

MAYFAIR 2

FOUNDRY WAY, WAUWATOSA, WI



Architecture :

Developer:

Civil Engineering:

Landscape Architecture

Dimension IV - Madison Design Group

6515 Grand Teton Plaza, Suite 120, Madison, WI 53719

p: 608.829.4444 www.dimensionivmadison.com

MSP Real Estate

7901 West National Avenue, West Allis, WI 53214

p: 414.259.2108 www.msprealestateinc.com

CJ Engineering

9205 West Center Street, Suite 214, Milwaukee, WI 53222

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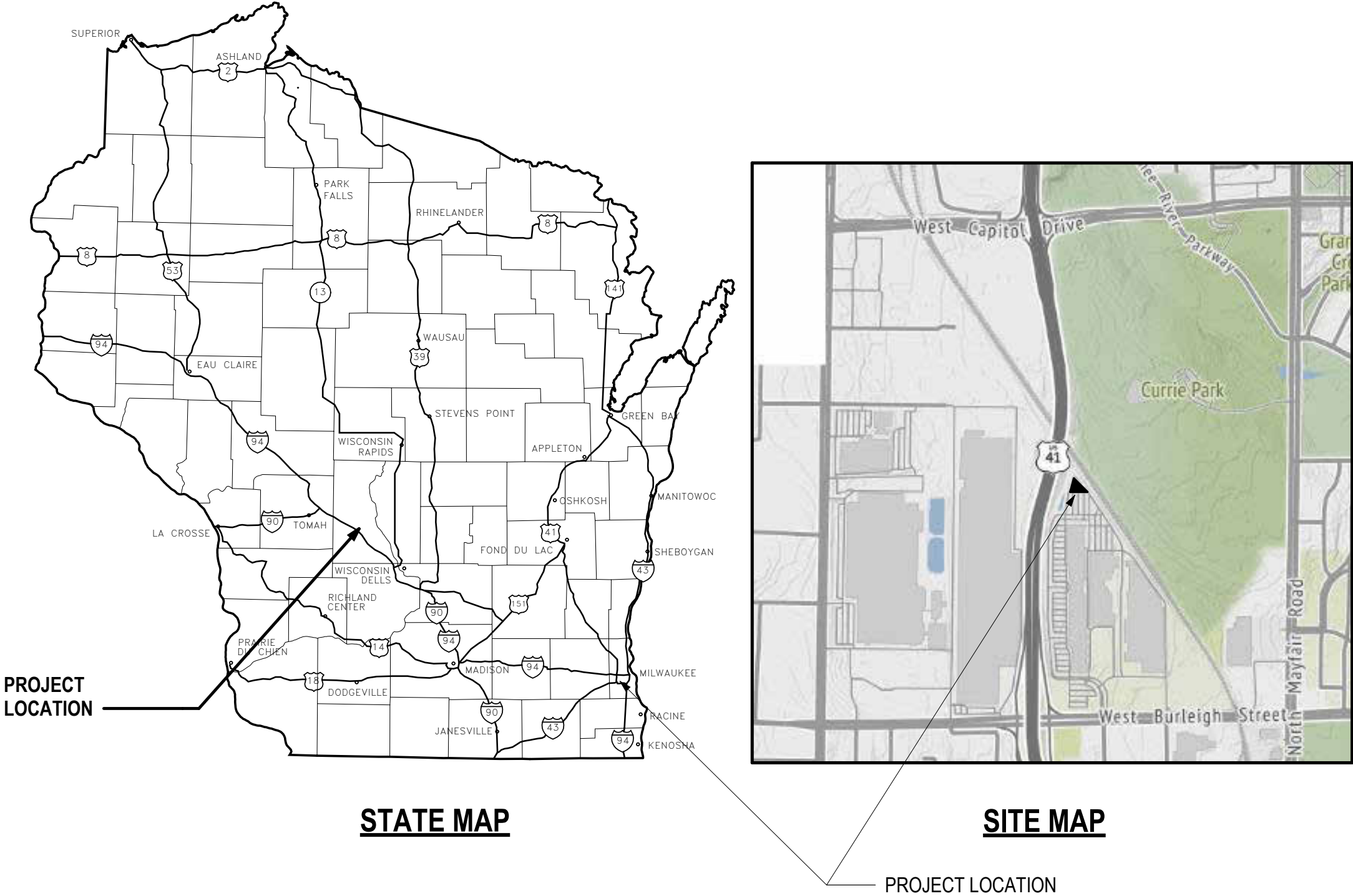
raSmith

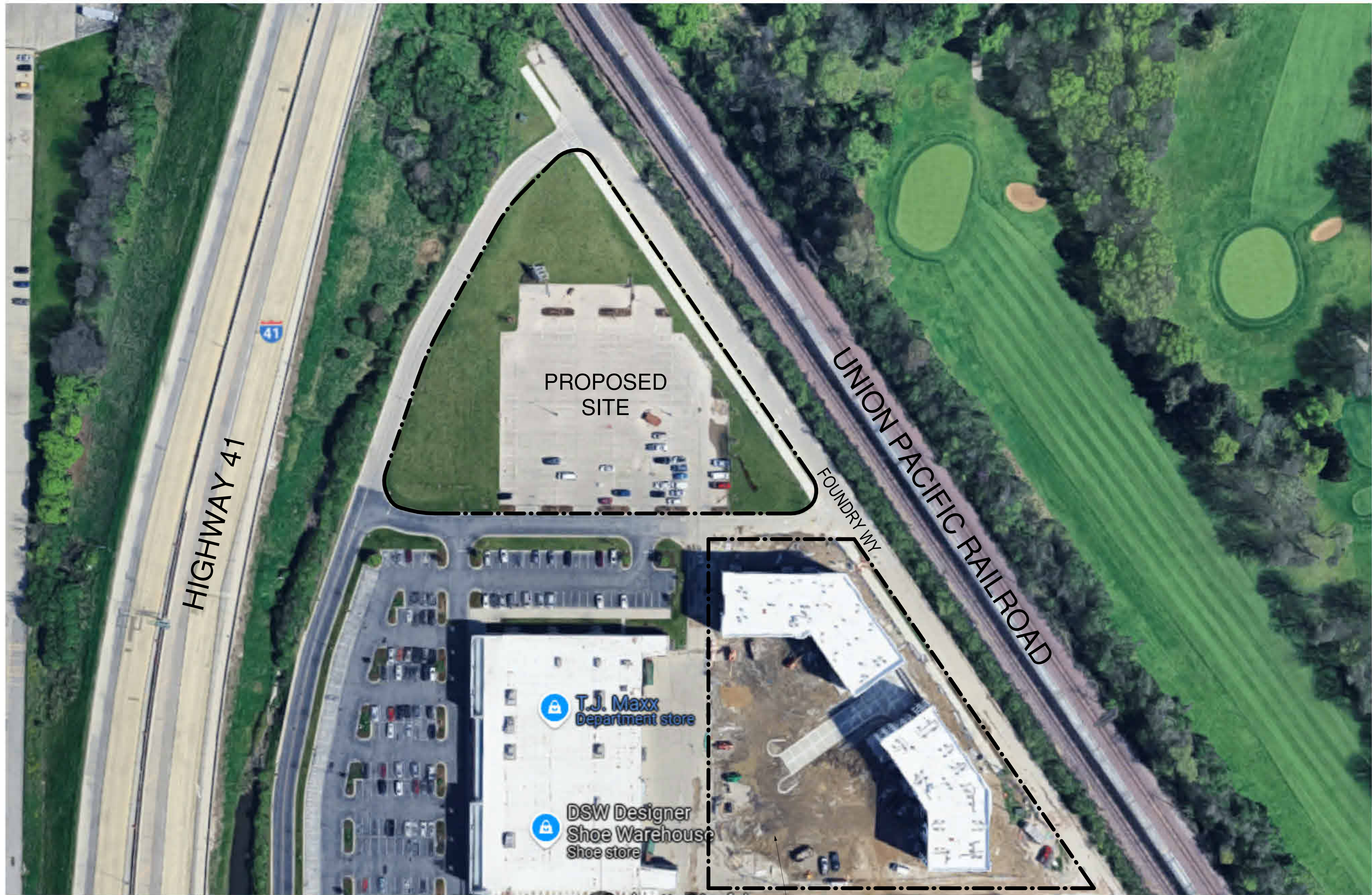
16745 W. Bluemound Road, Brookfield, WI 53005-5938

p:262.781.1000 www.rasmith.com

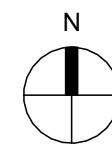
PHASE 1:					
FLOOR:	<u>1</u>	<u>2</u>	<u>3</u>	<u>4</u>	<u>TOTAL</u>
1 BED-	4	7	7	7	25
2 BED-	4	5	5	5	19
3 BED-	2	3	3	3	11
SUBTOTAL: 55					
PHASE 2:					
FLOOR:	<u>1</u>	<u>2</u>	<u>3</u>	<u>4</u>	<u>TOTAL</u>
1 BED-	11	12	13	12	48
2 BED-	4	4	4	3	15
STUDIO-	3	2	1	1	7
SUBTOTAL: 70					
TOTAL UNITS: 125					
PARKING					
SURFACE PARKING: 67					
UNDERGROUND PARKING: 78					
TOTAL PARKING STALLS: 145					

LIST OF DRAWINGS	
SHEET NO.	SHEET NAME
G1-0	COVER SHEET
G2-0	SITE
G3-0	SITE PHOTOS
G4-0	EXISTING PROJECT PHOTOS
G5-0	PEDESTRIAN CONNECTIVITY PLAN
AL1.0	SITE SURVEY
C2.0	SITE PLAN
EXHIBIT	PHASE 1 - SITE PLAN
L100	SITE LANDSCAPE PLAN
L200	LANDSCAPE NOTES AND DETAILS
A1-0	BASEMENT PLAN
A1-1	FIRST FLOOR PLAN
A1-2	SECOND, THIRD, & FOURTH FLOOR PLAN
A2-0	MATERIAL SAMPLES
A2-1	PERSPECTIVE ELEVATION
A2-2	PERSPECTIVE ELEVATION
A2-3	PERSPECTIVE ELEVATION
A2-4	PERSPECTIVE ELEVATION
A2-5	PERSPECTIVE ELEVATION
A2-6	EXTERIOR ELEVATION
A2-7	EXTERIOR ELEVATION





1 SITE AERIAL VIEW
1 1/2" = 1'-0"



(The Regent & The Oxford)
EXISTING APARTMENT BUILDING



VIEW LOOKING FROM NORTH TOWARDS THE SITE



VIEW LOOKING FROM EAST TOWARDS THE SITE



VIEW LOOKING FROM SOUTH TOWARDS THE SITE



VIEW LOOKING FROM WEST TOWARDS THE SITE



architecture · interior design · planning
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G3-0
MAYFAIR 2

FOUNDRY WAY, WAUWATOSA, WI

SITE PHOTOS
07/08/2025
24106

PHOTOS OF *The Regent & The Oxford*, (EXISTING APARTMENT BUILDINGS AT 3325 AND 3375 FOUNDRY WAY)



VIEW LOOKING FROM WEST TOWARDS BUILDING



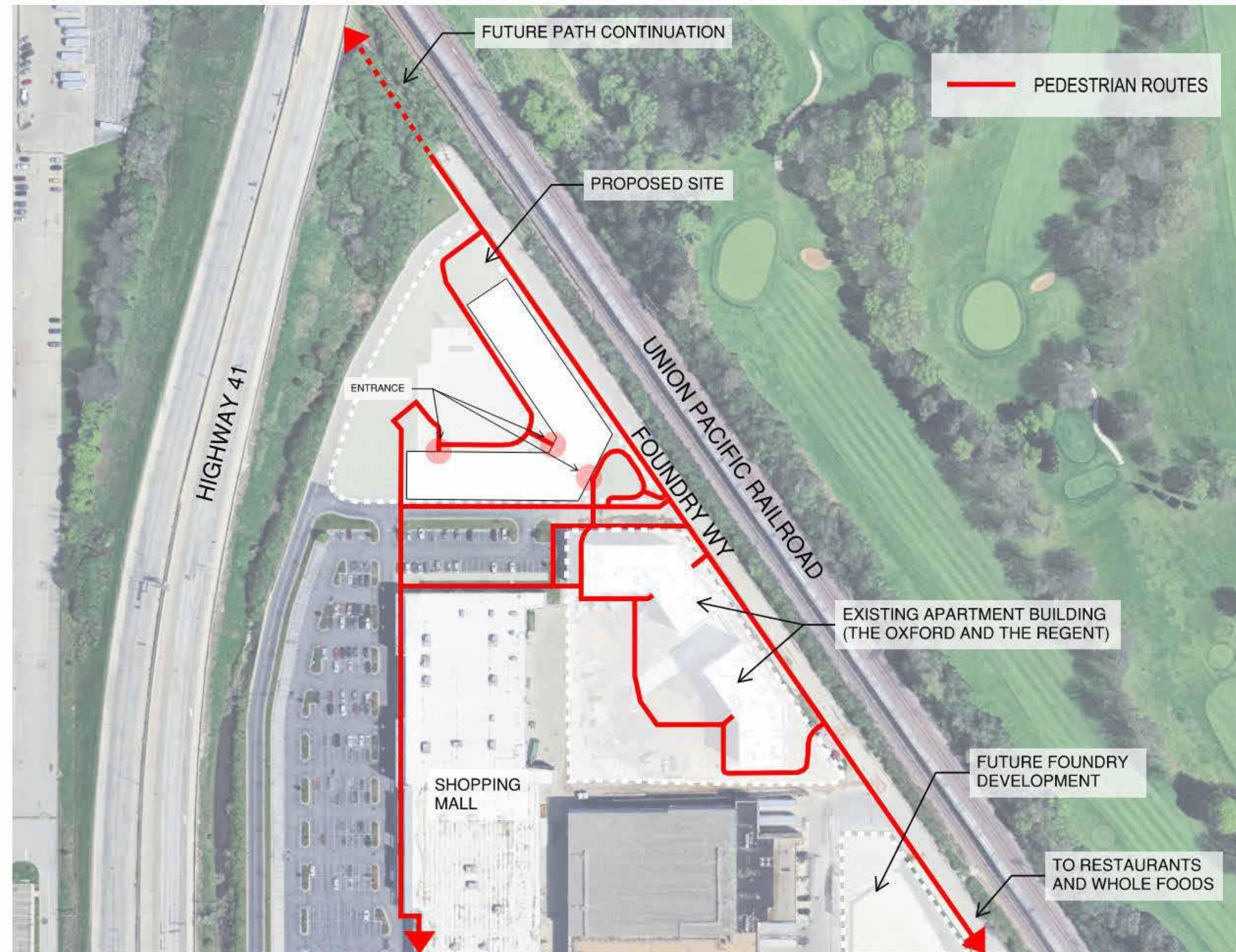
VIEW LOOKING NORTH FROM SOUTH

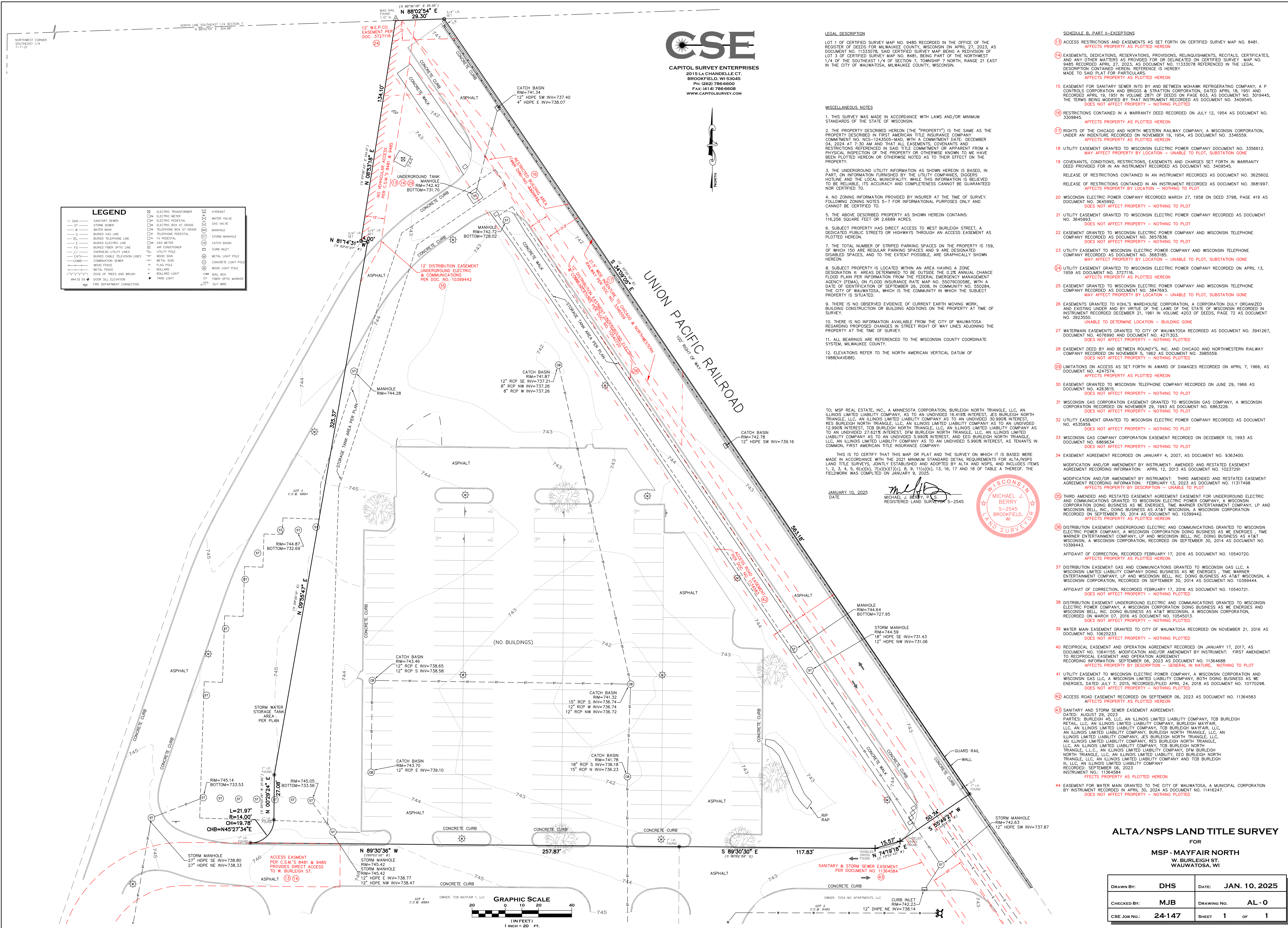


VIEW OF BUILDING A

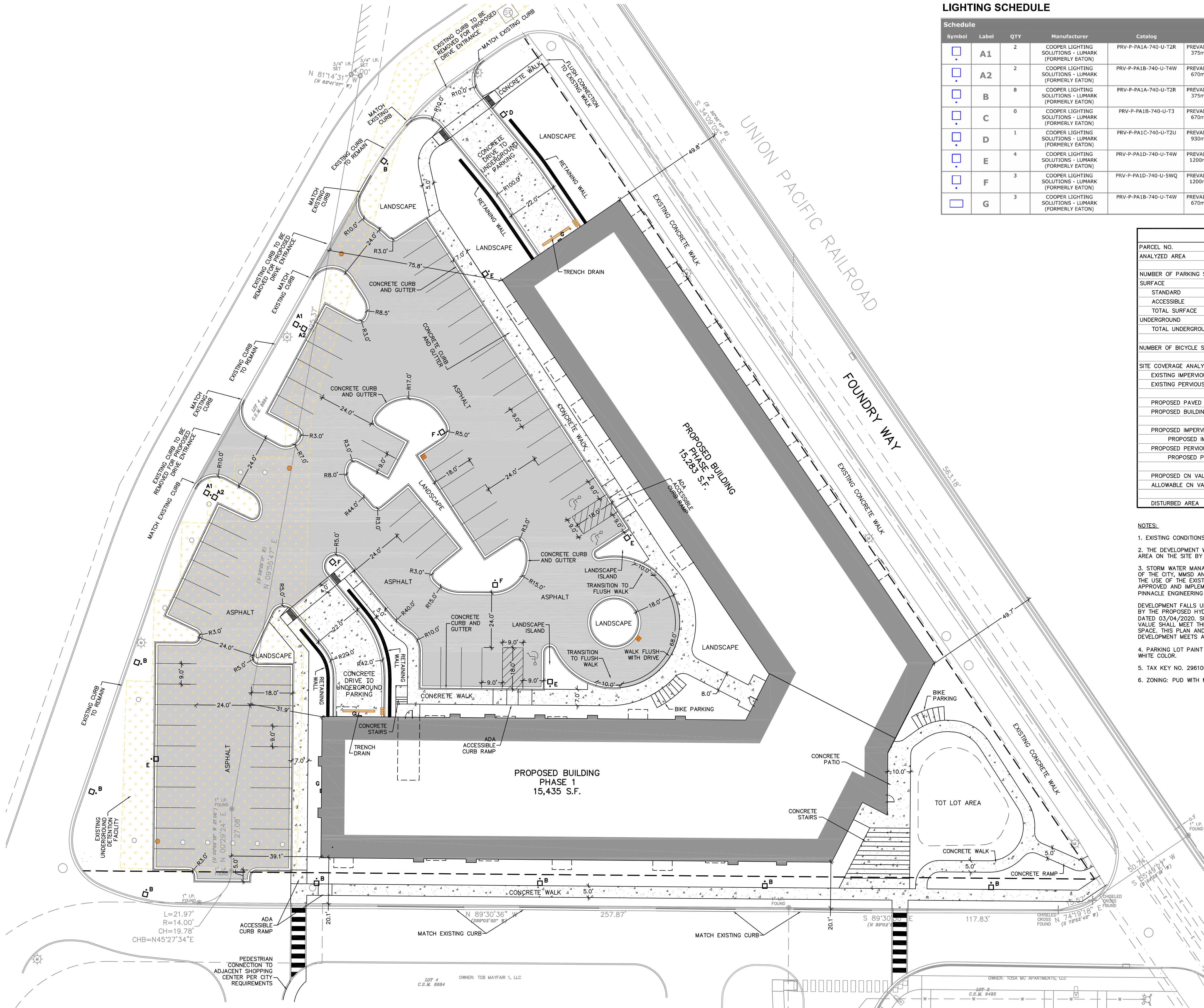


VIEW LOOKING FROM SITE TO EXISTING BUILDING





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LIGHTING SCHEDULE

Schedule							
Symbol	Label	QTY	Manufacturer	Catalog	Description	LLF	Input Power
	A1	2	COOPER LIGHTING SOLUTIONS - LUMARK (FORMERLY EATON)	PRV-P-PA1A-740-U-T2R	PREVAIL AREA LUMINAIRE (1) 70 CRI, 4000K, 375mA LIGHT ENGINE WITH 24 LEDS AND TYPE II ROADWAY OPTICS	1	30.7
	A2	2	COOPER LIGHTING SOLUTIONS - LUMARK (FORMERLY EATON)	PRV-P-PA1B-740-U-T4W	PREVAIL AREA LUMINAIRE (1) 70 CRI, 4000K, 670mA LIGHT ENGINE WITH 24 LEDS AND TYPE IV WIDE OPTICS	1	52.8
	B	8	COOPER LIGHTING SOLUTIONS - LUMARK (FORMERLY EATON)	PRV-P-PA1A-740-U-T2R	PREVAIL AREA LUMINAIRE (1) 70 CRI, 4000K, 375mA LIGHT ENGINE WITH 24 LEDS AND TYPE II ROADWAY OPTICS	1	30.7
	C	0	COOPER LIGHTING SOLUTIONS - LUMARK (FORMERLY EATON)	PRV-P-PA1B-740-U-T3	PREVAIL AREA LUMINAIRE (1) 70 CRI, 4000K, 670mA LIGHT ENGINE WITH 24 LEDS AND TYPE III OPTICS	1	52.8
	D	1	COOPER LIGHTING SOLUTIONS - LUMARK (FORMERLY EATON)	PRV-P-PA1C-740-U-T2U	PREVAIL AREA LUMINAIRE (1) 70 CRI, 4000K, 930mA LIGHT ENGINE WITH 24 LEDS AND TYPE II U OPTICS	1	72.1
	E	4	COOPER LIGHTING SOLUTIONS - LUMARK (FORMERLY EATON)	PRV-P-PA1D-740-U-T4W	PREVAIL AREA LUMINAIRE (1) 70 CRI, 4000K, 1200mA LIGHT ENGINE WITH 24 LEDS AND TYPE IV WIDE OPTICS	1	93.4
	F	3	COOPER LIGHTING SOLUTIONS - LUMARK (FORMERLY EATON)	PRV-P-PA1D-740-U-SWQ	PREVAIL AREA LUMINAIRE (1) 70 CRI, 4000K, 1200mA LIGHT ENGINE WITH 24 LEDS AND TYPE V WIDE OPTICS	1	93.4
	G	3	COOPER LIGHTING SOLUTIONS - LUMARK (FORMERLY EATON)	PRV-P-PA1B-740-U-T4W	PREVAIL WALL LUMINAIRE (1) 70 CRI, 4000K, 670mA LIGHT ENGINE WITH 24 LEDS AND TYPE IV WIDE OPTICS	1	52.8

SITE INFORMATION

PARCEL NO.	2961001000
ANALYZED AREA	99,076 S.F. (2.274 ACRES)
NUMBER OF PARKING STALLS	
SURFACE	
STANDARD	64
ACCESSIBLE	3
TOTAL SURFACE	67
UNDERGROUND	
TOTAL UNDERGROUND	86
NUMBER OF BICYCLE STALLS:	
25	
SITE COVERAGE ANALYSIS	
EXISTING IMPERVIOUS SURFACE AREA	49,731 SF (1.142 ACRES)
EXISTING PERVIOUS SURFACE AREA	49,346 SF (1.133 ACRES)
PROPOSED PAVED AREA	
PROPOSED BUILDING FOOTPRINT	30,718 SF (0.705 ACRES)
PROPOSED IMPERVIOUS SURFACE AREA	
PROPOSED IMPERVIOUS SITE PERCENTAGE	72%
PROPOSED PERVIOUS SURFACE AREA	27,452 SF (0.630 ACRES)
PROPOSED PERVIOUS SITE PERCENTAGE	28%
PROPOSED CN VALUE	
ALLOWABLE CN VALUE	92
DISTURBED AREA	
99,076 SF (2.274 ACRES)	

NOTES:

- EXISTING CONDITIONS BASED ON SURVEY BY CAPITOL SURVEY ENTERPRISE
- THE DEVELOPMENT WILL RESULT IN AN INCREASE IN IMPERVIOUS SURFACE AREA ON THE SITE BY 0.50 ACRES.
- STORM WATER MANAGEMENT FOR THIS SITE, MEETING THE REQUIREMENTS OF THE CITY, MMSD AND WI DNR 151 FOR REDEVELOPMENT WILL BE MET BY THE USE OF THE EXISTING UNDERGROUND DETENTION FACILITY DESIGNED, APPROVED AND IMPLEMENTED FROM THE PLAN & REPORT FURNISHED BY PINNACLE ENGINEERING GROUP DATED 07/10/2020.
- DEVELOPMENT FALLS UNDER THE A4 SUBCATCHMENT LIMITS AS DELINEATED BY THE PROPOSED HYDROLOGY EXHIBIT BY PINNACLE ENGINEERING GROUP DATED 03/04/2020. SUBCATCHMENT A4 SPECIFIES THAT THE SITE CN VALUE SHALL MEET THE 92 VALUE REQUIREMENT AND PROVIDE 25% GREEN SPACE. THIS PLAN AND SITE AREA ANALYSIS SHOWS THAT THIS DEVELOPMENT MEETS AND EXCEEDS THESE REQUIREMENTS.
- PARKING LOT PAINT STRIPING SHALL BE A MINIMUM OF 3" AND IN A WHITE COLOR.
- TAX KEY NO. 2961001000
- ZONING: PUD WITH MULTIFAMILY USE



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MILWAUKEE REGIONAL OFFICE
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WAUKESHA, WISCONSIN 53188
P. 262.513.0666

CLIENT:

MSP REAL ESTATE

CLIENT ADDRESS:

7901 West National Avenue
West Allis, WI, 53214

PROJECT:

MSP Mayfair North

PROJECT LOCATION:

Foundry Way
Wauwatosa, Milwaukee County
Wisconsin, 53222

PLAN MODIFICATIONS:

#	Date:	Description:
1	02/05/2025	PUD SUBMITTAL
2	02/14/2025	PUD REVISED SUBMITTAL
3	07/08/2025	DRB SUBMITTAL
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15		

Designed By: PJS

Reviewed By: CAJ

Approved By:

SHEET TITLE:

SITE PLAN

SHEET NUMBER:

C2.0

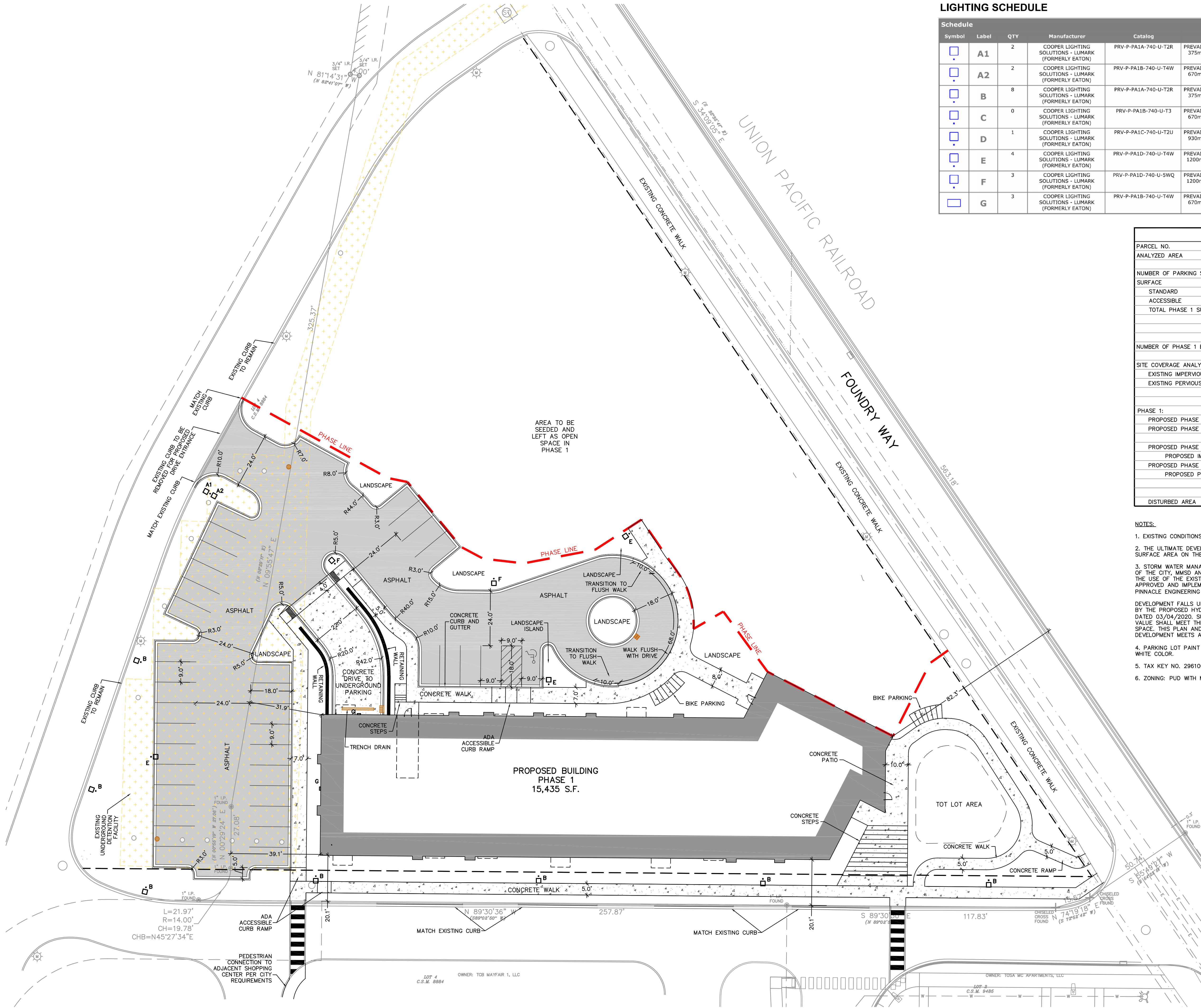
JSD PROJECT NO:

25-15011



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LIGHTING SCHEDULE

Schedule	Symbol	Label	QTY	Manufacturer	Catalog	Description	LLF	Input Power
		A1	2	COOPER LIGHTING SOLUTIONS - LUMARK (FORMERLY EATON)	PRV-P-PA1A-740-U-T2R	PREVAIL AREA LUMINAIRE (1) 70 CRI, 4000K, 375mA LIGHT ENGINE WITH 24 LEDS AND TYPE II ROADWAY OPTICS	1	30.7
		A2	2	COOPER LIGHTING SOLUTIONS - LUMARK (FORMERLY EATON)	PRV-P-PA1B-740-U-T4W	PREVAIL AREA LUMINAIRE (1) 70 CRI, 4000K, 670mA LIGHT ENGINE WITH 24 LEDS AND TYPE IV WIDE OPTICS	1	52.8
		B	8	COOPER LIGHTING SOLUTIONS - LUMARK (FORMERLY EATON)	PRV-P-PA1A-740-U-T2R	PREVAIL AREA LUMINAIRE (1) 70 CRI, 4000K, 375mA LIGHT ENGINE WITH 24 LEDS AND TYPE II ROADWAY OPTICS	1	30.7
		C	0	COOPER LIGHTING SOLUTIONS - LUMARK (FORMERLY EATON)	PRV-P-PA1B-740-U-T3	PREVAIL AREA LUMINAIRE (1) 70 CRI, 4000K, 670mA LIGHT ENGINE WITH 24 LEDS AND TYPE III OPTICS	1	52.8
		D	1	COOPER LIGHTING SOLUTIONS - LUMARK (FORMERLY EATON)	PRV-P-PA1C-740-U-T2U	PREVAIL AREA LUMINAIRE (1) 70 CRI, 4000K, 930mA LIGHT ENGINE WITH 24 LEDS AND TYPE II U OPTICS	1	72.1
		E	4	COOPER LIGHTING SOLUTIONS - LUMARK (FORMERLY EATON)	PRV-P-PA1D-740-U-T4W	PREVAIL AREA LUMINAIRE (1) 70 CRI, 4000K, 1200mA LIGHT ENGINE WITH 24 LEDS AND TYPE IV WIDE OPTICS	1	93.4
		F	3	COOPER LIGHTING SOLUTIONS - LUMARK (FORMERLY EATON)	PRV-P-PA1D-740-U-SWQ	PREVAIL AREA LUMINAIRE (1) 70 CRI, 4000K, 1200mA LIGHT ENGINE WITH 24 LEDS AND TYPE V WIDE OPTICS	1	93.4
		G	3	COOPER LIGHTING SOLUTIONS - LUMARK (FORMERLY EATON)	PRV-P-PA1B-740-U-T4W	PREVAIL WALL LUMINAIRE (1) 70 CRI, 4000K, 670mA LIGHT ENGINE WITH 24 LEDS AND TYPE IV WIDE OPTICS	1	52.8

SITE INFORMATION

PARCEL NO.	2961001000
ANALYZED AREA	99,076 S.F. (2.274 ACRES)
NUMBER OF PARKING STALLS	
SURFACE	
STANDARD	35
ACCESSIBLE	1
TOTAL PHASE 1 SURFACE	36
NUMBER OF PHASE 1 BICYCLE STALLS:	25
SITE COVERAGE ANALYSIS	
EXISTING IMPERVIOUS SURFACE AREA	49,731 SF (1.142 ACRES)
EXISTING PERVIOUS SURFACE AREA	49,346 SF (1.133 ACRES)
PHASE 1:	
PROPOSED PHASE 1 PAVED AREA	25,581 SF (0.587 ACRES)
PROPOSED PHASE 1 BUILDING FOOTPRINT	15,435 SF (0.354 ACRES)
PROPOSED PHASE 1 IMPERVIOUS SURFACE	41,016 SF (0.942 ACRES)
PROPOSED IMPERVIOUS SITE PERCENTAGE	41%
PROPOSED PHASE 1 PERVIOUS SURFACE	58,060 SF (1.333 ACRES)
PROPOSED PERVIOUS SITE PERCENTAGE	59%
DISTURBED AREA	99,076 SF (2.274 ACRES)

- NOTES:
- EXISTING CONDITIONS BASED ON SURVEY BY CAPITOL SURVEY ENTERPRISE
 - THE ULTIMATE DEVELOPMENT WILL RESULT IN A INCREASE IN IMPERVIOUS SURFACE AREA ON THE SITE BY 0.50 ACRES.
 - STORM WATER MANAGEMENT FOR THIS SITE, MEETING THE REQUIREMENTS OF THE CITY, MMSD AND WI DNR 151 FOR REDEVELOPMENT WILL BE MET BY THE USE OF THE EXISTING UNDERGROUND DETENTION FACILITY DESIGNED, APPROVED AND IMPLEMENTED FROM THE PLAN & REPORT FURNISHED BY PINNACLE ENGINEERING GROUP DATED 07/10/2020.
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 - PARKING LOT PAINT STRIPING SHALL BE A MINIMUM OF 3" AND IN A WHITE COLOR.
 - TAX KEY NO. 2961001000
 - ZONING: PUD WITH MULTIFAMILY USE



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P. 262.513.0666

CLIENT:
MSP REAL ESTATE

CLIENT ADDRESS:
7901 West National Avenue
West Allis, WI, 53214

PROJECT:
MSP Mayfair North

PROJECT LOCATION:
Foundry Way
Wauwatosa, Milwaukee County
Wisconsin, 53222

#	Date:	Description:
1	02/05/2025	PUD SUBMITTAL
2	02/14/2025	PUD REVISED SUBMITTAL
3	02/20/2025	DRB PHASE 1 MEETING
4	07/08/2025	DRB SUBMITTAL
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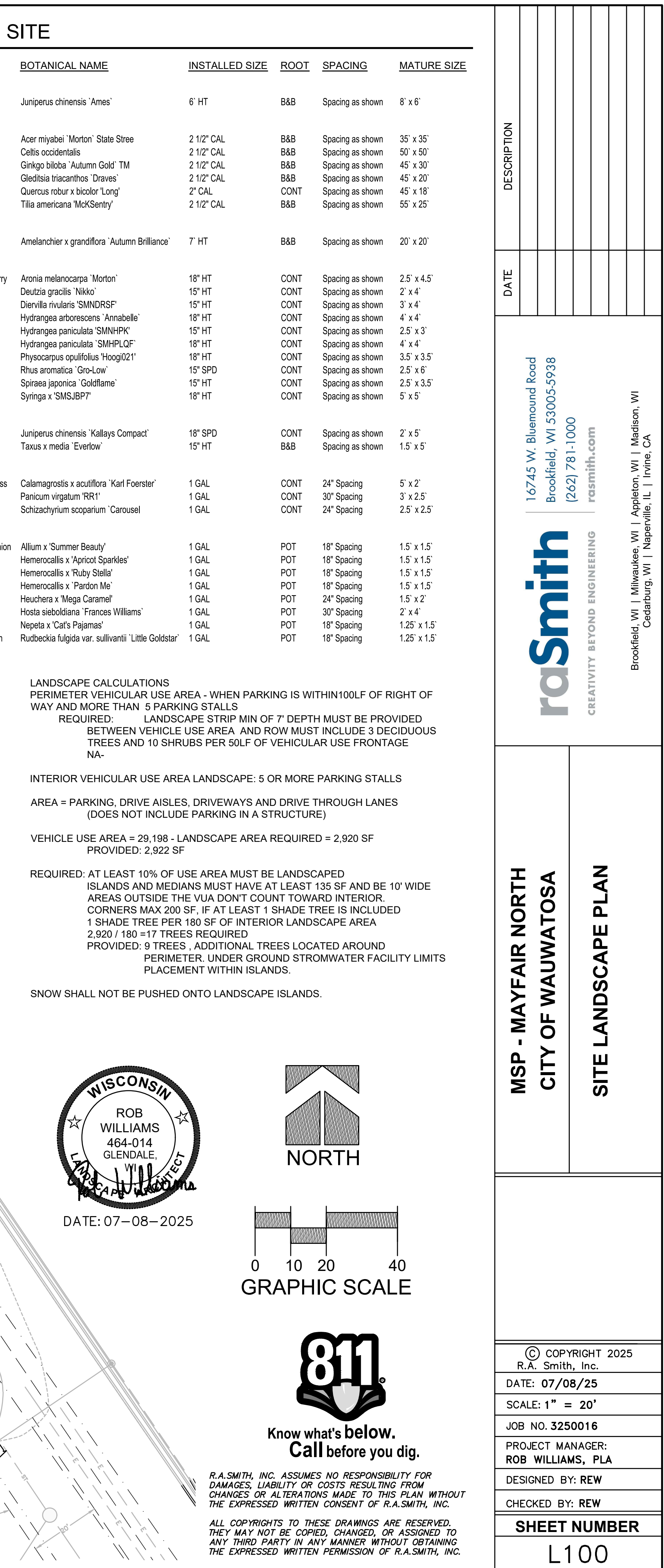
Designed By: PJS
Reviewed By: CAJ
Approved By:
SHEET TITLE:
PHASE 1 - SITE PLAN

SHEET NUMBER:
EXHIBIT
JSD PROJECT NO: 25-15011

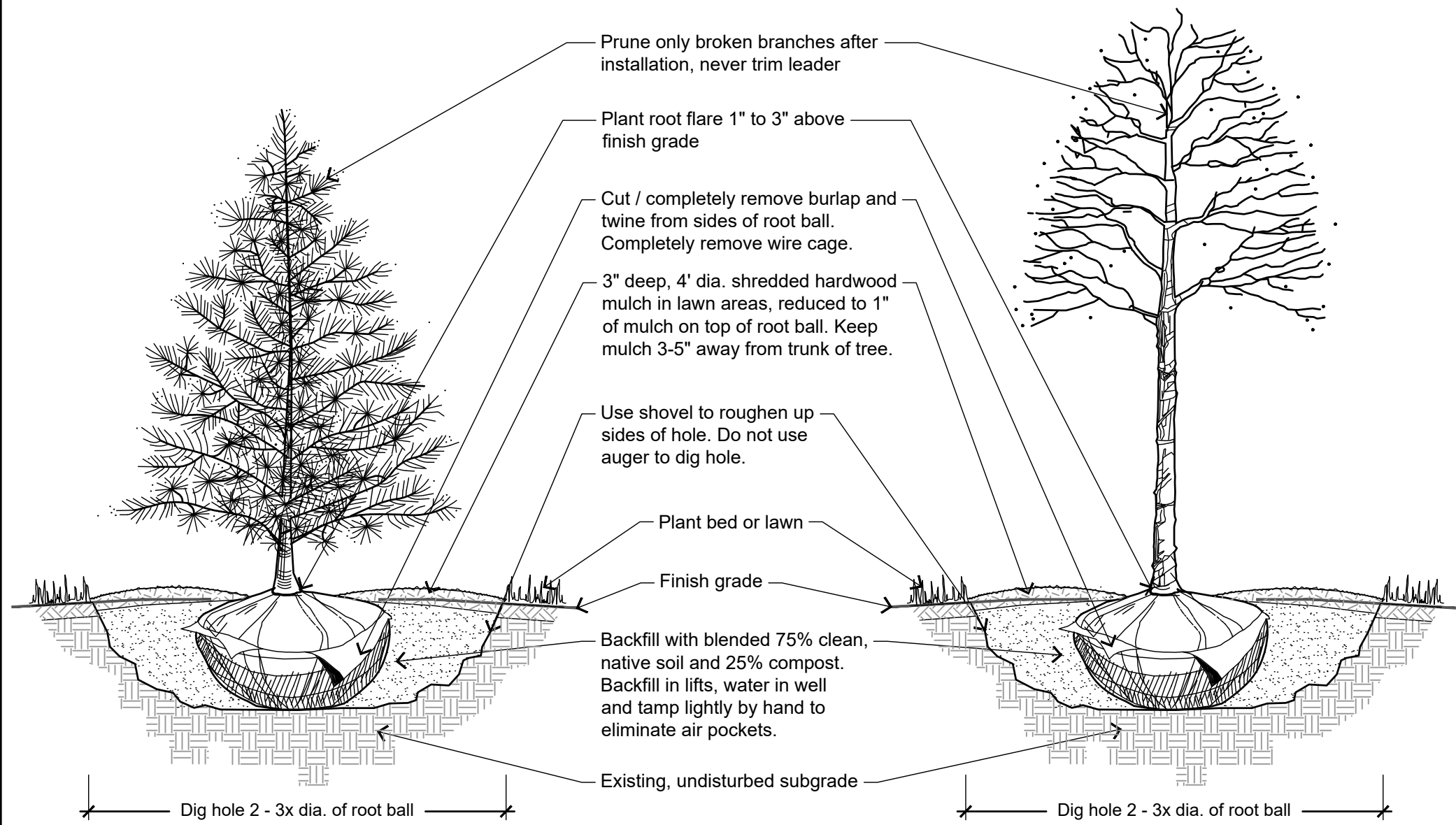


Toll Free (800) 242-8511

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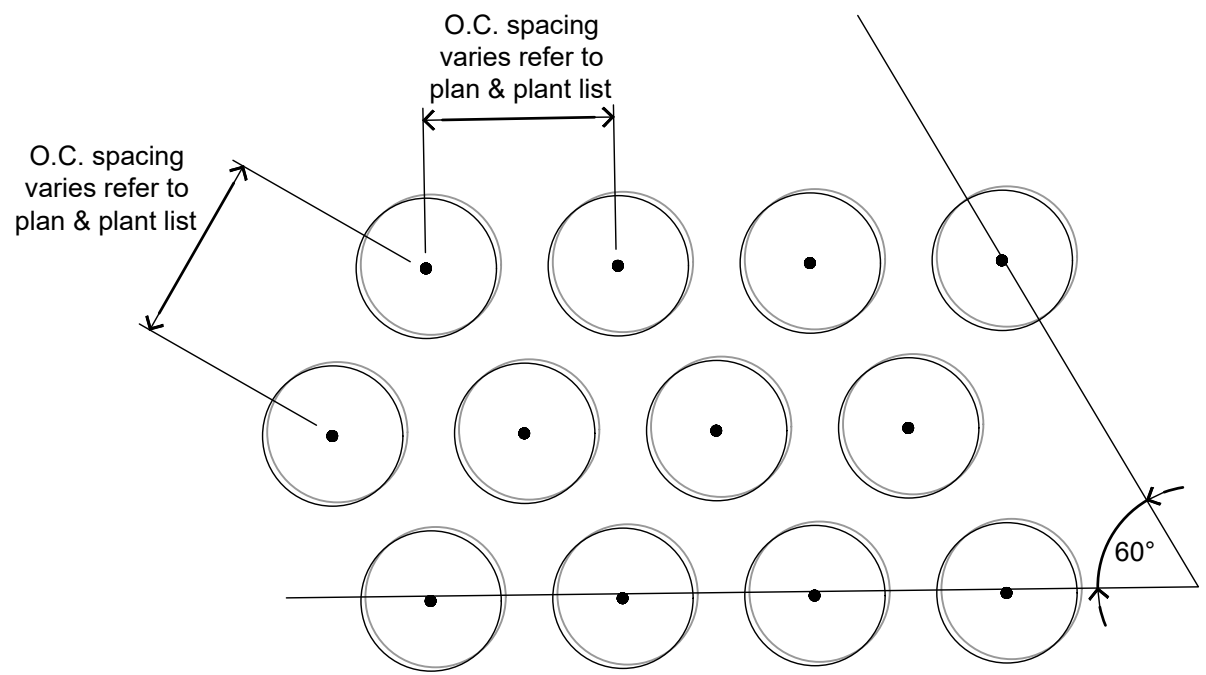
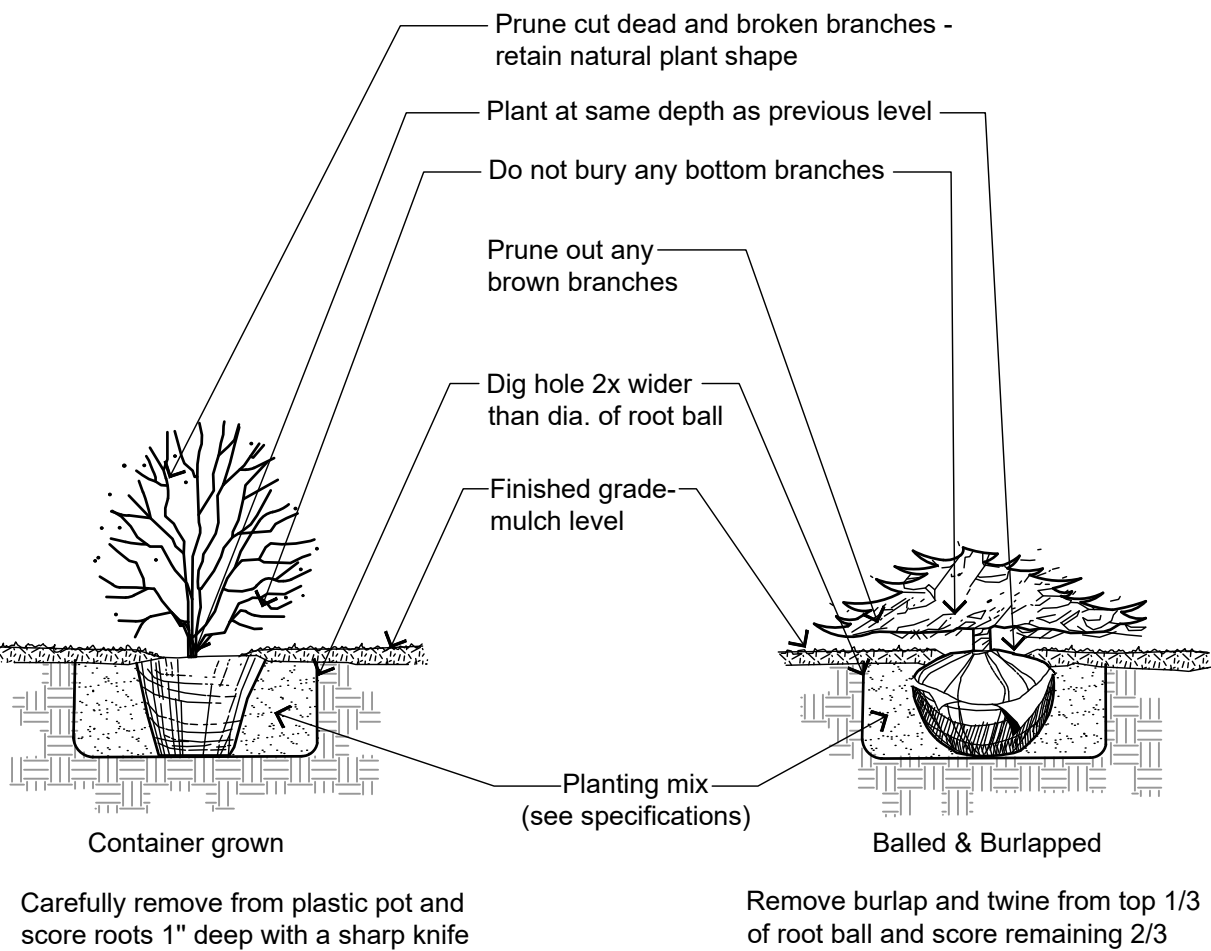
PLANTING DETAILS



1 TREE PLANTING DETAIL
NOT TO SCALE

P-PL-TREE-07

2 SHRUB PLANTING DETAIL
NOT TO SCALE

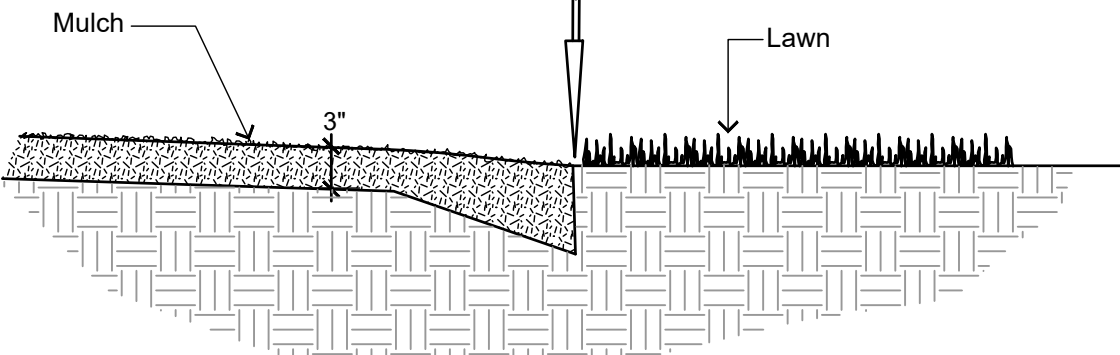


3 PLANTING LAYOUT
NOT TO SCALE

P-PL-PLG-01

Bedlines are to be cut crisp as per plan, a clean definition between turf and plant bed is required.

Top of mulch to be flush with turf



4 SHOVEL CUT PLANT BED EDGING DETAIL
NOT TO SCALE

P-PL-BDEG-01

GENERAL LANDSCAPE NOTES

- Contractor responsible for contacting public and private underground utility locating service to have site marked prior to any digging or earthwork.
- Contractor to verify all plant quantities shown on plant list and verify with plan. Report any discrepancies immediately to general contractor.
- All plantings shall comply with standards as described in American Standard of Nursery Stock - ANSI Z60.1 (latest version). General contractor or owner's representative reserves the right to inspect and potentially reject any plants that are inferior, compromised, undersized, diseased, improperly transported, installed incorrectly or damaged.
- Any potential plant substitutions must be submitted in writing to the general contractor and approved by the owner's representative or landscape architect prior to installation. All plants must be installed as per sizes and quantities shown on plant material schedule, unless approved by the owner's representative or landscape architect. Any potential changes to sizes shown on plan and appropriate cost credits / adjustments must be submitted in writing to the general contractor and approved by the owner's representative or landscape architect prior to installation.
- The subsequent requirements regarding topsoil should be coordinated between the general contractor, grading contractor and landscape contractor.
- Subgrade areas shall be graded to within 1", more or less, of proposed subgrade. Deviations shall not be consistent in one direction.
- Topsoil shall be placed to meet proposed finished grade. Planting islands to be backfilled with clean topsoil free of debris (per note below) to a minimum depth of 18" by general / grading contractor to insure long term plant health. All other landscaped areas to receive a minimum depth of 6" of clean topsoil (per note below).
- Topsoil shall be: screened existing stockpiled topsoil, existing in-place soil, or screened soil from an off-site source that will support plant growth, and meets the following requirements. Clean topsoil shall be free of rocks, coarse fragments, gravel, sticks, trash, roots, debris over 3/4" and any substances harmful to plant growth. It also must be free of plants or plant parts of any noxious weeds. Topsoil shall contain 3 to 5 percent decomposed organic matter and a pH between 5.5 and 7.0.
- Planting beds and parking lot islands: Landscape contractor is responsible for ensuring that unwanted material (gravel, debris, roots and other extraneous material harmful to plant growth) has been removed from the topsoil and for the fine grading of all landscaped areas. The fine grading of planting beds and parking lot islands may require additional topsoil to bring to finish grade, allowing for mulch depth. Crown all planting islands and planting beds not adjacent to buildings, a minimum of 6" to provide proper drainage, unless otherwise specified. All other finished landscaped areas to be smooth, uniform and provide positive drainage away from structures and pavement.
- Seeded areas: to receive a settled minimum depth of 6" of blended, prepared and non-compacted topsoil. Landscape contractor is responsible for excavation and removal of unwanted material (gravel, debris, roots and other extraneous material harmful to plant growth) to the specified depth, supplementing with additional topsoil (if necessary) and the fine grading of all seeded areas.
- Tree planting (see planting detail): plant all trees slightly higher than finished grade at root flare. Remove excess soil from top of root ball, if needed. An auger is not an acceptable method of digging tree planting holes. Scarify side walls of tree pit prior to installation. Once tree has been placed into the hole, is at the correct depth and vertical alignment and will no longer be moved, brace root ball by tamping soil around the lower portion of the root ball. Remove and discard wire / rope, burlap and support wire from the sides of root ball. Backfill pit with 75% existing soil removed from excavation and 25% compost blended prior to backfilling holes, in six-inch lifts. Lightly tamp each lift using foot pressure or hand tools to settle backfill, support the tree and eliminate voids. Do not over compact or use mechanical or pneumatic tamping equipment. Discard any gravel, heavy clay or stones. When hole has been backfilled to three-quarters of its depth, pour water around the root ball and allow to soak into soil to settle the soil. Continue backfilling until soil is brought to grade level.

Provide a 3" deep, 4 ft. diameter shredded hardwood bark mulch ring around all trees in lawn areas, reduced to 1" deep on top of root ball. Keep mulch 3"- 5" away from trunk of tree. Trees that are installed incorrectly will be replaced at the time and expense of the landscape contractor. Trees too large for two people to lift in and out of holes, shall be placed with sling. Do not rock the trees in holes to raise them.
- Shrub planting (see planting detail): all shrubs to be pocket planted with a mix of 75% existing soil removed from excavation and 25% compost, blended prior to backfilling holes. When hole is two-thirds full, shrubs shall be watered thoroughly and water left to soak in before proceeding.
- Mulching: all tree and shrub planting beds to receive a 3" deep layer of high-quality shredded hardwood bark mulch (not enviromulch or wood chips). Mulch shall be uniform in size, color, quality and overall appearance. Mulch shall be free of debris, large wood chunks, soil, rocks, weeds, invasive plant parts or seeds and any other material injurious to plant growth. All perennial and ornamental grass planting areas to receive a 1-2" layer and groundcover areas a 1-2" layer of the same mulch. Do not mulch annual flower beds (if applicable). Do not allow mulch to contact plant stems and tree trunks.
- Edging: edge all planting beds with a 4" deep spaded edge (shovel cut or mechanical). Bedlines are to be cut crisp, as per plan. A clean definition between lawn area and plant bed is required.
- Plant bed preparation: the soil in all perennial, ornamental grass, annual and groundcover areas shall be amended with compost prior to plant installation. Spread a 2" layer of compost (per note below) on top of clean topsoil and rototill to a depth of approximately 8".
- Compost shall be stable, and weed-free organic matter. It shall be resistant to further decomposition and free of compounds, such as ammonia and organic acids, in concentrations toxic to plant growth. The compost shall contain no pathogens or other chemical contaminants and meet the requirements of WisDNR S100 Compost Specification.
- Lawn installation for all seeded turfgrass areas: remove / kill off any existing unwanted vegetation prior to seeding. Prepare the topsoil and seed bed by removing all surface stones 1" or larger and grading lawn areas to finish grade. Apply a starter fertilizer and specified seed, ensure good seed to soil contact, and provide mulch covering suitable to germinate and establish turf. Provide seed and fertilizer mix information to general contractor prior to installation. Erosion control measures are to be used in swales and on steep grades, where applicable. Methods of installation may vary at the discretion of the landscape contractor on his/her responsibility to establish and guarantee a smooth, uniform, quality turf. If straw mulch is used as a mulch covering, a tackifier may be necessary to avoid wind damage. Marsh hay containing reed canary grass is not acceptable as a mulch covering.

An acceptable quality turf is defined as having no more than 5% of the total area with bare spots larger than 1/2 square foot and uniform coverage throughout all turf areas.
- Seed mix for lawn areas - use only a premium quality seed mix. Premium blend seed mix (or equivalent): 50% blended bluegrass, 25% creeping red fescue, 25% perennial rye applied at 5 lbs per 1,000 SF or at recommended rates from supplier. Provide seed specifications to general contractor prior to installation.
- Lawn installation for all sodded turfgrass areas(optional): remove / kill off any existing unwanted vegetation prior to sodding. Prepare the topsoil and sod bed by removing all surface stones 1" or larger and grading lawn areas to finish grade, allowing for thickness of sod. Use only premium sod blend according to TPI (revised 1995) and ASPA standards. Install sod uniformly with staggered joints, laid tightly end to end and side to side. Roll sod with a walk behind roller and water immediately upon installation to a 3" depth. Stake any sod installed on steep slopes or in swales, etc. Landscape contractor is responsible to provide a smooth, uniform, healthy turf. Landscape contractor shall repair and re-sod any eroded, sunken or bare spots (larger than 1/2 square foot) until acceptance by owner.
- The landscape contractor is responsible for the watering and maintenance of all landscape areas at time of planting and throughout construction until the substantial completion of the installation and acceptance by the owner. This includes all trees, shrubs, evergreens, perennials, ornamental grasses, and seeded slopes and turf grass areas. Maintenance includes mowing, weeding, watering, mulching, edging, pruning, deadheading, raking leaves / debris, sweeping up grass clippings, fertilizing and maintaining turf areas (including applying pre and post emergent herbicides), and any other needs that are required to keep the landscape healthy and well maintained.
- Substantial Completion of Landscape: after the landscape has been installed, the landscape contractor is responsible to conduct a final review with the owner's representative and the general contractor to ensure that all plans and specifications have been met. After this review, the landscape will be considered to be installed in substantial completion unless otherwise noted by the owner's representative and/or general contractor. Any items missing or incomplete, shall be corrected within 30 days. The landscape contractor shall provide written watering and maintenance instructions for the new plantings and lawn to the owner.
- Warranty and replacements: All plants (trees, evergreens, shrubs, perennials, ornamental grasses and groundcovers) shall be warranted by the landscape contractor to be in healthy and flourishing condition for a period of one year from the date of substantial completion. This assumes the owner performs required maintenance (i.e. regular watering) after substantial completion of the landscape. Only one replacement per plant will be required during the warranty period, except for losses or replacements due to failure to comply with specified requirements. Replacements shall be plants of the same variety specified on the plan and closely match adjacent specimens in size. The landscape contractor is responsible for keeping a documented record of which plants have been replaced during the warranty period.

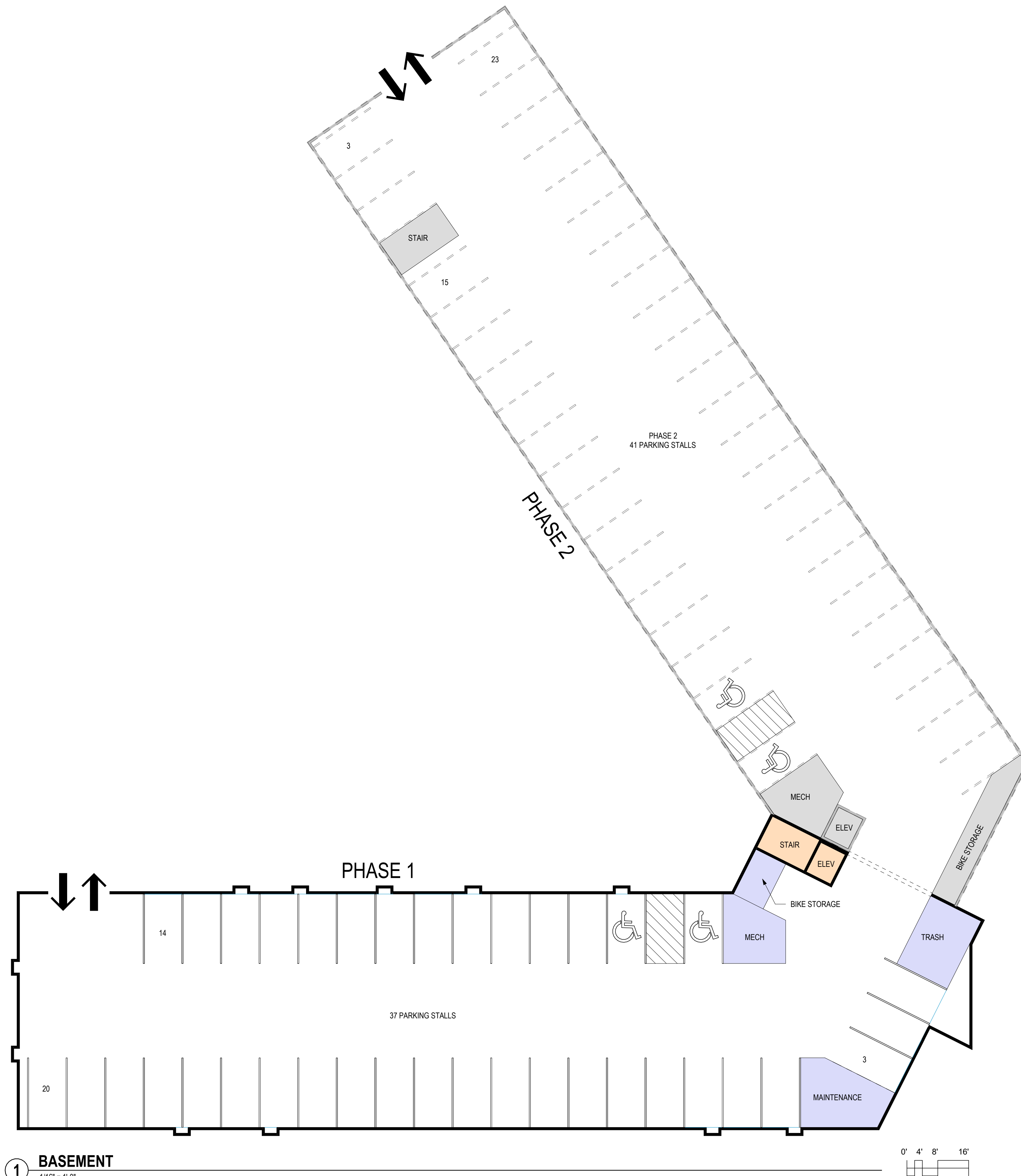


Know what's below.
Call before you dig.

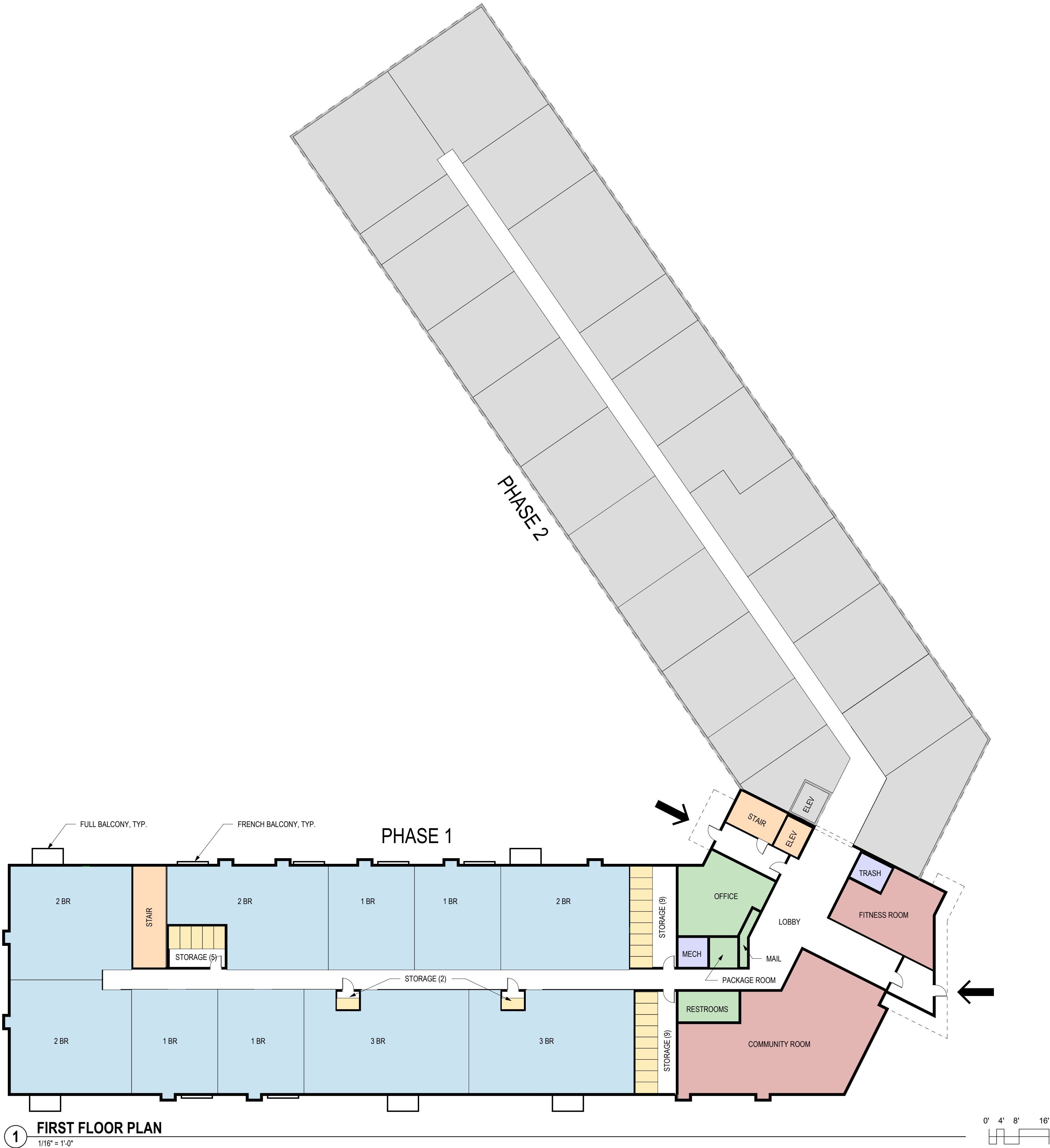
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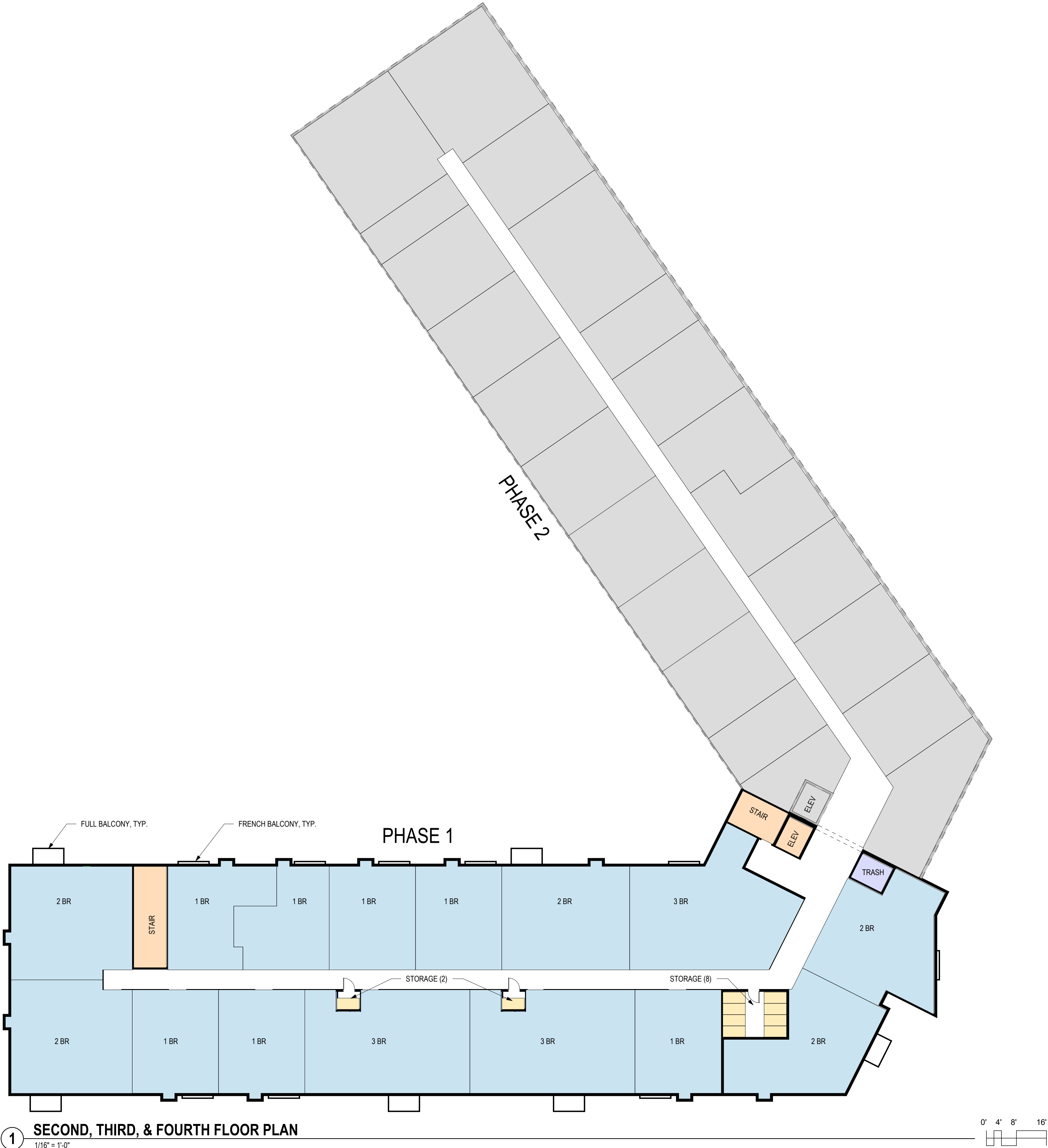
DESCRIPTION	DATE	16745 W. Bluemound Road Brookfield, WI 53005-5938 (262) 781-1000 rasmith.com	Brookfield, WI Milwaukee, WI Appleton, WI Madison, WI Cedarburg, WI Naperville, IL Irvine, CA
MSP - MAYFAIR NORTH CITY OF WAUWATOSA		LANDSCAPE NOTES AND DETAILS	
© COPYRIGHT 2025 R.A. Smith, Inc.		DATE: 07/08/25	
SCALE: -		JOB NO. 3250016	
PROJECT MANAGER: ROB WILLIAMS, PLA		DESIGNED BY: REW	
CHECKED BY: REW		SHEET NUMBER	
		L200	



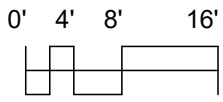
	1BR	2BR	3BR	TOTAL	STORAGE
FIRST FLOOR	4	4	2	10	25
SECOND FLOOR	7	5	3	15	10
THIRD FLOOR	7	5	3	15	10
FOURTH FLOOR	7	5	3	15	10
TOTAL	26	19	11	55	56



	1BR	2BR	3BR	TOTAL	STORAGE
FIRST FLOOR	4	4	2	10	25
SECOND FLOOR	7	5	3	15	10
THIRD FLOOR	7	5	3	15	10
FOURTH FLOOR	7	5	3	15	10
TOTAL	26	19	11	55	56



1 SECOND, THIRD, & FOURTH FLOOR PLAN
1/16" = 1'-0"



EXTERIOR MATERIALS PALETTE



PROJECT INSPIRATION



CLEAN LINES AND SIMPLE FORMS



SCANDINAVIAN COLOR PALETTE
CHARCOAL GRAY, BLACK, NATURAL WOOD TONE,
AND CRISP WHITE (WITH A SPLASH OF ACCENT
COLOR)



LARGE WINDOWS
MAXIMIZING NATURAL LIGHT



INTEGRATED OUTDOOR SPACES
BALCONIES & PATIOS



VIEW FROM SOUTHEAST - PHASES 1 AND 2



VIEW FROM SOUTHEAST - PHASE 1 ONLY



VIEW FROM WEST - PHASES 1 AND 2



VIEW FROM WEST - PHASE 1 ONLY



VIEW FROM SOUTH - PHASES 1 AND 2



VIEW FROM SOUTH - PHASE 1 ONLY



VIEW FROM NORTHWEST - PHASE 1 ONLY



VIEW FROM NORTHWEST - PHASES 1 AND 2



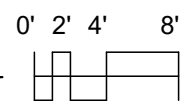
VIEW FROM SOUTHWEST - PHASES 1 AND 2



VIEW FROM NORTHWEST - PHASE 1



① SOUTH ELEVATION
3/32" = 1'-0"





④ **WEST ELEVATION**
1/16" = 1'-0"



③ **EAST ELEVATION**
1/16" = 1'-0"



② **NORTH ELEVATION**
1/16" = 1'-0"

