTION AND MAINTENANCE OF ALL EROSION CONTROL STRUCTURES SHALL BE PROVIDED TO INSURE INTENDED PURPOSE IS ACCOMPLISHED. CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANUP AND REMOVAL OF ALL SEDIMENT LEAVING PROPERTY. EROSION CONTROL MEASURES SHALL BE IN WORKING CONDITION AT END OF EACH WORK SECTION AT END OF EACH WORK DAY.
12. SILT FENCE SHALL BE INSTALLED IN ALL LOCATIONS WHERE POTENTIAL RUNOFF AND CONTAMINATION MAY OCCUR.
13. EROSION CONTROL MEASURES SHALL BE MAINTAINED ON A CONTINUING BASIS UNTIL SITE IS FULLY STABILIZED.
14. ALL EROSION AND SEDIMENT CONTROL PRACTICES TO BE CHECKED FOR STABILITY AND OPERATION FOLLOWING EVERY RUNOFF-PRODUCTION RAINFALL EVENT. ANY NEEDED REPAIRS SHALL BE MADE IMMEDIATELY TO MAINTAIN ALL PROTECTION AS DESIGNED.
15. SEDIMENT IS TO BE REMOVED FROM BEHIND THE SEDIMENT FENCE WHEN IT BECOMES .05 FEET DEEP AT THE FENCE. REPAIR THE FENCE AS NECESSARY TO MAINTAIN BARRIER.
16. SEE ALL RELATED DETAILS AND REMAINING SHEETS SPECIFICATION FOR ADDITIONAL INFORMATION AND HOW IT RELATES TO THE SCOPE OF THE PROJECT.

EXISTING CONDITIONS GENERAL NOTES

1. INFORMATION PERTAINING TO EXISTING CONDITIONS GIVEN ON THESE LANDSCAPE DRAWINGS REPRESENTS TO THE BEST OF OUR KNOWLEDGE THE ACTUAL EXISTING FIELD CONDITIONS. INSITE LANDSCAPE DESIGN, INC. MAKES NO WARRANTY AS TO THEIR ACCURACY. CONTRACTOR TO FIELD VERIFY EXISTING CONDITIONS IMPERATIVE TO THEIR NEW WORK. REPORT ANY DISCREPANCIES BETWEEN THE DRAWINGS AND FIELD CONDITIONS TO THE LANDSCAPE ARCHITECT FOR REVIEW. ANY WORK PERFORMED PRIOR TO RESOLUTION OF DISCREPANCIES BY THE LANDSCAPE ARCHITECT IS SUBJECT TO REMOVAL AND REPLACEMENT AT NO ADDITIONAL COST TO THE CONTRACT.
2. THE LOCATIONS OF EXISTING UTILITY INSTALLATIONS AS SHOWN ON THIS PLAN ARE APPROXIMATE. THERE MAY BE UNDERGROUND UTILITY INSTALLATIONS WITHIN THE PROJECT AREA OF DISTURBANCE THAT ARE NOT SHOWN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE EXISTENCE AND LOCATION OF ALL UNDERGROUND UTILITIES.
3. VERIFY ALL EXISTING CONDITIONS, DIMENSIONS, AND ALIGNMENT OF WALLS. BRING ANY DISCREPANCIES TO THE LANDSCAPE ARCHITECTS ATTENTION PRIOR TO FABRICATION / CONSTRUCTION BEGINS.
4. VERIFY LOCATION OF ACCESS PANELS w/ MECHANICAL AND ELECTRICAL EQUIPMENT FOR ACCESSIBILITY OF MECHANICAL & ELECTRICAL ITEMS. VERIFY LOCATIONS OF ALL BURIED UTILITIES AND STRUCTURES AND LOCATIONS OF ALL OVERHEAD WIRES.
5. M VERIFY LOCATION OF ALL EXISTING EASEMENTS.
6. INSITE LANDSCAPE DESIGN, INC. ASSUMES NO RESPONSIBILITY FOR DAMAGES, LIABILITY OR COSTS RESULTING FROM CHANGES OR ALTERATIONS MADE TO THIS PLAN WITHOUT THE EXPRESSED WRITTEN CONSENT OF INSITE LANDSCAPE DESIGN, INC.

SITE DEMOLITION GENERAL NOTES:

1. INFORMATION PERTAINING TO EXISTING CONDITIONS GIVEN ON THESE SITE IMPROVEMENT DRAWINGS REPRESENTS TO THE BEST OF OUR KNOWLEDGE THE ACTUAL EXISTING FIELD CONDITIONS. INSITE LANDSCAPE DESIGN, INC. MAKES NO WARRANTY AS TO THEIR ACCURACY. CONTRACTOR TO FIELD VERIFY EXISTING CONDITIONS IMPERATIVE TO THEIR NEW WORK. REPORT ANY DISCREPANCIES BETWEEN THE DRAWINGS AND FIELD CONDITIONS TO THE ARCHITECT FOR REVIEW. ANY WORK PERFORMED PRIOR TO RESOLUTION OF DISCREPANCIES BY THE LANDSCAPE ARCHITECT IS SUBJECT TO REMOVAL AND REPLACEMENT AT NO ADDITIONAL COST TO THE CONTRACTOR.
2. ALL EXISTING CONDITIONS SHALL BE REMOVED AS REQUIRED TO ACCOMMODATE PROPOSED CONSTRUCTION. WHETHER OR NOT NOTED ON DEMOLITION PLAN. (COORDINATE WITH MECH. & ELEC. DRAWINGS)
3. SURFACES ADJACENT TO REMOVAL AREAS SHALL BE PATCHED AND CLEANED. NEW CONSTRUCTION TO MATCH EXISTING ADJACENT SURFACES / FINISHES (UNLESS NOTED OTHERWISE).
4. PROVIDE DUST CONTROL AND/OR TEMPORARY BARRIERS / PARTITIONS AS REQUIRED BETWEEN CONSTRUCTION AREAS
5. PROVIDE A SAFE PASSAGE THROUGH AND/OR AROUND CONSTRUCTION AREAS AS REQUIRED TO MAINTAIN INGRESS/EGRESS AT SHARED ACCESS POINT FOR PROJECT.
6. KEEP NOISE TO A LEVEL ACCEPTABLE TO OWNER. AND IN COMPLIANCE WITH LOCAL ORDINANCES.
7. REFER MECHANICAL & ELECTRICAL DRAWINGS FOR ADDITIONAL DEMOLITION NOTES.

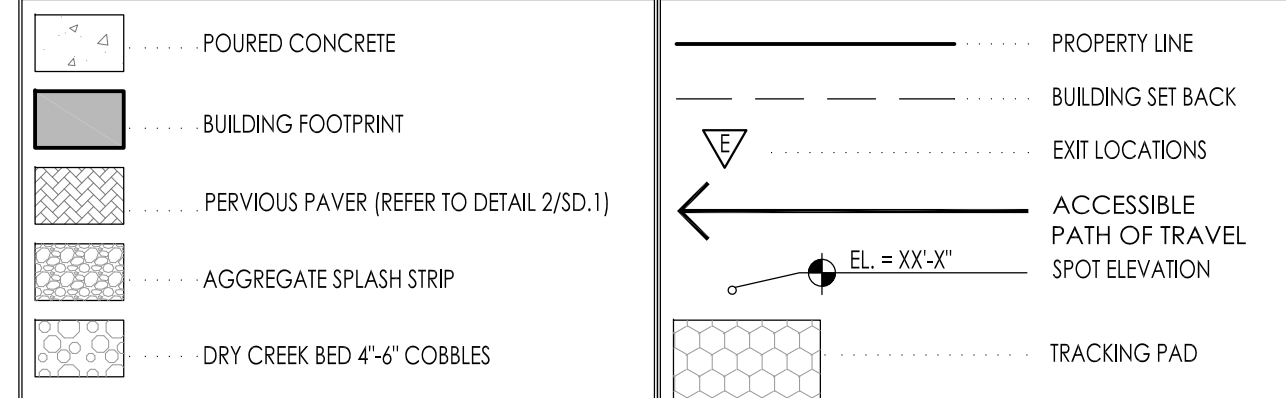
SITE GRADING PLAN GENERAL NOTES

1. PROVIDE PERVIOUS SIDEWALKS AS INDICATED ON PLANS. REFER TO DETAILS FOR ADDITIONAL INFORMATION.
2. UTILITY DESIGN AND WORK BY DESIGN / BUILD CONTRACTOR.
3. GRADING AT ACCESSIBLE ROUTE TO COMPLY WITH COMM. CH. 69 DESIGN GUIDELINES.
4. FINISHED FLOOR ELEVATION = 1040'-0" ON ARCHITECTURAL DRAWINGS VERIFY ACTUAL ELEVATION WITH DESIGN / BUILD CONTRACTOR.
5. ALL PROPERTY LINE BEARINGS AND LENGTHS BASED ON OWNER AND DESIGN / BUILD CONTRACTOR PROVIDED DATA.
6. VERIFY EXACT BUILDING PLACEMENT WITH GENERAL CONTRACTOR AND PROVIDED CIVIL ENGINEERING INFORMATION.
7. FOR DEMOLITION INFORMATION REFER TO ARCHITECTURAL DRAWINGS AND SD1.3.
8. CONSTRUCTION SITE EROSION AND SEDIMENTATION CONTROL SHALL COMPLY WITH THE REQUIREMENTS OF THE COUNTY AND SHALL EMPLOY EROSION CONTROL METHODS AS SHOWN AND SPECIFIED IN THE DEPARTMENT OF NATURAL RESOURCES WISCONSIN CONSTRUCTION SITE BEST MANAGEMENT PRACTICES HANDBOOK (BMP HANDBOOK).
9. ALL EROSION CONTROL MEASURES SHALL BE ADJUSTED TO MEET FIELD CONDITIONS AT THE TIME OF CONSTRUCTION AND SHALL BE INSTALLED PRIOR TO ANY GRADING OR DISTURBANCE OF EXISTING SURFACE MATERIAL ON THE SITE.
10. PERIODIC INSPECTION AND MAINTENANCE OF ALL EROSION CONTROL STRUCTURES SHALL BE PROVIDED TO INSURE INTENDED PURPOSE IS ACCOMPLISHED. CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANUP AND REMOVAL OF ALL SEDIMENT LEAVING PROPERTY. EROSION CONTROL MEASURES SHALL BE IN WORKING CONDITION AT END OF EACH WORK DAY.
11. SILT FENCE SHALL BE INSTALLED IN ALL LOCATIONS WHERE POTENTIAL RUNOFF AND CONTAMINATION MAY OCCUR.
12. EROSION CONTROL MEASURES SHALL BE MAINTAINED ON A CONTINUING BASIS UNTIL SITE IS FULLY STABILIZED.
13. ALL EROSION AND SEDIMENT CONTROL PRACTICES TO BE CHECKED FOR STABILITY AND OPERATION FOLLOWING EVERY RUNOFF-PRODUCTION RAINFALL EVENT. ANY NEEDED REPAIRS SHALL BE MADE IMMEDIATELY TO MAINTAIN ALL PROTECTION AS DESIGNED.
14. SEDIMENT IS TO BE REMOVED FROM BEHIND THE SEDIMENT FENCE WHEN IT BECOMES .05 FEET DEEP AT THE FENCE. REPAIR THE FENCE AS NECESSARY TO MAINTAIN BARRIER.
15. SEE ALL RELATED DETAILS AND REMAINING SHEETS SPECIFICATION FOR ADDITIONAL INFORMATION AND HOW IT RELATES TO THE SCOPE OF THE PROJECT.
16. ADDITIONAL GRADING OF GRASSED OR LANDSCAPED AREAS MAY BE REQUIRED DUE TO THE PLUMBING, SANITARY OR OTHER UNDERGROUND UTILITY WORK - REVIEW DOCUMENTS IN THEIR ENTIRETY TO DETERMINE FULL SCOPE OF WORK.
17. CONSTRUCTION LIMITS - FENCING AS REQUIRED.
18. ALL CONSTRUCTION - CONSTRUCTION TRAFFIC, DELIVERIES STORAGE OF MATERIALS, VEHICLES DUMPSTERS AND OTHER CONSTRUCTION RELATED ITEMS ARE TO BE LOCATED IN THIS AREA ONLY. PROTECT AND SURROUND AREA AS NECESSARY.
19. CONSTRUCTION ENTRY - RESTRICTED TO CONSTRUCTION PERSONNEL. CONSTRUCTION DELIVERIES AND PERSONNEL ARE TO USE THIS ENTRANCE ONLY.

SILT FENCE CONSTRUCTION:

1. CONSTRUCT SILT FENCE AROUND THE DISTURBED AREAS AS SHOWN ON PLAN, SHEET SD1.2, TO PREVENT SEDIMENT FROM BEING WASHED INTO STORM WATER DRAINAGE SYSTEM.
2. LOCATE SUPPORT POSTS DOWN SLOPE OF FILTER FABRIC TO HELP SUPPORT FENCING.
3. WHEN JOINTS ARE NECESSARY, SECURELY FASTEN THE FILTER FABRIC AT A SUPPORT POST AND OVERLAP SLICE TO THE NEXT POST.
4. SEDIMENT CONTROL FILTER FABRIC DESIGNED TO IMPEDE SILT RUN-OFF AND PREVENT TOP SOIL EROSION TO CONSIST OF NYLON POLYESTER, PROPYLENE, OR ETHYLENE YAM. MUST MEET WISDOT SPECIFICATIONS AND STANDARDS OF A MINIMUM 50 LB./LINEAR INCH GRAB TENSILE STRENGTH; A MINIMUM FLOW RATE OF 0.3 GALS./SQ. FT. AND SHOULD CONTAIN ULTRAVIOLET RAY INHIBITORS AND STABILIZERS.
5. SEDIMENT CONTROL FILTER FABRIC SHALL BE ANCHORED BY SPREADING 8" OF FABRIC IN A 4"x4" TRENCH. LOOSE DIRT TO BE COMPACTED BACK IN TRENCH ON TOP OF FILTER FABRIC.
6. SEDIMENT CONTROL FILTER FABRIC SHALL BE FASTENED TO THE UP-SLOPE SIDE OF 2"x2x3'-0" PINE POSTS. POSTS TO BE SPACED A MAXIMUM OF 6'-0" APART.
7. PROVIDE INLET GRATE SCREENS AS NEEDED. HELD LOCATE ALL WITHIN AREA OF CONSTRUCTION SITE SILT FENCE. REFER TO DETAILS 2/SD1.2 - SSD1.2

SITE LEGEND



DIGGERS HOT LINE

WISCONSIN STATUTE 182.0175 (1974) REQUIRES A MINIMUM OF 3 DAYS NOTICE BEFORE YOU EXCAVATE (NOT INCLUDING SATURDAY, SUNDAY OR LEGAL HOLIDAYS)

UNDERGROUND SEWER AND UTILITY INFORMATION AS SHOWN IS OBTAINED FROM THE RECORDS OF MUNICIPALITY AND LOCAL UTILITY COMPANIES. THE ACCURACY OF WHICH CAN NOT BE GUARANTEED OR CERTIFIED TO. THE LOCATIONS OF EXISTING UTILITY INSTALLATIONS AS SHOWN ON THIS SURVEY ARE APPROXIMATE. THERE MAY BE OTHER UNDERGROUND UTILITY INSTALLATIONS WITHIN THE PROJECT AREA THAT ARE NOT SHOWN.

TO OBTAIN LOCATION OF PARTICIPANT'S UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN CALL THE MILWAUKEE UTILITY ALERT NETWORK (800) 242-8511 (242) 432-7910 (877) 500-9592 www.DiggersHotline.com OR **811** Know what's below. Call before you dig.

LANDSCAPE PLAN GENERAL NOTES

PLANT MATERIAL SHOWN ON LANDSCAPE PLAN IS DEPICTED AT MATURE GROWTH.

1. AT LEAST SEVENTY-TWO HOURS PRIOR TO ANY EXCAVATION, CONTRACTOR SHALL VERIFY UTILITY LOCATIONS AS GIVEN BY THE ELECTRIC, GAS, TELEPHONE, WATER, SEWER, AND CABLE TELEVISION COMPANIES, UTILITIES OR ENTITIES. REVIEW WITH OWNER'S REPRESENTATIVE SITE MECHANICAL, SITE ELECTRICAL AND LIGHTING, SITE GRADING AND DRAINAGE, SITE IRRIGATION AND ALL OTHER DRAWINGS PERTAINING TO UNDERGROUND UTILITY LOCATIONS, RECORD SET OF INFORMATION THE SAME AS IN POSSESSION OF OWNER'S REPRESENTATIVE. ALSO REVIEW OWNER'S "MARK SETS" OF ALL THESE DRAWINGS IN POSSESSION OF THE CONTRACTOR OR OWNER. MARK ALL SUCH UTILITIES ON THE SITE PRIOR TO COMMENCING. COORDINATE WITH OWNER BEFORE AND DURING CONSTRUCTION. REPAIR ANY DAMAGE TO ANY SYSTEM THAT IS CAUSED BY LANDSCAPE CONTRACTOR AT NO COST TO OWNER.
2. ALL PLANTINGS SPECIFIED FOR THE WAUWATOSA VETERANS MEMORIAL PLAZA PROJECT PLANTING TABLES SHALL COMPLY WITH STANDARDS AS DESCRIBED IN AMERICAN STANDARD OF NURSERY STOCK ANSI Z66.1 2014 AND ANSI STANDARDS FOR PLANTING 2012.
3. ALL DEVIATIONS FROM THE APPROVED WAUWATOSA VETERANS MEMORIAL PLAZA PROJECT PLANTS SHALL BE NOTED ON THE RECORD DRAWINGS. BY THE CONTRACTOR AND MAY BE DELETED ONLY WITH PRIOR APPROVAL FROM THE LANDSCAPE ARCHITECT AND OWNER'S REPRESENTATIVE. VERBAL AGREEMENTS OR REVISIONS WITHOUT A CHANGE ORDER WILL NOT BE RECOGNIZED BY LANDSCAPE ARCHITECT AND OWNER.
4. ALL PLANTS MUST BE BID AND SELECTED PER THE SPECIES SPECIFIED ON THE PLANS, ANY SPECIES SUBSTITUTIONS MUST BE APPROVED IN WRITING BY LANDSCAPE ARCHITECT. THE SIZES OF PLANT MATERIAL LISTED HEREIN IS A MINIMUM ACCEPTABLE SIZE. ADDITIONALLY, IF EXCESSIVE PRUNING REDUCES THE CROWN THE PLANT SHALL BE REPLACED.
5. PROTECT PUBLIC FROM CONSTRUCTION USING BARRIERS AND BARRICADES.
6. ALL AREAS THAT WERE DISTURBED DURING CONSTRUCTION AND AREAS NOT COVERED WITH PAVEMENT, BUILDING, PLANTING BEDS, OR TREE PITS ARE TO BE TOPSOILED 3" DEEP (MIN.) AND SHALL BE SOODED/SEEDED WITH SPECIFIED LAWN GRASS. LANDSCAPE CONTRACTOR SHALL INCLUDE COST PER SQUARE YARD FOR ADDITIONAL SEED OPERATIONS AS MAY BE POSSIBLY REQUIRED TO REESTABLISH ADJACENT TURF GRASS AREAS WHICH MAY BECOME DAMAGED DURING THE CONSTRUCTION PROCESS OR TO REPAIR DAMAGE DONE BY OTHERS.
7. CONTRACTOR IS RESPONSIBLE FOR FURNISHING ALL MATERIALS, TOOLS, EQUIPMENT, LABOR, AND PLANTS NECESSARY FOR PROPER PLANTING AND INSTALLATION OF ALL LANDSCAPE MATERIAL.
8. QUANTITIES ON PLANT MATERIALS LIST ARE FOR CONVENIENCE OF BIDDING ONLY. CONTRACTOR IS RESPONSIBLE FOR ALL PLANTS SHOWN ON LANDSCAPE PLANS AND COVERAGE OF ALL AREAS DELINEATED. THE PLANS ARE TO SUPERSEDE THE PLANT LIST IN ALL CASES.
9. CONTRACTOR IS RESPONSIBLE FOR ALL ESTIMATING AND BIDDING, ALL AREAS, QUANTITIES MATERIALS SHOULD BE FIELD VERIFIED WITH SITE CONDITION.
10. WHERE DISCREPANCIES OCCUR BETWEEN THE LANDSCAPE PLANS AND/OR ARCHITECTURAL AND/OR THE CIVIL DRAWINGS (AND ANY OTHER SITE DRAWINGS) THE DISCREPANCIES MUST BE BROUGHT TO THE LANDSCAPE ARCHITECTS ATTENTION FOR COORDINATION AND RESOLUTION.
11. ALL DISEASED, NOXIOUS OR INAPPROPRIATE MATERIALS SHALL BE REMOVED FROM THE PROPOSED SITE PRIOR TO THE START OF CONSTRUCTION AND DURING THE MAINTENANCE PERIOD.
12. GENERAL CONTRACTOR SHALL LEAVE THE SITE FREE OF CONSTRUCTION DEBRIS.
13. ALL LAWN AND PLANTING AREAS SHALL SLOPE TO DRAIN A MINIMUM OF 2% UNLESS NOTED OTHERWISE AND REVIEWED WITH OWNER'S REPRESENTATIVE FOR FINAL APPROVAL.
14. FINISH GRADES FOR SHRUB AND GROUND COVER AREAS SHALL BE HELD 1" BELOW TOP OF ADJACENT PAVEMENTS AND CURBS, UNLESS NOTED OTHERWISE ON THE PLANS. REFER TO LSP1.2 FOR FURTHER INFORMATION.
15. ALL PERENNIAL, ANNUAL AND GROUND COVER AREAS TO RECEIVE A BLEND OF ORGANIC SOIL AMENDMENTS PRIOR TO PLANTING. TILL THE FOLLOWING MATERIALS INTO EXISTING TOPSOIL TO A DEPTH OF APPROXIMATELY 8". A DEPTH OF 12" IN TREE PITS. PROPORTIONS AND QUANTITIES MAY REQUIRE ADJUSTMENT DEPENDING ON THE CONDITION OF EXISTING SOIL. REFER TO LSP1.2 FOR FURTHER INFORMATION.
PER EVERY 100 SQUARE FEET ADD: ONE - 2 CUBIC FOOT BALE OF PEAT MOSS, 2 POUNDS OF 5-10-5 GARDEN FERTILIZER, 1/4 CUBIC YARD OF COMPOSTED MANURE OR OTHER COMPOSTED, ORGANIC MATERIAL.
16. ALL SHRUBS TO BE POCKET PLANTED WITH A 50/50 MIX OF COMPOSTED, ORGANIC MATERIAL AND EXISTING SOIL. INSTALL TOPSOIL INTO ALL BEDS AS NEEDED TO ACHIEVE PROPER GRADE. REMOVE ALL EXCESSIVE GRAVEL, CLAY AND STONES. REFER TO LSP1.2 FOR FURTHER INFORMATION.
17. PLANT ALL TREES SLIGHTLY HIGHER THAN FINISHED GRADE AT ROOT FLARE. BACK FILL HOLE WITH 2/3 EXISTING TOPSOIL AND ORGANIC SOIL AMENDMENTS SPECIFIED IN NOTE 15. AVOID ANY AIR POCKETS. DISCARD ANY GRAVEL, CLAY OR STONES. REFER TO LSP1.2 FOR FURTHER INFORMATION.
18. ALL TREES TO BE INSTALLED, STAKED AND GUYED ACCORDING TO DETAILS. REFER TO ANSI STANDARDS FOR PLANTING 2012 AND DETAILS ON LSP1.2 FOR FURTHER INFORMATION.
19. PROVIDE A 4'-0" - 5'-0" DIAMETER MULCH RING AT THE ROOT BALL FLARE OF ALL LAWN TREES.
20. ALL PLANTINGS TO BE WATERED AT THE TIME OF PLANTING, THROUGHOUT CONSTRUCTION AND UPON COMPLETION OF PROJECT AS REQUIRED.
21. WHERE SPECIFIED, ALL PLANT BEDS, PITS AND TREE RINGS ARE TO RECEIVE A MINIMUM OF 2" - 3" DRESSING OF SHREDED HARDWOOD CHIP MULCH. MULCH SHOULD BE FREE OF GROWTH WEEDS, FOREIGN MATTER DETRIMENTAL TO PLANT LIFE OR GERMINATION INHIBITING INGREDIENTS. LANDSCAPE CONTRACTOR TO PROVIDE A SAMPLE TO OWNER FOR APPROVAL. CONTRACTOR TO TAKE CARE WITH INSTALLATION NOT TO DAMAGE OR COVER PLANTS. REFER TO LSP1.2 FOR FURTHER INFORMATION.
22. LAWN INSTALLATION: CONTRACTOR TO FURNISH AND PREPARE TOPSOIL (3" MIN) AND SEED BED (REMOVE ALL STONES 1" OR LARGER) STARTER FERTILIZER AND SEED UNIFORMLY. PROVIDE A MULCH COVERING SUITABLE TO GERMINATE AND ESTABLISH TURF. EROSION CONTROL MESH SHOULD BE USED IN SWALES AND STEEP GRADES WHERE APPLICABLE. METHODS OF INSTALLATION MAY VARY AT THE DISCRETION OF CONTRACTOR. IT IS HIS/HER RESPONSIBILITY TO ESTABLISH AND GUARANTEE A SMOOTH, UNIFORM, QUALITY TURF. IF STRAW MULCH IS USED AS A COVERING, A TACKIFIER MAY BE NECESSARY TO AVOID WIND DAMAGE.
23. **DELUXE 50 GRASS SEED MIX REINDER'S (800) 785-3301**
20% KENTUCKY BLUE GRASS
15% NEWPORT KENTUCKY BLUE GRASS
15% SR 2100 Kentucky Bluegrass
25% Creeping Red Fescue
15% Replicator Perennial Ryegrass
10% Fiesta 4 Perennial Ryegrass
APPLY AT A RATE OF 300 POUNDS PER ACRE. REFER TO SUPPLIERS SPECIFICATIONS & INSTALLATION OUT SHEETS FOR FURTHER FORMATION
24. DURING THE INITIAL "30 DAY MAINTENANCE PERIOD" THE LANDSCAPE CONTRACTOR IS REQUIRED TO PROVIDE AND ON-GOING PLEASANT VISUAL ENVIRONMENT WHEREAS ANY PLANT WHICH IS NOT RESPONDING TO TRANSPANTING OR THIRVING SHALL IMMEDIATELY BE REPLACED. NEW LAWS SHALL BE WATERED AND REPAIRED AND WEEDS MUST CONSISTANTLY BE REMOVED, NO EXCEPTIONS WILL BE GRANTED.
MAINTENANCE NOTE:
MAINTENANCE IS THE RESPONSIBILITY OF THE PROPERTY OWNER TO MAINTAIN REQUIRED LANDSCAPING IN ACCORDANCE WITH THE MUNICIPALITY'S PROPERTY MAINTENANCE CODE AND AN APPROVED MAINTENANCE PLAN. THE MAINTENANCE MUST INCLUDE, AT A MINIMUM, METHODS FOR PROVIDING THE FOLLOWING:
• NECESSARY IRRIGATION (IF REQUIRED)
• INTEGRATED PEST MANAGEMENT,
• PROPER FERTILIZATION
• TREE CARE AND PRUNING, SHRUB TIP CLIPPING AND SHAPING AS REQUIRED
• REPLACEMENT OF LOST VEGETATION, AND ALL DISEASED, DAMAGED, OR DEAD MATERIAL WILL BE REPLACED BY THE END OF THE FOLLOWING PLANTING SEASON IN PERPETUITY.
• WEED MANAGEMENT AND BED CARE.
25. ALL NEWLY PLANTED TREES AND SHRUBS ARE TO RECEIVE AN APPLICATION OF AN ANTI-TRANSPLANT SPRAY THAT WILL EFFECTIVELY REDUCE THE WATER LOSS OF TRANSPIRATION OF PLANT MATERIAL AND REDUCE THE STRESS OF TRANSPLANTATION. IT IS RECOMMENDED AS PART OF THE ONGOING MAINTENANCE THAT ANY BROADLEAF EVERGREEN AND CONIFEROUS TREE AND SHRUBS (EXCLUDING ARBORVITAE) RECEIVE AN APPLICATION OF AN ANTI-DESICCANT SPRAY TO REDUCE THE LOSS OF MOISTURE DUE TO WINTER DESICCATION.
26. MAINTENANCE. THE OWNER SHALL TEND AND MAINTAIN ALL PLANT MATERIALS IN A HEALTHY GROWING CONDITION AS PER THE APPROVED PLAN. PLANTINGS SHALL BE REPLACED WHEN NECESSARY AND KEPT FREE FROM REFUSE & DEBRIS. ALL PLANTING MATERIAL WHICH IS DYING OR DAMAGED BEYOND RECOVERY SHALL BE REPLACED WITHIN SIX (6) MONTHS OR BY THE NEXT PLANTING SEASON, WHICHEVER COMES FIRST. CONTRACTOR TO PROVIDE 1 YEAR PLANT MATERIAL WARRANTY.
27. LANDSCAPE / SITE DEMOLITION CONTRACTOR TO VERIFY LOCATIONS OF EXISTING TREES AND SHRUBS TO BE

INSITE
LANDSCAPE DESIGN
Landscape Consulting
& Master Planning Design Services
11525 W. North Avenue, Suite 1B
Wauwatosa, WI 53226
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mdavis@insitedesigninc.com

Project for:

WAUWATOSA VETERANS COMMITTEE
Wauwatosa, WI

Project:

WAUWATOSA VETERANS MEMORIAL PLAZA

Harwood Ave & Milwaukee Ave
Wauwatosa, WI 53226

Issuance and Revisions:

Date	Number	Description
06/05/23		Client Review Submittal
06/29/23		Parks Dept Prelim Meeting
07/17/23		Parks Dept Meeting
08/28/23		Client Review Submittal
09/20/23		Phase 1 Construction Document Submittal
08/26/25		Design Review Board Submittal
09/09/25		Revisions based on Staff Review Comments / Design Review Board Re-Submittal
04/09/26		Design Review Board Re-Submittal

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Sheet Title:

PROPOSED PLAZA PLAN SET
GENERAL NOTES AND
SITE INFORMATION.

Date of Drawing: 04/26/26

Scale: 1" = 20'-0"

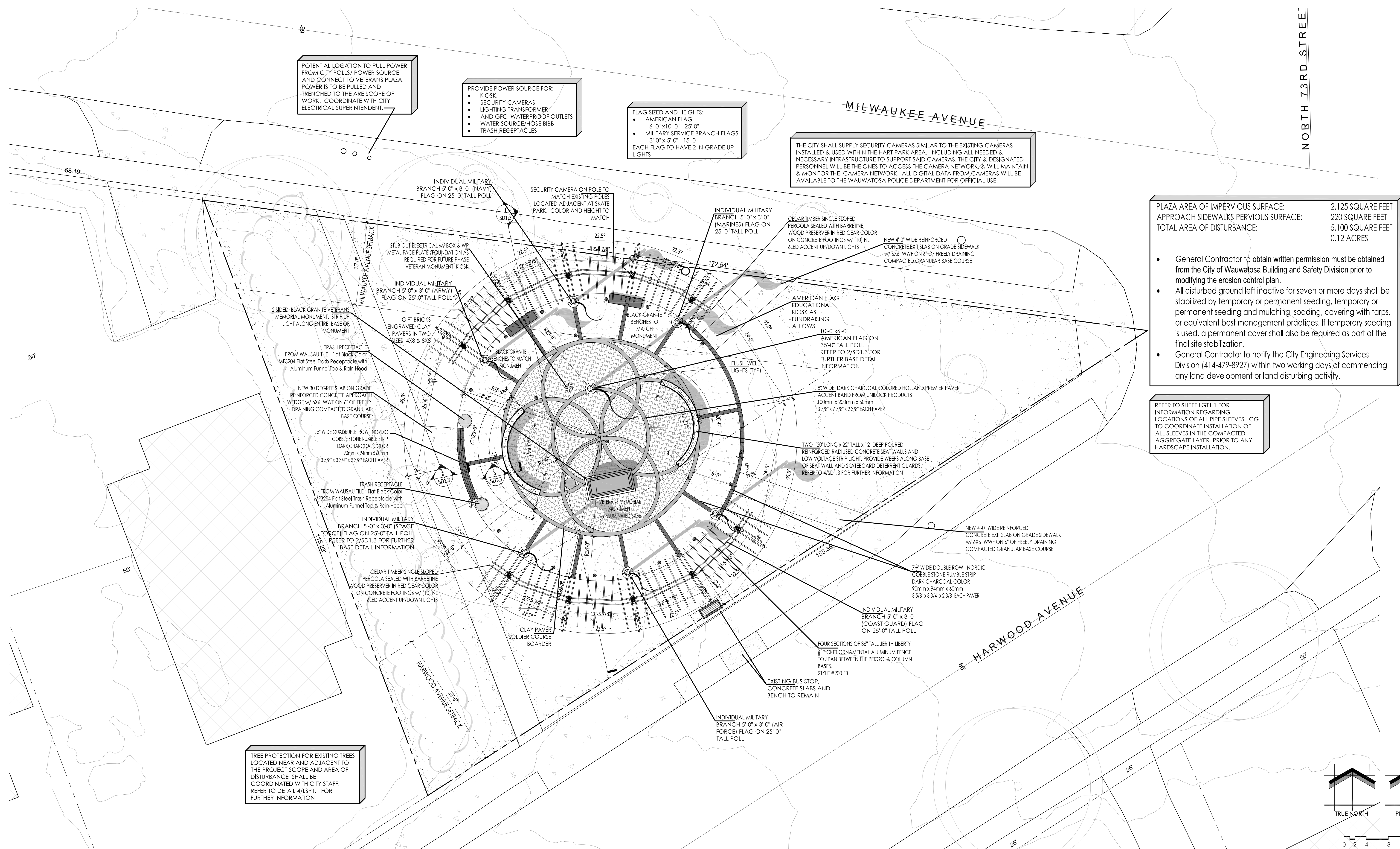
Drawn By: MCD

Job Number: L23-025

Sheet Number:

LG0.1

NOT FOR CONSTRUCTION - PRELIMINARY - FOR ESTIMATING AND REVIEW ONLY - DO NOT SCALE THESE DRAWINGS - These progress documents reflect progress & intent & may be subject to change, including additional notes and detail. These are not final construction documents and should not be used for final bidding or construction-related purposes.



POTENTIAL LOCATION TO PULL POWER FROM CITY POLLS/ POWER SOURCE AND CONNECT TO VETERANS PLAZA. POWER IS TO BE PULLED AND TRENCHED TO THE ARE SCOPE OF WORK. COORDINATE WITH CITY ELECTRICAL SUPERINTENDENT.

PROVIDE POWER SOURCE FOR:
 • KIOSK
 • SECURITY CAMERAS
 • LIGHTING TRANSFORMER
 • AND GFCI WATERPROOF OUTLETS
 • WATER SOURCE/HOSE BIBB
 • TRASH RECEPTACLES

FLAG SIZED AND HEIGHTS:
 • AMERICAN FLAG
 6'-0" x 10'-0" - 25'-0"
 • MILITARY SERVICE BRANCH FLAGS
 3'-0" x 5'-0" - 15'-0"
 EACH FLAG TO HAVE 2 IN-GRADE UP LIGHTS

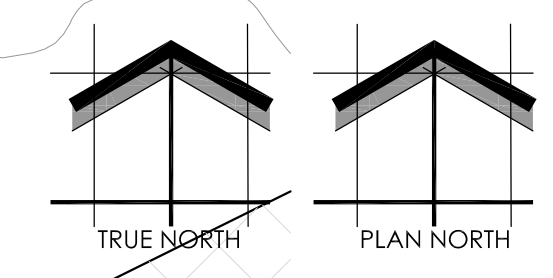
THE CITY SHALL SUPPLY SECURITY CAMERAS SIMILAR TO THE EXISTING CAMERAS INSTALLED & USED WITHIN THE HART PARK AREA. INCLUDING ALL NEEDED & NECESSARY INFRASTRUCTURE TO SUPPORT SAID CAMERAS. THE CITY & DESIGNATED PERSONNEL WILL BE THE ONES TO ACCESS THE CAMERA NETWORK, & WILL MAINTAIN & MONITOR THE CAMERA NETWORK. ALL DIGITAL DATA FROM CAMERAS WILL BE AVAILABLE TO THE WAUWATOSA POLICE DEPARTMENT FOR OFFICIAL USE.

PLAZA AREA OF IMPERVIOUS SURFACE:	2,125 SQUARE FEET
APPROACH SIDEWALKS PERVIOUS SURFACE:	220 SQUARE FEET
TOTAL AREA OF DISTURBANCE:	5,100 SQUARE FEET 0.12 ACRES

- General Contractor to obtain written permission must be obtained from the City of Wauwatosa Building and Safety Division prior to modifying the erosion control plan.
- All disturbed ground left inactive for seven or more days shall be stabilized by temporary or permanent seeding, temporary or permanent seeding and mulching, sodding, covering with tarps, or equivalent best management practices. If temporary seeding is used, a permanent cover shall also be required as part of the final site stabilization.
- General Contractor to notify the City Engineering Services Division (414-479-8927) within two working days of commencing any land development or land disturbing activity.

REFER TO SHEET LG11.1 FOR INFORMATION REGARDING LOCATIONS OF ALL PIPE SLEEVES. CG TO COORDINATE INSTALLATION OF ALL SLEEVES IN THE COMPACTED AGGREGATE LAYER PRIOR TO ANY HARDSCAPE INSTALLATION.

TREE PROTECTION FOR EXISTING TREES LOCATED NEAR AND ADJACENT TO THE PROJECT SCOPE AND AREA OF DISTURBANCE SHALL BE COORDINATED WITH CITY STAFF. REFER TO DETAIL 4/LSP1.1 FOR FURTHER INFORMATION



SCALE: 1" = 8'-0"

SHEET NUMBER: SD1.1
 04/26/2026
 L23-025

WAUWATOSA VETERANS MEMORIAL PLAZA - WAUWATOSA, WI

Proposed Wauwatosa Veteran Park Site Plan

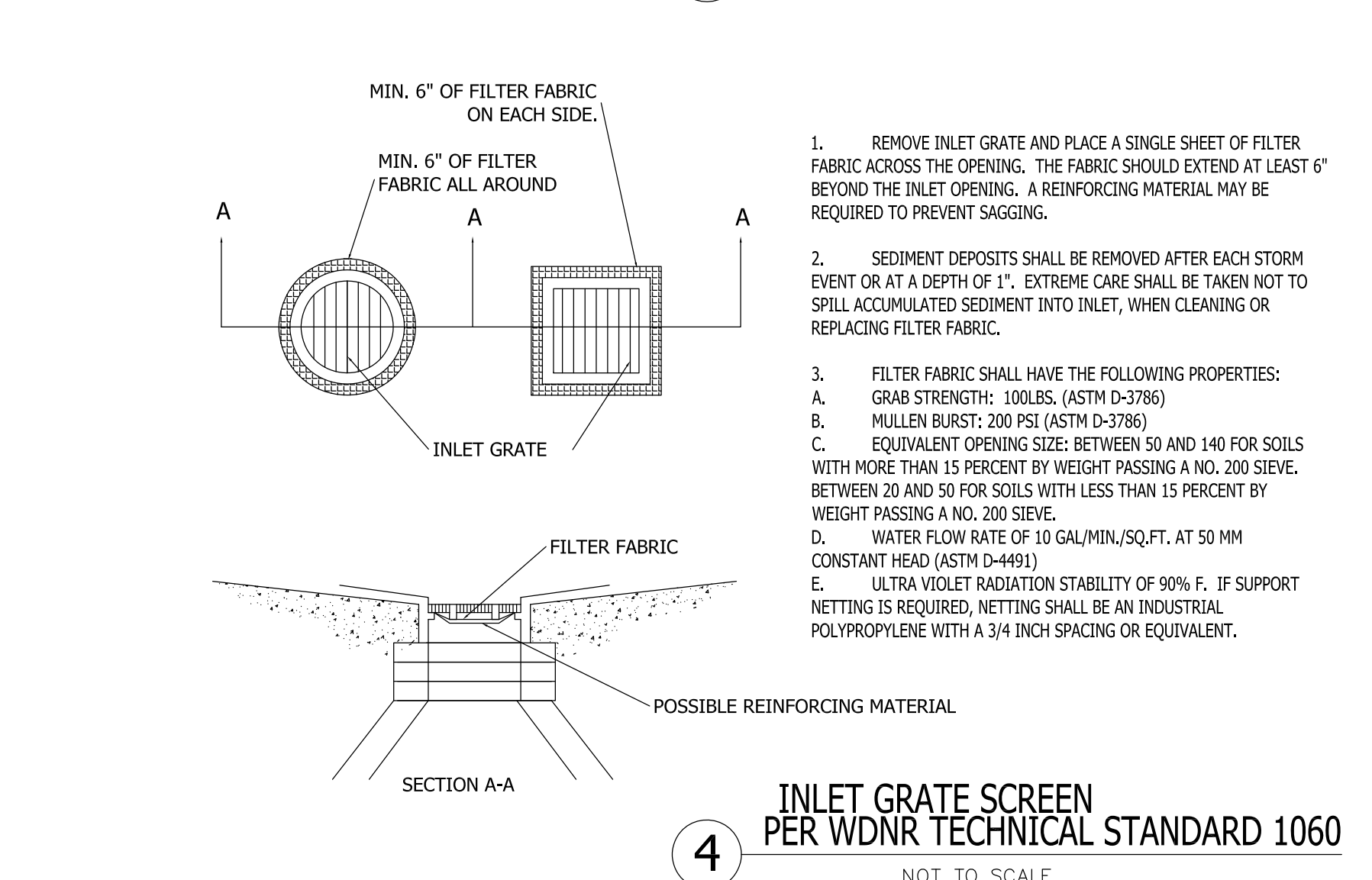
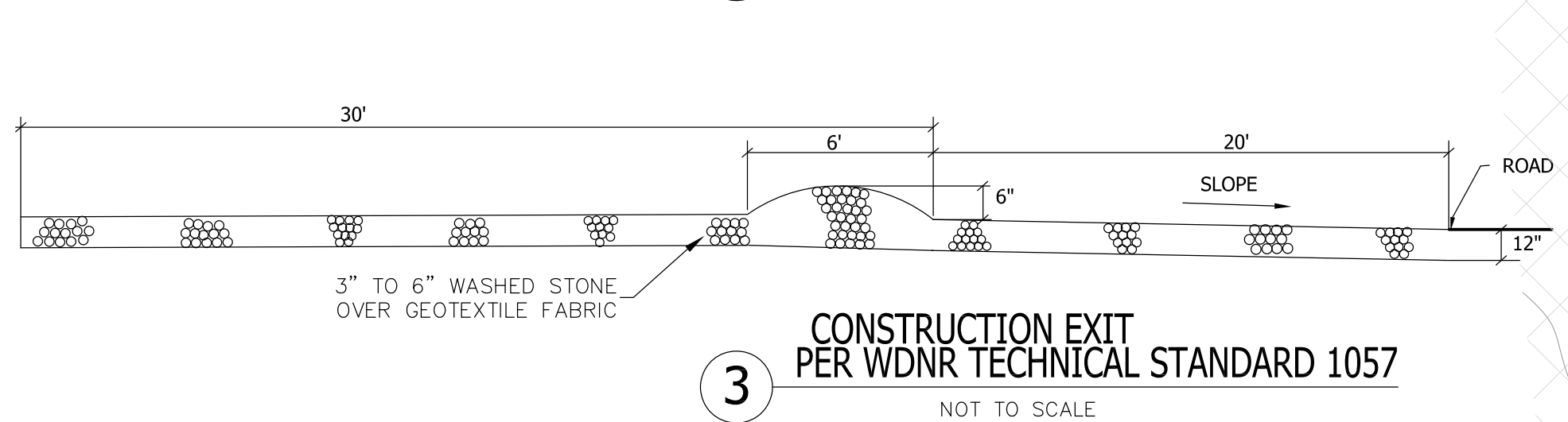
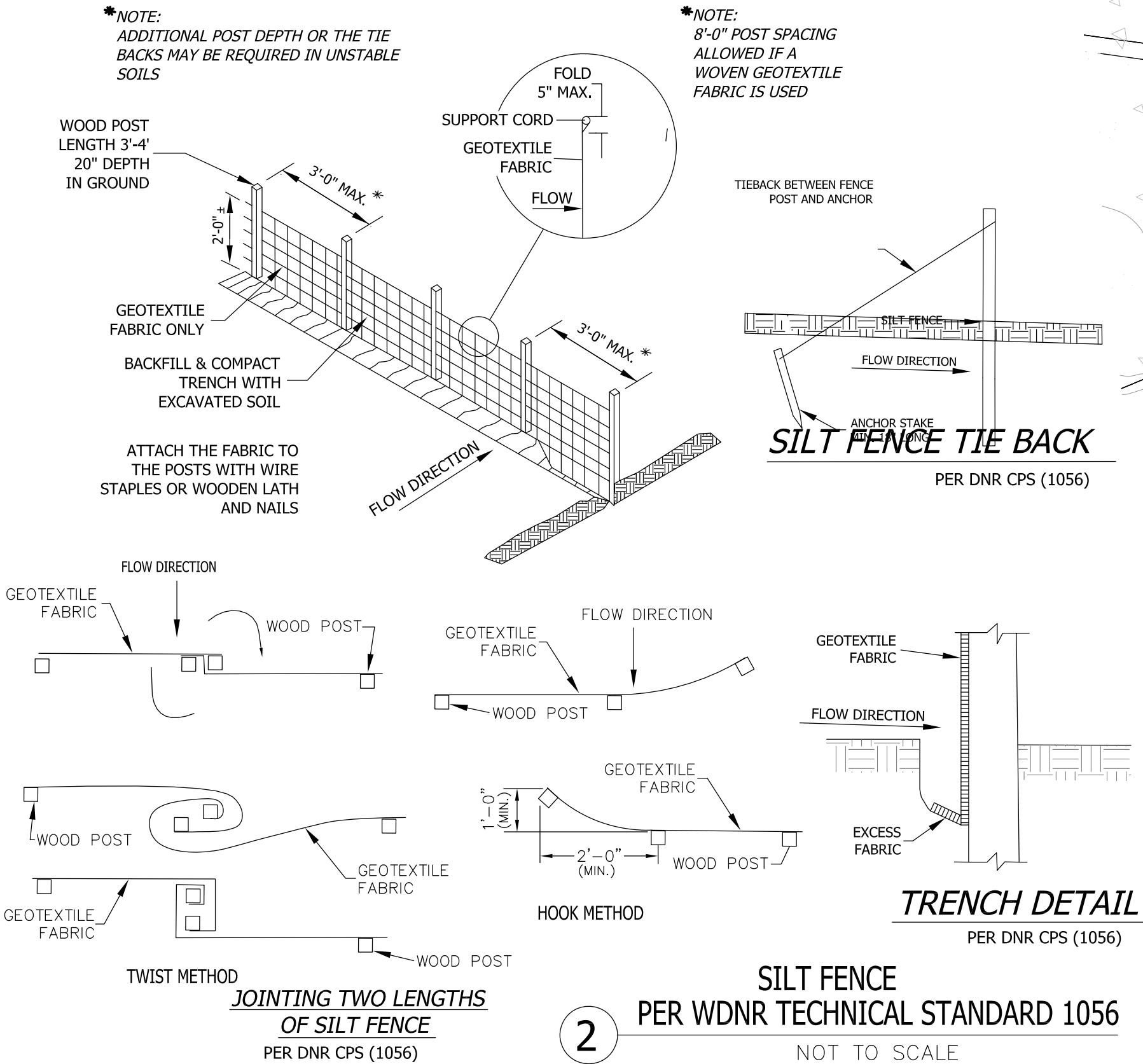
Schematic - Not for Construction

EROSION CONTROL KEY

- ① STAKED HAY BALES (TEMP)
- ② SILT FENCE
- ③ CONSTRUCTION EXIT

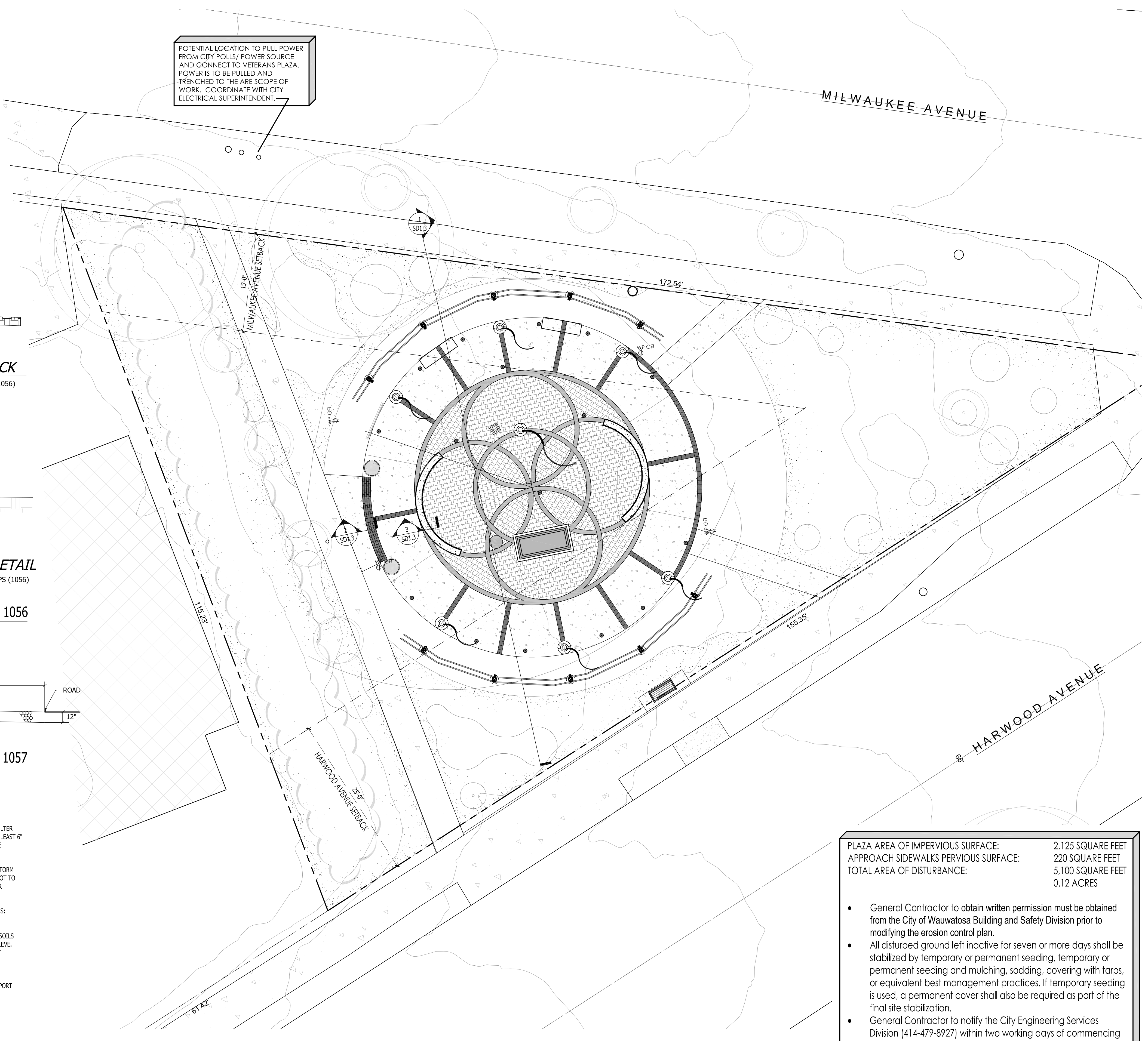
MAINTENANCE PLAN

1. ALL EROSION AND SEDIMENT CONTROL PRACTICES WILL BE CHECKED FOR STABILITY AND OPERATION FOLLOWING EVERY 1/2" RUNOFF-PRODUCTION RAINFALL BUT IN NO CASE LESS THAN ONCE EVERY WEEK. ANY NEEDED REPAIRS WILL BE MADE IMMEDIATELY TO MAINTAIN ALL PRACTICES AS DESIGNED.
2. SEDIMENT WILL BE REMOVED FROM BEHIND THE SILT FENCE WHEN IT BECOMES ABOUT 0.5 FT. DEEP AT THE FENCE. THE SILT FENCE WILL BE REPAIRED AS NECESSARY TO MAINTAIN A BARRIER.
3. ALL SEEDED AREAS WILL BE WATERED, FERTILIZED, RESEED AS NECESSARY, AND MULCHED TO MAINTAIN A VIGOROUS, DENSE VEGETATIVE COVER.
4. ANY SEDIMENT REACHING A PUBLIC OR PRIVATE ROAD SHALL BE REMOVED BY STREET CLEANING BEFORE THE END OF EACH DAY.



1. REMOVE INLET GRATE AND PLACE A SINGLE SHEET OF FILTER FABRIC ACROSS THE OPENING. THE FABRIC SHOULD EXTEND AT LEAST 6" BEYOND THE INLET OPENING. A REINFORCING MATERIAL MAY BE REQUIRED TO PREVENT SAGGING.
2. SEDIMENT DEPOSITS SHALL BE REMOVED AFTER EACH STORM EVENT OR AT A DEPTH OF 1". EXTREME CARE SHALL BE TAKEN NOT TO SPILL ACCUMULATED SEDIMENT INTO INLET, WHEN CLEANING OR REPLACING FILTER FABRIC.
3. FILTER FABRIC SHALL HAVE THE FOLLOWING PROPERTIES:
 - A. GRAB STRENGTH: 100LBS. (ASTM D-3786)
 - B. MULLEN BURST: 200 PSI (ASTM D-3786)
 - C. EQUIVALENT OPENING SIZE: BETWEEN 50 AND 140 FOR SOILS WITH MORE THAN 15 PERCENT BY WEIGHT PASSING A NO. 200 SIEVE. BETWEEN 20 AND 50 FOR SOILS WITH LESS THAN 15 PERCENT BY WEIGHT PASSING A NO. 200 SIEVE.
 - D. WATER FLOW RATE OF 10 GAL/MIN./SQ.FT. AT 50 MM CONSTANT HEAD (ASTM D-4491)
 - E. ULTRA VIOLET RADIATION STABILITY OF 90% F. IF SUPPORT NETTING IS REQUIRED, NETTING SHALL BE AN INDUSTRIAL POLYPROPYLENE WITH A 3/4 INCH SPACING OR EQUIVALENT.

POTENTIAL LOCATION TO PULL POWER FROM CITY POLLS/ POWER SOURCE AND CONNECT TO VETERANS PLAZA. POWER IS TO BE PULLED AND TRENCHED TO THE ARE SCOPE OF WORK. COORDINATE WITH CITY ELECTRICAL SUPERINTENDENT.



PLAZA AREA OF IMPERVIOUS SURFACE:	2,125 SQUARE FEET
APPROACH SIDEWALKS PERVIOUS SURFACE:	220 SQUARE FEET
TOTAL AREA OF DISTURBANCE:	5,100 SQUARE FEET
	0.12 ACRES

- General Contractor to obtain written permission must be obtained from the City of Wauwatosa Building and Safety Division prior to modifying the erosion control plan.
- All disturbed ground left inactive for seven or more days shall be stabilized by temporary or permanent seeding, temporary or permanent seeding and mulching, sodding, covering with tarps, or equivalent best management practices. If temporary seeding is used, a permanent cover shall also be required as part of the final site stabilization.
- General Contractor to notify the City Engineering Services Division (414-479-8927) within two working days of commencing any land development or land disturbing activity.



Landscape Consulting & Master Planning Design Services
 11525 W. North Avenue, Suite 1B
 Wauwatosa, WI 53226
 Tel (414) 476-1204
 www.insitedesigninc.com
 mdavis@insitedesigninc.com

Project:
WAUWATOSA VETERANS COMMITTEE
 Wauwatosa, WI

Project:
WAUWATOSA VETERANS MEMORIAL PLAZA
 Harwood Ave & Milwaukee Ave
 Wauwatosa, WI 53226

Issuance and Revisions:

Date	Number	Description
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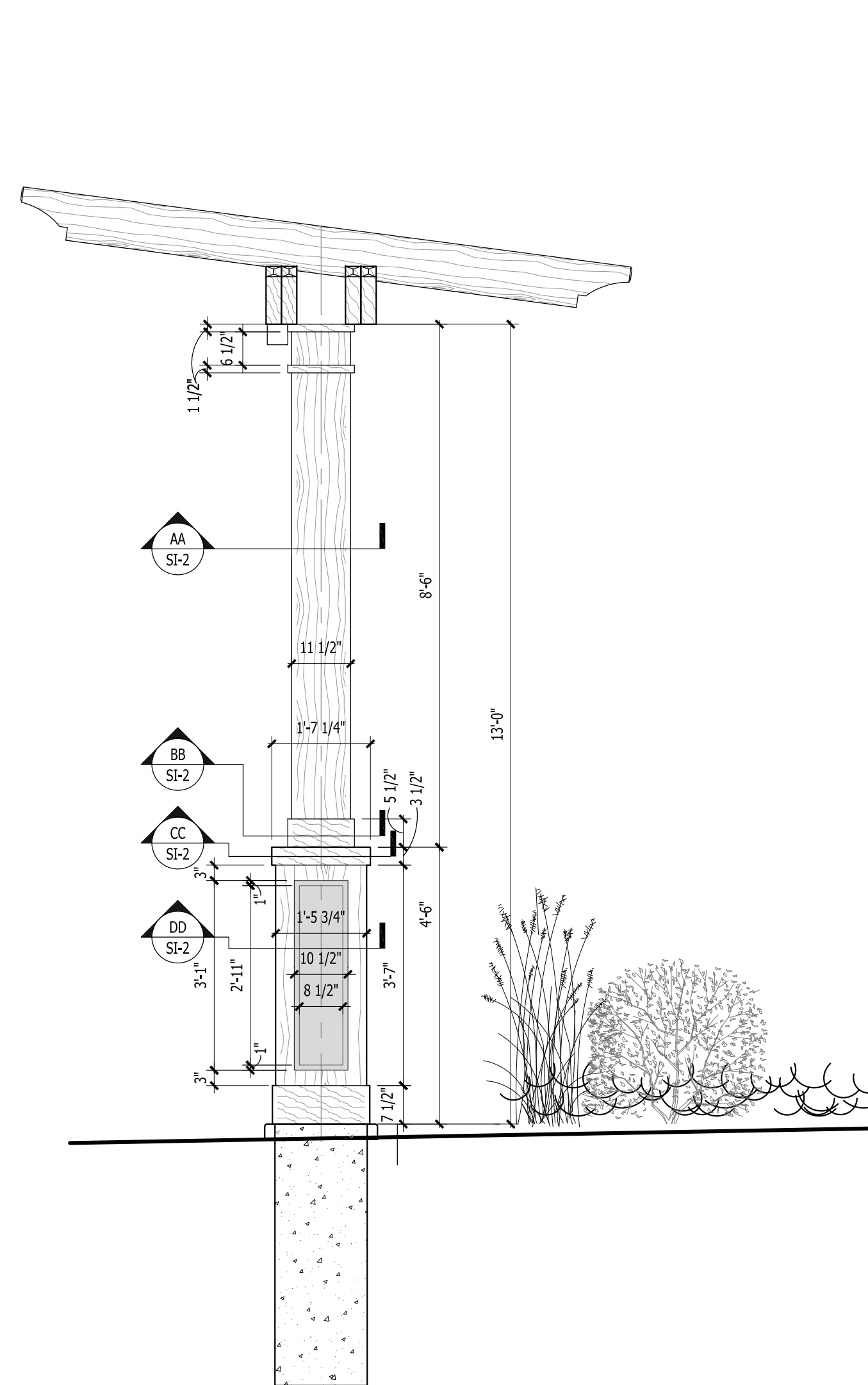
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Sheet Title:
 PROPOSED GRADING PLAN,
 EROSION CONTROL INFORMATION

Date of Drawing: 04/26/26
 Scale: 1" = 10'-0"
 Drawn By: MCD
 Job Number: L23-025
 Sheet Number:

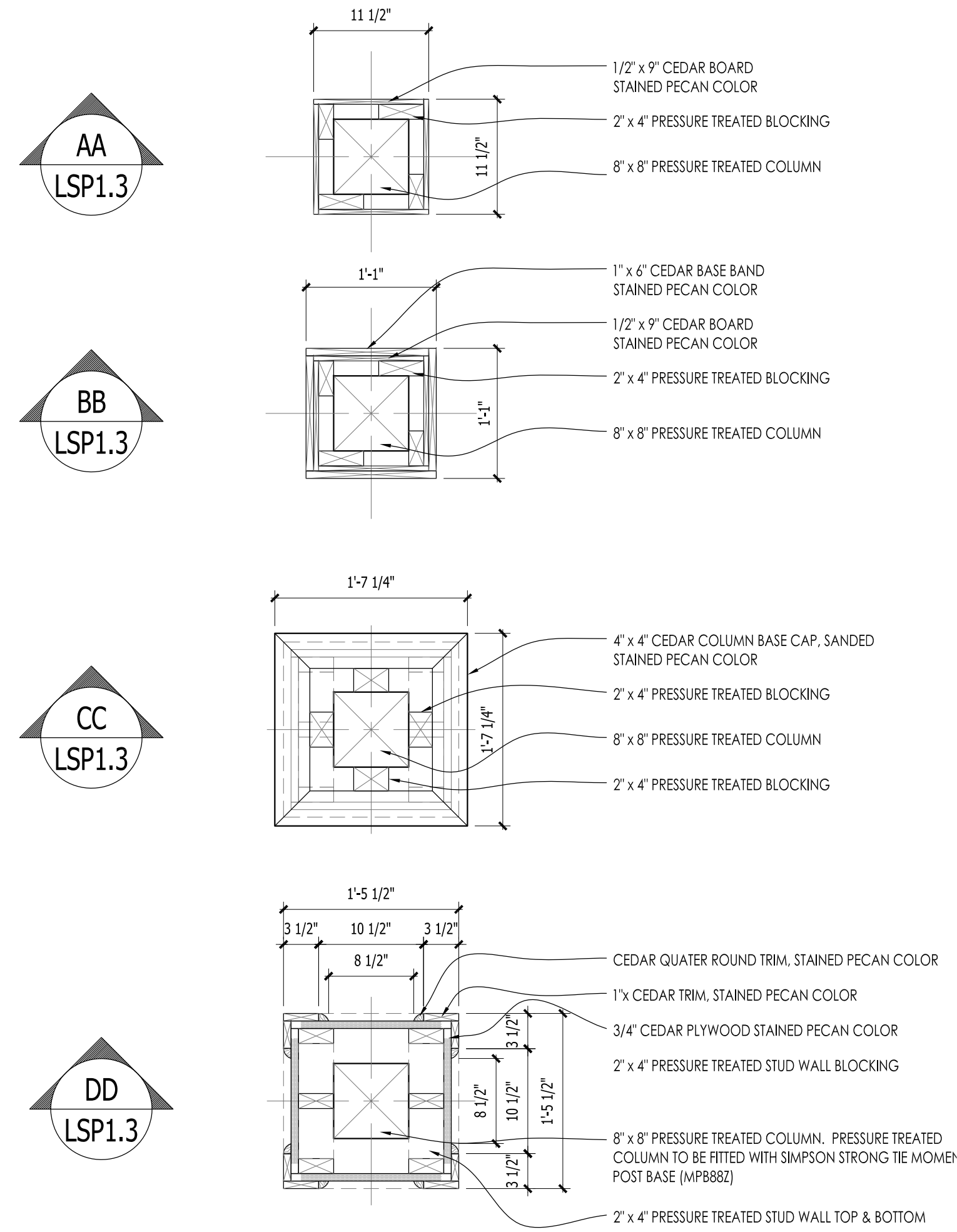
SD1.2

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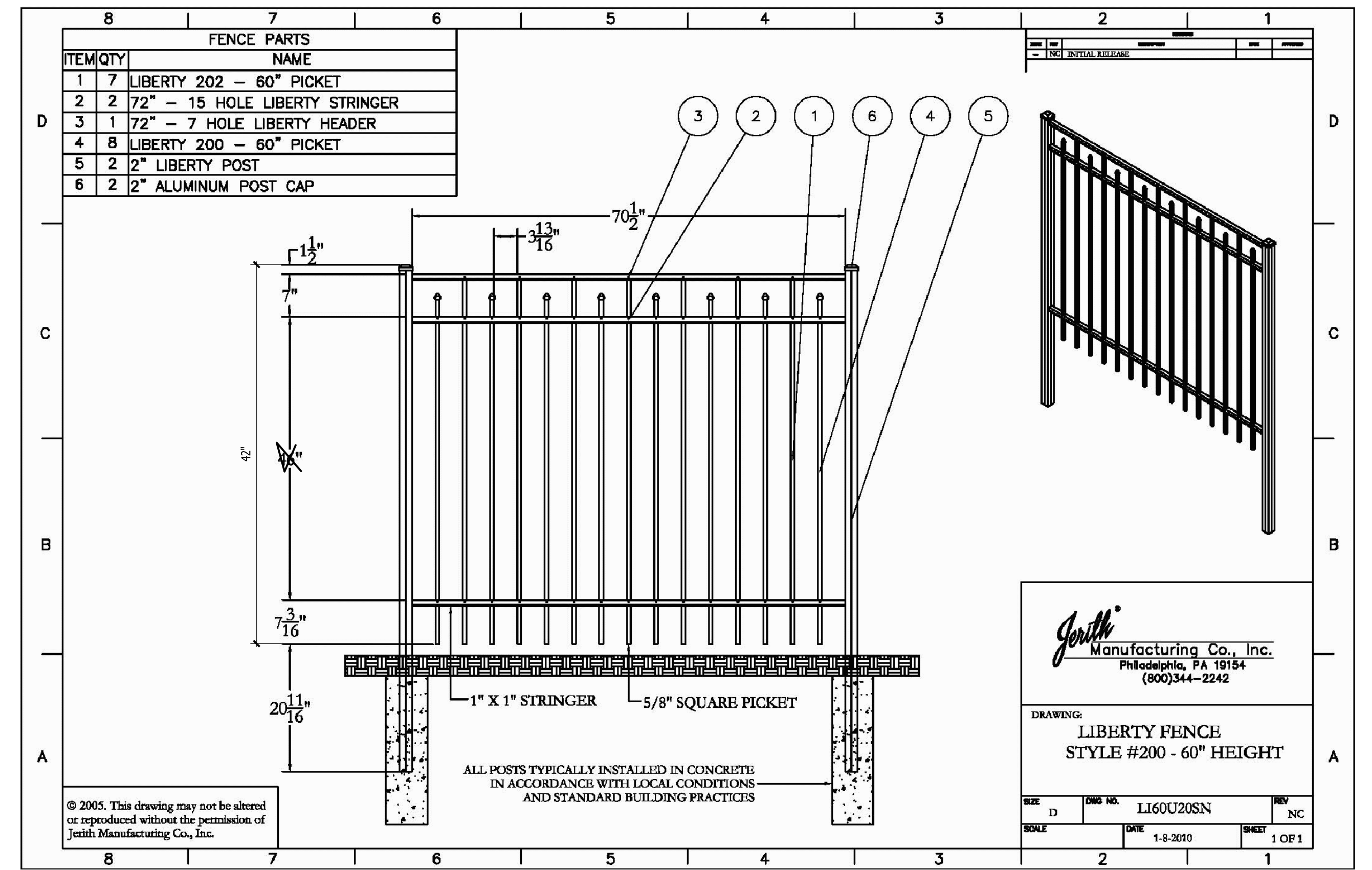
1 PROPOSED SINGLE SLOPED PLAZA PERGOLA SECTION

SCALE: 3/8" = 1'-0"



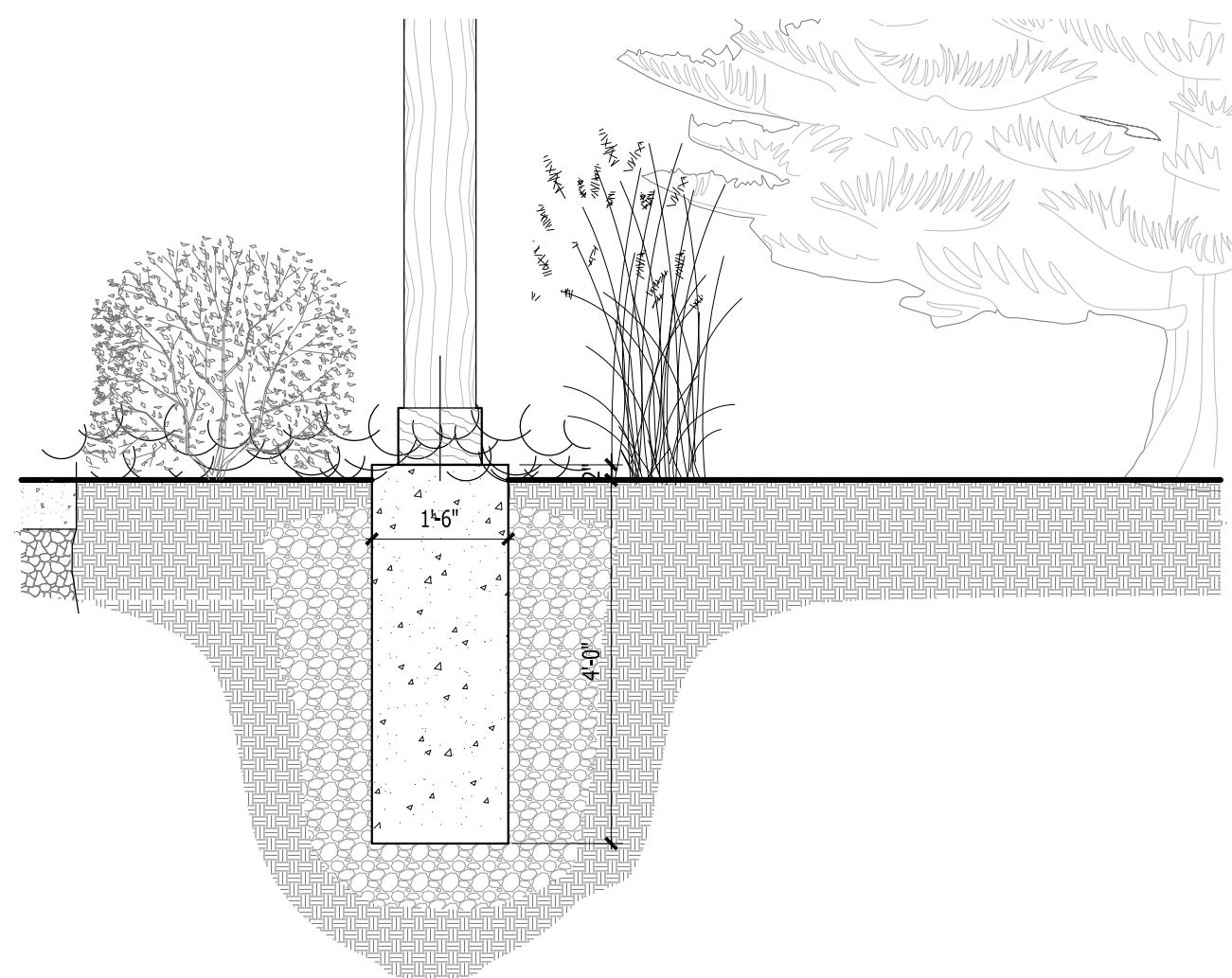
2 PROPOSED PERGOLA BUILT-UP BASE SECTIONS

SCALE: 1" = 1'-0"



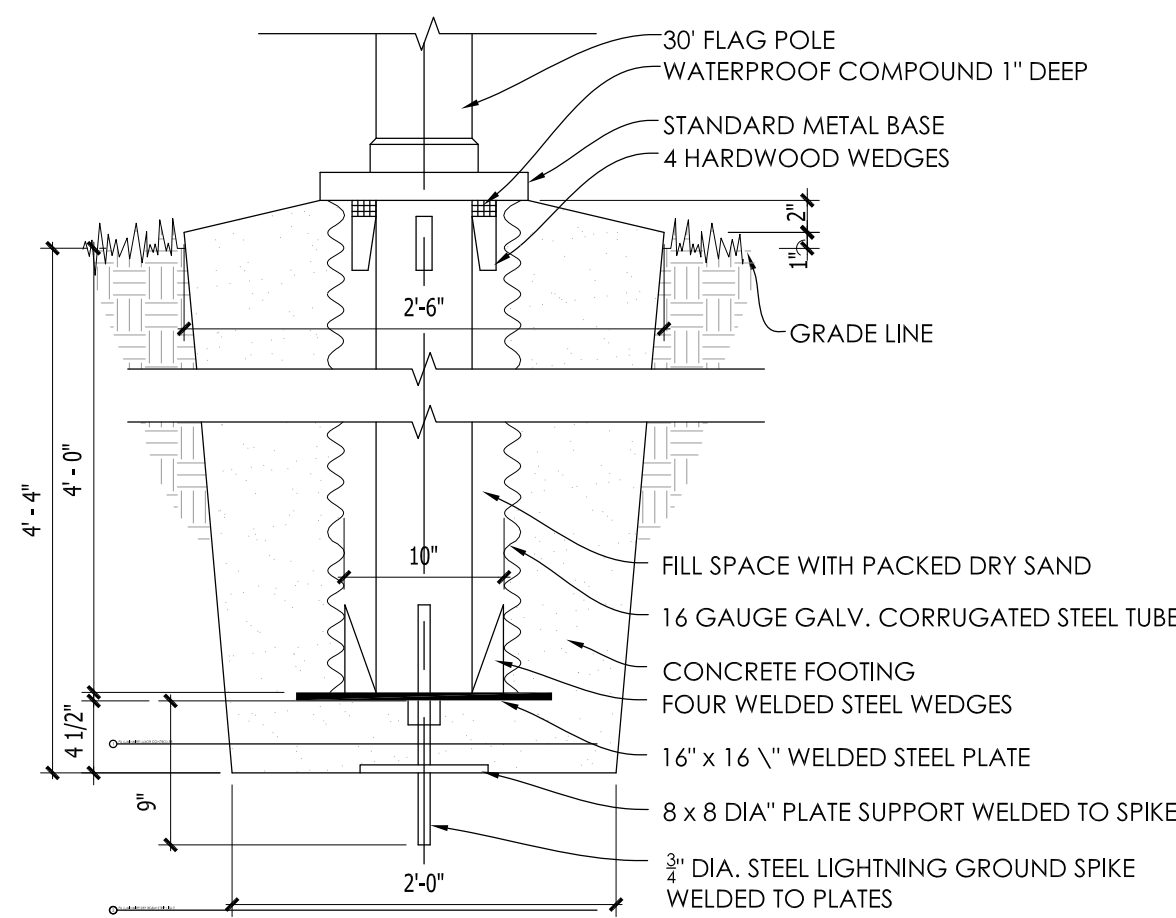
3 PROPOSED 42" FENCE BETWEEN PERGOLA COLUMN BASES (4 SECTIONS EACH)

SCALE: NTS



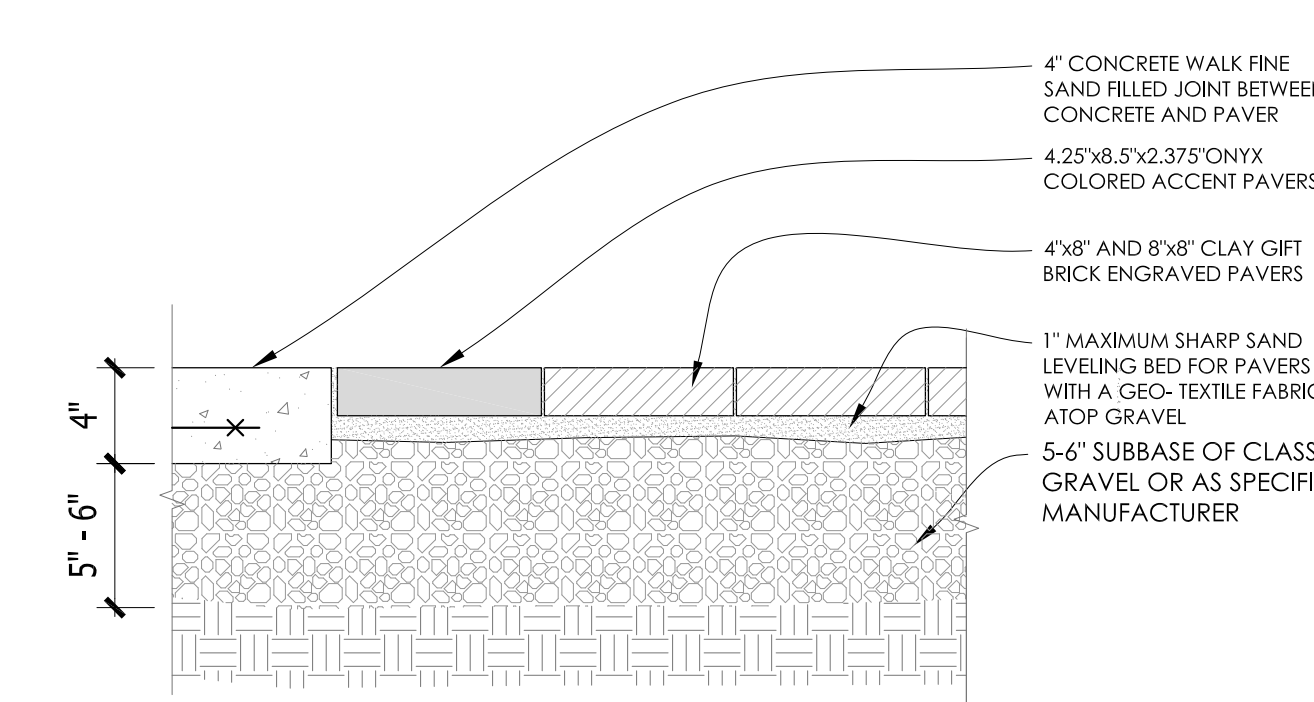
4 SLOPED PERGOLA FOOTING

SCALE: 1/2" = 1'-0"



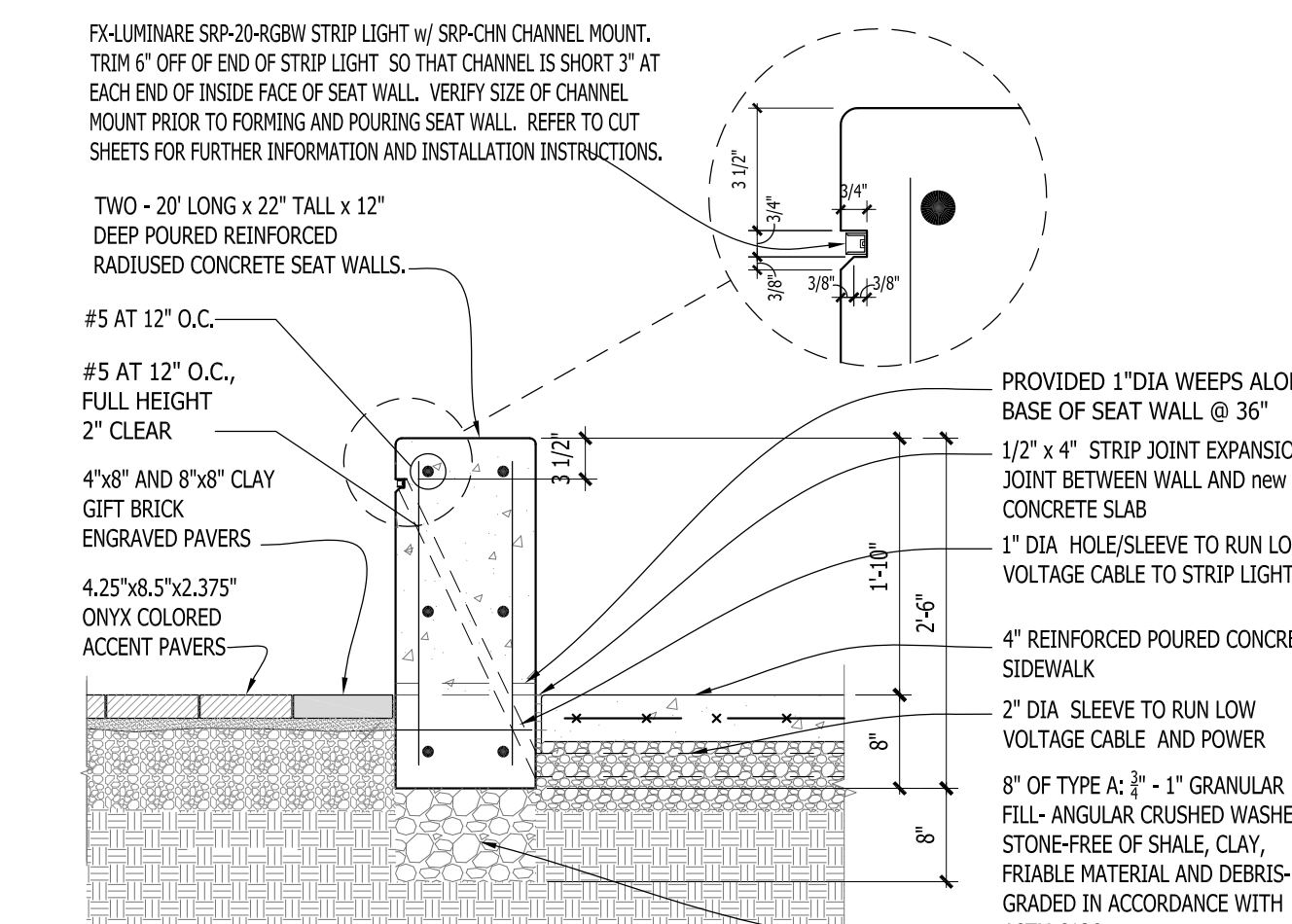
4 FLAG POLE BASE

SCALE: 1" = 1'-0"



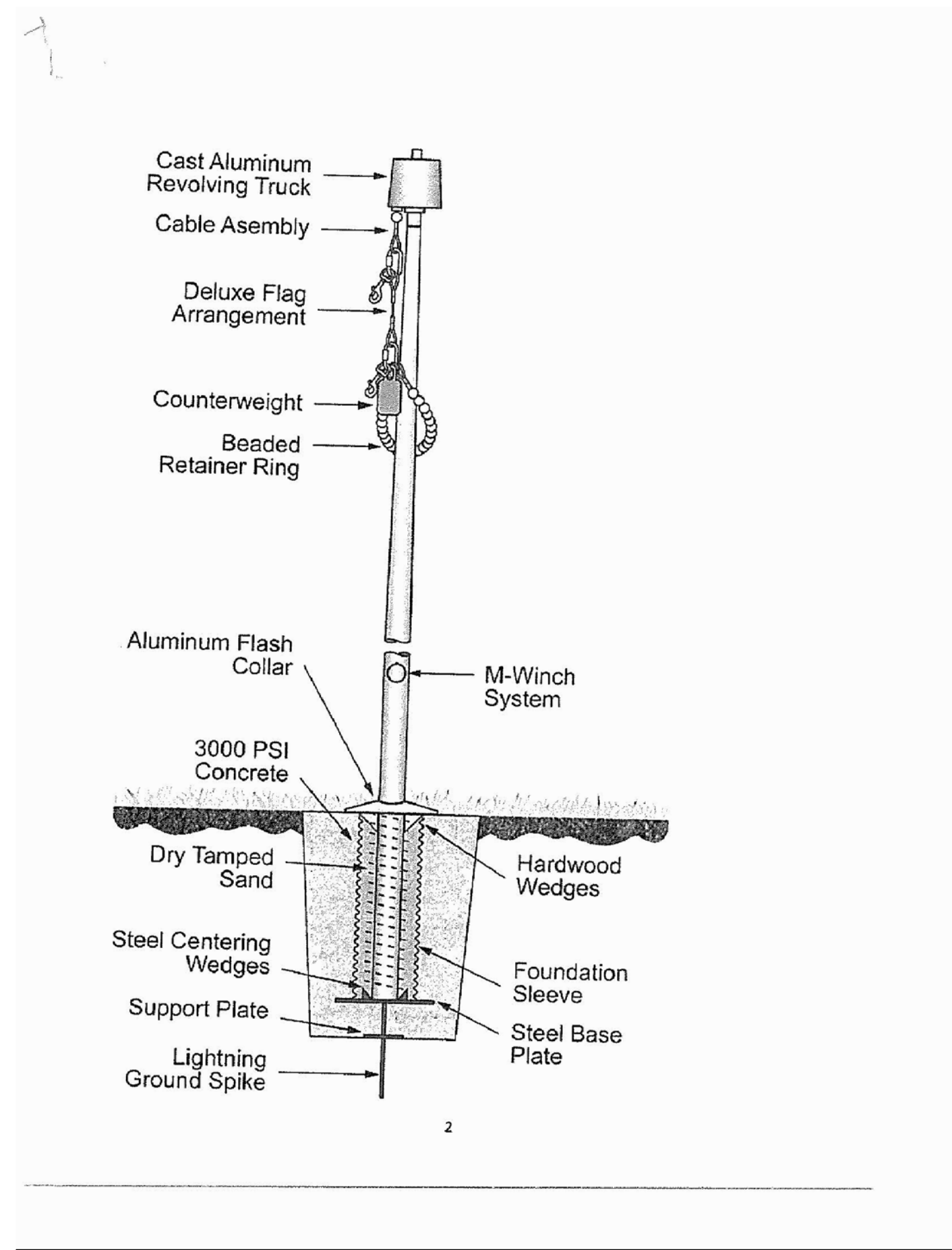
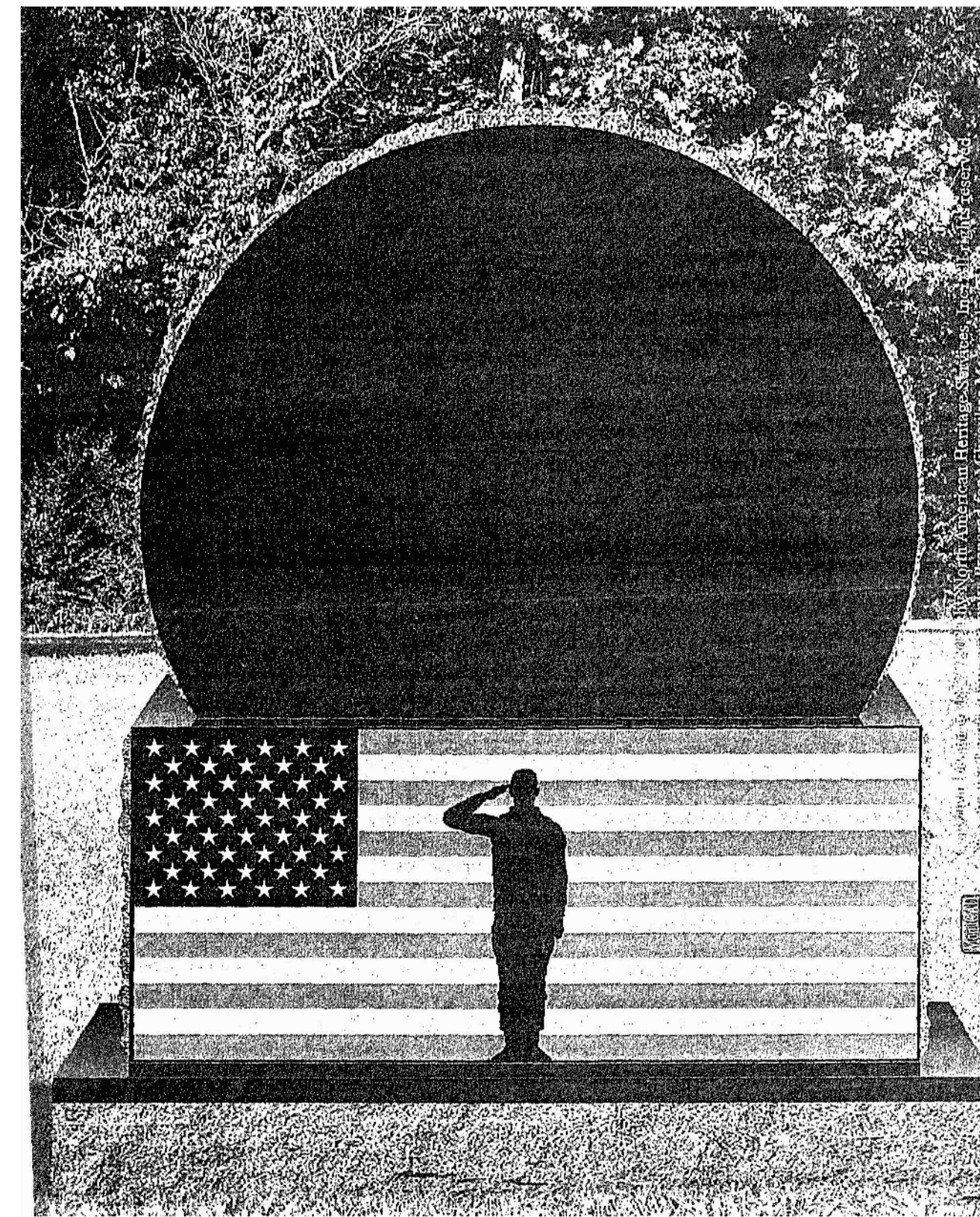
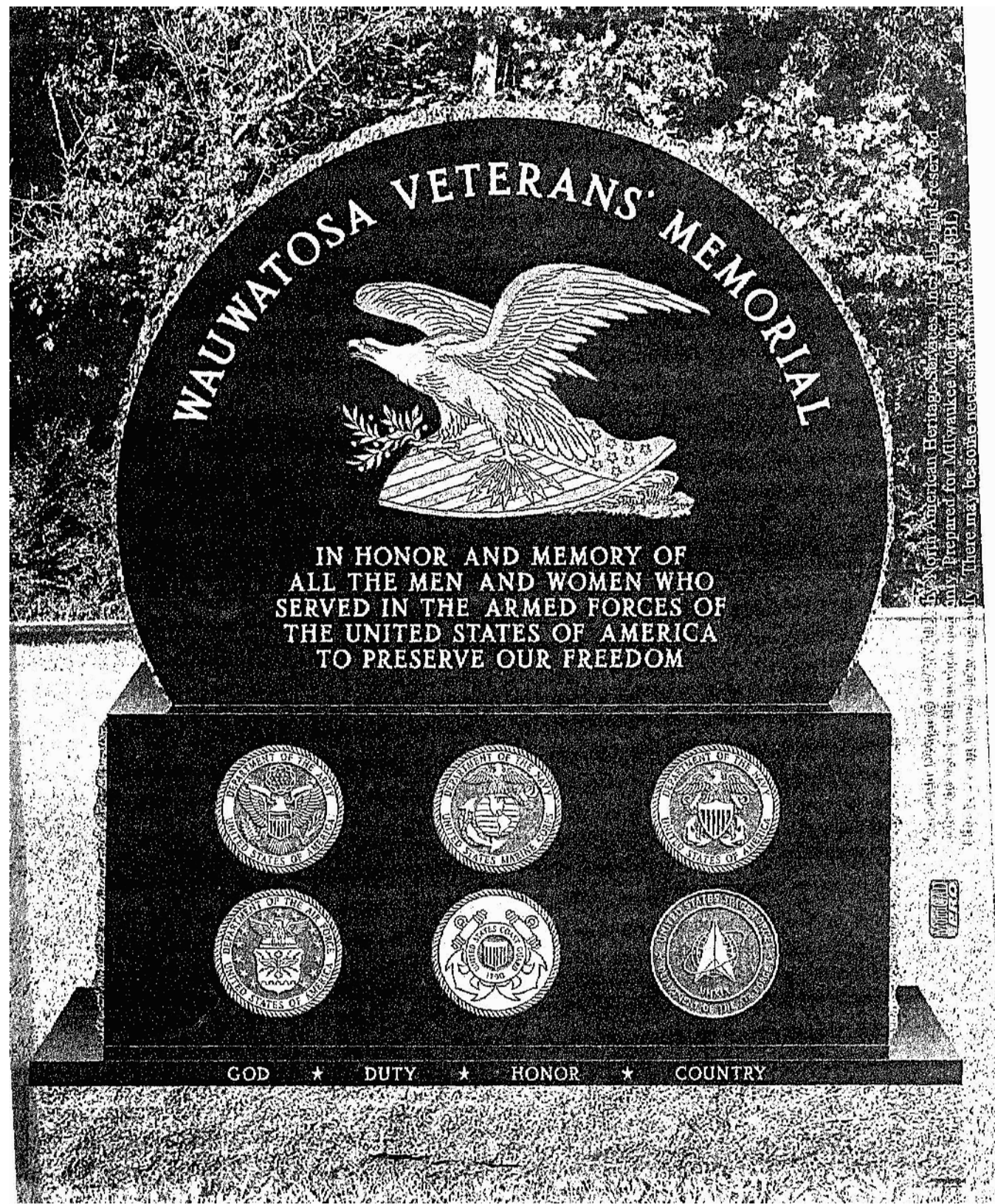
5 CONCRETE INTERLOCKING PAVER DETAIL

SCALE: 1 1/2" = 1'-0"



6 CONCRETE SEATWALL

SCALE: 3/4" = 1'-0"



9/20/23, 4:42 PM

Gift Bricks® Engraved Clay Brick Colors

Call for a FREE Sample Kit
Toll-Free: 1-800-537-5579

Home > Products > Engraved Bricks > Clay Brick > Colors

Gift Bricks® Engraved Clay Brick Colors

Clay pavers offer durability and versatility. They can be engraved only, engraved with epoxy fill, engraved with paint infill, or engraved with laserblasting. Our most popular product is available in colors shown. These engraved clay bricks come in sizes 4 x 8 and 8 x 8. Engraving text can be 14 or 20 characters per line.

Sizes: 4x8 and 8x8

1 MEMORIAL PLAZA MONUMENT FRONT

2 MEMORIAL PLAZA MONUMENT BACK

3 FLAG POLE

4 GIFT BRICKS 4"x8" OR 8"x8" REGIMENTAL RED WITH BLACK EPOXY FILL

UNILOCK
PRODUCT SELECTION

PRODUCT LINE: HOLLANDSTONE™
3 7/8" x 7 7/8" x 2 3/8" (100 x 200 x 60mm)

3 7/8" x 7 7/8" (100x200mm)

Color: Charcoal | Finish: Classic | Product Line: HOLLANDSTONE™

APPLICATIONS:
Light Duty Vehicular | Pedestrian

PRODUCT INFORMATION

A classic, Hollandstone is a favorite for many because of the design flexibility it provides and the array of available colors in standard finish. Available in one size, this paver can be laid in various patterns.

PRODUCT INFORMATION (CONT'D)

SPECIAL NOTE:
HOLLANDSTONE™
Hollandstone is a very popular value paver. The simple lines and patterns make it easy to work with. Add a special look to Hollandstone by incorporating Unigranite® or Series™ banding and insets.

Recommended Base Stabilization – one layer of DriveGrid™ stabilization grid between subgrade and base material. Recommended depth 8" to 10" below pavers for maximum stability and performance. Use under Standard Base or Permeable Base.

Standard Base – Min. 6" – 8" of 1/2" Crusher Run gravel (any road base standard) in accordance with ASTM-D2940 compacted to 98% Standard Proctor Density (SPD).

Standard Bedding Course – 1" thick of coarse sand in accordance with ASTM-D2940 screeded over base.

Alternative Permeable Base – Min. 6" – 8" of 1/2" clear open-graded stone compacted to achieve full particle lock-up and consolidation. (Clear open-graded does not compact but does consolidate slightly by rattling the particles together.)

Alternative Permeable Bedding Course – 1" thick of 1/4" clear open-graded chip stone – (ASTM No. 8) screeded over base.

Special Note: Concrete Direct Overlay – In some areas of the country and in some applications pavers are very successfully placed directly over concrete. Concrete as a base is in itself quite strong, but it can affect the structural integrity of the paver particularly in vehicular applications, where the concrete below is sub-grade. The following considerations must be taken into account:

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5 7 1/2" WIDE DOUBLE ROW OF UNILOCK NORDIC COBBLE DARK CHARCOAL COLOR

POLYSWEEP
JUST DAMN GOOD SAND

Superior Strength Polymeric Sand
Regular & X-Treme Wide Joint

Joint Stabilization TECHNICAL DATA SHEET

PRODUCT DESCRIPTION:
Regular & X-Treme Wide Joint PolySweep Polymeric Sand (referred to as PolySweep unless otherwise noted) are designed to keep sand in the joints by creating a semi-solid joint. PolySweep is a blend of native sands conforming to the ASTM C-144 standard, and polymer binders that once activated allow the joints to expand and contract with the elements such as extreme heat/cold and freeze/thaw cycles. Hardened sand joints will help to prevent sand erosion by rain and other water run-off, lessen weed growth, deter insect infestation and reduce overall pavement maintenance. Specially formulated with Clear Set Technology® which uses the highest quality, clearest synthetic polymers, PolySweep will not discolor the surface or leave behind a haze.

FEATURES	BENEFITS
Clear Set Technology	• Haze Free Performance
Superior Strength, Long Lasting Durability	• Long Term Semi-Solid Joint • Resists Cracking • Lessens Weed Growth and Deters Insects
Stronger Set Up	• Tested & proven to have superior cohesion & adhesion performance on initial set up and after full cure
RCS Safe	• RCS (Respirable Crystalline Silica) level is below reportable limits under normal use as demonstrated by certified lab testing

SUITABLE APPLICATIONS:
• New or Existing Residential and Commercial Projects: Driveways, Walkways, Patios, Pool Decks and Concrete Overlays
• Substrates: Concrete, Clay & Wet Cast Pavers, Natural Stone and Porcelain Tile
• Do not use on vertical applications or as a substitute for mortar

AVAILABLE COLORS:

Pearl is not available in X-Treme Wide Joint. Color availability may vary by region. Color may vary due to the nature of aggregates and moisture content. This image is a representation of the available colors and a sample can be requested if needed.

6 PLAZA PAVER POLYSWEEP POLYMERIC JOINTING SAND - BLACK COLOR

POLYSWEEP
JUST DAMN GOOD SAND

Superior Strength Polymeric Sand
Regular & X-Treme Wide Joint

Joint Stabilization TECHNICAL DATA SHEET

IMPORTANCE OF ASTM C144 SAND:
PolySweep is a blend of polymer binders and native sands that conform to the ASTM C-144 standard. ASTM C-144 is a specific gradation of fractured angular sand particles of different sizes. This type of sand will create the necessary structure in the joint that will interlock the system together once the polymers are activated with water and the curing process is complete.

ASTM C144
• Fractured & Angular
• Different Size Particles
• Ideal for Segmental Systems

POLYSWEEP ESTIMATED COVERAGE PER 50 LB. BAG:

JOINT SIZE	AREA IN SQ FT
Up to 1/4"	50 - 75
1/4" - 1/2"	25 - 50
1/2" - 3/4"	15 - 25

Coverage will vary depending on shape, size & depth of pavers installed. Use in joints up to 3/4".

X-TREME WIDE JOINT ESTIMATED COVERAGE PER 50 LB. BAG:

PAVER TYPE	JOINT SIZE	AREA IN SQ FT
Standard	Up to 1/4"	50 - 75
Standard	1/4" - 1/2"	25 - 50
Standard	1/4" - 1/2"	15 - 25
Natural Stone	Up to 2"	15 - 25
Natural Stone	2" - 4"	25 - 35

Coverage will vary depending on shape, size & depth of pavers installed. Use in joints up to 4".

INSITE
LANDSCAPE DESIGN

Landscape Consulting
& Master Planning Design Services

11525 W. North Avenue, Suite 1B
Wauwatosa, WI 53226
Tel (414) 476-1204
www.insitedesigninc.com
mdavis@insitedesigninc.com

Project for:

**WAUWATOSA
VETERANS COMMITTEE**
Wauwatosa, WI

Project:

**WAUWATOSA
VETERANS MEMORIAL
PLAZA**

Harwood Ave & Milwaukee Ave
Wauwatosa, WI 53226

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Sheet Title:

PROPOSED PHASE I
SITE MATERIALS / COMPONENTS

Date of Drawing: 04/26/26

Scale: NONE

Drawn By: MCD

Job Number: L23-025


Sheet Number:

SD1.5

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UNILOCK
PRODUCT SELECTION

PRODUCT LINE: NORDIC COBBLES
3 5/8" x 3 3/4" x 2 3/8" (89.5 x 94.2 x 60mm)



3 5/8 x 3 3/4" (89.5 x 94.2mm)

Color: Dark Charcoal

Finish: Smooth Premier

Product Line: NORDIC COBBLES

APPLICATIONS:

- Light Duty Vehicular
- Heavy Duty Vehicular
- Permeable
- Pedestrian

EndureColor
The refined surface of Unilock EndureColor products is achieved with a two-step manufacturing process that combines a base of coarser aggregates for a stronger foundation, with concentrated color and wear-resistant finer aggregates on top. This process protects the surface from the appearance of fading over time because the top layer prevents large, lighter color aggregates from ever showing through.

PRODUCT INFORMATION
Nordic Cobble brings a modern finish to a historic paving staple, hand-cut granite cobbles. Randomized cobble "faces" can create circular fans or curves, grid patterning and border designs.

PRODUCT INFORMATION (CONT'D)

SPECIAL NOTE:



1 7 1/2" WIDE DOUBLE ROW OF UNILOCK NORDIC COBBLE DARK CHARCOAL COLOR
USE BLACK POLYMERIC JOINTING SAND IN THE CIRCULAR PLAZA AND PERMCHIP AGGREGATE IN THE PERMEABLE APPROACH SIDEWALKS



SB-8700 Wet Look Joint Stabilizing Sealer
With Antifungal Film Protection

- Multi-Purpose Product: Seals and Enhances Surface, Hardens Joint Sand
- Antifungal Film Protection: Protects Sealer Film from Mold, Moss & Algae
- Stain Resistant: Promotes Easier Cleaning & Maintenance
- Stabilizes Joint Sand: Reduces Sand Washout, Weeds & Insect Infestation
- Surface Enhancement: Deeply Enhances Surface Tone & Semi-Gloss Finish
- Rain Safe in 90 Minutes: Minimizes Rain Affecting Your Sealing Schedule
- Breathable, Immediate Application: Does Not Trap Moisture or Efflorescence

SB-8700 Wet Look Joint Stabilizing Sealer is a solvent-based advanced premium acrylic sealer that is rain safe 90 minutes after application and will not yellow under exposure to sunlight. It is recommended for outdoor use only on old and new, horizontal or vertical surfaces to provide surface protection and stabilize newly installed joint.

3 SUREBOND SB-700 WET LOOK SEALER
ALL HARDSCAPE PAVERS TO BE SEALED AS RECOMMENDED BY MANUFACTURER

SUREBOND PROTECTION THAT PAYS

SB-8700 WET LOOK JOINT STABILIZING SEALER
With Antifungal Film Protection

FEATURES

- Multi-Purpose Product
- Antifungal Film Protection
- Stain Resistant
- Stabilizes Joint Sand
- Surface Enhancement
- Rain Safe in 90 Minutes
- Breathable, Immediate Application

BENEFITS

- Seals and Deeply Enhances Surface
- Hardens Joint Sand
- Protects Sealer Film from Mold, Moss & Algae
- Promotes Easier Cleaning & Maintenance
- Reduces Sand Washout, Weeds & Insect Infestation
- Deeply Enhances Surface Tone
- Semi-Gloss Finish
- Minimizes Rain Affecting Your Sealing Schedule
- Does Not Trap Moisture or Efflorescence

TECHNICAL DATA SHEET

PREPARATION:
TEST SEALER FIRST on a small inconspicuous area to determine suitability and if desired results are achievable with this product. Before sealing, surface should be thoroughly cleaned and prepared with Surebond Cleaners. For spot cleaning, use S.R.B. and/or Oil Extractor before cleaning the surface overall with SureClean. Use Effic Ori for efflorescence clearing and SureStrip to remove previously applied sealer, other than SB-8700. Remove and kill any mold, mildew, fungus or algae. For joint stabilization in existing surfaces, old joint sand should be removed to a minimum depth of 1" from the top of surface. Thoroughly rinse all cleaner residue from the surface. Allow surface to dry for a minimum of 24 hours after cleaning and/or rain before joint sand installation or sealer application.

Joint Sand Installation: Paver joints should be no more than 1/8" wide and filled with ASTM C144 joint sand. Vibrate surface with vibratory roller or compactor after sweeping sand into joints to minimize air voids. Sand level should not exceed the bottom of the chamfer edge or 1/8" down from the top on non-chamfered surfaces.

Prior to Sealing: Use a leaf blower to remove dust, debris and fine sand particles from the surface. Cover/protect nearby landscape, vehicles, and buildings from overspray during application.

APPLICATION INFORMATION:
Acrylic when dry and night temperatures are between 40°F - 95°F. Maximum surface temperature should not exceed 120°F. Allow surface to dry for a minimum of 24 hours after cleaning and/or rain before sealer application. Avoid windy conditions to keep sealer spray from drifting. NO pre-blending or mixing required. DO NOT DILUTE. SB-8700 is designed for a one-coat application but if desired an additional light spray coat can be applied only after the first coat has dried to the touch. Excessive applications may decrease breathability and/or cause surface to become slippery. Some surfaces may require an anti-slip additive to increase friction. On large projects, it may be necessary to work in smaller more manageable sections.

Application Tools: low-pressure high-volume sprayer with solvent resistant neoprene or Viton type seals, solvent resistant silt foam roller, foam squeegee for joint stabilization.

Spray & Back Roll Application (no joint sand stabilization): Use coverage rate for sealing without joint stabilization. Hold sprayer nozzle perpendicular to the surface, spray and sweep each spray pass. Before sealer dries, back roll surface with a foam roller to eliminate any pooling and to even out the sealer.

Flood Coat & Squeegee Application for Joint Stabilization: Use coverage rate for sealing with joint stabilization. Liberally spray sealer to flood surface and joints ensuring proper sand penetration for stabilization. Use a foam squeegee to direct excess sealer into joints. On an uneven surface, it is recommended to then back roll with a silt foam roller before sealer dries to even out the sealer and eliminate pooling.

***Do not roll back and forth excessively as this may cause excessive bubbling. Rolling or squeegeeing immediately after film starts to become tacky can cause the roller/squeegee to become stringy and could damage the sealer.**

COVERAGE PER GALLON:

APPLICATION	SO FEET	SO METERS
Sealing with joint stabilization	80 - 120	7.4 - 11.1
Sealing without joint stabilization	150 - 250	13.9 - 23.2

Coverage based on one coat. Actual coverage may vary depending on the type, age, condition, porosity of the surface, application method and other local conditions such as temperature & humidity.

800-932-3343 | SEK.US.COM

PROTECTION THAT PAYS

PERMCHIP
Granite Chips for Permeable Paver Systems

A PERMEABLE SOLUTION FROM THE MAKERS OF Snap Edge® & PermEdge® OFFERING OPTIMAL INFILTRATION PERFORMANCE

RESIDENTIAL & COMMERCIAL APPLICATIONS
DRIVEWAYS • PATIOS • WALKWAYS • PARKING LOTS

- High-Strength Crushed and Washed Granite
- Meets ASTM #9 Stone Specification
- 100% Fractured Surface
- Freeze/Thaw Resistant
- Tests Well Above Minimum Target of 100 in/hr Infiltration Rate
- Resists Clogging/Particle Build Up in Permeable Pavement Joints
- For Use in Standard or Narrow Joints
- Available in 50 lb. Plastic Bags, 56 Bags Per Pallet and 2500 lb. Super Sacks
- Can Be Stabilized With SB-1000 PKCP Chip Stabilizer

BENEFITS OF USING PERMCHIP

- Stays in Joints Better Than Rounded Aggregate
- Allows Surface Water Infiltration in Permeable Pavement Systems
- Natural Stone Colors That Complement Many Permeable Pavement Surfaces

PermChip can be used as permeable pavement joint fill, bedding course and as a decorative pathway surface.

COVERAGE RATE PER 50 LB BAG OF PERMCHIP

60 MM PAVER	
OPENING RATIO	SQ. FT. PER BAG
11%	45
13%	40
15%	35

80 MM PAVER	
OPENING RATIO	SQ. FT. PER BAG
11%	35
13%	30
15%	25

These are estimates and should vary based on local conditions.

4 NATURAL STONE COLORS

- Eclipse Black
- Saturn Tan
- Stormy Gray
- Sunset Red Special Clear

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2 SEK PERMCHIP PERMEABLE PAVER JOINTING MATERIAL - ECLIPSE BLACK

SUREBOND PROTECTION THAT PAYS

SB-8700 WET LOOK JOINT STABILIZING SEALER
With Antifungal Film Protection

TECHNICAL DATA SHEET

DRY TIME:
Surface will be dry to the touch within 5-10 minutes assuming 55-65°F, 50% relative humidity. Low surface or air temperature and/or high relative humidity will extend dry times. SB-8700 is rain safe in 90 minutes. Protect the surface from dust, rain, condensation and traffic while drying. Area can be open to foot & vehicular traffic in 24 hours depending on site conditions.

CLEAN UP:
For tools and equipment, clean with xylene before product is allowed to dry.

MAINTENANCE/RE-APPLICATION:
Sealed surfaces should be properly maintained following Surebond's Restoration and Maintenance guidelines to get the best long-term performance from both the pavement and SB-8700. To prevent build-up of dirt, grime and stains, rinse surface regularly with clean water. If stains do occur, Surebond cleaners are compatible with Surebond sealers. Consult cleaner instructions to determine if they are ready to use or if they require dilution. Test cleaners in an inconspicuous area prior to cleaning the entire surface. When using a pressure washer, do not use excessive pressure as it may erode joint sand and/or damage the surface. Thoroughly rinse the surface of cleaner residue.

SB-8700 re-application may need to be carried out every 3 - 4 years depending on the type of surface and environmental/site conditions.

PACKAGING:
Gallon Containers: 4 gallons/case, 36 cases/pallet
Five Gallon Pails: 36 pails/pallet
55 Gallon Drums: 4 drums/pallet

STORAGE: Store locked up in original packaging in a cool, well-ventilated place. Keep container tightly closed when not in use. Do not allow to freeze. SB-8700 is a highly flammable liquid and should be stored away from heat, hot surfaces, sparks, open flames and other ignition sources.

SHELF LIFE: 2 years when unopened and properly stored
VOI CONTENT: <400 g/L

PRECAUTIONARY INFORMATION:
Protect surface from freezing and store in a cool place when not in use. In winter, keep in heated area. This sealer is not recommended for marble, granite, ceramic tile, and polished surfaces with a high gloss and should be stored away from heat, hot surfaces, sparks, open flames and other ignition sources.

WARRANTY:
SEK-Surebond warrants its products to substantially conform to its published specifications at the time of purchase. The foregoing is the sole limited warranty applicable to the products. SEK-SUREBOND HEREBY DISCLAIMS ALL OTHER WARRANTIES OF ANY KIND OR NATURE, WHETHER EXPRESS, IMPLIED, OR STATUTORY, INCLUDING WITHOUT LIMITATION THE IMPLIED WARRANTIES OF MERCHANTABILITY, FITNESS FOR A PARTICULAR PURPOSE, OR ANY OTHER WARRANTY OTHER THAN THE WARRANTY SET FORTH ABOVE. The user is solely responsible for determining suitability of the products for their particular use. While the actual application of this product is out of the control of SEK-Surebond, it is recommended that the application guidelines be followed completely and accurately. SEK-Surebond's liability for any damage shall not exceed the purchase price of the product used, and shall have no liability for consequential, incidental or punitive damages.

824 W. Illinois Avenue, Aurora, IL 60506
Email: info@sek.us.com | 800-932-3343

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PROTECTION THAT PAYS

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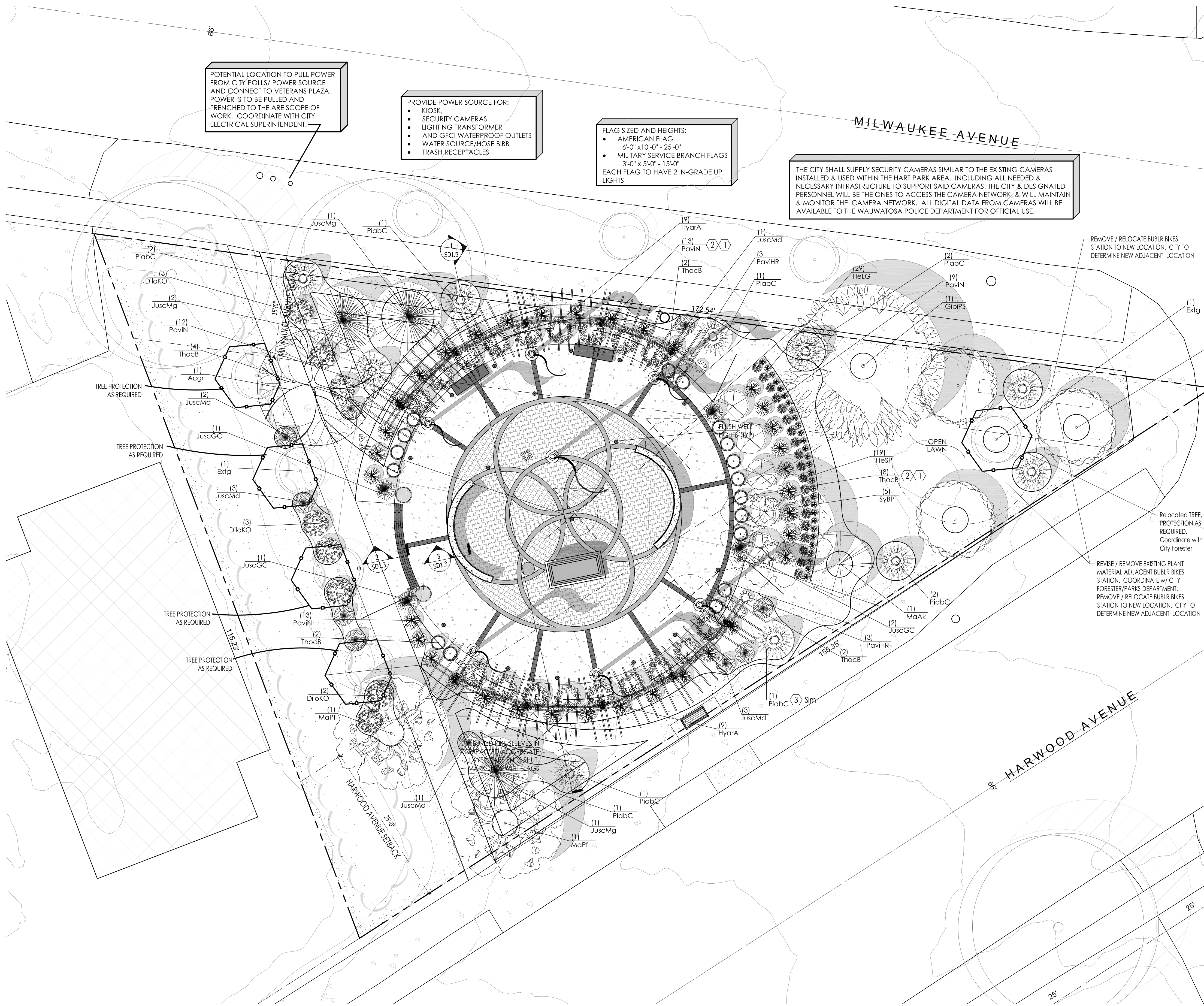
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Sheet Title:
PROPOSED PROJECT
SITE MATERIALS / COMPONENTS

Date of Drawing: 04/26/26
Scale: NONE
Drawn By: MCD
Job Number: L23-025
Sheet Number:

SD1.6

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POTENTIAL LOCATION TO PULL POWER FROM CITY POLLS/ POWER SOURCE AND CONNECT TO VETERANS PLAZA. POWER IS TO BE PULLED AND TRENCHED TO THE ARE SCOPE OF WORK. COORDINATE WITH CITY ELECTRICAL SUPERINTENDENT.

PROVIDE POWER SOURCE FOR:
 • KIOSK
 • SECURITY CAMERAS
 • LIGHTING TRANSFORMER
 • AND GFCI WATERPROOF OUTLETS
 • WATER SOURCE/HOSE BIBB
 • TRASH RECEPTACLES

FLAG SIZED AND HEIGHTS:
 • AMERICAN FLAG
 4'-0" x 10'-0" - 25'-0"
 • MILITARY SERVICE BRANCH FLAGS
 3'-0" x 5'-0" - 15'-0"
 EACH FLAG TO HAVE 2 IN-GRADE UP LIGHTS

THE CITY SHALL SUPPLY SECURITY CAMERAS SIMILAR TO THE EXISTING CAMERAS INSTALLED & USED WITHIN THE HART PARK AREA. INCLUDING ALL NEEDED & NECESSARY INFRASTRUCTURE TO SUPPORT SAID CAMERAS. THE CITY & DESIGNATED PERSONNEL WILL BE THE ONES TO ACCESS THE CAMERA NETWORK, & WILL MAINTAIN & MONITOR THE CAMERA NETWORK. ALL DIGITAL DATA FROM CAMERAS WILL BE AVAILABLE TO THE WAUWATOSA POLICE DEPARTMENT FOR OFFICIAL USE.

REMOVE / RELOCATE BUBLR BIKES STATION TO NEW LOCATION. CITY TO DETERMINE NEW ADJACENT LOCATION

RELOCATED TREE. PROTECTION AS REQUIRED. COORDINATE WITH CITY FORESTER

REMOVE / REMOVE EXISTING PLANT MATERIAL ADJACENT BUBLR BIKES STATION. COORDINATE W/ CITY FORESTER/PARKS DEPARTMENT. REMOVE / RELOCATE BUBLR BIKES STATION TO NEW LOCATION. CITY TO DETERMINE NEW ADJACENT LOCATION

Proposed Plant Material Table

Broadleaf Deciduous Tree						
Quantity	Code Name	Symbol	Scientific Name	Common Name	Planting Size	Comments
1	Acgr		Acer griseum	Paperbark maple	2 1/2'-Cal - B&B	1
1	GibiPS		Ginkgo biloba 'Princeton Sentry'	Princeton Sentry Maidenhair Tree	3'-Cal - B&B	1, 7
1	MaAk		Malus 'Adirondack'	Adirondack Flowering Crab	1 1/2' Cal - B&B	1
3	MaPf		Malus x 'Prairifire'	Prairifire Ornamental Crabapple	2'-Cal - B&B	1
3	PfSnD		Prunus x 'Snowfzam'	Snow Fountains Weeping Cherry	2'-Cal - B&B	1
6	Extg		Existing to Remain	Existing to Remain	Existing	2
4	Extg		Existing to be Removed or Relocated	Existing to be Removed or Relocated	Existing	3

Conifer Evergreen Tree						
Quantity	Code Name	Symbol	Scientific Name	Common Name	Planting Size	Comments
3	JuscMg		Juniperus scopulorum 'Moonglow'	Moonglow Juniper	5' - 6' - B&B	4
10	PiabC		Picea abies 'Cupressina'	Columnar Norway Spruce	5' - 6' - B&B	4

Broadleaf Deciduous Shrub						
Quantity	Code Name	Symbol	Scientific Name	Common Name	Planting Size	Comments
7	DiloKO		Diervilla lonicera Kodiak Orange	Kodiak Orange Bush Honeysuckle Diervilla	18" - 24" - Cont	5
18	HyarA		Hydrangea arborescens 'Abetwo'	Incredible Smooth Hydrangea	18" - 24" - Cont	5
5	SyBP		Syringa x Blooming Purple	Reblooming Purple Lilac	18" - 24" - Cont	5

Conifer Evergreen Shrub						
Quantity	Code Name	Symbol	Scientific Name	Common Name	Planting Size	Comments
10	JuscM		Juniperus scopulorum 'Medora'	Medora Juniper	5' - 6' - B&B	4
4	JuscGC		Gold Cone Juniper	Moonglow Juniper	3' - B&B	4
17	ThocB		Thuja occidentalis 'Bobazam'	Mr. Bowling Ball Arborvitae	15" - 18" - Cont	5

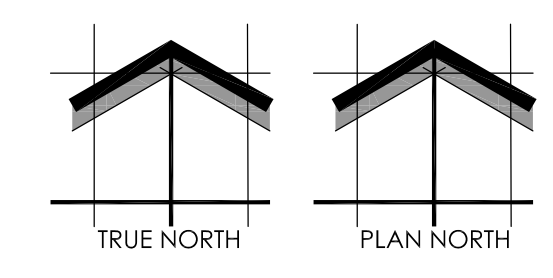
Perennial Grass						
Quantity	Code Name	Symbol	Scientific Name	Common Name	Planting Size	Comments
6	PaviHR		Panicum virgatum 'Hot Rod'	Hot Rod Switch Grass	1-Gal - Cont	6
35	PaviN		Panicum virgatum 'Northwind'	Northwind Switch Grass	1-Gal - Cont	6

Perennial						
Quantity	Code Name	Symbol	Scientific Name	Common Name	Planting Size	Comments
29	HelG		Hemerocallis x 'Little Grapette'	Little Grapette Dwarf Daylily	1-Gal - Cont	6
19	HeSP		Heuchera x 'Sugar Plum'	Sugar Plum Coral Bells	1-Gal - Cont	6

- Comments
1. Straight central leader, full & even crown. Prune only after planting.
 2. Prune existing tree, remove any dead, diseased or hazardous limbs. Thin out as required and raise canopy for safety and viability for both pedestrians and motorists.
 3. Relocate or Remove tree in its entirety and grind stump to a minimum of 6" below adjacent grade. Remove grinding chips and fill hole with topsoil. Sow with specified turf grass seed as required. Coordinate with City Forester and Parks Department
 4. Evenly shaped upright tree / shrub with full branching to the ground.
 5. Full, well rooted plant, evenly shaped.
 6. Full, well rooted plant.
 7. Male Only

TREE PROTECTION FOR EXISTING TREES LOCATED NEAR AND ADJACENT TO THE PROJECT SCOPE AND AREA OF DISTURBANCE SHALL BE COORDINATED WITH CITY STAFF. REFER TO DETAIL 4/LSP1.1 FOR FURTHER INFORMATION

REFER TO SHEET LG1.1 FOR INFORMATION REGARDING LOCATIONS OF ALL PIPE SLEEVES. CG TO COORDINATE INSTALLATION OF ALL SLEEVES IN THE COMPACTED AGGREGATE LAYER PRIOR TO ANY HARDSCAPE INSTALLATION.



SCALE: 1" = 8'-0"

SHEET NUMBER: LSP1.1
 04/26/2026
 L23-025

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Project for:
WAUWATOSA VETERANS COMMITTEE
Wauwatosa, WI

Project:
WAUWATOSA VETERANS MEMORIAL PLAZA
Harwood Ave & Milwaukee Ave
Wauwatosa, WI 53226

Issuance and Revisions:

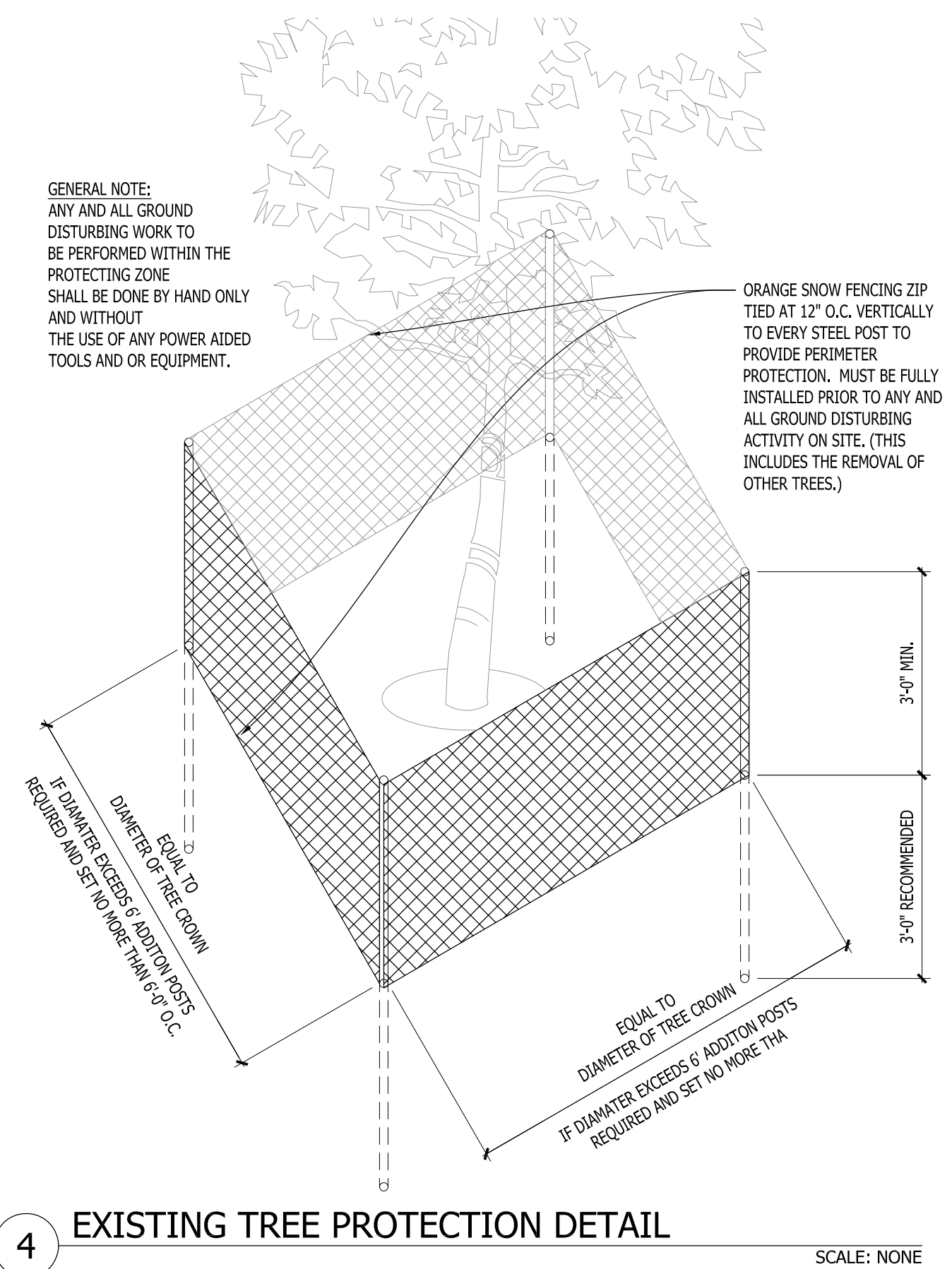
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06/05/23		Client Review Submittal
06/29/23		Parks Dept Prelim Meeting
07/17/23		Parks Dept Meeting
08/28/23		Client Review Submittal
09/20/23		Phase I Construction Document Submittal
08/26/25		Design Review Board Submittal
09/09/25		Revisions based on Staff Review Comments / Design Review Board Re-Submittal
04/09/26		Design Review Board Re-Submittal

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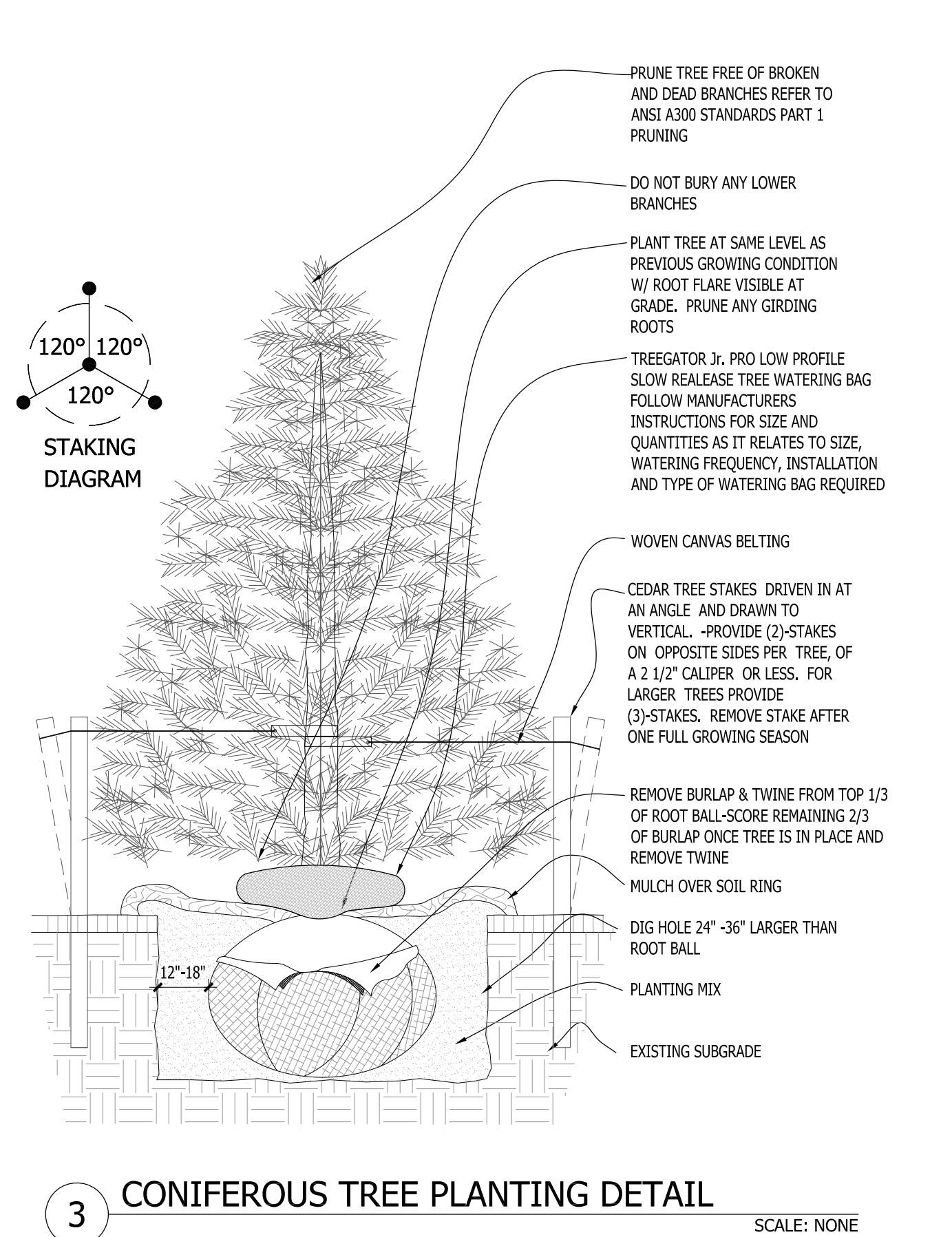
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PROPOSED LANDSCAPE PLAN, PLANTING DETAILS

Date of Drawing: **04/26/26**
Scale: **As Noted**
Drawn By: **MCD**
Job Number: **L23-025**
Sheet Number:

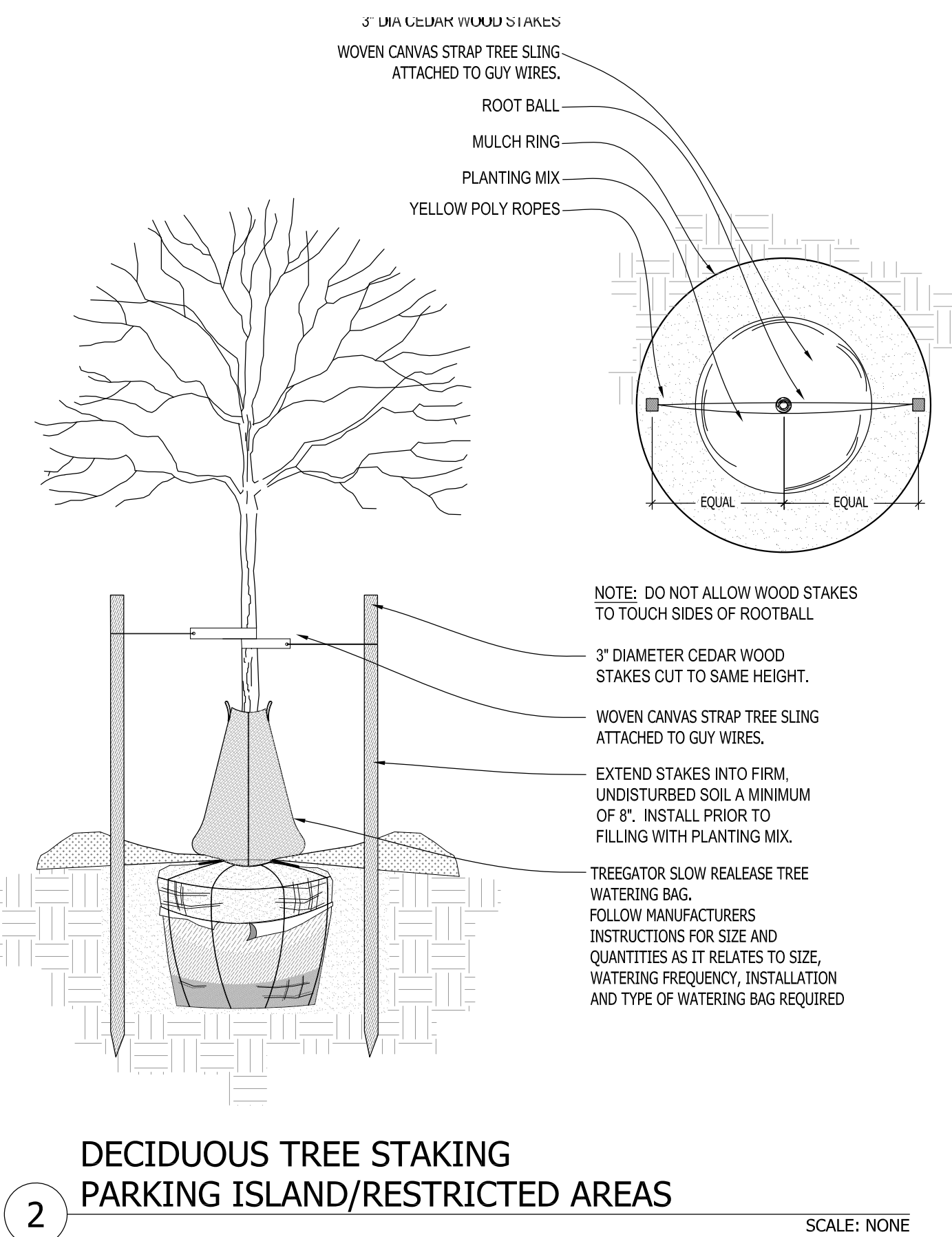
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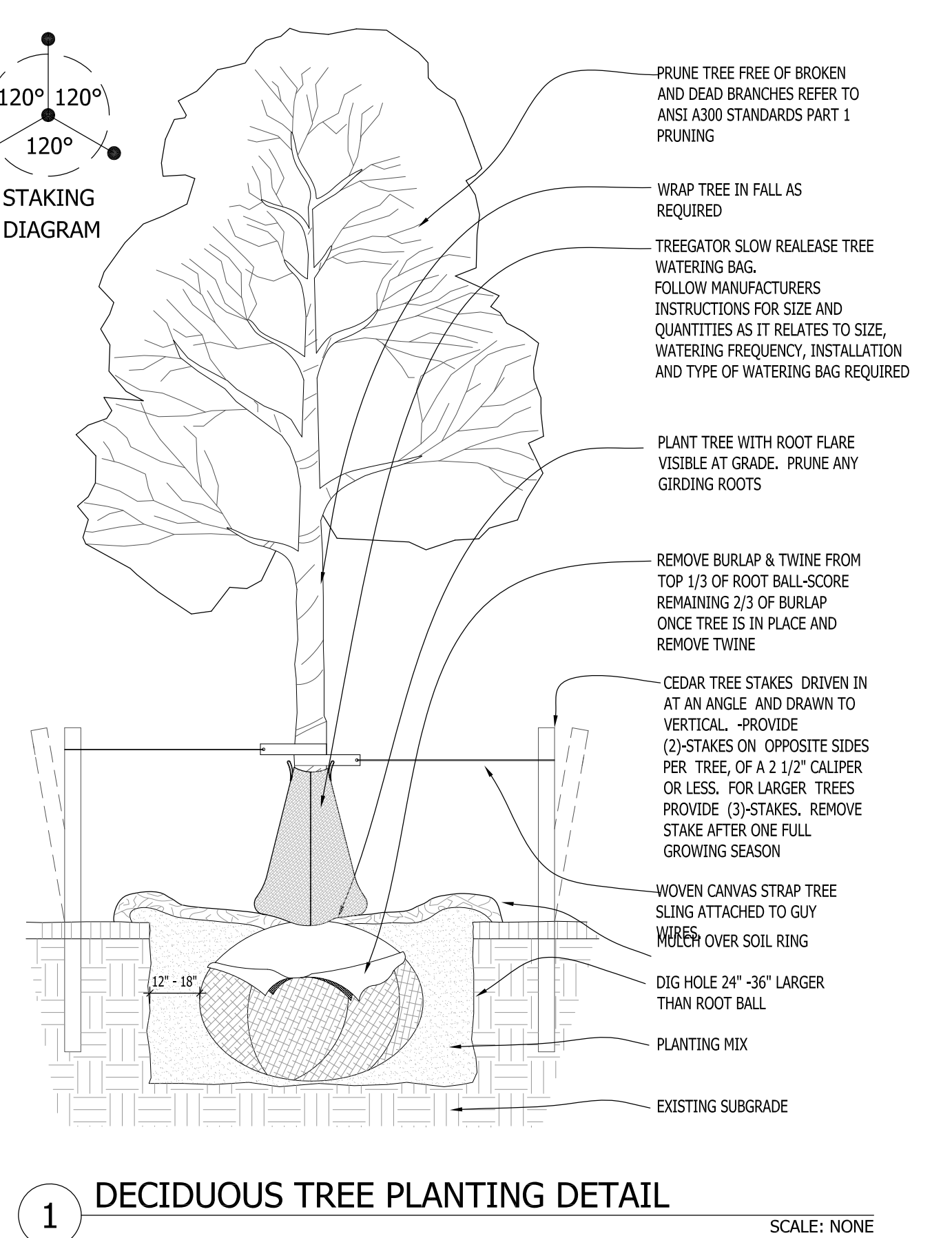
4 EXISTING TREE PROTECTION DETAIL SCALE: NONE



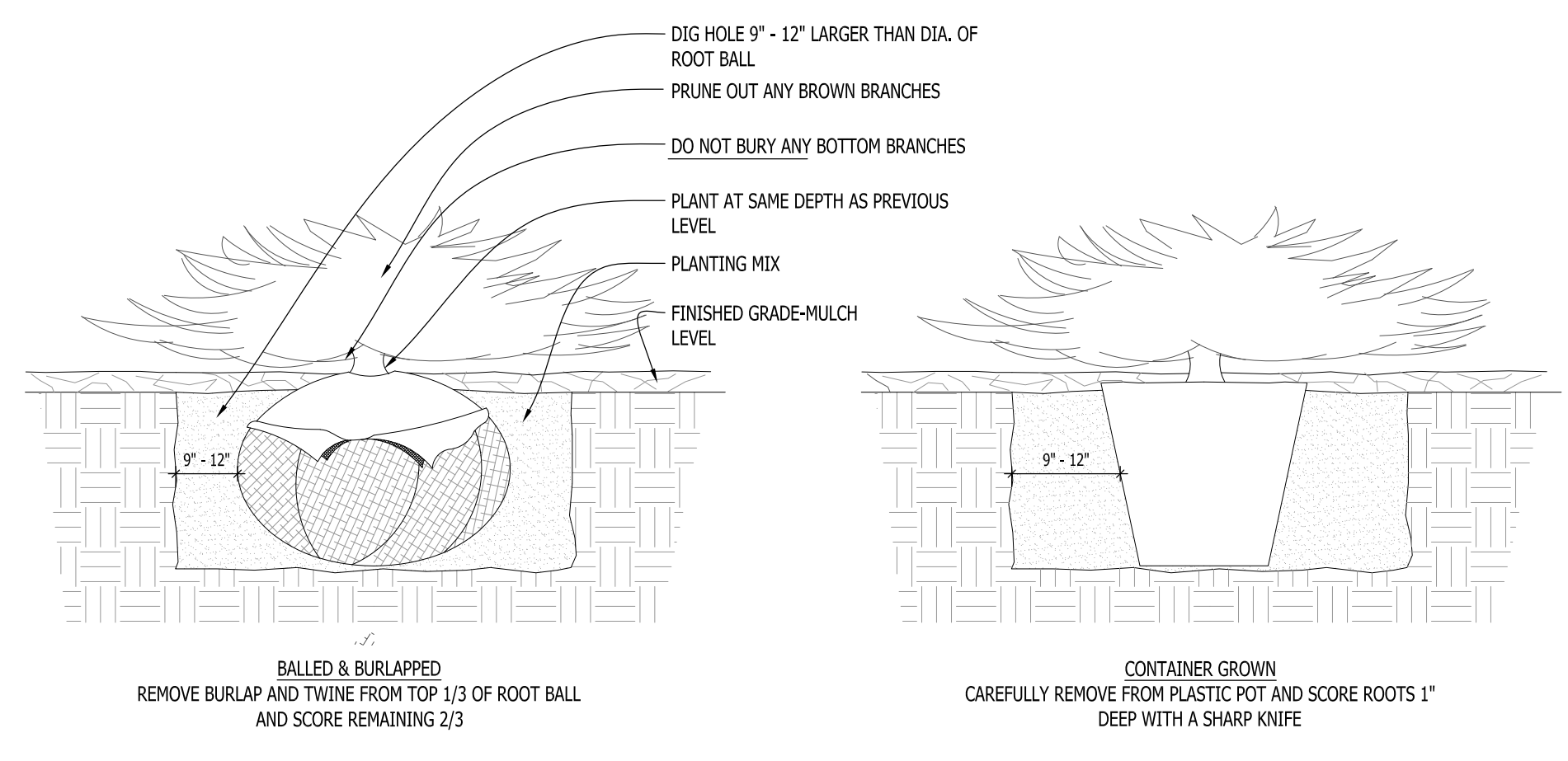
3 CONIFEROUS TREE PLANTING DETAIL SCALE: NONE



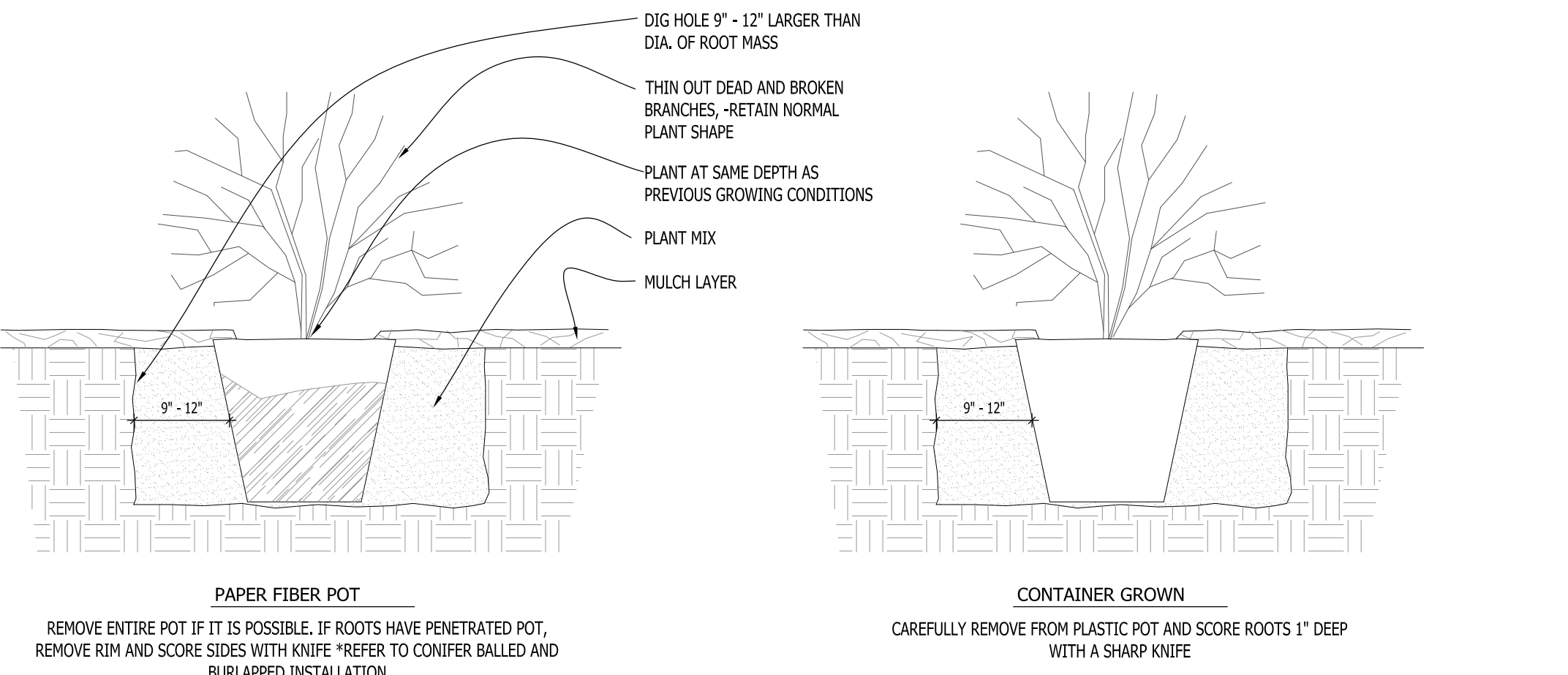
2 DECIDUOUS TREE STAKING PARKING ISLAND/RESTRICTED AREAS SCALE: NONE



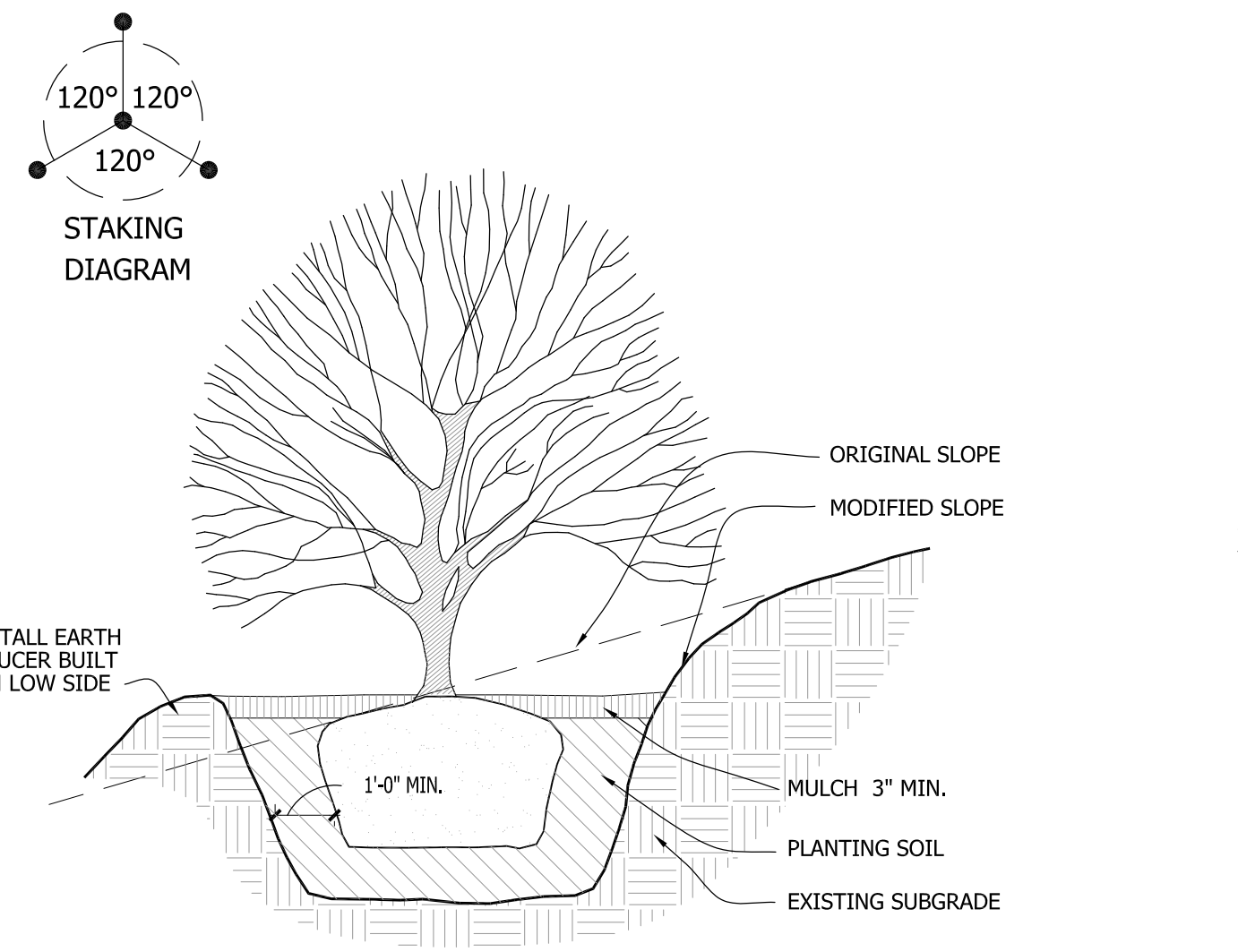
1 DECIDUOUS TREE PLANTING DETAIL SCALE: NONE



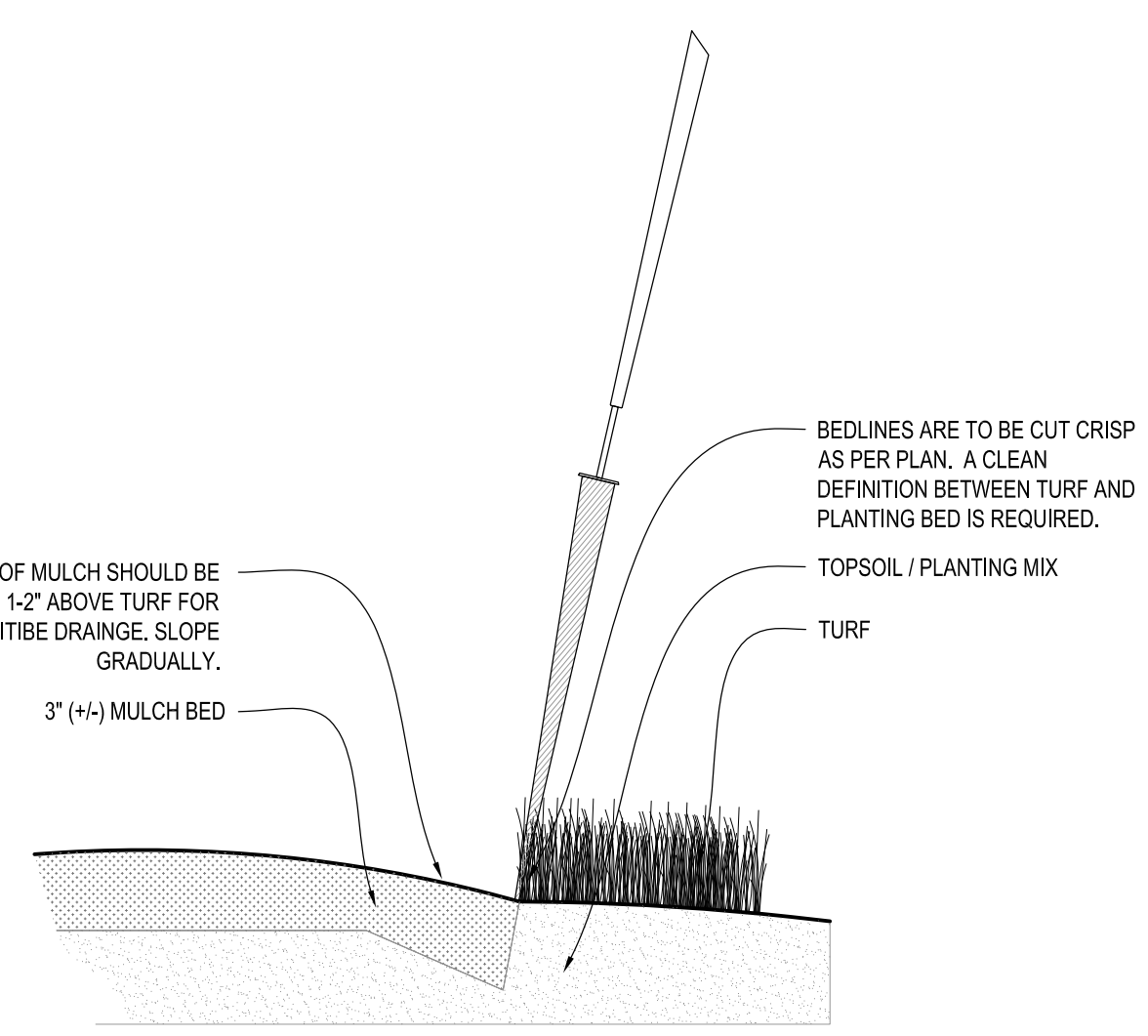
7 CONIFEROUS SHRUB PLANTING DETAIL SCALE: NONE



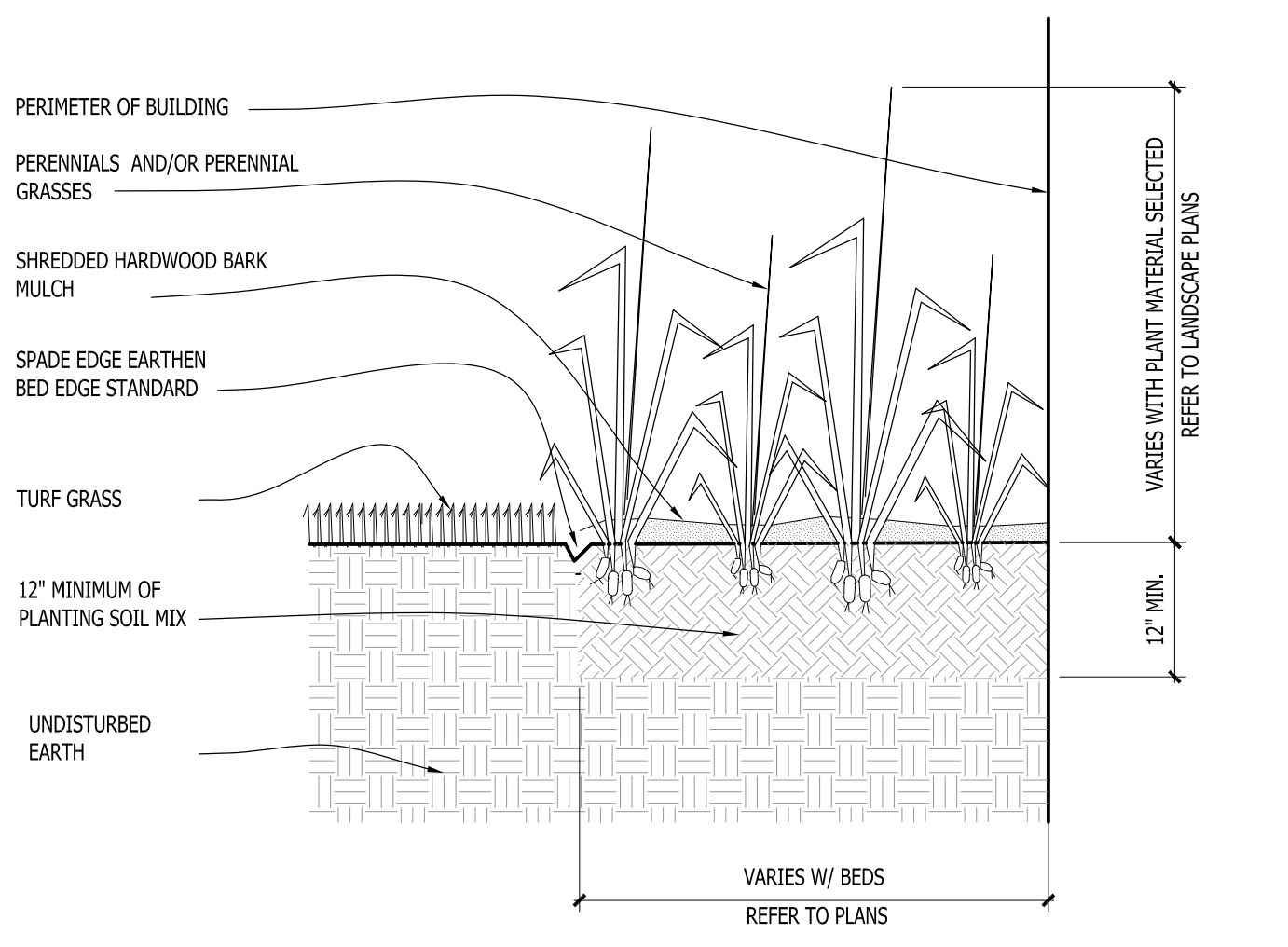
6 DECIDUOUS SHRUB PLANTING DETAIL SCALE: NONE



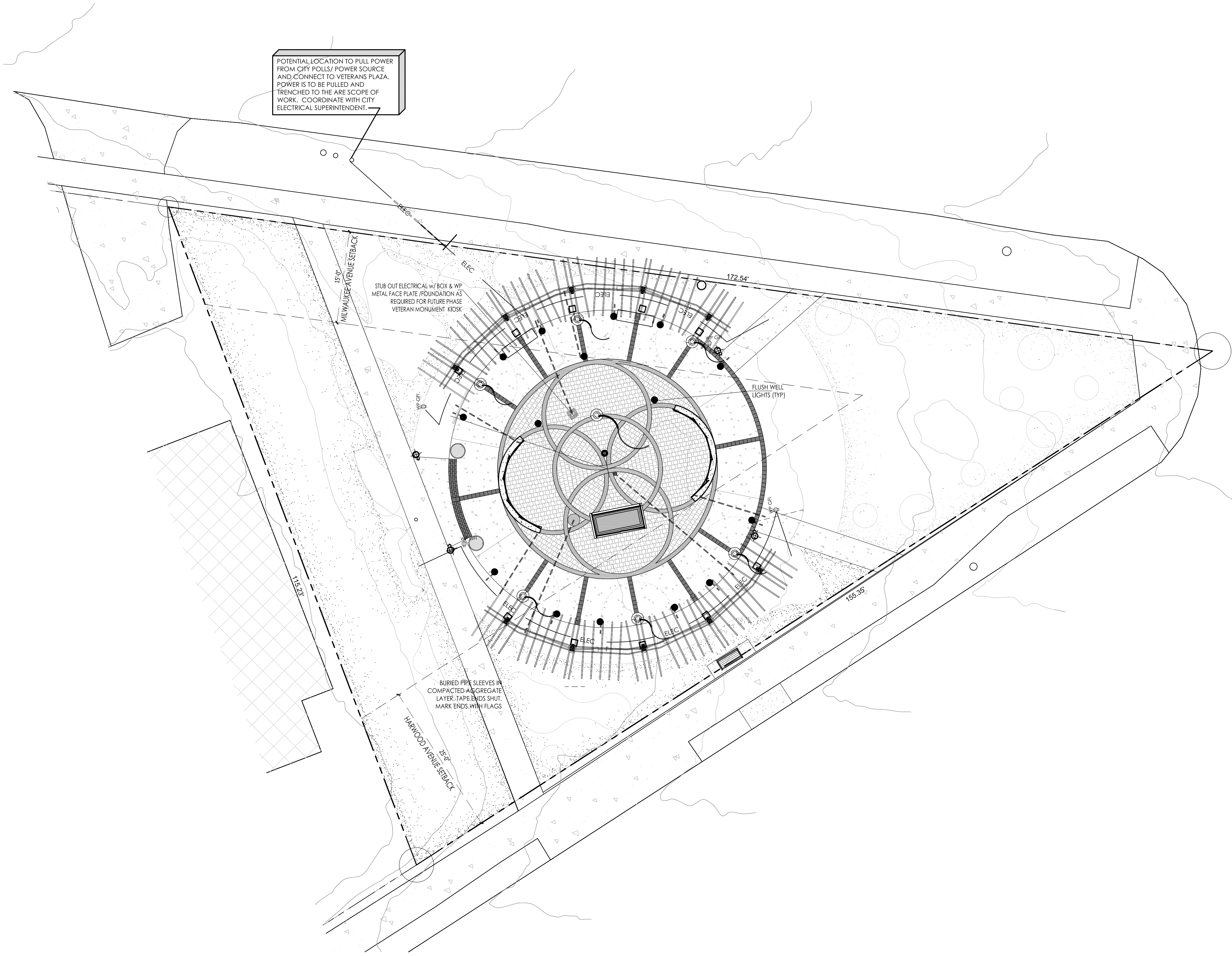
5 SLOPE PLANTING DETAIL SCALE: NONE



9 SPADE EDGE PLANT BED EDGE DETAIL SCALE: NONE



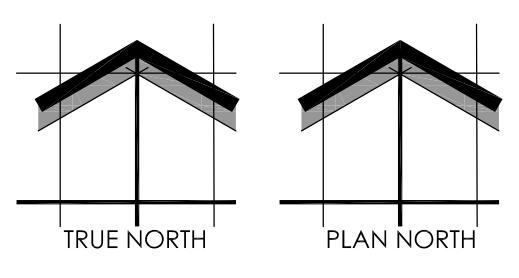
8 PERENNIAL BED PLANTING DETAIL SCALE: NONE



LANDSCAPE LOW VOLTAGE LIGHTING SCHEDULE

Quantity	Code Name	Symbol	Description
1	Transformer		FX-LUMINAIRE LUXOR ZDC 300 WITH COLOR WATT TRANSFORMER W/ STAINLESS STEEL FINISH FINISH. LUXOR WI-FI MODULE P/N FXWIFMOD. REFER TO CUT SHEETS FOR FURTHER INFORMATION AND INSTALLATION INSTRUCTIONS. LOCATIONS TO BE DETERMINED
10	NL NL-ZDC-UD-BZ		FX-LUMINAIRE NL ZDC DOWN (ONLY) LIGHT W/ LUXOR TECHNOLOGY & BRONZE METALLIC FINISH (S) PER PERGOLA. REFER TO CUT SHEETS FOR FURTHER INFORMATION & INSTALLATION INSTRUCTIONS.
16	XN-70 XN-ZD-H1-W-WF-RG-BZ		FX-LUMINAIRE XN-70 GRANDE IN GRADE UP LIGHT W/ LUXOR TECHNOLOGY HI WIDE FLOOD LAMP & BRONZE METALLIC FINISH. REFER TO CUT SHEETS FOR FURTHER INFORMATION AND INSTALLATION INSTRUCTIONS.
10	NL NL-ZDC-UD-BZ		FX-LUMINAIRE NL ZDC DOWN (ONLY) LIGHT W/ LUXOR TECHNOLOGY & BRONZE METALLIC FINISH (S) PER PERGOLA. REFER TO CUT SHEETS FOR FURTHER INFORMATION & INSTALLATION INSTRUCTIONS.
16	SRP-20-RGBW		FX-LUMINAIRE SRP-20-RGBW STRIP LIGHT W/ LUXOR TECHNOLOGY. 20'-4" LONG. SRP-CHN CHANNEL MOUNT AND SRP-CC COLOR CONTROLLER. TRIM 2'-6" OFF OF END OF STRIP LIGHT SO THAT CHANNEL IS SHORT 3" AT EACH END OF INSIDE FACE OF SEAT WALL. VERIFY SIZE OF CHANNEL MOUNT PRIOR TO FORMING AND POURING SEAT WALL. REFER TO CUT SHEETS FOR FURTHER INFORMATION AND INSTALLATION INSTRUCTIONS.
	Pipe Sleeve and Cable		Approximate locations for pipe sleeve and cabling

- LOW VOLTAGE LIGHTING INSTALLER'S NOTES:**
- AT LEAST SEVENTY-TWO HOURS PRIOR TO ANY EXCAVATION, CONTRACTOR SHALL VERIFY UTILITY LOCATIONS AS GIVEN BY THE ELECTRIC, GAS, TELEPHONE, WATER, SEWER, AND CABLE TELEVISION COMPANIES, UTILITIES OR ENTITIES. REVIEW WITH OWNER'S REPRESENTATIVE SITE MECHANICAL, SITE ELECTRICAL AND LIGHTING, SITE GRADING AND DRAINAGE, SITE IRRIGATION AND ALL OTHER DRAWINGS PERTAINING TO UNDERGROUND UTILITY LOCATIONS. RECORD SET OF INFORMATION THE SAME AS IN POSSESSION OF OWNER'S REPRESENTATIVE. ALSO REVIEW OWNER'S "MARK SETS" OF ALL OF THESE DRAWINGS IN POSSESSION OF THE CONTRACTOR OR OWNER. MARK ALL SUCH UTILITIES ON THE SITE PRIOR TO COMMENCING. COORDINATE WITH OWNER BEFORE AND DURING CONSTRUCTION. REPAIR ANY DAMAGE TO ANY SYSTEM THAT IS CAUSED BY LIGHTING INSTALLER AT NO COST TO OWNER.
 - DEVIATIONS FROM THE APPROVED THE WAUWATOSA VETERANS MEMORIAL PLAZA PROJECT PLANS SHALL BE NOTED ON THE RECORD DRAWING BY THE LIGHTING INSTALLER / CONTRACTOR AND ONLY WITH PRIOR APPROVAL OF THE LANDSCAPE ARCHITECT AND OWNER'S REPRESENTATIVE. VERBAL AGREEMENTS OR REVISIONS WITHOUT A CHANGE ORDER WILL NOT BE RECOGNIZED BY LANDSCAPE ARCHITECT AND OWNER.
 - GENERAL CONTRACTOR TO COORDINATE POWER SOURCE FOR OUTLETS, SECURITY CAMERAS AND KIOSKS WITH CITY STAFF AND SUBCONTRACTORS.
 - LOW VOLTAGE FIXTURES TO BE INSTALLED BY FX LUMINAIRE FACTORY-TRAINED & CERTIFIED TECHNICIANS WHOM IS ABLE TO PROVIDE LUXOR ZD & ZDC SYSTEM PROGRAMMING AND IN-FIELD SUPPORT.
 - FIXTURES SHALL BE INDIVIDUALLY PROGRAMMABLE & DIMMABLE TO ACHIEVE MULTIPLE LUMEN OUTPUTS BASED ON LOCATION AND APPLICATION OF EACH FIXTURE. SEE "LIGHTING PROGRAM SCHEDULE".
 - LIGHTING CONTROLLER SHALL BE WI-FI COMPATIBLE TO ALLOW APP-BASED ON DEMAND SWITCHING & DIMMING OF INDIVIDUAL FIXTURES. AND LUXOR CLOUD TECHNOLOGIES
 - RECOMMENDED LIGHTING SUPPLIER: REINDERS INC. REINDERS IS AN AUTHORIZED FX LUMINAIRE MASTER DISTRIBUTOR AND IS FACTORY-TRAINED & CERTIFIED TO PROVIDE IN-FIELD SUPPORT FOR THE INSTALLATION AND PROGRAMMING OF LUXOR ZD & ZDC SYSTEMS. CONTACT: JOEL REINDERS. JPR@REINDERS.COM, 262-372-5780.
 - ALL FIXTURES ARE TO RECEIVE BETWEEN 10.0 AND 15 VOLTS.
 - INSTALLATION OF FIXTURES AND ASSOCIATED EQUIPMENT ARE TO CONFORM TO NEC AND UL 1838.
 - CONTRACTOR TO VERIFY EXISTING POWER LOCATIONS AND REQUIREMENTS.
 - PIPE SLEEVES ARE TO BE 2" WATER TIGHT SCHEDULE 40 PIPE AND SHOULD BE BURIED IN THE SOIL AT A 6" MINIMUM DEPTH (IN AREAS SUCH AS LAWNS AND FLOWER BEDS 10'-12" IS RECOMMENDED TO AVOID DAMAGE FROM TILLING OR AERATION AND EDGING.
 - METAL FENCE INSTALLER TO COORDINATE WITH LIGHTING INSTALLER REGARDING INSTALLATION LOGISTICS AND TIMING.
 - CONCRETE CONTRACTOR TO COORDINATE WITH LIGHTING INSTALLER REGARDING THE INSTALLATION OF PIPE SLEEVES, CABLE, ELECTRICAL BOXES AND LIGHT FIXTURES BEING PLACED IN CONCRETE FORMS. PIPE SLEEVES ARE TO BE PLACED IN GRANULAR BASE COURSE ENDS ARE TO BE TAPED SHUT AND MARKED WITH FLAGS.
 - ALL CABLE TO BE PROTECTED IN 1" SLEEVE, MINIMUM.
 - ALL FIXTURES THAT ARE SPECIFIED AS LED COLOR CHANGING SHALL USE RGBW TECHNOLOGY AND SHALL HAVE ADJUSTABILITY OF THE FOLLOWING ATTRIBUTE VALUES: HUE, SATURATION AND INTENSITY. COLOR PALETTES WILL BE DETERMINED UPON INSTALLATION AND/OR FINAL WALK THROUGH.
 - ALL LOW VOLTAGE LIGHTING CABLE CONNECTIONS TO BE DONE WITH A SILICONE-FILLED LOCKING KITCHLER 15298LPRO CONNECTOR OR ACE BRASS SCREW-TIGHT LUG WITH SHRINK TUBE CONNECTOR
 - LOW VOLTAGE LIGHTING CABLE SHALL BE UL 1493 AND RATED FOR OUTDOOR USE (SUNLIGHT RESISTANT). LOW VOLTAGE LIGHTING CABLE GAUGE TO BE SIZED APPROPRIATELY BASED ON THE LOAD AND LENGTH OF THE LIGHTING RUN.
 - LANDSCAPE LIGHTING CONTRACTOR TO COORDINATE POWER REQUIREMENTS AND LOCATION OF EXTERIOR / WATER PROOF GFCI OUTLETS FOR PROPOSED NEW TRANSFORMER LOCATIONS WITH GENERAL CONTRACTOR AND LANDSCAPE ARCHITECT.
 - REVIEW AND FOLLOW MANUFACTURERS INSTALLATION INSTRUCTIONS FOR MOUNTING AND INSTALLING TRANSFORMERS
 - OWNER TO COORDINATE WITH LANDSCAPE ARCHITECT AND LIGHTING INSTALLER LIGHT SELECTION OF COLOR CAPABLE (ZDC) VERSUS NON COLORED (ZD) LIGHT FIXTURES.
 - FINAL THEME COLORS AND TIMES TO BE ADJUSTED WITH OWNER AFTER INSTALLATION.



SCALE: 1" = 8'-0"

SHEET NUMBER: LGT1. 1
04/26/2026
L23-025

INSITE
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WAUWATOSA VETERANS MEMORIAL PLAZA - WAUWATOSA, WI

Proposed Wauwatosa Veteran Park Low Voltage Lighting Plan

Schematic - Not for Construction

FXLuminaire

LED Lighting Controller



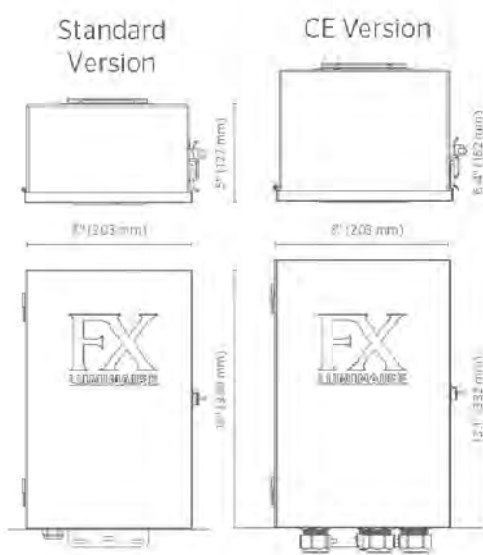
PROJECT: _____
 CATALOG # _____
 TYPE: _____
 NOTE: _____

LUXOR® Controller

The Luxor Controller offers zoning, dimming, and RGBW color-changing capabilities, plus optional Wi-Fi control.

Quick Facts

- 250 independent lighting zones in any wiring configuration
- Adjust intensity from 0-100%
- 30,000 color options per zone
- Event-based scheduling options
- Optional cloud-based iOS® or Android™ app control
- Luxor Linking compatible for a single point of control in larger installations
- Built-in astrometrical timing
- 304 stainless steel and powder-coated galvanized construction
- ETL and CE certified



LANDSCAPE & ARCHITECTURAL LIGHTING

LUXOR Controller SPECIFICATIONS

Output	250 W	260 W (CE version)	300 W
Power	250 W	260 W (CE version)	300 W
Input Primary	220-240 V, 50-60 Hz	220-240 V, 50-60 Hz	120 V, 60 Hz
Input Amperage Primary	1.6 A	1.6 A	2.68 A
Output Voltage Secondary	14 VAC	14 VAC	14 VAC
Maximum Open Circuit Volts	15 VAC	15 VAC	15 VAC
Class	I SELV	I SELV	2
IP Rating	IP43	IP54	IP43

FX Luminaire
 FX Luminaire is an industry-leading manufacturer of landscape and architectural lighting products with a focus on the advancement of LED technology and digital lighting control with zoning, dimming and color adjustment capabilities. We offer a full spectrum of specification-driven lighting fixtures that can be utilized to create elegant, cutting-edge landscape lighting systems for commercial or residential applications. Our products are available exclusively via our exclusive professional distributor network.

Materials
 304 stainless steel and powder-coated galvanized steel color body and bezel.

Hardware
 Two pin-head marked mounting screws with plastic anchors. Stainless steel mounting brackets attached to transformer box.

Wiring
 Heavy gauge, grounded, water-resistant power cord with integrally molded plug. 5' (1.5m) length. Standard low-voltage lighting wire required. (e.g., 2, 2, 10-2, etc./2x0.5mm, 2.5mm, etc.) Transformer controller and fixtures. No additional communication wire is required.

Power
 Input: 120 VAC, 60 Hz
 Input: 220-240V, 50-60 Hz (230 V/CE version)

Ambient Operating Temperature
 32° to 104°F (0°C to 40°C)

Programming
 Create up to 250 independently adjustable lighting zones. Control each zone independently with separate on/off times, various intensities (0-100% in 1% increments).

Luxor Linking
 Luxor Linking offers an easy way to expand a multi-controller site with a single point of control. With hardware Luxor Linking, add up to nine satellite units, for a total of 10 units. The maximum hardware Cat 5/5e/6 connection between the primary and farthest satellite controller is 3000' (0.9 km). With wireless Luxor Linking, add low-voltage units connected to the primary controller by LoRa radio up to 3000' (0.9 km).

Compatible Devices
 Only fixtures or devices with Luxor® technology are compatible with the Luxor Controller. Devices have varying levels of control, including: 0 zoning, or 2 zoning/dimming, or 3 zoning/dimming/color. All and match fixtures and devices with varying levels of control technology on a single system.

Fixture Assignment
 Assign fixtures to zone number manually (assignment ports on facepack) or wirelessly via the Light Assignment Module (LAM). The LAM and wireless accessories must be specified separately.

Wi-Fi Connectivity
 Connect to Wi-Fi for a network router with the Luxor Wi-Fi Module accessory or the included LAN Module. Optional "Direct Connect" mode allows devices to connect directly to a single controller without using Wi-Fi or a network router.

Construction
 Pre-installed 8" (203mm) R-11 communication cable between facepack (i.e., user interface) and chassis (i.e., power unit).

Wireless App Control
 Network module required. The Luxor App is available for iOS and Android devices. Control via app available for on-site or remote adjustability.

Finish
 Standard stainless steel finish and matt gray powder coat.

Weight
 300 W: 23.3 lb (10.6 kg)
 300 W (CE): 9.1 lb (4.1 kg)

Installation Requirements
 Designed for installation on a vertical surface in the upright position only. Transformer must be in a free space; do not install in a small sealed enclosure or direct bury.

International Compliance
 Compliant per IEC 61347-1 and IEC 61347-2-11.

Sustainability
 Innovation meets conservation in the design and manufacturing of our products. Where we can, we use recycled materials while maintaining superior functionality. Our LED products provide high-quality light of optimal energy efficiency, lifespan, and durability.

Manufacturing
 ISO 9001:2015 certified facility

Warranty
 10-year limited warranty

Listings

Learn more. Visit fxl.com | +1-760-744-5240

LUXOR Controller ORDERING INFORMATION

Item	Wattage	Compliance	Finish
LUX Luxor Controller	300 300 W	[default] 120 V, North America	SS Stainless Steel
LSAT Luxor Satellite Controller		e 230 V, International	M Matte Gray
		eu 230 V, CE Certified	

EXAMPLE CONTROLLER CONFIGURATION: LUXOR-300-SS-0

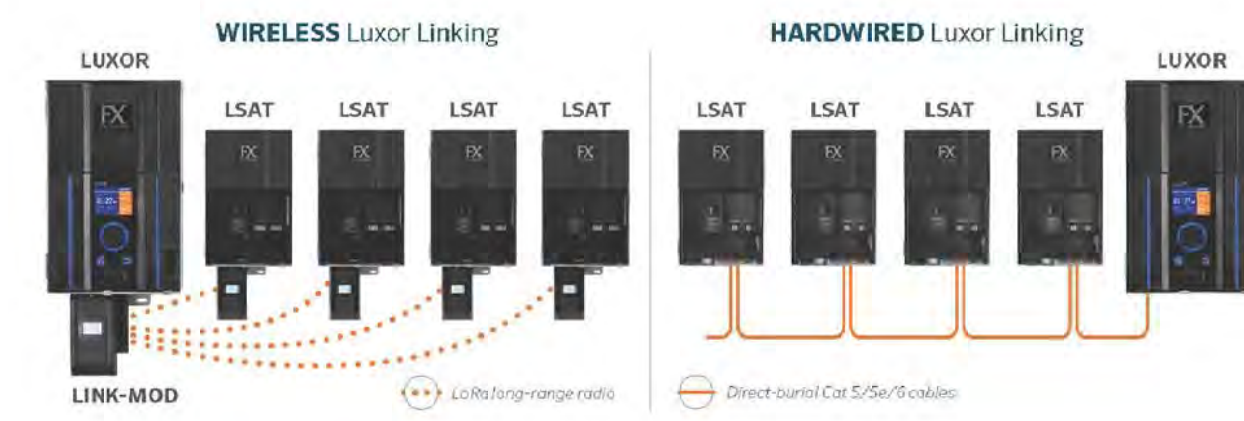
WIRELESS CONTROLLER ACCESSORIES: Specify Separately

Item	Code
Wi-Fi MODULE	WIFI-MOD2
Wi-Fi MODULE REMOTE MOUNT 10' (3 m)	WIFI-MOD2-RMT
LIGHT ASSIGNMENT MODULE	LAM
WIRELESS LINKING MODULE, NORTH AMERICA	LINK-MOD
WIRELESS LINKING MODULE, INTERNATIONAL	LINK-MOD-E

Learn more. Visit fxl.com | +1-760-744-5240

LUXOR Controller LINKING COMPARISON

FEATURES	Wireless Luxor Linking	Hardwired Luxor Linking
Communication	LoRa radio (wireless)	Network cable (Cat 5/5e/6)
Distance	Up to 3,000' or 914 m	3,000' or 914 m (installed wire)
Number of Linked Controllers	10+	Up to 10
Installation	Mount at controller or remote	Direct-bury Cat 5/5e/6 cable and conduit
Diagnostics	Yes (unique IDs)	Yes (variable)



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Learn more. Visit fxl.com | +1-760-744-5240

INSITE LANDSCAPE DESIGN

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 Wauwatosa, WI 53226
 Tel (414) 476-1204
www.insitedesigninc.com
mdavis@insitedesigninc.com

Project for:

WAUWATOSA VETERANS COMMITTEE
 Wauwatosa, WI

Project:

WAUWATOSA VETERANS MEMORIAL PLAZA

Harwood Ave & Milwaukee Ave
 Wauwatosa, WI 53226

Issuance and Revisions:

Date	Number	Description
06/05/23		Client Review Submittal
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09/09/25		Revisions based on Staff Review Comments / Design Review Board Re-Submittal
04/09/26		Design Review Board Re-Submittal

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Sheet Title:

PROPOSED LIGHT FIXTURES

Date of Drawing: 04/26/26

Scale: NONE

Drawn By: MCD

Job Number: L23-025

Sheet Number:

LGT1-2

1 FX LUMINAIRE LUXOR CONTROLLER



The innovative construction of SRP Strip Lights vastly simplifies installation — even if you've never done it before.

Key Benefits

- Extruded silicone body reduces hot spots, produces soft light distribution and protects against harsh environments
- Silicone-encased LEDs deliver a soft, diffused light distribution for top performance in a range of applications
- A high IP65 rating ensures dust-proof and water-resistant performance



SRP WHITE Strip Light

Highly versatile SRP Strip Lights make it easier than ever to illuminate stair ledges, outdoor patios, hardscape elements, and more.

Features

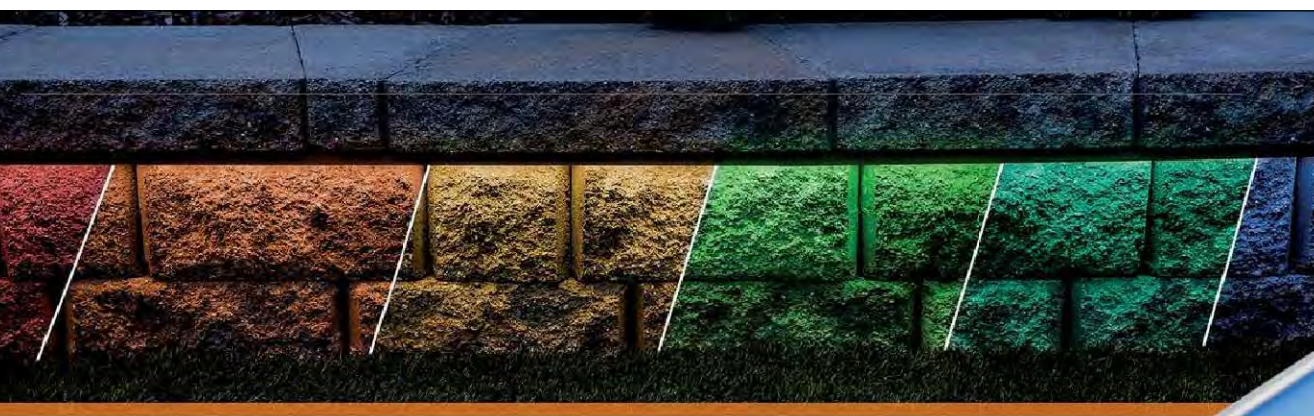
- 12 VAC power ensures compatibility with any low-voltage lighting transformer
- Two color temperature options offer a warm (2,700K) or soft (3,000K) look
- 10' (3.1 m) and 40' (12.2 m) lengths
- Pre-installed 10' (3.1 m) power lead
- Compatible with Luxor® Low-Voltage CUBE (LCM-LV) for zoning and dimming capabilities

Output

- Total Lumens: 28.7 lm/ft (94.6 lm/m)
- Input Voltage: 10 to 15 V
- Input Power: 0.6 W/R (2.1 W/m)
- VA: 0.7 W/ft (2.2 W/m)

SRP WHITE STRIP LIGHT MODELS

Model	Description
SRP-10-W	2,700K, 10' (3.1 m)
SRP-10-S	3,000K, 10' (3.1 m)
SRP-40-W	2,700K, 40' (12.2 m)
SRP-40-S	3,000K, 40' (12.2 m)



SRP RGBW Strip Light

Endless opportunities to color your world! When installed with the SRP-CC Color Controller, the SRP RGBW Strip Light is compatible with the next-generation Luxor Controller from FX Luminaire or any traditional low-voltage transformer for unmatched color-changing effects.

Features

- Same award-winning design as SRP White (install, construction, etc.)
- 12 VAC power ensures compatibility with any low-voltage lighting transformer
- Total RGBW control; SRP-CC Strip Light Color Controller required
- Two convenient control options: Standalone or Luxor Mode
- Luxor Mode allows a Luxor Controller to assign a Group and set Hue, Saturation, and Intensity values
- Standalone Mode can be used with our EX, PX, and DX models as well as any standard low-voltage transformer, allowing you to manually set Hue, Saturation, and Intensity values

Output

- Total Lumens: 24.3 lm/ft (80.0 lm/m)
- Input Voltage: 10 to 15 V
- Input Power: 1.7 W/ft (5.6 W/m)
- VA: 2.9 W/ft (9.6 W/m)

SRP RGBW STRIP LIGHT MODELS

Model	Description
SRP-RGBW	SRP RGBW Strip Light, 10' (3.1 m)
SRP-CC	Strip Light Color Controller

Luxor Mode



Standalone Mode



SIMPLY insert, slide, and snap!

All necessary installation components come standard, so there's no need to purchase expensive accessories to complete a job. Each unit includes 2" (51mm) cutmarks for precision customization. A pre-installed 10' (3 m) power lead, splice connectors, end caps, and all necessary accessories are included too.



SRP STRIP LIGHT ACCESSORIES

Model	Description
SRP-CHN	Aluminum Mounting Channel (2-pkg)
SRP-MNT	Hardscape Mount
SRP-CONNECT*	Accessory/Connector Bag
SRP-CONNECT-RGBW**	Accessory/Connector Bag, RGBW
SRP-CUT	SRP Cutting Tool

*Includes 3" (76 mm) jumper cable (1), 6" (152 mm) jumper cable (1), splice and connector (C), and power leads (C)
 **Includes 3" (76 mm) jumper cable (1), 6" (152 mm) jumper cable (1), splice and connector (C), and power leads (C)

Website fxl.com | Customer Support +1-760-744-5240 | Technical Service +1-760-591-7383

Our mission is to create the most energy-efficient lighting products in the world while ensuring the highest level of quality and reliability. In every instance we will back our innovations with the unwavering support our customers need to succeed.

Gene Smith, President, Landscape Irrigation and Outdoor Lighting

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FX20 28 US 7/22

2 FX LUMINAIRE SRP RGBW STRIP LIGHT

LANDSCAPE & ARCHITECTURAL LIGHTING

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L23-025 - WAUWATOSA VETERANS MEMORIAL PLAZA - 04/09/2026

Project for:

WAUWATOSA VETERANS COMMITTEE
Wauwatosa, WI

Project:

WAUWATOSA VETERANS MEMORIAL PLAZA
Harwood Ave & Milwaukee Ave
Wauwatosa, WI 53226

Issuance and Revisions:

Table with 3 columns: Date, Number, Description. Contains revision history from 06/05/23 to 04/09/26.

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Sheet Title:

PROPOSED LIGHT FIXTURES

Date of Drawing: 04/26/26
Scale: NONE
Drawn By: MCD
Job Number: L23-025
Sheet Number:

LGT1-3

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FXLuminaire XN-70 Grande In-Grade DESIGNER PREMIUM
Includes product image, technical drawing, and specifications table.

XN-70 Grande In-Grade SPECIFICATIONS
Table with columns: Output, H1+, ZDC+, Total Lumens, Input Voltage, Input Power, Power Consumption, Efficacy, Color Rendering Index, Maximum Candela, Spot, Flood, Wide Flood, Luxor Compatibility, ZD Option, ZDC Option, Minimum Rated Life.

FXLuminaire NL Down & Up/Down Light DESIGNER PREMIUM
Includes product images, technical drawings, and specifications table.

NL Down & Up/Down Light SPECIFICATIONS
Table with columns: Power: 3LED, 6LED, 9LED, ZDC, Total Lumens, Power Consumption, Efficacy, Color Rendering Index, Beam Angle, Maximum Candela, Input Voltage, Dimming, Minimum Rated Life.

1 FX LUMINAIRE XN-70 GRANDE IN-GRADE LUMINAIRE

2 FX LUMINAIRE NL DOWN LIGHT

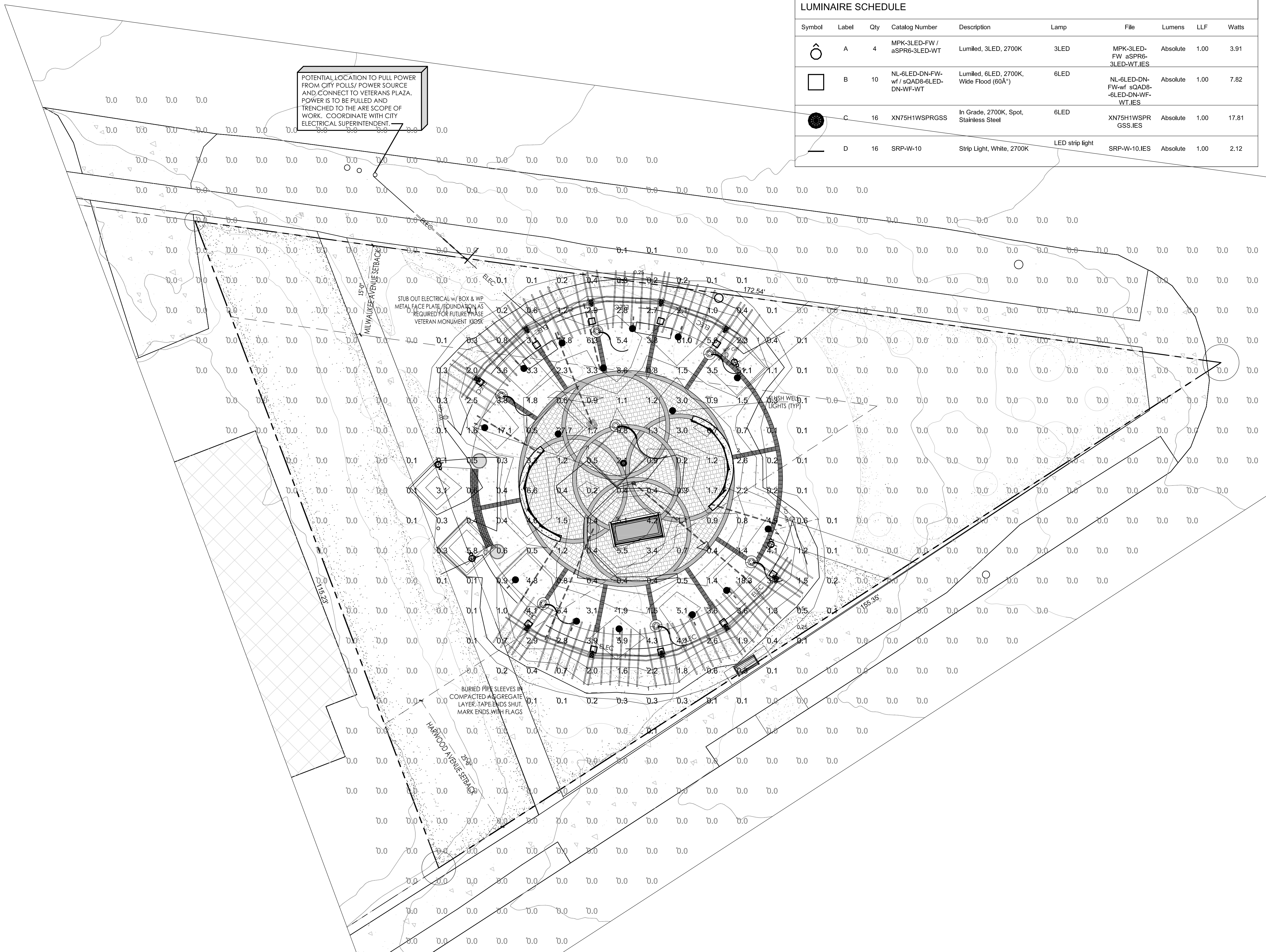
FXLuminaire LED Path Lights M-PK Path Light DESIGNER PLUS
Includes product image, technical drawing, and specifications table.

M-PK Path Light SPECIFICATIONS
Table with columns: Lamp, 1 LED, 3LED, ZDC, Total Lumens, Input Voltage, Input Power, VA Total, Lumens per Watt, CRI, Max Candela, Dimming, RGBW Available, Luxor Compatibility, ZD Option, ZDC Option, Minimum Rated Life.

3 FX LUMINAIRE M-PK PATH LIGHT

M-PK Path Light PHOTOMETRICS
Includes Isofootcandle Plots and ZDC Isofootcandle Plot showing light distribution patterns.

FX LUMINAIRE M-PK PATH LIGHT



LUMINAIRE SCHEDULE									
Symbol	Label	Qty	Catalog Number	Description	Lamp	File	Lumens	LLF	Watts
⊙	A	4	MPK-3LED-FW / aSPR6-3LED-WT	Lumiled, 3LED, 2700K	3LED	MPK-3LED-FW aSPR6-3LED-WT.IES	Absolute	1.00	3.91
□	B	10	NL-6LED-DN-FW-wf / sQAD8-6LED-DN-WF-WT	Lumiled, 6LED, 2700K, Wide Flood (60°)	6LED	NL-6LED-DN-FW-wf sQAD8-6LED-DN-WF-WT.IES	Absolute	1.00	7.82
●	C	16	XN75H1WSPRGSS	In Grade, 2700K, Spot, Stainless Steel	6LED	XN75H1WSPRGSS.IES	Absolute	1.00	17.81
—	D	16	SRP-W-10	Strip Light, White, 2700K	LED strip light	SRP-W-10.IES	Absolute	1.00	2.12

STATISTICS						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Calc Zone #2	+	0.7 fc	5.8 fc	0.0 fc	N / A	N / A

- EXISTING CONDITIONS GENERAL NOTES**
- INFORMATION PERTAINING TO EXISTING CONDITIONS GIVEN ON THESE ARCHITECTURAL DRAWINGS REPRESENTS TO THE BEST OF OUR KNOWLEDGE THE ACTUAL EXISTING FIELD CONDITIONS. INSITE LANDSCAPE DESIGN, INC. MAKES NO WARRANTY AS TO THEIR ACCURACY. CONTRACTOR TO FIELD VERIFY EXISTING CONDITIONS IMPERATIVE TO THEIR NEW WORK. REPORT ANY DISCREPANCIES BETWEEN THE DRAWINGS AND FIELD CONDITIONS TO THE LANDSCAPE ARCHITECT FOR REVIEW. ANY WORK PERFORMED PRIOR TO RESOLUTION OF DISCREPANCIES BY THE LANDSCAPE ARCHITECT IS SUBJECT TO REMOVAL AND REPLACEMENT AT NO ADDITIONAL COST TO THE CONTRACTOR.
 - VERIFY LOCATION OF ALL EXISTING UNDERGROUND UTILITIES I.E. WATER, SEWER, ELECTRICAL, TELECOMMUNICATION AND ACCESS PIPES FOR ALL UTILITIES AND ALL ASSOCIATED EQUIPMENT FOR ACCESSIBILITY OF THOSE ITEMS.
 - VERIFY ALL EXISTING CONDITIONS, DIMENSIONS, AND ALIGNMENT OF WALLS, BRING ANY DISCREPANCIES TO THE LANDSCAPE ARCHITECTS ATTENTION PRIOR TO FABRICATION / CONSTRUCTION BEGINS.

- PHOTOMETRIC PLAN GENERAL NOTES**
- BASED ON THE INFORMATION PROVIDED, ALL DIMENSIONS AND LUMINAIRE LOCATIONS SHOWN REPRESENT RECOMMENDED POLE PLACEMENTS AND LUMINAIRE ORIENTATION. THE ENGINEER AND/OR ARCHITECT MUST DETERMINE APPLICABILITY OF THE LAYOUT TO RELEVANT FIELD CONDITIONS.
 - THE DEPICTED ILLUMINATION RESULTS ARE BASED UPON ILLUMINATION MEASUREMENTS AS CALCULATED BY AN INDEPENDENT LABORATORY. LUMINAIRE CHARACTERISTICAL DATA WAS MEASURED UNDER CONTROLLED CONDITIONS IN ACCORDANCE WITH APPROVED ILLUMINATION ENGINEERING SOCIETY METHODS. ACTUAL ON-SITE PERFORMANCE OF ANY MANUFACTURER'S LUMINAIRES MAY VARY FROM LABORATORY TEST RESULTS DUE TO VARIATIONS IN: ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS, AND OTHER VARIABLE FIELD CONDITIONS.
 - IF EXISTING LUMINAIRES ARE INCLUDED IN THIS REPORT, THEIR ILLUMINATION CHARACTERISTICS ARE BASED UPON A COMBINATION OF CUSTOMER'S PROVIDED SPECIFICATIONS & OUR BEST ESTIMATION.
 - ALL EXISTING AND NEW CONCRETE LIGHT POLE BASES ARE TO HAVE ALL FORM MARKS REMOVED, GROUND FLUSH AND THE SURFACE IS TO BE PROPERLY PREPARED TO RECEIVE A HAND TROWELED, MASONRY SKIN COAT OF APPROPRIATE THICKNESS TO ACHIEVE A DURABLE SURFACE AND LONG LASTING AESTHETIC.

- LUMINAIRE GENERAL NOTES**
- ALL PROPOSED FIXTURE HEADS ARE TO BE DARK-SKY COMPLIANT AND HAVE HARDWARE WITH IS2NA FULL CUTOFF HOUSE SIDE SHIELDING WHERE REQUIRED.
 - ALL NEW CONCRETE LIGHT POLE BASES ARE TO HAVE ALL EXPOSED FORM MARKS REMOVED, GROUND FLUSH AND THE SURFACE IS TO BE PROPERLY PREPARED TO RECEIVE A HAND TROWELED, MASONRY SKIN COAT OF APPROPRIATE THICKNESS TO ACHIEVE A DURABLE SURFACE AND LONG LASTING AESTHETIC.
 - INSTALLATION CONTRACTOR TO REFER TO ELECTRICAL PLANS FOR CONDUIT ROUTING OF LIGHT POLES AND SIGNAGE LIGHTING CONTROL AND WIRING.
 - CONTRACTOR TO REFER TO REINFORCED LIGHT POLE BASE SECTION AND DETAIL FOR FURTHER INFORMATION.
 - ALL EXTERIOR FIXTURES, BOTH BUILDING MOUNTED AND POLE FIXTURES SHALL BE DESIGNED AND INSTALLED SUCH THAT THE LIGHT EMITTED FROM THE LUMINAIRE AT AN ANGLE OF 90 DEGREES FROM VERTICAL (OR HORIZONTAL) AND NO LIGHT SHALL TRESPASS ACROSS PARCEL BOUNDARIES INTO ADJACENT LOTS, BUILDINGS OR STREETS IN EXCESS OF 0.25 FOOT CANDLE OR GREATER.
 - FOR PURPOSES OF CALCULATING THE BUILDING MOUNTED LIGHTING AND PHOTOMETRIC OUTPUT LUMINAIRE WERE PLACED AT 0'-0", 3'-0" AND 12'-6" ABOVE FINISHED FLOOR ELEVATION AND ALL BUILDING MOUNTED FLOOD LIGHTS COORDINATED WITH THE ARCHITECTURAL ELEVATIONS AND PLACED AT HEIGHTS SPECIFIED ON THE BUILDING ELEVATIONS.
 - FOR PURPOSES OF CALCULATING THE SITE AREA POLE LIGHTING AND PHOTOMETRIC OUTPUT LUMINAIRE WERE PLACED AT 20'-6" ABOVE FINISHED FLOOR ELEVATION AND ALL BUILDING MOUNTED FLOOD LIGHTS COORDINATED WITH THE ARCHITECTURAL ELEVATIONS AND PLACED AT HEIGHTS SPECIFIED ON THE BUILDING ELEVATIONS.

THIS LIGHTING PLAN REPRESENTS ILLUMINATION LEVELS ARE CALCULATED VALUES INCLUDE DIRECT AND INTER-REFLECTED COMPONENT AND ILLUMINATION LEVELS. CALCULATED FROM LABORATORY DATA TAKEN UNDER CONTROLLED CONDITIONS IN ACCORDANCE WITH THE ILLUMINATION ENGINEERING SOCIETY (IES) APPROVED METHODS. ACTUAL PERFORMANCE OF ANY MANUFACTURER'S LUMINAIRES MAY VARY DUE TO CHANGES IN ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS/LED'S AND OTHER MAY VARY DUE TO CHANGES IN ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS/LED'S AND OTHER VARIABLE FIELD CONDITIONS. CALCULATIONS DO NOT INCLUDE OBSTRUCTIONS SUCH AS BUILDINGS CURBS, LANDSCAPING, OR ANY OTHER ARCHITECTURAL ELEMENTS UNLESS NOTED.

FOLLOW THE LIGHTING SCHEDULE FOR ALL LIGHT FIXTURES. NO SUBSTITUTIONS WILL BE ACCEPTED.

BASE BID MUST REFLECT THE SPECIFIED FIXTURES. SHOULD SUBSTITUTIONS BE PROVIDED TO THE OWNER/LIGHTING DESIGNERS FOR REVIEW AT THE OWNER'S REQUEST. THE CONTRACTOR/DISTRIBUTOR SHALL BE RESPONSIBLE FOR PROVIDING A LIST OF SUBSTITUTIONS ALONG WITH THE FOLLOWING:

- PHOTOMETRIC REPORTS.
- A NEW POINT BY POINT PHOTOMETRIC CALCULATIONS PLAN OF THE AREAS AFFECTED BY THE SUBSTITUTION.
- INPUT PARAMETERS (MOUNTING HEIGHT, CALCULATION PLANE HEIGHT, REFLECTANCE, LIGHT LUMEN DEPRECIATION AND ETC.) SHALL BE THE SAME AS THOSE OF THE LIGHTING DESIGNER.
- CALCULATIONS SHALL BE SUBMITTED IN A SCALED PLOT FORMAT AND CLEARLY INDICATE THE DESIGN PARAMETERS USED FOR THE CALCULATIONS FOR PRODUCT SUBSTITUTION EVALUATION.

SHOULD THE ABOVE NOTES REQUIREMENTS NOT BE MET, INSITE LANDSCAPE DESIGN INC. WILL REVIEW ANY SUBSTITUTIONS AT THE FIRMS PREVAILING BILLING RATE ON A 17M BASIS BILLED TO THE CONTRACTOR/DISTRIBUTOR PROVIDING THE SUBSTITUTION.

CONTRACTOR TO PROVIDE ALL NECESSARY COMPONENTS, POWER SUPPLIES AND ACCESSORIES FOR A COMPLETE OPERATING INSTALLATION PER APPLICABLE CODES AND MANUFACTURER'S SPECIFICATIONS.

CONTRACTOR SHALL SUBMIT ALL SHOP DRAWINGS TO THE OWNER/LIGHTING DESIGNER FOR APPROVAL PRIOR TO ORDER.

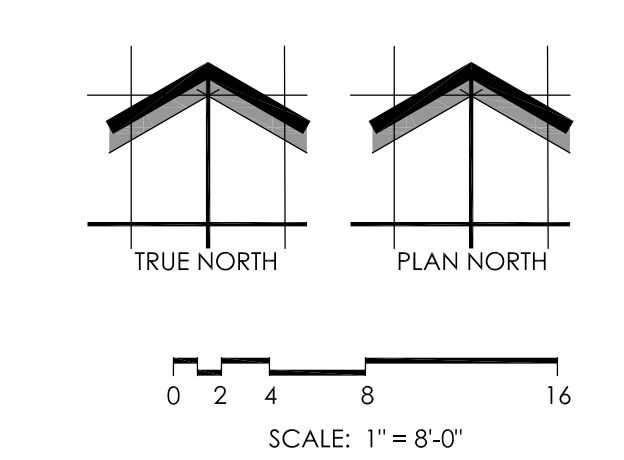
CONTRACTOR SHALL REVIEW ALL THE LUMINAIRE CUT SHEETS INCLUDING THE DESCRIPTION, INSTALLATION AND CATALOG NUMBER. CONTRACTOR SHALL NOTIFY THE OWNER/DESIGNER OF ANY DISCREPANCIES.

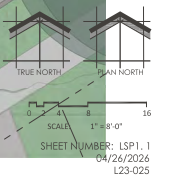
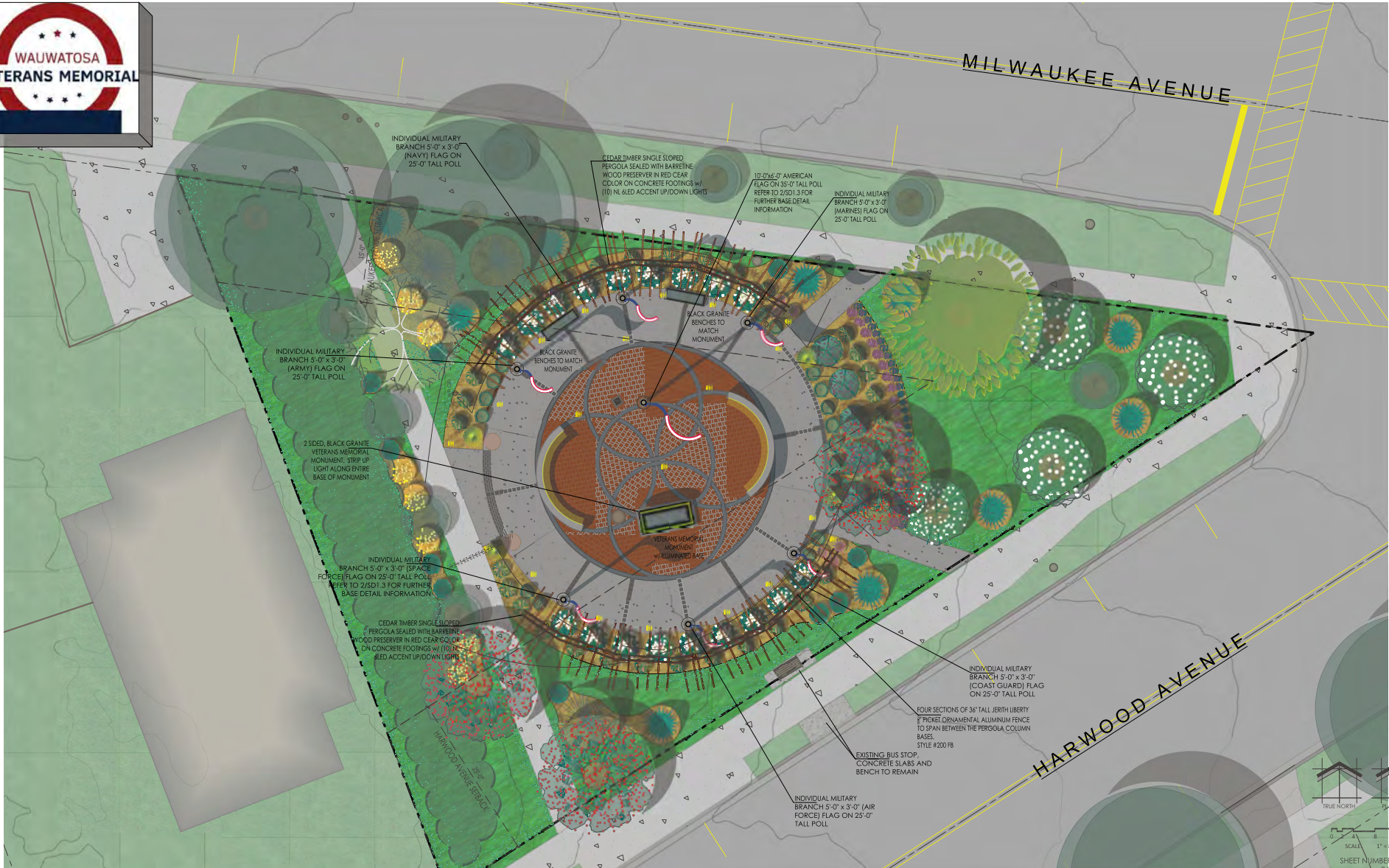
VERIFY ALL FINISHES/COLORS OF FIXTURES AND ACCESSORIES WITH DESIGNER PRIOR TO ORDERING.

ELECTRICAL CONTRACTOR TO PERFORM ALL WORK IN ACCORDANCE WITH APPLICABLE BUILDING/ENERGY CODES AND ALL OTHER CODES THAT HAVE AUTHORITY OVER THIS PROJECT.

CONTRACTOR FOR THE PROJECT SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED BUILDING/ELECTRICAL PERMITS.

- LUMINAIRE FIXTURE NOTES**
- FIXTURE "A" (4) IS A NEW BOLLARD LOCATION TO BE INSTALLED ON A NEW 0'-6" TALL REINFORCED POURED CONCRETE FOUNDATION.
 - REFER TO SECTIONS AND CODED NOTES FOR STRIP LIGHT INSTALLATION





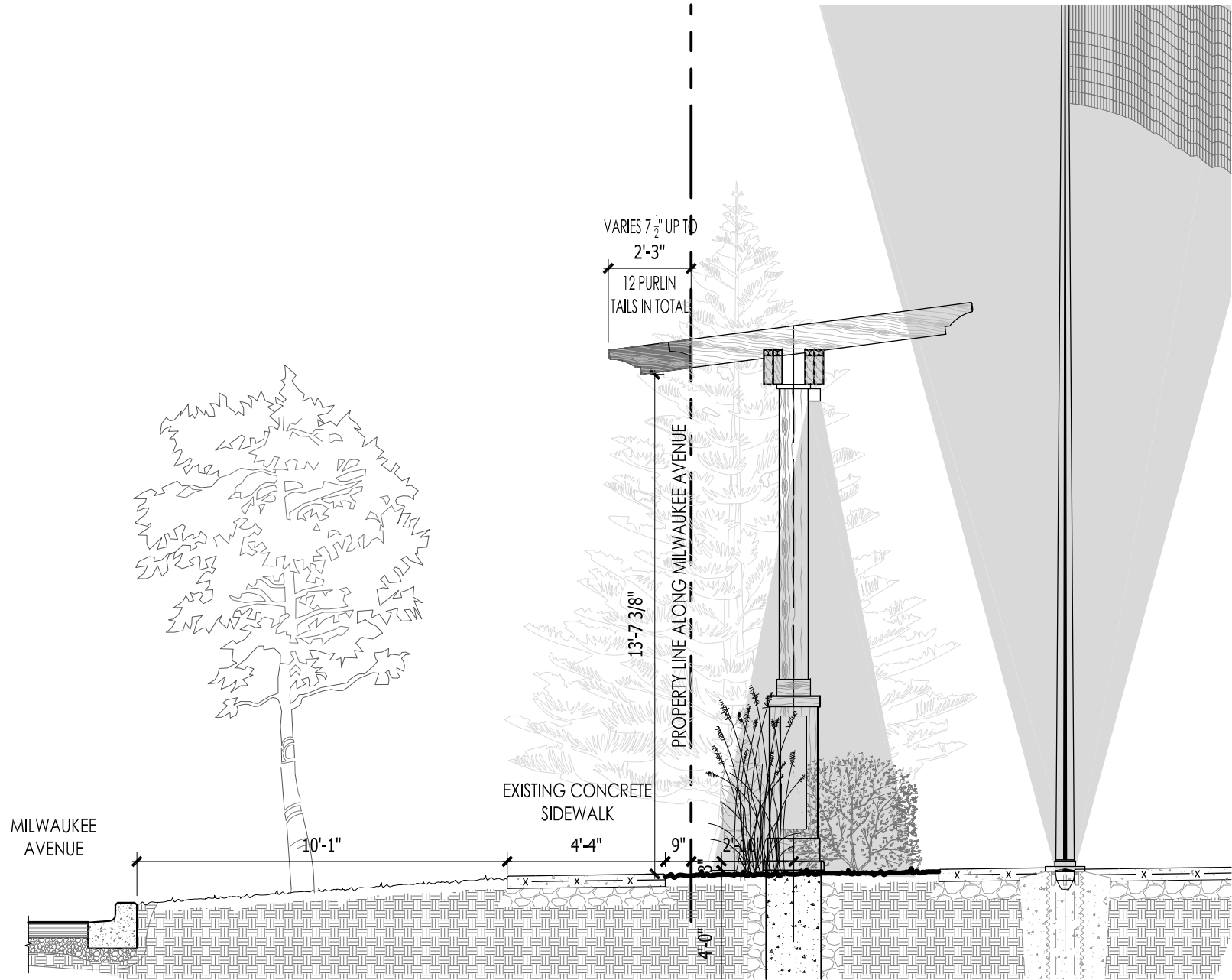
INSITE
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 Wauwatosa, WI 53226
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 www.insitedesigninc.com
 mdavis@insitedesigninc.com

WAUWATOSA VETERANS MEMORIAL PLAZA - WAUWATOSA, WI

Proposed Wauwatosa Veteran Park Site Plan

Schematic - Not for Construction





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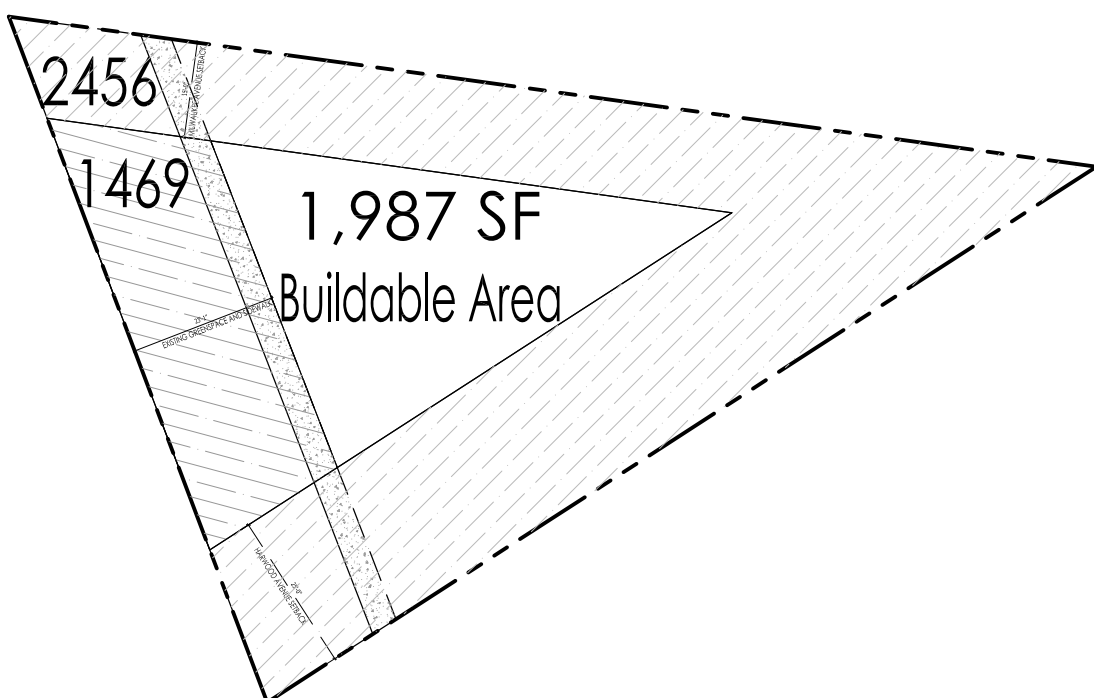
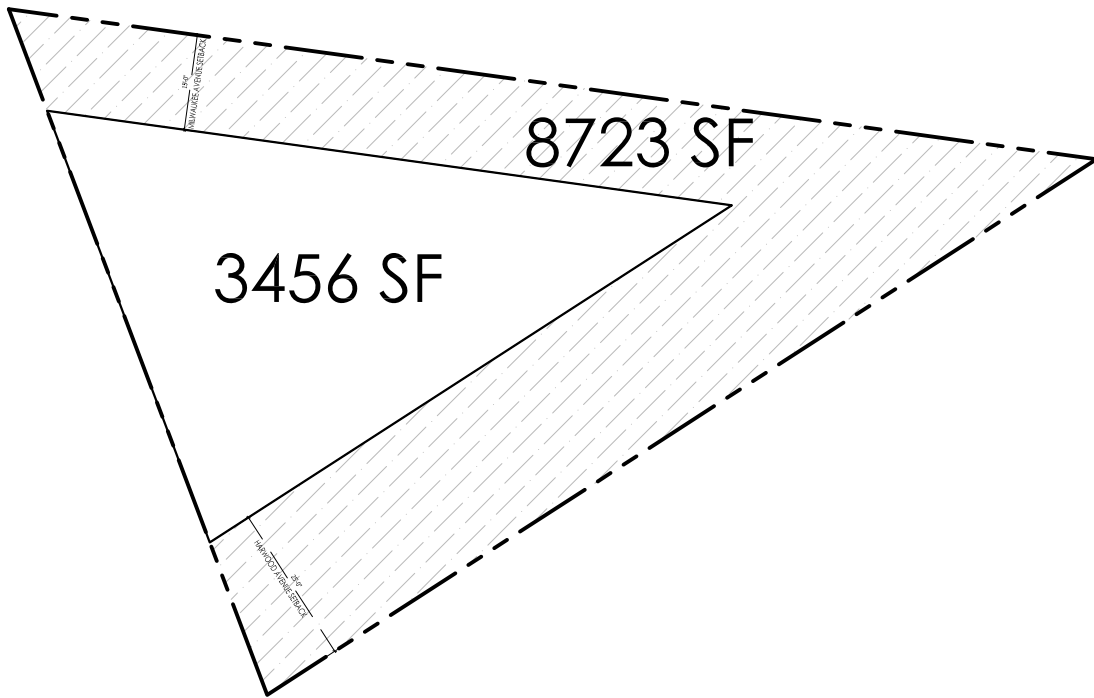
Project:
**WAUWATOSA VETERANS
 MEMORIAL PLAZA**
 Milwaukee & Harmony Avenues
 Wauwatosa, WI

Drawing Title:
 PERGOAL PURLIN TAIL
 EXHIBIT - BOZA
 REFERENCING
 SHEET SD1.3

Date: 05.01.2026
Scale: 1/4" = 1'-0"
Drawn By: MCD
Job: L23-025

Sheet:

SI1.1



1987 SF / 8723 SF = 22.8%
Buildable Area