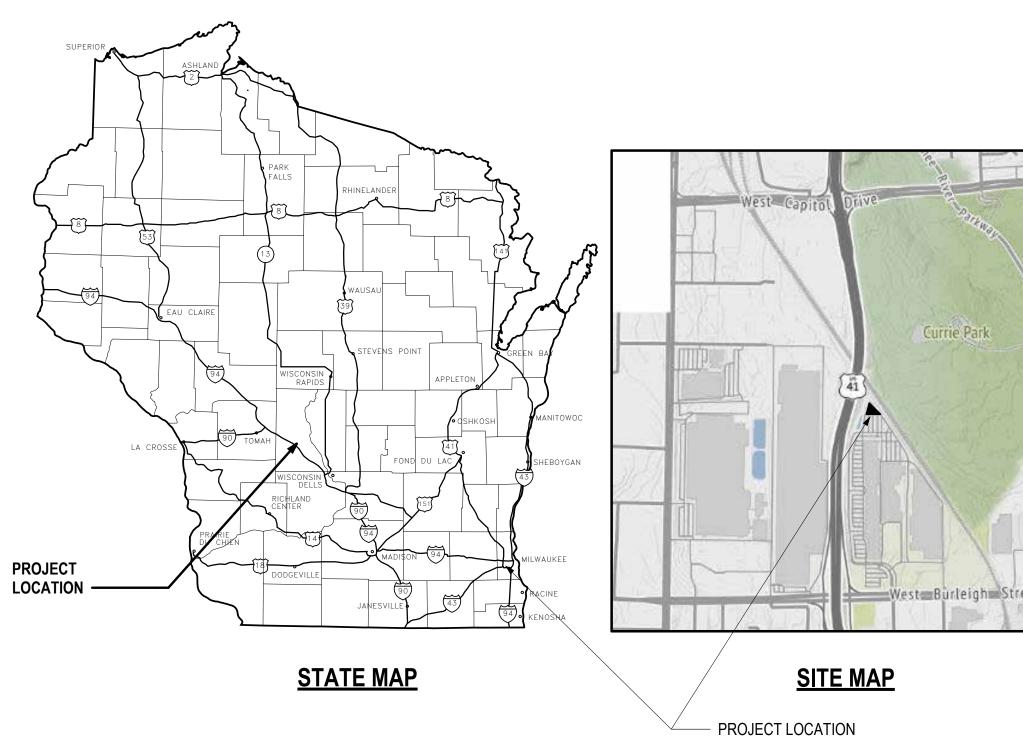
## DIMENSION Madison Design Group

architecture · interior design · planning 6515 Grand Teton Plaza, Suite 120, Madison, Wisconsin 53719 p608.829.4444 f608.829.4445 dimensionivmadison.com

# MAYFAIR 2

FOUNDRY WAY, WAUWATOSA, WI



Architecture :	<b>Dim</b> 651
Developer:	p: 6 <b>MSI</b> 790 p: 4
Civil Engineering:	p: 1 <b>CJ I</b> 920 p: 4
Landscape Architecture	<b>raS</b> 167 p:26

SUBTOTAL: 55	
PHASE 2:	LIST OF DRAWINGS
<u>FLOOR: 1 2 3 4 TOTAL</u>	SHEET NO. SHEET NAME
1 BED- 11 12 13 12 48 2 BED- 4 4 4 3 15 STUDIO- 3 2 1 1 7	G1-0COVER SHEETG2-0SITEG3-0SITE PHOTOSG4-0EXISTING PROJECT PHOTOSG5-0PEDESTRIAN CONNECTIVITY PLAN
SUBTOTAL: 70	AL1.0SITE SURVEYC2.0SITE PLANEXHIBITPHASE 1 - SITE PLANL100SITE LANDSCAPE PLAN
TOTAL UNITS: 125	L200 LANDSCAPE NOTES AND DETAILS A1-0 BASEMENT PLAN
<u>PARKING</u> SURFACE PARKING: 67 UNDERGROUND PARKING: 78 TOTAL PARKING STALLS: 145	A1-1FIRST FLOOR PLANA1-2SECOND, THIRD, & FOURTH FLOOR PLANA2-0MATERIAL SAMPLESA2-1PERSPECTIVE ELEVATIONA2-2PERSPECTIVE ELEVATIONA2-3PERSPECTIVE ELEVATIONA2-4PERSPECTIVE ELEVATIONA2-5PERSPECTIVE ELEVATIONA2-6EXTERIOR ELEVATIONA2-7EXTERIOR ELEVATION

DESIGN REVIEW BOARD SUBMITTAL

07/08/2025

<u>PHASE 1:</u>

FLOOR:

1 BED-

2 BED-

3 BED-

<u>1 2 3 4 TOTAL</u>

4 7 7 7 25

4 5 5 5 19

2 3 3 3 11

## nension IV - Madison Design Group

15 Grand Teton Plaza, Suite 120, Madison, WI 53719 608.829.4444 www.dimensionivmadison.com

## **SP Real Estate**

01 West National Avenue, West Allis, WI 53214 14.259.2108 www.msprealestateinc.com

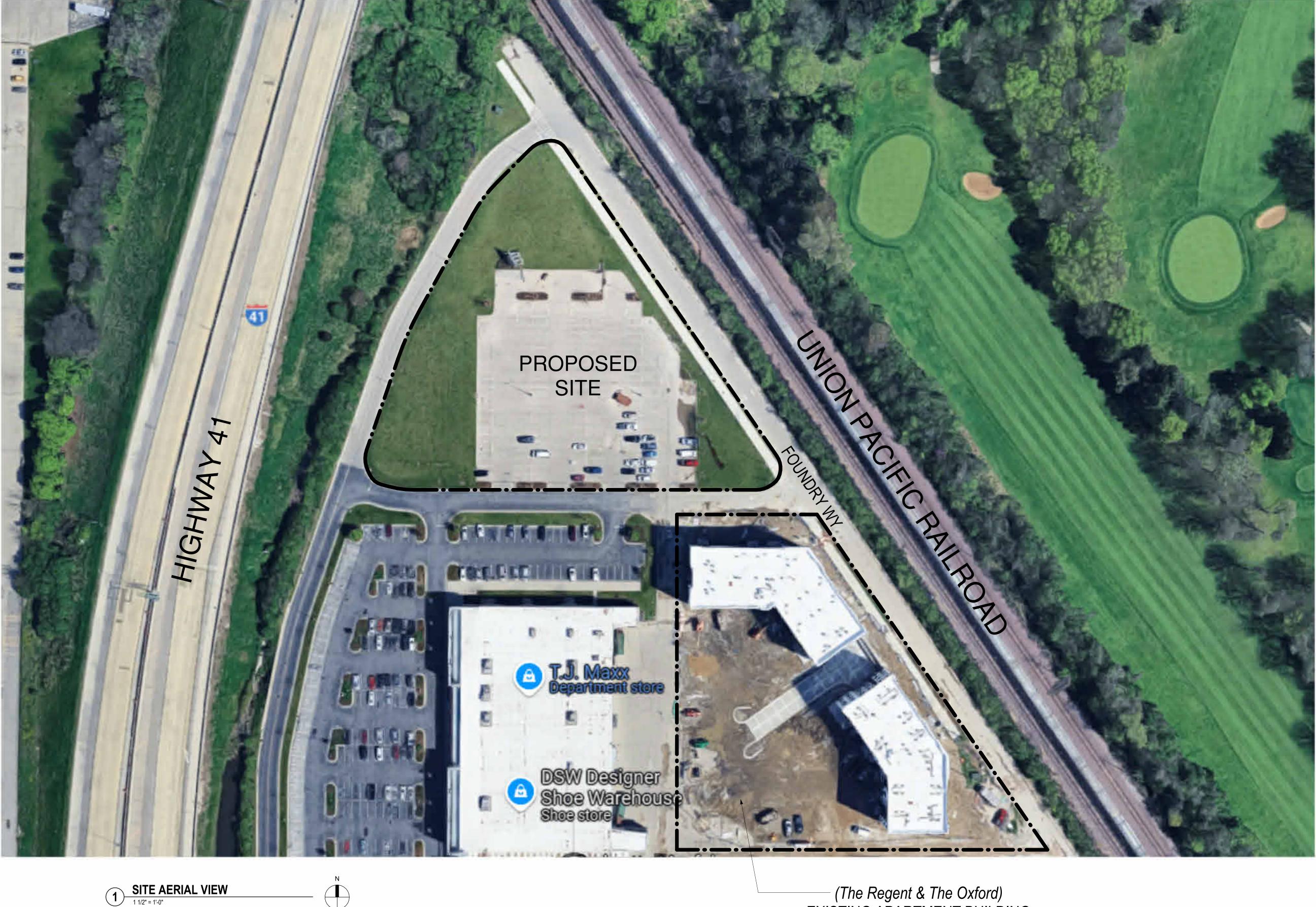
## Engineering

05 West Center Street, Suite 214, Milwaukee, WI 53222 114.443.1312 www.cj-engineering.com

## Smith

745 W. Bluemound Road, Brookfield, WI 53005-5938 262.781.1000 www.rasmith.com







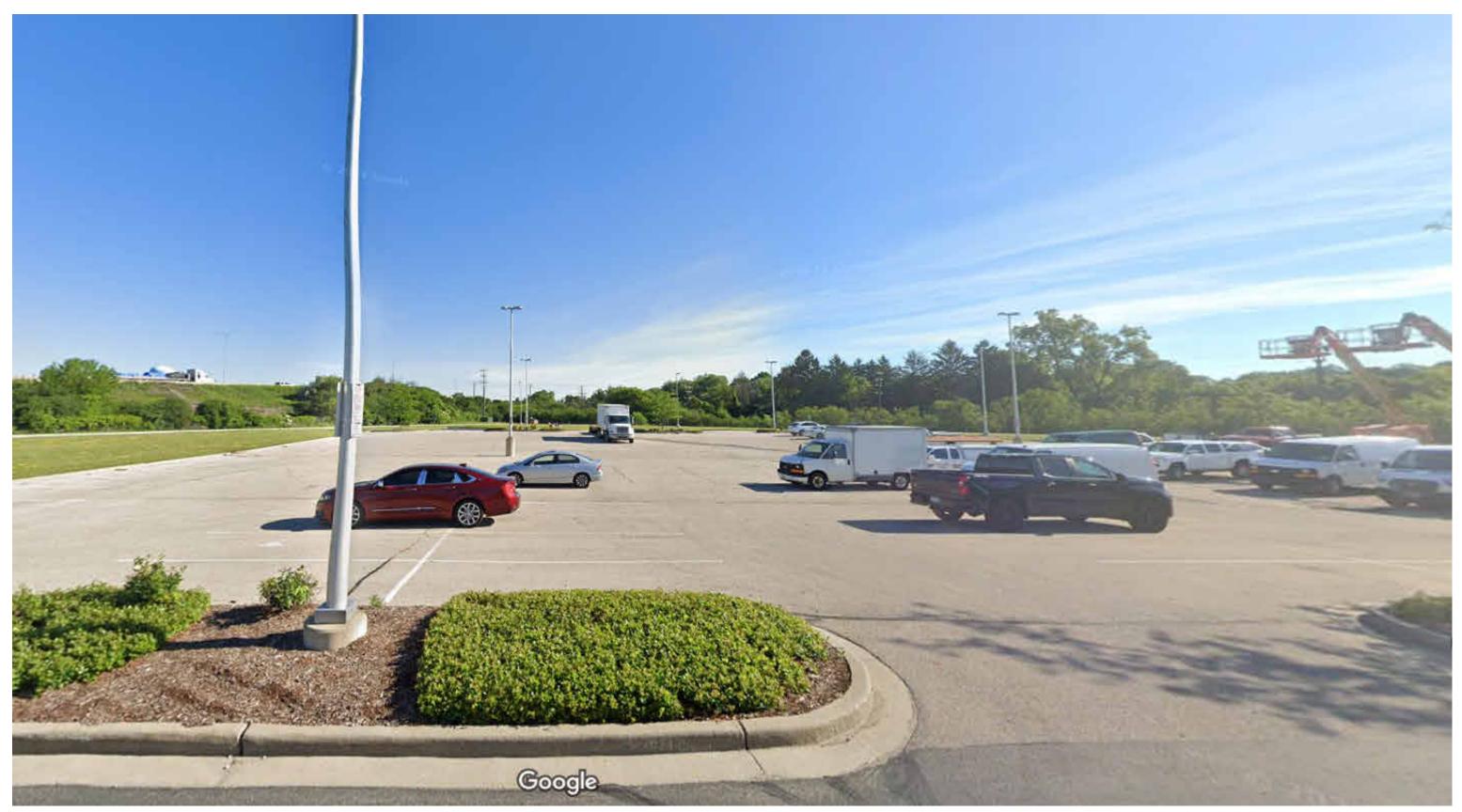


(The Regent & The Oxford) EXISTING APARTMENT BUILDING



FOUNDRY WAY, WAUWATOSA, WI

SITE 07/08/2025 24106



VIEW LOOKING FROM NORTH TOWARDS THE SITE



## VIEW LOOKING FROM SOUTH TOWARDS THE SITE



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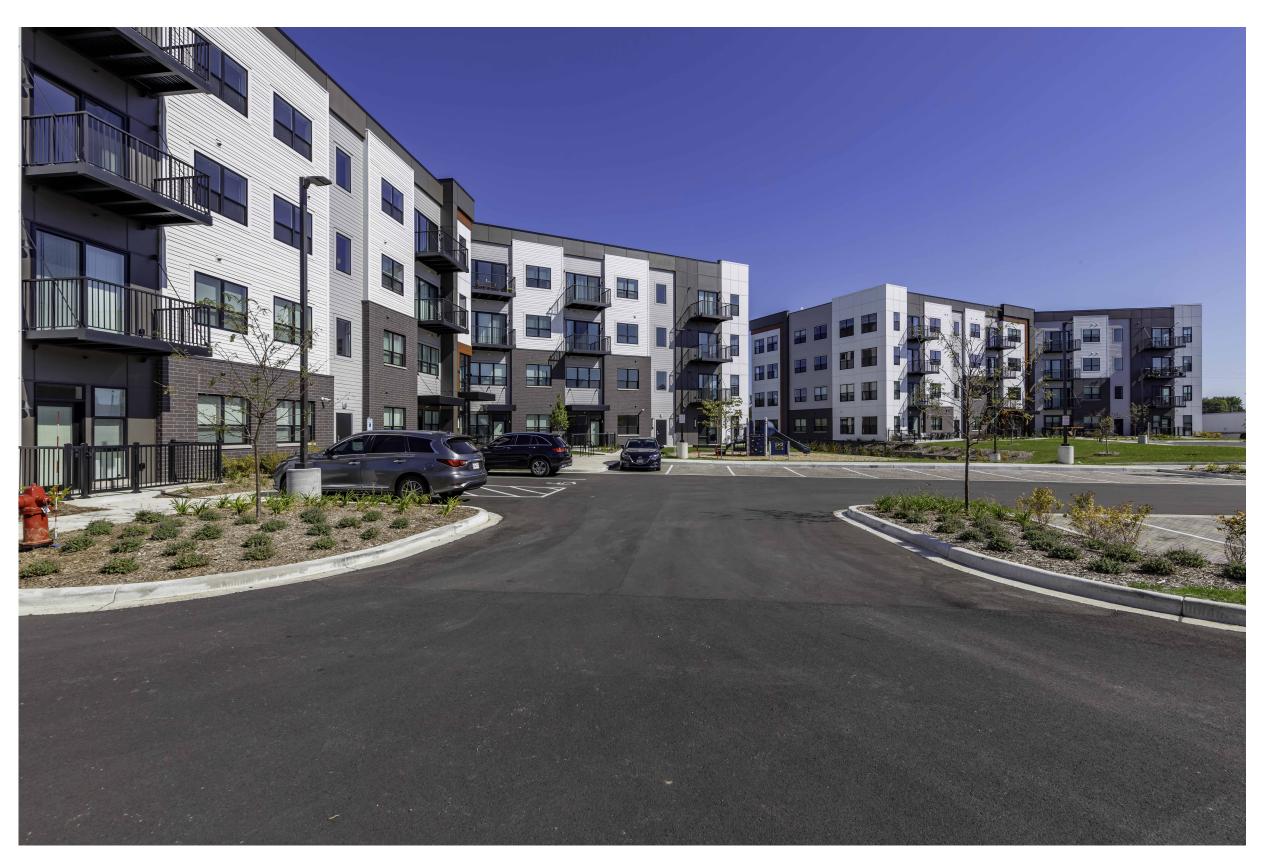
VIEW LOOKING FROM EAST TOWARDS THE SITE



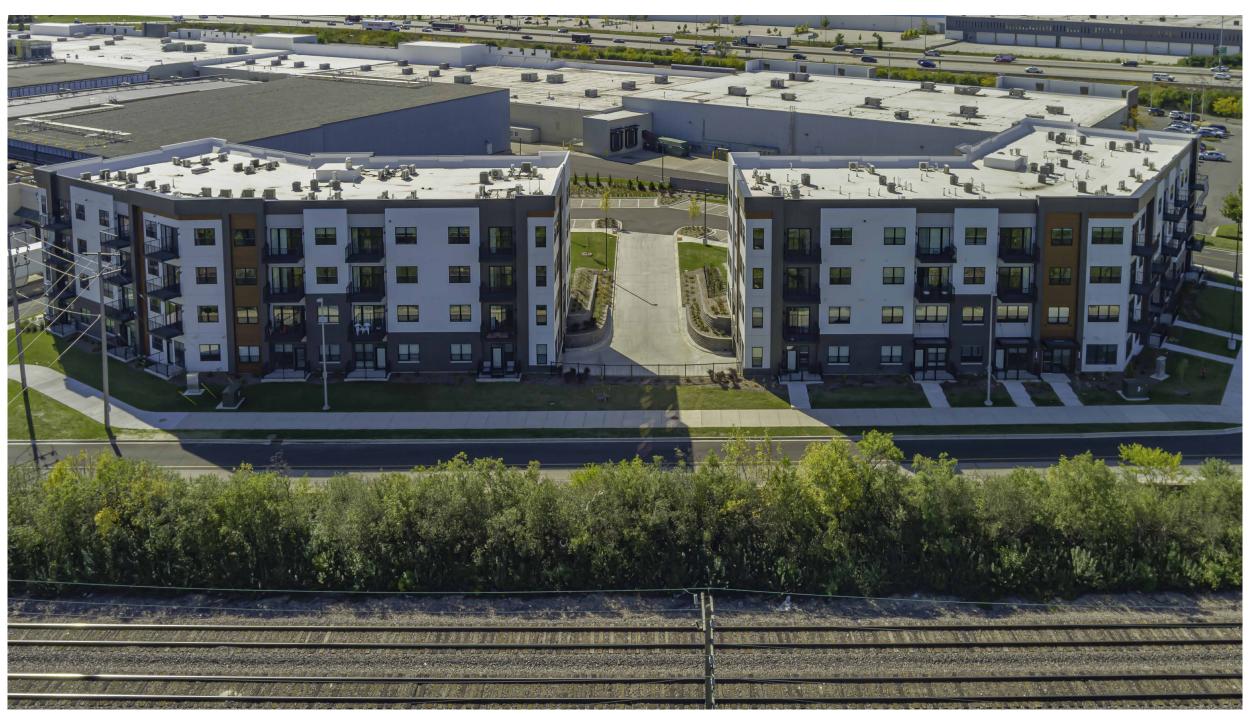


FOUNDRY WAY, WAUWATOSA, WI SITE PHOTOS 07/08/2025 24106

## PHOTOS OF The Regent & The Oxford, (EXISTING APARTMENT BUILDINGS AT 3325 AND 3375 FOUNDRY WAY)



VIEW LOOKING I



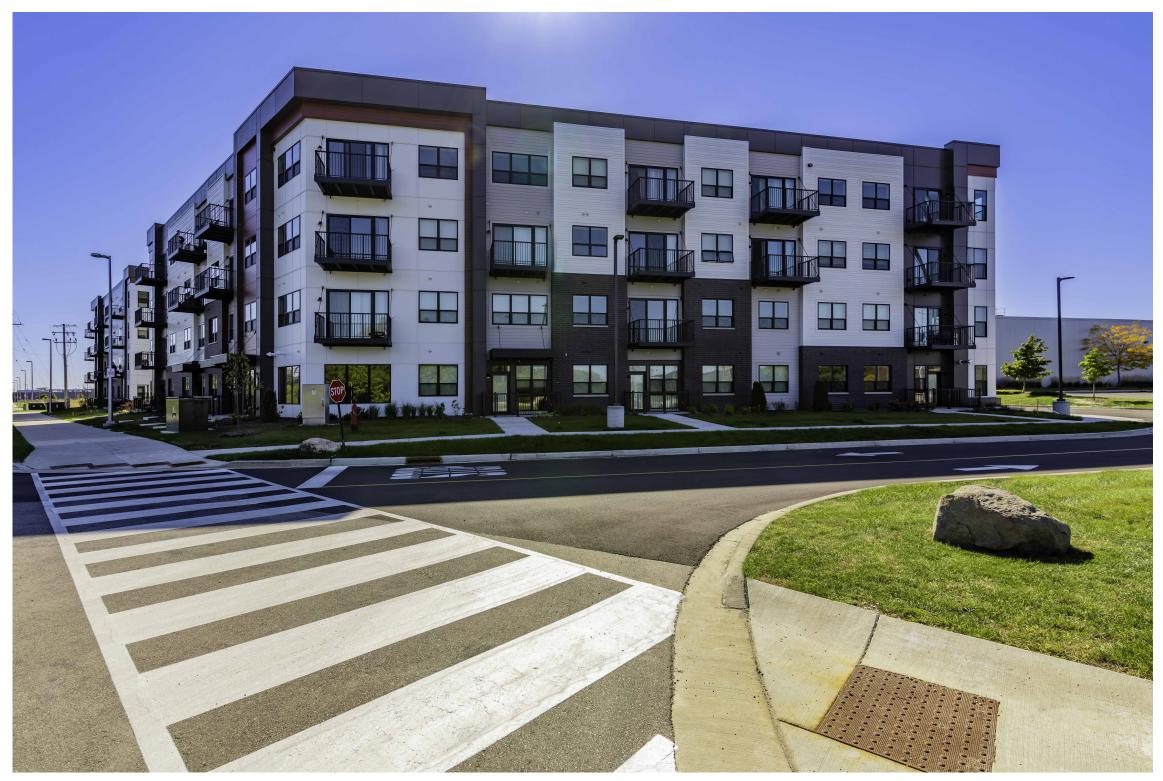
VIEW LOOKING NORTH FROM SOUTH



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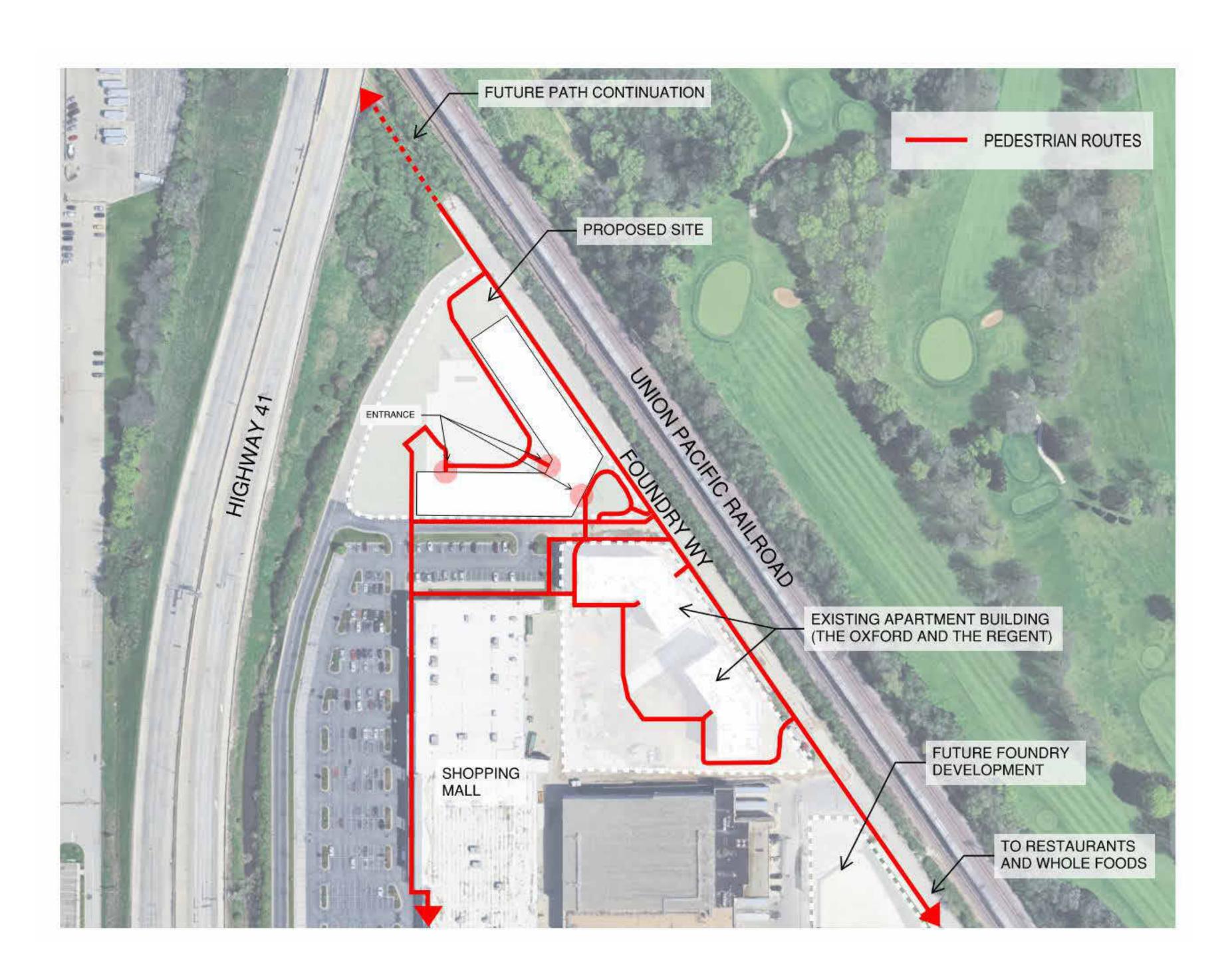
VIEW OF BUILDING A



VIEW LOOKING FROM SITE TO EXISTING BUILDING



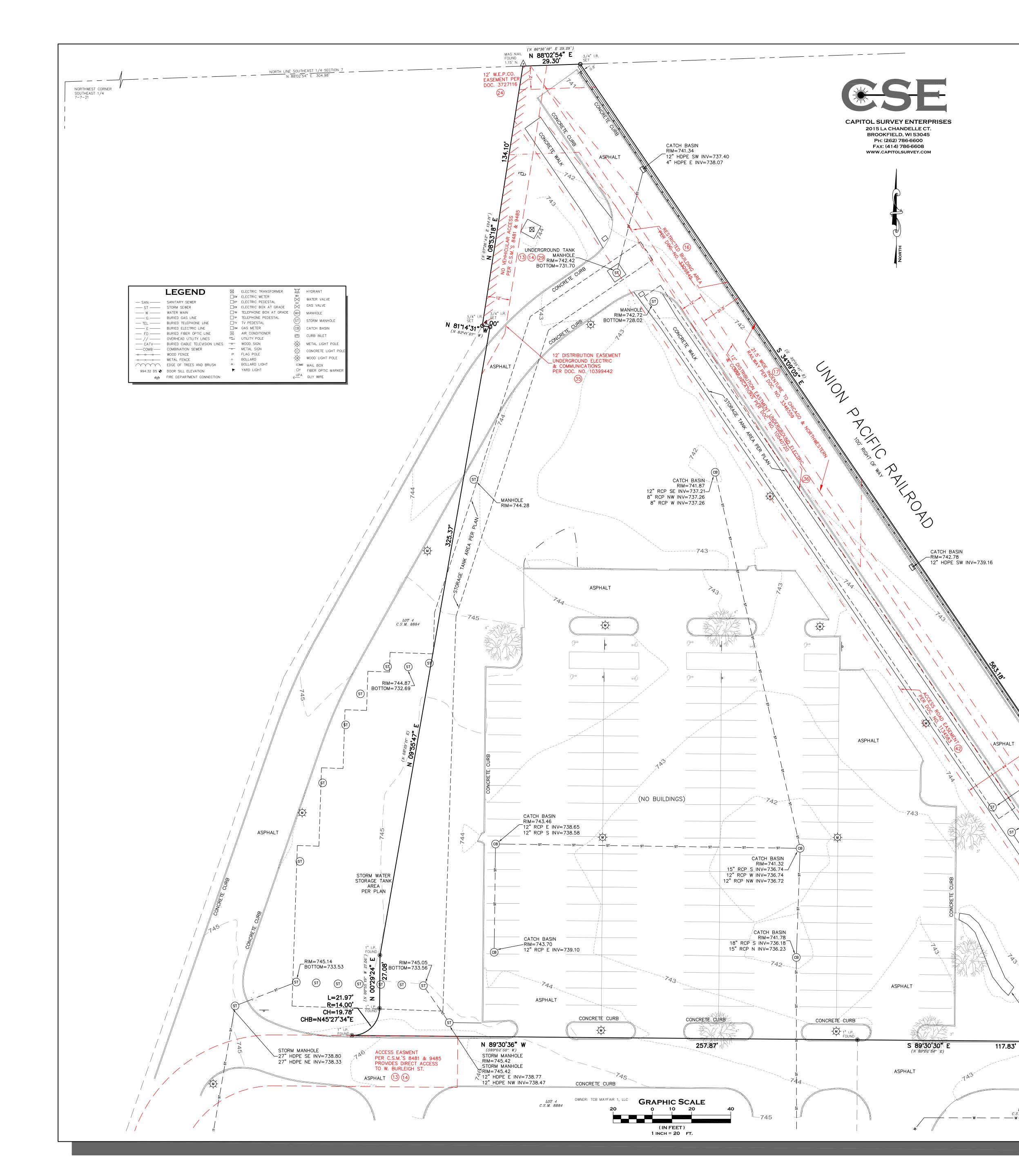
FOUNDRY WAY, WAUWATOSA, WI EXISTING PROJECT PHOTOS 07/08/2025 24106







FOUNDRY WAY, WAUWATOSA, WI PEDESTRIAN CONNECTIVITY PLAN 07/08/2025 24106



### LEGAL DESCRIPTION LOT 1 OF CERTIFIED SURVEY MAP NO. 9485 RECORDED IN THE OFFICE OF THE REGISTER OF DEEDS FOR MILWAUKEE COUNTY, WISCONSIN ON APRIL 27, 2023, AS DOCUMENT NO. 11333078, SAID CERTIFIED SURVEY MAP BEING A REDIVISION OF LOT 3 OF CERTIFIED SURVEY MAP NO. 8481, BEING PART OF THE NORTHWEST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 7, TOWNSHIP 7 NORTH, RANGE 21 EAST IN THE CITY OF WAUWATOŚA, MILWAUKEE COUNTY, WISCONSIN.

### MISCELLANEOUS NOTES

1. THIS SURVEY WAS MADE IN ACCORDANCE WITH LAWS AND/OR MINIMUM STANDARDS OF THE STATE OF WISCONSIN.

2. THE PROPERTY DESCRIBED HEREON (THE "PROPERTY") IS THE SAME AS THE PROPERTY DESCRIBED IN FIRST AMERICAN TITLE INSURANCE COMPANY COMMITMENT NO. NCS-1243505-MAD, WITH A COMMITMENT DATE: DECEMBER 04, 2024 AT 7:30 AM AND THAT ALL EASEMENTS, COVENANTS AND RESTRICTIONS REFERENCED IN SAID TITLE COMMITMENT OR APPARENT FROM A PHYSICAL INSPECTION OF THE PROPERTY OR OTHERWISE KNOWN TO ME HAVE BEEN PLOTTED HEREON OR OTHERWISE NOTED AS TO THEIR EFFECT ON THE PROPERTY.

3. THE UNDERGROUND UTILITY INFORMATION AS SHOWN HEREON IS BASED, IN PART, ON INFORMATION FURNISHED BY THE UTILITY COMPANIES, DIGGERS HOTLINE AND THE LOCAL MUNICIPALITY. WHILE THIS INFORMATION IS BELIEVED TO BE RELIABLE, ITS ACCURACY AND COMPLETENESS CANNOT BE GUARANTEED NOR CERTIFIED TO.

4. NO ZONING INFORMATION PROVIDED BY INSURER AT THE TIME OF SURVEY. FOLLOWING ZONING NOTES 5-7 FOR INFORMATIONAL PURPOSES ONLY AND CANNOT BE CERTIFIED TO.

5. THE ABOVE DESCRIBED PROPERTY AS SHOWN HEREON CONTAINS: 116,256 SQUARE FEET OR 2.6689 ACRES.

6. SUBJECT PROPERTY HAS DIRECT ACCESS TO WEST BURLEIGH STREET, A DEDICATED PUBLIC STREETS OR HIGHWAYS THROUGH AN ACCESS EASEMENT AS PLOTTED HEREON. 7. THE TOTAL NUMBER OF STRIPED PARKING SPACES ON THE PROPERTY IS 159,

OF WHICH 150 ARE REGULAR PARKING SPACES AND 9 ARE DESIGNATED DISABLED SPACES, AND TO THE EXTENT POSSIBLE, ARE GRAPHICALLY SHOWN HEREON. 8. SUBJECT PROPERTY IS LOCATED WITHIN AN AREA HAVING A ZONE

DESIGNATION X: AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOOD PLAIN PER INFORMATION FROM THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA), ON FLOOD INSURANCE RATE MAP NO. 55079C0058E, WITH A DATE OF IDENTIFICATION OF SEPTEMBER 26, 2008, IN COMMUNITY NO. 550284, THE CITY OF WAUWATOSA, WHICH IS THE COMMUNITY IN WHICH THE SUBJECT PROPERTY IS SITUATED.

9. THERE IS NO OBSERVED EVIDENCE OF CURRENT EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS ON THE PROPERTY AT TIME OF SURVEY.

10. THERE IS NO INFORMATION AVAILABLE FROM THE CITY OF WAUWATOSA REGARDING PROPOSED CHANGES IN STREET RIGHT OF WAY LINES ADJOINING THE PROPERTY AT THE TIME OF SURVEY. 11. ALL BEARINGS ARE REFERENCED TO THE WISCONSIN COUNTY COORDINATE SYSTEM, MILWAUKEE COUNTY.

12. ELEVATIONS REFER TO THE NORTH AMERICAN VERTICAL DATUM OF 1988(NAVD88).

TO; MSP REAL ESTATE, INC., A MINNESOTA CORPORATION, BURLEIGH NORTH TRIANGLE, LLC, AN ILLINOIS LIMITED LIABILITY COMPANY, AS TO AN UNDIVIDED 16.419% INTEREST, JES BURLEIGH NORTH TRIANGLE, LLC, AN ILLINOIS LIMITED LIABILITY COMPANY AS TO AN UNDIVIDED 30.990% INTEREST, RES BURLEIGH NORTH TRIANGLE, LLC, AN ILLINOIS LIMITED LIABILITY COMPANY AS TO AN UNDIVIDED 12.990% INTEREST, TCB BURLEIGH NORTH TRIANGLE, LLC, AN ILLINOIS LIMITED LIABILITY COMPANY AS TO AN UNDIVIDED 27.621% INTEREST, DFM BURLEIGH NORTH TRIANGLE, LLC, AN ILLINOIS LIMITED LIABILITY COMPANY AS TO AN UNDIVIDED 5.990% INTEREST, AND EEO BURLEIGH NORTH TRIANGLE, LLC, AN ILLINOIS LIMITED LIABILITY COMPANY AS TO AN UNDIVIDED 5.990% INTEREST, AS TENANTS IN COMMON, FIRST AMERICAN TITLE INSURANCE COMPANY: THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE

MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 5, 6(a)(b), 7(a)(b)(1)(c), 8, 9, 11(a)(b), 13, 16, 17 AND 18 OF TABLE A THEREOF. THE FIELDWORK WAS COMPLTED ON JANUARY 9, 2025.

JANUARY 10, 2025

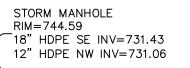
MANHOLF

∼RIM=744.64

BOTTOM=727.95

MICHAEL J. BERKY. S-2545 REGISTERED LAND SURVEYOR





-ÈÀ

-GUARD RAIL

STORM MANHOLE

12" HDPE SW INV=737.87

RIM=742.63

CHISELED 74.19'18 CROSS N (5 72'52'42" SANITARY & STORM SEWER EASEMENT PER DOCUMENT NO. 11364584 

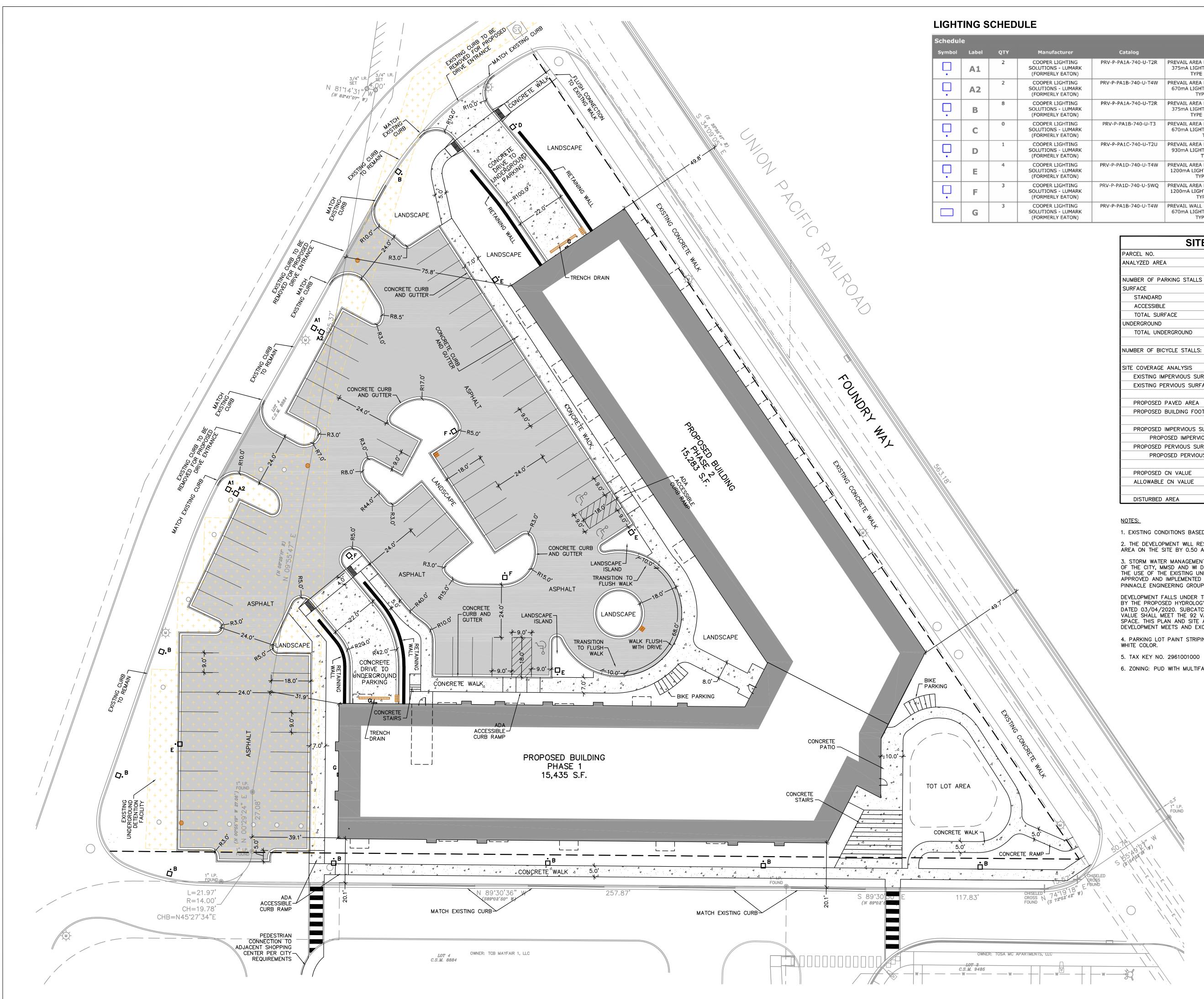
CONCRETE CURB OWNER: TOSA MC APARTMENTS, LLC CURB INLET RIM=742.23→

<u>SCHEDULE B, PART</u> (13) ACCESS RESTRICTION

AFFECTS

- 14 EASEMENTS, DEDICATI AND ANY OTHER MAT
- 9485 RECORDED AP DESCRIPTION CONTA MADE TO SAID PLAT AFFECTS
- 15 EASEMENT FOR SAN CONTROLS CORPORA
- RECORDED APRIL 19, THE TERMS BEING M DOES NOT
- (16) RESTRICTIONS CONT 3309845. AFFECTS
- (17) RIGHTS OF THE CHIC UNDER AN INDENTUR
- AFFECTS 18 UTILITY EASEMENT G
- MAY AFFE 19 COVENANTS, CONDIT DEED PROVIDED FOR RELEASE OF RESTRIC
- RELEASE OF RESTRIC AFFECTS 20 WISCONSIN ELECTRIC DOCUMENT NO. 364
- DOES NOT 21 UTILITY EASEMENT G NO. 3645993.
- DOES NOT 22 EASEMENT GRANTED COMPANY RECORDED DOES NO
- 23 UTILITY EASEMENT COMPANY RECORDED
- MAY AFFE (24) UTILITY EASEMENT G 1959 AS DOCUMENT
- AFFECTS 25 EASEMENT GRANTED COMPANY RECORDED MAY AFFE
- 26 EASEMENTS GRANTED AND EXISTING UNDER INSTRUMENT RECORD NO. 3923550. UNABLE
- 27 WATERMAIN EASEMEI DOCUMENT NO. 4076 DOES NOT
- 28 EASEMENT DEED BY COMPANY RECORDED DOES NO
- 29 LIMITATIONS ON ACC DOCUMENT NO. 424 AFFECTS **30** EASEMENT GRANTED
- DOCUMENT NO. 426 DOES NOT 31 WISCONSIN GAS COR CORPORATION RECO
- DOES NOT 32 UTILITY EASEMENT G
- NO. 4535959. DOES NOT 33 WISCONSIN GAS COMP DOCUMENT NO. 68690
- DOES NOT 34 EASEMENT AGREEME MODIFICATION AND/ AGREEMENT RECORD MODIFICATION AND/ AGREEMENT RECORD
- AFFECTS 5) THIRD AMENDED AND AND COMMUNICATION CORPORATION DOING WISCONSIN BELL, INC
- RECORDED ON SEPT AFFECTS 36 DISTRIBUTION EASEM ELECTRIC POWER CC WARNER ENTERTAINM WISCONSIN, A WISCO 10399443.
- AFFIDAVIT OF CORRE AFFECTS
- **37** DISTRIBUTION EASEM WISCONSIN LIMITED ENTERTAINMENT CO WISCONSIN CORPORA AFFIDAVIT OF CORRE DOES NOT
- 38 DISTRIBUTION EASEM ELECTRIC POWER CC WISCONSIN BELL, INC RECORDED ON MARC DOES NOT
- 39 WATER MAIN EASEMF DOCUMENT NO. 106 DOES NOT
- 40 RECIPROCAL EASEME DOCUMENT NO. 1064 TO RECIPROCAL EAS RECORDING INFORMA AFFECTS 41 UTILITY EASEMENT
- WISCONSIN GAS LLC, ENERGIES, DATED JU DOES NOT
- (42) ACCESS ROAD EASE AFFECTS
- (43) SANITARY AND STOP DATED: AUGUST 29, PARTIES: BURLEIGH RETAIL, LLC, AN ILLI LLC, AN ILLINOIS LI AN ILLINOIS LIMITED ILLINOIS LIMITED LIA AN ILLINOIS LIMITED LLC, AN ILLINOIS LI TRIANGLE, L.L.C., AI NORTH TRIANGLE, L TRIANGLE, LLC, AN III, LLC, AN ILLINOIS RECORDED: SEPTEME **INSTRUMENT NO.: 1**
- FFECTS P 44 EASEMENT FOR WAT BY INSTRUMENT REC

<u> </u>	-EXCEPTIONS	
	S AND EASEMENTS AS SET FORTH ON CERTIFIED SURVEY MAP NO. 8481. ROPERTY AS PLOTTED HEREON	
IAT PRI AIN AT	ONS, RESERVATIONS, PROVISIONS, RELINQUISHMENTS, RECITALS, CERTIFICATES, TERS AS PROVIDED FOR OR DELINEATED ON CERTIFIED SURVEY MAP NO. IL 27, 2023, AS DOCUMENT NO. 11333078 REFERENCED IN THE LEGAL IED HEREIN. REFERENCE IS HEREBY FOR PARTICULARS. ROPERTY AS PLOTTED HEREON	
ат 9, МО	ARY SEWER INTO BY AND BETWEEN MOHAWK REFRIGERATING COMPANY, A P ION AND BRIGGS & STRATTON CORPORATION, DATED APRIL 18, 1951 AND 1951 IN VOLUME 2871 OF DEEDS ON PAGE 603, AS DOCUMENT NO. 3019445, DIFIED BY THAT INSTRUMENT RECORDED AS DOCUMENT NO. 3409545. AFFECT PROPERTY - NOTHING PLOTTED	
	NED IN A WARRANTY DEED RECORDED ON JULY 12, 1954 AS DOCUMENT NO. ROPERTY AS PLOTTED HEREON	
JRE	AGO AND NORTH WESTERN RAILWAY COMPANY, A WISCONSIN CORPORATION, E RECORDED ON NOVEMBER 19, 1954, AS DOCUMENT NO. 3346559. ROPERTY AS PLOTTED HEREON	
EC	ANTED TO WISCONSIN ELECTRIC POWER COMPANY DOCUMENT NO. 3356612. T PROPERTY BY LOCATION - UNABLE TO PLOT, SUBSTATION GONE	
R	DNS, RESTRICTIONS, EASEMENTS AND CHARGES SET FORTH IN WARRANTY IN AN INSTRUMENT RECORDED AS DOCUMENT NO. 3409545. TIONS CONTAINED IN AN INSTRUMENT RECORDED AS DOCUMENT NO. 3625602.	
PF	TIONS CONTAINED IN AN INSTRUMENT RECORDED AS DOCUMENT NO. 3681997. ROPERTY BY LOCATION - NOTHING TO PLOT	
459 )T	POWER COMPANY RECORDED MARCH 27, 1958 ON DEED 3798, PAGE 419 AS 992. AFFECT PROPERTY — NOTHING TO PLOT	
)T	AFFECT PROPERTY - NOTHING TO PLOT	
ED )T	TO WISCONSIN ELECTRIC POWER COMPANY AND WISCONSIN TELEPHONE AS DOCUMENT NO. 3657838. AFFECT PROPERTY - NOTHING TO PLOT	
ED EC GR T 1	WISCONSIN ELECTRIC POWER COMPANY AND WISCONSIN TELEPHONE AS DOCUMENT NO. 3683185. T PROPERTY BY LOCATION – UNABLE TO PLOT, SUBSTATION GONE RANTED TO WISCONSIN ELECTRIC POWER COMPANY RECORDED ON APRIL 13, NO. 3727116. ROPERTY AS PLOTTED HEREON	
ED	TO WISCONSIN ELECTRIC POWER COMPANY AND WISCONSIN TELEPHONE AS DOCUMENT NO. 3847693. T PROPERTY BY LOCATION - UNABLE TO PLOT, SUBSTATION GONE	
er Rde	TO KOHL'S WAREHOUSE CORPORATION, A CORPORATION DULY ORGANIZED AND BY VIRTUE OF THE LAWS OF THE STATE OF WISCONSIN RECORDED IN ED DECEMBER 21, 1961 IN VOLUME 4203 OF DEEDS, PAGE 72 AS DOCUMENT DETERMINE LOCATION - BUILDING GONE	
769	TS GRANTED TO CITY OF WAUWATOSA RECORDED AS DOCUMENT NO. 3941267, 990 AND DOCUMENT NO. 4271303. AFFECT PROPERTY — NOTHING PLOTTED	
ED	AND BETWEEN ROUNDY'S, INC. AND CHICAGO AND NORTHWESTERN RAILWAY ON NOVEMBER 5, 1962 AS DOCUMENT NO. 3985559. AFFECT PROPERTY — NOTHING PLOTTED	
475	ISS AS SET FORTH IN AWARD OF DAMAGES RECORDED ON APRIL 7, 1966, AS 574. ROPERTY AS PLOTTED HEREON	
636 )T	TO WISCONSIN TELEPHONE COMPANY RECORDED ON JUNE 29, 1966 AS 515. AFFECT PROPERTY – NOTHING TO PLOT	
	ORATION EASEMENT GRANTED TO WISCONSIN GAS COMPANY, A WISCONSIN DED ON NOVEMBER 29, 1993 AS DOCUMENT NO. 6863226. AFFECT PROPERTY - NOTHING TO PLOT	
)T	ANTED TO WISCONSIN ELECTRIC POWER COMPANY RECORDED AS DOCUMENT AFFECT PROPERTY – NOTHING TO PLOT PANY CORPORATION EASEMENT RECORDED ON DECEMBER 10, 1993 AS	
696 )T	AFFECT PROPERTY - NOTHING TO PLOT T RECORDED ON JANUARY 4, 2007, AS DOCUMENT NO. 9363400.	
	R AMENDMENT BY INSTRUMENT: AMENDED AND RESTATED EASEMENT NG INFORMATION: APRIL 12, 2013 AS DOCUMENT NO. 10237291	
DIN Pf	R AMENDMENT BY INSTRUMENT: THIRD AMENDED AND RESTATED EASEMENT IG INFORMATION: FEBRUARY 13, 2023 AS DOCUMENT NO. 11317498 ROPERTY BY DESCRIPTION – UNABLE TO PLOT	
DNS IG NC. TEN	RESTATED EASEMENT AGREEMENT EASEMENT FOR UNDERGROUND ELECTRIC S GRANTED TO WISCONSIN ELECTRIC POWER COMPANY, A WISCONSIN BUSINESS AS WE ENERGIES, TIME WARNER ENTERTAINMENT COMPANY, LP AND , DOING BUSINESS AS AT&T WISCONSIN, A WISCONSIN CORPORATION MBER 30, 2014 AS DOCUMENT NO. 10399442. ROPERTY AS PLOTTED HEREON	
OM NME	NT UNDERGROUND ELECTRIC AND COMMUNICATIONS GRANTED TO WISCONSIN IPANY, A WISCONSIN CORPORATION DOING BUSINESS AS WE ENERGIES , TIME ENT COMPANY, LP AND WISCONSIN BELL, INC. DOING BUSINESS AS AT&T ISIN CORPORATION, RECORDED ON SEPTEMBER 30, 2014 AS DOCUMENT NO.	
Pf ME	CTION, RECORDED FEBRUARY 17, 2016 AS DOCUMENT NO. 10540720. ROPERTY AS PLOTTED HEREON	
OMF RAT REC	ABILITY COMPANY DOING BUSINESS AS WE ENERGIES , TIME WARNER PANY, LP AND WISCONSIN BELL, INC. DOING BUSINESS AS AT&T WISCONSIN, A TON, RECORDED ON SEPTEMBER 30, 2014 AS DOCUMENT NO. 10399444. CTION, RECORDED FEBRUARY 17, 2016 AS DOCUMENT NO. 10540721. AFFECT PROPERTY - NOTHING PLOTTED	
CN NC. RCH	NT UNDERGROUND ELECTRIC AND COMMUNICATIONS GRANTED TO WISCONSIN IPANY, A WISCONSIN CORPORATION DOING BUSINESS AS WE ENERGIES AND DOING BUSINESS AS AT&T WISCONSIN, A WISCONSIN CORPORATION, 1 07, 2016 AS DOCUMENT NO. 10545013. AFFECT PROPERTY – NOTHING PLOTTED	
525	NT GRANTED TO CITY OF WAUWATOSA RECORDED ON NOVEMBER 21, 2016 AS 5233. AFFECT PROPERTY – NOTHING PLOTTED	
541 SE IAT	IT AND OPERATION AGREEMENT RECORDED ON JANUARY 17, 2017, AS 155. MODIFICATION AND/OR AMENDMENT BY INSTRUMENT: FIRST AMENDMENT MENT AND OPERATION AGREEMENT ION: SEPTEMBER 06, 2023 AS DOCUMENT NO. 11364688	
ТО С,	ROPERTY BY DESCRIPTION – GENERAL IN NATURE, NOTHING TO PLOT WISCONSIN ELECTRIC POWER COMPANY, A WISCONSIN CORPORATION AND A WISCONSIN LIMITED LIABILITY COMPANY, BOTH DOING BUSINESS AS WE	
)T EM	Y 7, 2015, RECORDED/FILED APRIL 24, 2018 AS DOCUMENT NO. 10770298. AFFECT PROPERTY – NOTHING PLOTTED ENT RECORDED ON SEPTEMBER 06, 2023 AS DOCUMENT NO. 11364583 ROPERTY AS PLOTTED HEREON	
DRN 9, 1	1 SEWER EASEMENT AGREEMENT: 2023 -5, LLC, AN ILLINOIS LIMITED LIABILITY COMPANY, TCB BURLEIGH	
imi" D L ABI	IOIS LIMITED LIABILITY COMPANY, BURLEIGH MAYFAIR, TED LIABILITY COMPANY, TCB BURLEIGH MAYFAIR, LLC, JABILITY COMPANY, BURLEIGH NORTH TRIANGLE, LLC, AN LITY COMPANY, JES BURLEIGH NORTH TRIANGLE, LLC,	
IMI <sup>-</sup> AN LLC	JABILITY COMPANY, RES BURLEIGH NORTH TRIANGLE, TED LIABILITY COMPANY, TCB BURLEIGH NORTH ILLINOIS LIMITED LIABILITY COMPANY, DFM BURLEIGH C, AN ILLINOIS LIMITED LIABILITY, EEO BURLEIGH NORTH	
S L MBE 113	LINOIS LIMITED LIABILITY COMPANY AND TCB BURLEIGH IMITED LIABILITY COMPANY ER 06, 2023 664584	
TER	OPERTY AS PLOTTED HEREON R MAIN GRANTED TO THE CITY OF WAUWATOSA, A MUNICIPAL CORPORATION ORDED IN APRIL 30, 2024 AS DOCUMENT NO. 11416247. AFFECT PROPERTY - NOTHING PLOTTED	I
	ALTA/NSPS LAND TITLE SURVEY	
	MSP - MAYFAIR NORTH W. BURLEIGH ST. WAUWATOSA, WI	
	DRAWN BY: DHS DATE: JAN. 10, 2025	
	CHECKED BY: MJB DRAWING NO. AL - O	
	СSE ЈОВ NO.: <b>24-147</b> SHEET <b>1</b> ОF <b>1</b>	



Manufacturer	Catalog	Description	LLF	Input Power
OPER LIGHTING UTIONS - LUMARK DRMERLY EATON)	PRV-P-PA1A-740-U-T2R	PREVAIL AREA LUMINAIRE (1) 70 CRI, 4000K, 375mA LIGHT ENGINE WITH 24 LEDS AND TYPE II ROADWAY OPTICS	1	30.7
OPER LIGHTING UTIONS - LUMARK DRMERLY EATON)	PRV-P-PA1B-740-U-T4W	PREVAIL AREA LUMINAIRE (1) 70 CRI, 4000K, 670mA LIGHT ENGINE WITH 24 LEDS AND TYPE IV WIDE OPTICS	1	52.8
OPER LIGHTING UTIONS - LUMARK DRMERLY EATON)	PRV-P-PA1A-740-U-T2R	PREVAIL AREA LUMINAIRE (1) 70 CRI, 4000K, 375mA LIGHT ENGINE WITH 24 LEDS AND TYPE II ROADWAY OPTICS	1	30.7
OPER LIGHTING UTIONS - LUMARK DRMERLY EATON)	PRV-P-PA1B-740-U-T3	PREVAIL AREA LUMINAIRE (1) 70 CRI, 4000K, 670mA LIGHT ENGINE WITH 24 LEDS AND TYPE III OPTICS	1	52.8
OPER LIGHTING UTIONS - LUMARK DRMERLY EATON)	PRV-P-PA1C-740-U-T2U	PREVAIL AREA LUMINAIRE (1) 70 CRI, 4000K, 930mA LIGHT ENGINE WITH 24 LEDS AND TYPE II U OPTICS	1	72.1
OPER LIGHTING UTIONS - LUMARK DRMERLY EATON)	PRV-P-PA1D-740-U-T4W	PREVAIL AREA LUMINAIRE (1) 70 CRI, 4000K, 1200mA LIGHT ENGINE WITH 24 LEDS AND TYPE IV WIDE OPTICS	1	93.4
OPER LIGHTING UTIONS - LUMARK DRMERLY EATON)	PRV-P-PA1D-740-U-5WQ	PREVAIL AREA LUMINAIRE (1) 70 CRI, 4000K, 1200mA LIGHT ENGINE WITH 24 LEDS AND TYPE V WIDE OPTICS	1	93.4
OPER LIGHTING UTIONS - LUMARK DRMERLY EATON)	PRV-P-PA1B-740-U-T4W	PREVAIL WALL LUMINAIRE (1) 70 CRI, 4000K, 670mA LIGHT ENGINE WITH 24 LEDS AND TYPE IV WIDE OPTICS	1	52.8

SITE INFORM	<b>IATION</b>
PARCEL NO.	2961001000
ANALYZED AREA	99,076 S.F. (2.274 ACRES)
NUMBER OF PARKING STALLS	
SURFACE	
STANDARD	64
ACCESSIBLE	3
TOTAL SURFACE	67
UNDERGROUND	
TOTAL UNDERGROUND	86
NUMBER OF BICYCLE STALLS:	25
SITE COVERAGE ANALYSIS	
EXISTING IMPERVIOUS SURFACE AREA	49,731 SF (1.142 ACRES)
EXISTING PERVIOUS SURFACE AREA	49,346 SF (1.133 ACRES)
PROPOSED PAVED AREA	40,906 SF (0.939 ACRES)
PROPOSED BUILDING FOOTPRINT	30,718 SF (0.705 ACRES)
PROPOSED IMPERVIOUS SURFACE AREA	71,624 SF (1.644 ACRES)
PROPOSED IMPERVIOUS SITE PERCE	NTAGE 72%
PROPOSED PERVIOUS SURFACE AREA	27,452 SF (0.630 ACRES)
PROPOSED PERVIOUS SITE PERCENT	TAGE 28%
PROPOSED CN VALUE	91
ALLOWABLE CN VALUE	92
DISTURBED AREA	99,076 SF (2.274 ACRES)

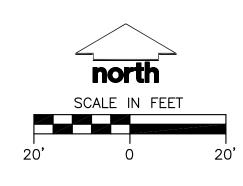
1. EXISTING CONDITIONS BASED ON SURVEY BY CAPITOL SURVEY ENTERPRISE 2. THE DEVELOPMENT WILL RESULT IN A INCREASE IN IMPERVIOUS SURFACE AREA ON THE SITE BY 0.50 ACRES.

3. STORM WATER MANAGEMENT FOR THIS SITE, MEETING THE REQUIREMENTS OF THE CITY, MMSD AND WI DNR 151 FOR REDEVELOPMENT WILL BE MET BY THE USE OF THE EXISTING UNDERGROUND DETENTION FACILITY DESIGNED, APPROVED AND IMPLEMENTED FROM THE PLAN & REPORT FURNISHED BY PINNACLE ENGINEERING GROUP DATED 07/10/2020.

DEVELOPMENT FALLS UNDER THE A4 SUBCATCHMENT LIMITS AS DELINEATED BY THE PROPOSED HYDROLOGY EXHIBIT BY PINNACLE ENGINEERING GROUP DATED 03/04/2020. SUBCATCHEMENT A4 SPECIFIES THAT THE SITE CN VALUE SHALL MEET THE 92 VALUE REQUIREMENT AND PROVIDE 25% GREEN SPACE. THIS PLAN AND SITE AREA ANALYSIS SHOWS THAT THIS DEVELOPMENT MEETS AND EXCEED THESE REQUIREMENTS.

4. PARKING LOT PAINT STRIPING SHALL BE A MINIMUM OF 3" AND IN A WHITE COLOR.

6. ZONING: PUD WITH MULTIFAMILY USE

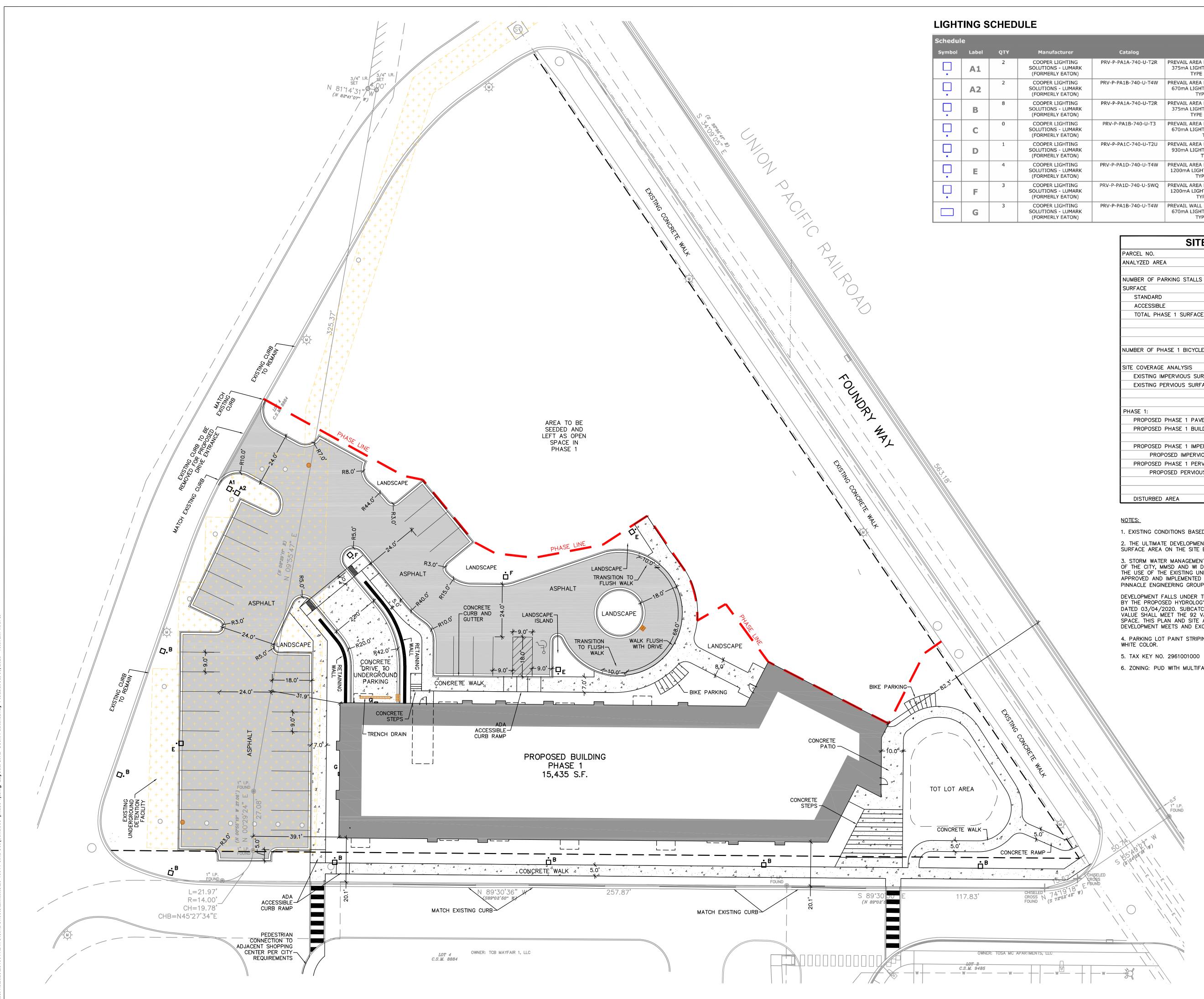




JSD PROJECT NO:

25-15011 | 坣

JSD	
CREATE THE VISION	
jsdinc.com	
MILWAUKEE REGIONAL OFFICE W238 N1610 BUSSE ROAD, SUITE 100 WAUKESHA, WISCONSIN 53188	
P. 262.513.0666	
CLIENT ADDRESS: 7901 West National Avenue West Allis, WI, 53214	
PROJECT: MSP Mayfair North PROJECT LOCATION: Foundry Way Wauwatosa, Milwaukee County Visconsin, 53222	WRITTEN CONSENT OF JSD PROFESSIONAL SERVICES, INC.
#       Date:       Description:         1       02/05/2025       PUD SUBMITTAL         2       02/14/2025       PUD REVISED SUBMITTAL         3       07/08/2025       DRB SUBMITTAL         4	AND MAY NOT BE USED IN WHOLE OR IN PART WITHOUT THE WRITTEN CONSENT OF JSD PROFESSI
15	ND MA
Designed By: PJS	
Reviewed By: CAJ Approved By:	OTECT
SHEET TITLE:	HT PR(
SITE PLAN	SE PLANS AND DESIGNS ARE COPYRIGHT PROTECTED
<b>C2.0</b>	SE PLANS AND



Manufacturer	Catalog	Description	LLF	Input Power
OPER LIGHTING UTIONS - LUMARK DRMERLY EATON)	PRV-P-PA1A-740-U-T2R	PREVAIL AREA LUMINAIRE (1) 70 CRI, 4000K, 375mA LIGHT ENGINE WITH 24 LEDS AND TYPE II ROADWAY OPTICS	1	30.7
OPER LIGHTING UTIONS - LUMARK DRMERLY EATON)	PRV-P-PA1B-740-U-T4W	PREVAIL AREA LUMINAIRE (1) 70 CRI, 4000K, 670mA LIGHT ENGINE WITH 24 LEDS AND TYPE IV WIDE OPTICS	1	52.8
OPER LIGHTING UTIONS - LUMARK DRMERLY EATON)	PRV-P-PA1A-740-U-T2R	PREVAIL AREA LUMINAIRE (1) 70 CRI, 4000K, 375mA LIGHT ENGINE WITH 24 LEDS AND TYPE II ROADWAY OPTICS	1	30.7
OPER LIGHTING UTIONS - LUMARK DRMERLY EATON)	PRV-P-PA1B-740-U-T3	PREVAIL AREA LUMINAIRE (1) 70 CRI, 4000K, 670mA LIGHT ENGINE WITH 24 LEDS AND TYPE III OPTICS	1	52.8
OPER LIGHTING UTIONS - LUMARK DRMERLY EATON)	PRV-P-PA1C-740-U-T2U	PREVAIL AREA LUMINAIRE (1) 70 CRI, 4000K, 930mA LIGHT ENGINE WITH 24 LEDS AND TYPE II U OPTICS	1	72.1
OPER LIGHTING UTIONS - LUMARK DRMERLY EATON)	PRV-P-PA1D-740-U-T4W	PREVAIL AREA LUMINAIRE (1) 70 CRI, 4000K, 1200mA LIGHT ENGINE WITH 24 LEDS AND TYPE IV WIDE OPTICS	1	93.4
OPER LIGHTING UTIONS - LUMARK DRMERLY EATON)	PRV-P-PA1D-740-U-5WQ	PREVAIL AREA LUMINAIRE (1) 70 CRI, 4000K, 1200mA LIGHT ENGINE WITH 24 LEDS AND TYPE V WIDE OPTICS	1	93.4
OPER LIGHTING UTIONS - LUMARK DRMERLY EATON)	PRV-P-PA1B-740-U-T4W	PREVAIL WALL LUMINAIRE (1) 70 CRI, 4000K, 670mA LIGHT ENGINE WITH 24 LEDS AND TYPE IV WIDE OPTICS	1	52.8
		· · · · · · · · · · · · · · · · · · ·		

SITE INFORM	ATION
PARCEL NO.	2961001000
ANALYZED AREA	99,076 S.F. (2.274 ACRES)
NUMBER OF PARKING STALLS	
SURFACE	
STANDARD	35
ACCESSIBLE	1
TOTAL PHASE 1 SURFACE	36
NUMBER OF PHASE 1 BICYCLE STALLS:	25
SITE COVERAGE ANALYSIS	
EXISTING IMPERVIOUS SURFACE AREA	49,731 SF (1.142 ACRES)
EXISTING PERVIOUS SURFACE AREA	49,346 SF (1.133 ACRES)
PHASE 1:	
PROPOSED PHASE 1 PAVED AREA	25,581 SF (0.587 ACRES)
PROPOSED PHASE 1 BUILDING FOOTPRINT	
PROPOSED PHASE 1 IMPERVIOUS SURFACE	41,016 SF (0.942 ACRES
PROPOSED IMPERVIOUS SITE PERCEN	TAGE 41%
PROPOSED PHASE 1 PERVIOUS SURFACE	58,0601 SF (1.333 ACRES
PROPOSED PERVIOUS SITE PERCENTA	
DISTURBED AREA	99,076 SF (2.274 ACRES

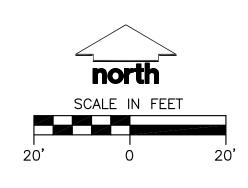
1. EXISTING CONDITIONS BASED ON SURVEY BY CAPITOL SURVEY ENTERPRISE 2. THE ULTIMATE DEVELOPMENT WILL RESULT IN A INCREASE IN IMPERVIOUS SURFACE AREA ON THE SITE BY 0.50 ACRES.

3. STORM WATER MANAGEMENT FOR THIS SITE, MEETING THE REQUIREMENTS OF THE CITY, MMSD AND WI DNR 151 FOR REDEVELOPMENT WILL BE MET BY THE USE OF THE EXISTING UNDERGROUND DETENTION FACILITY DESIGNED, APPROVED AND IMPLEMENTED FROM THE PLAN & REPORT FURNISHED BY PINNACLE ENGINEERING GROUP DATED 07/10/2020.

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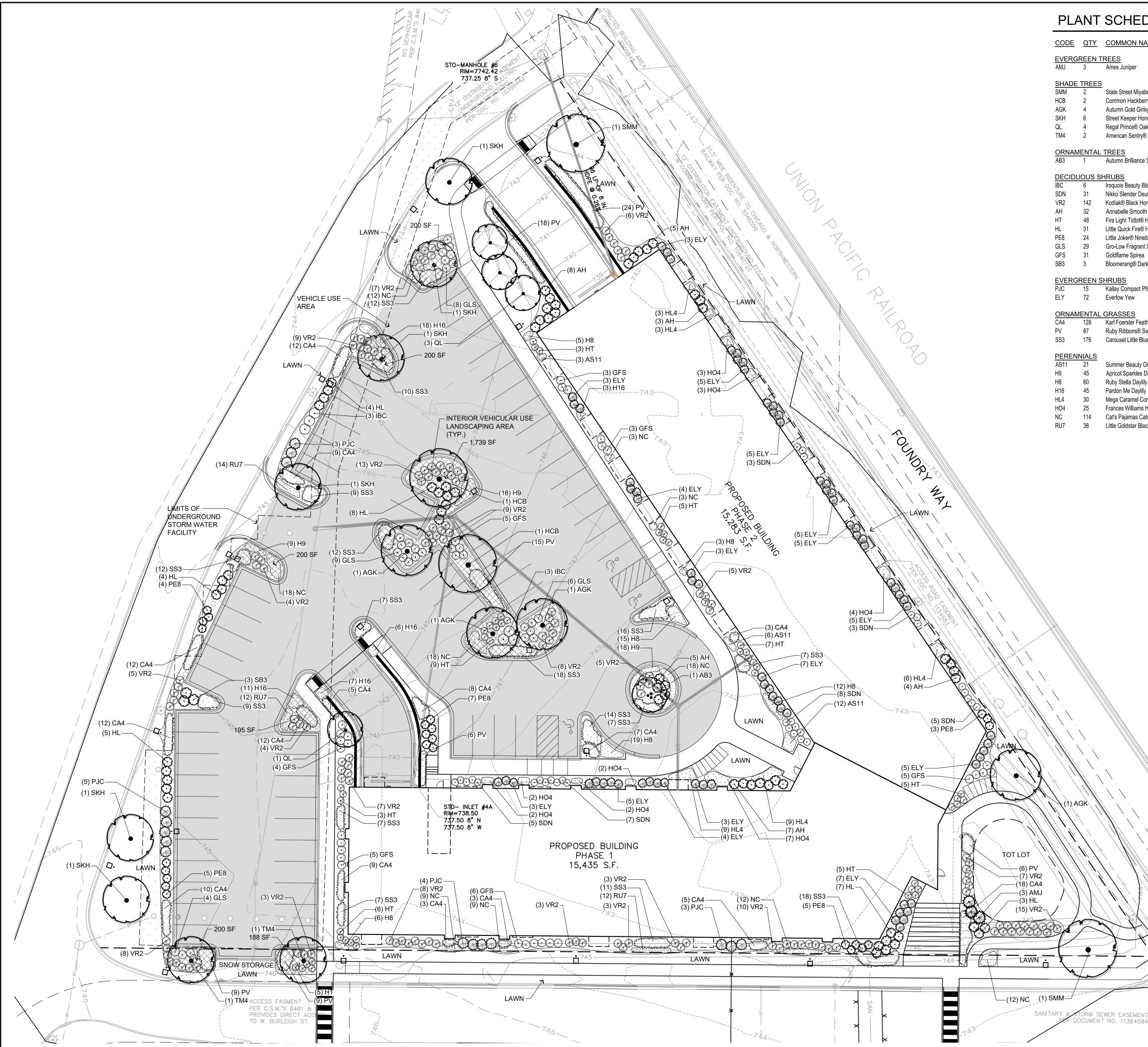




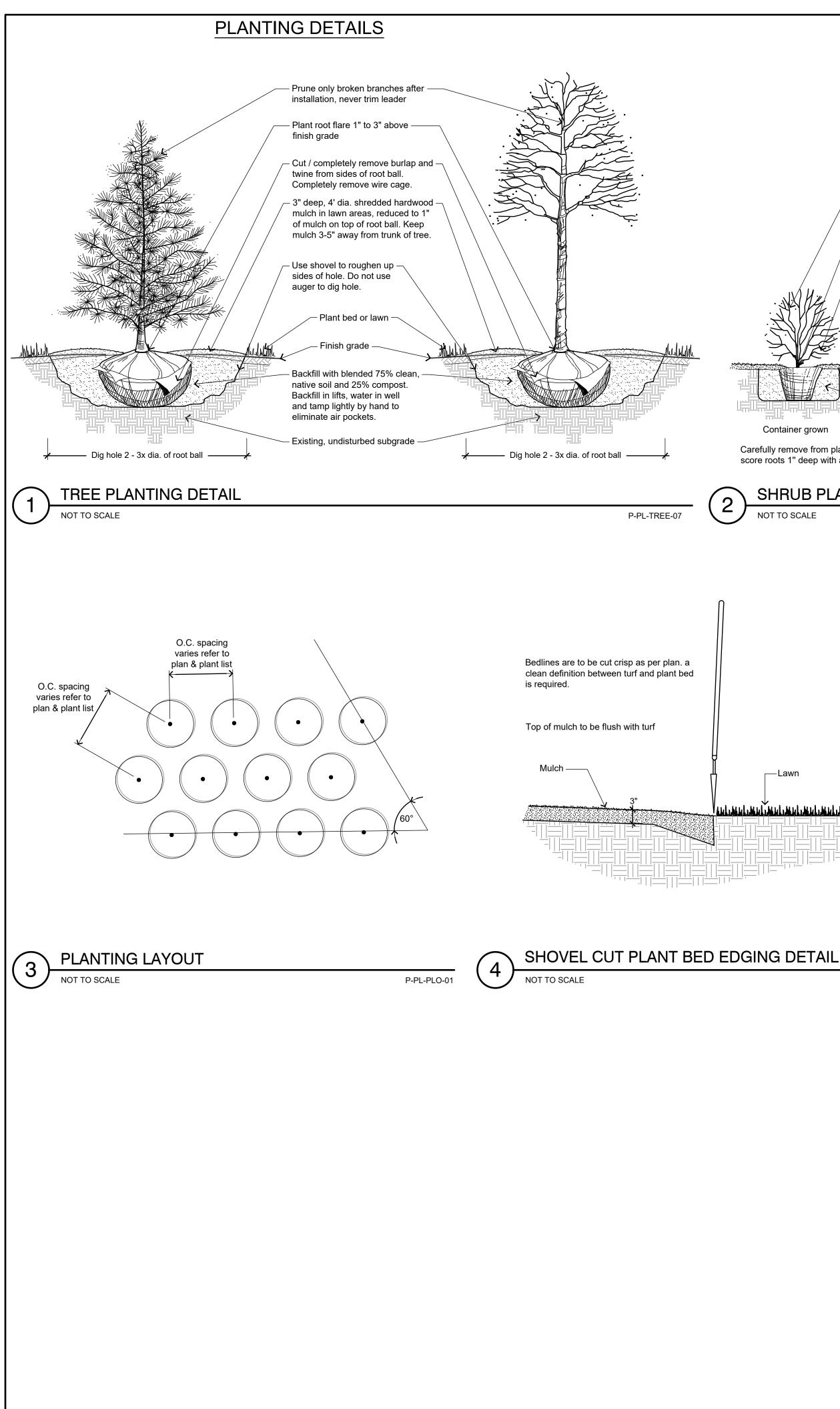
JSD PROJECT NO:

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CREATE THE VISION TELL THE STOR	• Y
jsdinc.com	
MILWAUKEE REGIONAL OFFICE W238 N1610 BUSSE ROAD, SUITE 100 WAUKESHA, WISCONSIN 53188 P. 262.513.0666	-
CLIENT:	•
MSP REAL ESTATE	
CLIENT ADDRESS: 7901 West National Avenue West Allis, WI, 53214	
PROJECT: MSP Mayfair North	
PROJECT LOCATION: Foundry Way Wauwatosa, Milwaukee County Wisconsin, 53222	PART WITHOUT THE WRITTEN CONSENT OF JSD PROFESSIONAL SERVICES, INC.
#       Date:       Description:         1       02/05/2025       PUD SUBMITTAL         2       02/14/2025       PUD REVISED SUBMITTAL         3       02/20/2025       DRB PHASE 1 MEETING         4       07/08/2025       DRB SUBMITTAL         5	USED IN WHOLE OR IN PART WITHOUT THE WRITTE
7	USED IN WF
11 12 13	AND MAY NOT BE
14	- MAY
Designed By: PJ	
Reviewed By: CA Approved By:	ROTECTE
SHEET TITLE: PHASE 1 - SITE PLAN	PLANS AND DESIGNS ARE COPYRIGHT PROTECT
SHEET NUMBER:	DESIGNS ARE
EXHIBIT	E PLANS AND



Prinzer Jumperus Chinerisis Kaliays Compact       18 SPD       CONT       Spacing as shown       2 x 5         Taxus x media `Everlow`       15" HT       B&B       Spacing as shown       1.5` x 5`         ather Reed Grass       Calamagrostis x acutiflora `Karl Foerster`       1 GAL       CONT       24" Spacing       5` x 2`         Switch Grass       Panicum virgatum 'RR1'       1 GAL       CONT       30" Spacing       3` x 2.5`         Iuestem Grass       Schizachyrium scoparium `Carousel       1 GAL       CONT       24" Spacing       2.5` x 2.5`	AME	BOTANICAL NAME	INSTALLED SIZE	<u>ROOT</u>	SPACING	MATURE SIZE					
Austing Transmitting (1)       212-30       Ext       Section (1)		Juniperus chinensis `Ames`	6` HT	B&B	Spacing as shown	8` x 6`					
	pe Maple	Acer mivabei `Morton` State Stree	2 1/2" CAL	B&B	Spacing as shown	35` x 35`	NOI				
	rry	Celtis occidentalis	2 1/2" CAL	B&B	Spacing as shown	50` x 50`	KIP1				
Austing Transmitting (1)       212-30       Ext       Section (1)	ney Locust	Gleditsia triacanthos `Draves`	2 1/2" CAL	B&B	Spacing as shown	45` x 20`	DESC				
a bit parts atom       a bit parts atom <t< td=""><td>Serviceberry</td><td>Amelanchier x grandiflora `Autumn Brilliance`</td><td>7` HT</td><td>B&amp;B</td><td>Spacing as shown</td><td>20` x 20`</td><td></td><td></td><td></td><td></td><td></td></t<>	Serviceberry	Amelanchier x grandiflora `Autumn Brilliance`	7` HT	B&B	Spacing as shown	20` x 20`					
a bit parts atom       a bit parts atom <t< td=""><td>•</td><td></td><td></td><td></td><td></td><td></td><td>ATE</td><td></td><td></td><td></td><td></td></t<>	•						ATE				
ginging instrume splits (hg/201 m)       10 1       0.01       ginging instrume 30 4.3 dig         ginging instrume splits (hg/201 m)       10 1       0.01       ginging instrume 30 4.3 dig         ginging instrume splits (hg/201 m)       10 1       0.01       ginging instrume 30 4.3 dig         ginging instrume splits (hg/201 m)       10 1       0.01       ginging instrume 30 5.3 dig         ginging instrume splits (hg/201 m)       10 1       0.01       ginging instrume 35 5.3 dig         ginging instrume splits (hg/201 m)       10 1       0.01       ginging instrume 35 5.3 dig         ginging instrume splits (hg/201 m)       10 1       0.01       ginging instrume 35 5.3 dig         ginging instrume splits (hg/201 m)       10 1       0.01       ginging instrume 35 5.3 dig         ginging instrume splits (hg/201 m)       10 1       0.01       ginging instrume 35 5.3 dig         ginging instrume splits (hg/201 m)       10 1       0.01       ginging instrume 35 5.3 dig         ginging instrume splits (hg/201 m)       10 1       0.01       ginging instrume 35 5.3 dig         ginging instrume splits (hg/201 m)       10 1       0.01       ginging instrume 35 dig         ginging instrume splits (hg/201 m)       10 1       0.01       ginging instrume 35 dig         ginging instrume splits (hg/201 m)		-									
Aler Stand St											
Interme Bisamptic Board       19370       CDT       Spring Addeas       25 cf         Interme Bisamptic Board       1941       CDT       Spring Addeas       25 cf         Interme Interme Interme       1941       CDT       Spring Addeas       25 cf         Interme Interme Interme       1941       CDT       Spring Addeas       25 cf         Interme Interme Interme       1941       CDT       Spring Addeas       25 cf         Interme Interme Interme       1941       CDT       Spring Addeas       25 cf         Interme Interme Interme       1941       CDT       Spring Addeas       25 cf         Interme Interme Interme       CDC       CDT       Spring Addeas       25 cf         Interme Interme Interme       CDC       Spring Addeas       25 cf         Interme Interme<	lydrangea	Hydrangea paniculata `SMHPLQF`	18" HT	CONT	Spacing as shown	4` x 4`					
Ministry Theoremedia Particle Source       19/11       Base       Boord parameter is a confine Kelf Scener       16.1       CONT       MF Source       5.2.5         Van Date       Marca Starmer Roary       16.1       CONT       MF Source       5.2.5       Source       5.2.5         Name Starmer Roary       16.1       CONT       MF Source       5.2.5       Source       Source       5.2.5         Name Starmer Roary       16.1       CONT       MF Source       5.2.5       Source       <							1	oad 038			
Ministry Theoremedia Particle Source       19/11       Base       Boord parameter is a confine Kelf Scener       16.1       CONT       MF Source       5.2.5         Van Date       Marca Starmer Roary       16.1       CONT       MF Source       5.2.5       Source       5.2.5         Name Starmer Roary       16.1       CONT       MF Source       5.2.5       Source       Source       5.2.5         Name Starmer Roary       16.1       CONT       MF Source       5.2.5       Source       <		Spiraea japonica `Goldflame`	15" HT	CONT	Spacing as shown	2.5` x 3.5`		d Rc 5-59			_
La du Willier and Ecruz     19/11     19/1     19/	Purple Lilac	Syringa x 'SMSJBP7'	18" HT	CONT	Spacing as shown	5 X 5		5300.	0		dison, WI
standaryum acquirum 'Cancool       164.       COT. 21 Spacing 2.5 x 25         standaryum acquirum 'Cancool       164.       POT 17 Spacing 1.5 x 1.5 Spacing 1.5 x 1.5 Henocalis Any Spacing 1.64 Honocalis An	tzer Juniper							8	or 10		R Aa
standaryum acquirum 'Cancool       164.       COT. 21 Spacing 2.5 x 25         standaryum acquirum 'Cancool       164.       POT 17 Spacing 1.5 x 1.5 Spacing 1.5 x 1.5 Henocalis Any Spacing 1.64 Honocalis An	er Reed Gross	Calamagnostis x acutiflora 'Karl Ecoretor'	1 GAI		24" Snacing	5` x 2`		745 okfie	2) 7 mitl		ы, V Irvir
gill       Horwardis Startigenter       1 SAL       POT       87 Storep       1 SAL       SAL       POT       POT       1 SAL       POT	vitch Grass	Panicum virgatum 'RR1'	1 GAL	CONT	30" Spacing	3` x 2.5`		167 Broo	(26 ras		e, WI   Appleton, WI   Naperville. IL   Irvine.
<ul> <li>New Tables And Solver 10 AL</li> <li>New States May Solver 10 AL</li> <li>POT # 15 Spring 1: 53:15 15:15</li> <li>States May Solver 10 AL</li> <li>POT # 15 Spring 1: 53:15 15:12</li> <li>New States May Solver 10 AL</li> <li>POT # 15 spring 1: 53:15 15:12</li> <li>New Solver May Solver 10 AL</li> <li>POT # 15 spring 1: 53:15 15:12</li> <li>New Solver May Solver 10 AL</li> <li>POT # 15 spring 1: 53:15 15:12</li> <li>New Solver May Solver 10 AL</li> <li>POT # 15 spring 1: 53:15 15:12</li> <li>New Solver May Solver 10 AL</li> <li>POT # 15 spring 1: 53:15</li> <li>NADSCAPE CALCULATIONS PERSONANC STALLS</li> <li>NADSCAPE CALCULATIONS PERSONANC STALLS</li> <li>NADSCAPE CALCULATIONS PERSONANC STALLS</li> <li>NADSCAPE Solver 10 AL SOLVER Solver 10 AL SOLVER STALLS</li> <li>NADSCAPE Solver 10 AL SOLVER SOLVER AND REVER THROUGH LAKES 10 COES NOT ACCOUNT OWNER DATE COUNT OWNER THROUGH LAKES 10 COES NOT ACCOUNT OWNER THROUGH THE 2: 200 SF PROVIDED: 202 SF</li> <li>REQUIRED: A 19 AL SOLVER SOLVER OWNER THROUGH LAKES 10 COES NOT ACCOUNT OWNER THROUGH THE 2: 200 SF PROVIDED: 202 SF</li> <li>NADSCAPE STREES NOT TO LAND SCAPE AREA 2: 200 100 = 17 TIERES REQUIRED = 2: 200 SF PROVIDED: 2: 202 SF</li> <li>NOW SHALL NOT BE PUSHED ONTO LANDSCAPE THE SI IN SOLVE THROUGH LAKES 2: 300 100 = 17 TIERES REQUIRED = 2: 200 SF PROVIDED: 2: 202 SF</li> <li>NOW SHALL NOT BE PUSHED ONTO LANDSCAPE THE SI IN SOLVE THROUGH LAKES 2: 300 100 = 17 TIERES REQUIRED = 2: 300 SF PROVIDED: 2: 202 SF</li> <li>NOW SHALL NOT BE PUSHED ONTO LANDSCAPE THE SI IN SOLVE THROUGH LAKES 2: 300 100 = 17 TIERES REQUIRED AL SOLVER SI IN SOLVE AND REVER SI IN SOLVER SI</li></ul>	mamontal Ori-	Allium v 'Summer Desutu'	164		18" Snaoina	1 5` v 1 5`			U Z		WI
	Daylily	Hemerocallis x 'Apricot Sparkles'	1 GAL	POT	18" Spacing	1.5` x 1.5`			E R		ukee, T   N
<ul> <li>Huss isladdars fraves Wilerit 104L PCT 87 Sparring 2.84 15</li> <li>Radteela lidgre vir sillerit Utile Cddars 104L PCT 16 Social 1.22 1.15</li> <li>LANDSCAPE CALCULATIONS PERIMETER VEHICULAR USE AREA - WHEN PARKING IS WITHIN100LF OF RIGHT OF PRIMETER VEHICULAR USE AREA - WHEN PARKING IS WITHIN100LF OF RIGHT OF INTERED AND IS SHRUBS PER 50 F 07 VEHICULAR USE FRONTAGE NA-</li> <li>INTERIOR VEHICULAR USE AREA - WHEN PARKING IS WITHIN100LF OF RIGHT OF NA-</li> <li>INTERIOR VEHICULAR USE AREA - WHEN PARKING IS WITHIN100LF OF RIGHT OF NA-</li> <li>INTERIOR VEHICULAR USE AREA - WHEN PARKING IS WITHIN100LF OF RIGHT OF NA-</li> <li>INTERIOR VEHICULAR USE AREA AND SCAPE 5 OR MORE PARKING STALLS</li> <li>AREA - PARKING, DRIVE AISES, DRIVENT WARD CALLER FRONTAGE DOES NOT INCLUDE PARKING IN A STRUCTURE)</li> <li>VEHICLE USE AREA - 29, 198 - LANDSCAPE AREA REQUIRED = 2,920 SF PROVIDED 2, 372 EEF 105 SF OF INTERIOR LANDSCAPE AREA 2,260 / 184 PT TRESS REDOTTIONAL TREES LOCATED AROUND PROVIDED 9 TREES ADDITIONAL TREES LOCATED AROUND PROVIDED 10 10 20 40 CORA</li></ul>		•							Z		1ilwaı 'q, W
LANDSCARE CALCULATIONS FRUNTER VEHICULAR USE AREA - WHEN PARKING IS WITHIN00LF OF RIGHT OF WAY AND MORE THAN S PARKING STALLS REQUIRED: LANDSCAPE STRP MIN OF 7 DEPTH MUST BE PROVIDED BETWEEN VEHICULAR USE AREA AND ROW MUST INCLUDE 3 DECIDUOUS RANK       Image: Comparison of the parking stalls         RECUIRED: ALT USE AREA LANDSCAPE S OR MORE PARKING STALLS       REG + PARKING NUST ASIES DRIVEWAYS AND DRIVE THROUGH LANDS ROW MUST MUST ASIES DRIVEWAYS AND DRIVE THROUGH LANDSCAPE OF ROWING: 2922 STALL       Image: Comparison of the parking stalls         REG + PARKING STALLS       REG + PARKING OF USE AREA AREA REQUIRED = 2.920 SF ROWING: AT LEAST 10% OF USE AREA MUST BE LANDSCAPE OF ROWING: 30 FO THROUGH ON STALLS       Image: Comparison of the parking in a STRUCTURED (Comparison of the parking in a STRUCTURED) (1940D 117 THESE REG REQUIRED) (1940D 117 THESE REGUIRED) (1940D 117 THESE REG REQUIRED) (1940D 117 THES	ral Bells	Heuchera x 'Mega Caramel'	1 GAL	POT	24" Spacing	1.5` x 2`					arbur
LANDSCAPE CALCULATIONS PROVIDED THAN & FARKING STALLS IN DECOMPOSITION AND REFARMENT OF // DEPTH MUST BE PROVIDED BETWEEN VEHICLU BUSE AREA AND ROW MUST INCLUDE 3 DECIDUOUS INCLUDE PARKING, DRIVE AREA LANDSCAPE: 5 OR MORE PARKING STALLS AREA = PARKING, DRIVE AREA LANDSCAPE: 5 OR MORE PARKING STALLS INCLUDE PARKING, DRIVE AREA LANDSCAPE: 5 OR MORE PARKING STALLS INCLUDE PARKING, DRIVE AREA LANDSCAPE: 5 OR MORE PARKING STALLS INCLUDE PARKING, DRIVE AREA LANDSCAPE AREA REQUIRED = 2,920 SF INCLUDE 2,922 ST INCLUDE PARKING, DRIVE AREA AND STAL PARKING STALLS INCLUDE THE STALES AND THE INFORMET INCLUDE PARKING IN A STRUCTURED INCLUDE											, V Ced
LANDSCARPE CALCULATIONS   REVENTER VEHICULAR USE AREA - WHEN PARKING IS WITHIN100LF OF RIGHT OF   REDURDED:   LANDSCARPE STRP MIN OF 77 DEPTH MUST BE PROVIDED   BETWEEN VEHICLE USE AREA AND ROW MUST INCLUDE 3 DECIDUOUS   NAME   RESURDED:   LANDSCARPE SDR 10 SINUES PRESSED OF VEHICULAR USE FRONTOCIDE   JERGURED:   AREA - PARKING, DRIVE AREA LANDSCAPE: 5 OR MORE PARKING STALLS   REGURED:   LANDSCARPE SDR 10 SINUES PRESSED   COURCE:   AREA - PARKING, DRIVE AREA LANDSCAPE AREA REQUIRED = 2,920 SF   REQURED:   COURCE:   STATUS   REQURED:   COURCE:   STATUS   REQURED:   AREA = PARKING, DRIVE AREA REQUIRED = 2,920 SF   REQURED:   STATUS   REQURED:   STATUS   REQURED:   STATUS   REGURED:   REGURED:   STATUS   REGURED:   STATUS   REGURED:   STATUS   REGURED:   STATUS   REGURED:   STATUS   REGURED:   STATUS   REGURED:   STATUS <td></td> <td></td> <td></td> <td></td> <td></td> <td></td> <td></td> <td></td> <td>BEYO</td> <td></td> <td>Brookfield, WI   Milwaukee, Cedarburg. WI   N</td>									BEYO		Brookfield, WI   Milwaukee, Cedarburg. WI   N
DATE: 07-08-2025         0       10       20       40         GRAPHIC SCALE         Image: Comparison of the second se		TREES AND 10 SHR NA- INTERIOR VEHICULAR USE ARE AREA = PARKING, DRIVE AISLE (DOES NOT INCLUD	USE AREA AND ROUBS PER 50LF OF V A LANDSCAPE: 5 C S, DRIVEWAYS AND E PARKING IN A ST	OW MUS <sup>-</sup> VEHICUL/ OR MORE D DRIVE 1 RUCTUR	F INCLUDE 3 DE AR USE FRONT/ PARKING STAL FHROUGH LANE E)	CIDUOUS AGE LS					
R.A.SMITH, INC. ASSUMES NO RESPONSIBILITY FOR       PROJECT MANAGER:         R.A.SMITH, INC. ASSUMES NO RESPONSIBILITY FOR       DESIGNED BY: REW         DAMAGES, LIABILITY OR COSTS RESULTING FROM       DESIGNED BY: REW		TREES AND 10 SHR NA- INTERIOR VEHICULAR USE ARE AREA = PARKING, DRIVE AISLES (DOES NOT INCLUD) VEHICLE USE AREA = 29,198 - L PROVIDED: 2,922 SF REQUIRED: AT LEAST 10% OF U ISLANDS AND MEDI AREAS OUTSIDE TH CORNERS MAX 200 1 SHADE TREE PER 2,920 / 180 =17 TREE PROVIDED: 9 TREES PERIME PLACEM SNOW SHALL NOT BE PUSHED	USE AREA AND REUBS PER 50LF OF MEADSCAPE: 5 C S, DRIVEWAYS AND E PARKING IN A ST ANDSCAPE AREA F SE AREA MUST BE ANS MUST HAVE A IE VUA DON'T COU SF, IF AT LEAST 1 180 SF OF INTERIO ES REQUIRED S, ADDITIONAL TRE TER. UNDER GROU	OW MUS VEHICULA OR MORE D DRIVE 1 RUCTUR REQUIRE E LANDSC T LEAST NT TOWA SHADE TH OR LANDS EES LOCA JND STRO IDS. EISLANDS	T INCLUDE 3 DE AR USE FRONTA PARKING STAL THROUGH LANE E) D = 2,920 SF CAPED 135 SF AND BE ARD INTERIOR. REE IS INCLUDE SCAPE AREA ATED AROUND DMWATER FACI	CIDUOUS AGE LS S 10' WIDE ED	- MAYFAIR NORTI	OF WAUWATOSA		LANDSCAPE	
		TREES AND 10 SHR NA- INTERIOR VEHICULAR USE AREA AREA = PARKING, DRIVE AISLES (DOES NOT INCLUD) VEHICLE USE AREA = 29,198 - L PROVIDED: 2,922 SF REQUIRED: AT LEAST 10% OF L ISLANDS AND MEDI, AREAS OUTSIDE TH CORNERS MAX 200 1 SHADE TREE PER 2,920 / 180 =17 TREE PROVIDED: 9 TREES PERIME PLACEN SNOW SHALL NOT BE PUSHED	USE AREA AND RUUBS PER 50LF OF V A LANDSCAPE: 5 C S, DRIVEWAYS AND E PARKING IN A ST ANDSCAPE AREA F SE AREA MUST BE ANS MUST HAVE A IE VUA DON'T COU SF, IF AT LEAST 1 180 SF OF INTERIO S, ADDITIONAL TRE TER. UNDER GROU IENT WITHIN ISLAN ONTO LANDSCAPE 25 0 GR	NO Conservation	PARKING STAL PARKING STAL THROUGH LANE D = 2,920 SF APED 135 SF AND BE ARD INTERIOR. REE IS INCLUDE SCAPE AREA ATED AROUND DMWATER FACI S. ATED AROUND DMWATER FACI CONSTRUCTION ATED SCAPE ARTH CONSTRUCTION S NO RESPONSIB COSTS RESULTING S NO RESPONSED S NO RES	CIDUOUS AGE LS S 10' WIDE ED LITY LIMITS 40 LE	R. DAT SCA JOB PRO ROB DES	CITY OF WAUWATOSA CITY OF WAUWATOSA	PYRIGH th, Inc 08/25 = 20 <sup>3</sup> 50016 ANAGE AMS, I BY: REV		5
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THE EXPRESSED WRITTEN CONSENT OF R.A.SMITH, INC. ALL COPYRIGHTS TO THESE DRAWINGS ARE RESERVED. THEY MAY NOT BE COPIED, CHANGED, OR ASSIGNED TO ANY THIRD PARTY IN ANY MANNER WITHOUT OBTAINING		TREES AND 10 SHR NA- INTERIOR VEHICULAR USE AREA AREA = PARKING, DRIVE AISLES (DOES NOT INCLUD) VEHICLE USE AREA = 29,198 - L PROVIDED: 2,922 SF REQUIRED: AT LEAST 10% OF L ISLANDS AND MEDI, AREAS OUTSIDE TH CORNERS MAX 200 1 SHADE TREE PER 2,920 / 180 =17 TREE PROVIDED: 9 TREES PERIME PLACEN SNOW SHALL NOT BE PUSHED	USE AREA AND RUBS PER 50LF OF M A LANDSCAPE: 5 C S, DRIVEWAYS AND E PARKING IN A ST ANDSCAPE AREA F ISE AREA MUST BE ANS MUST HAVE A IE VUA DON'T COU SF, IF AT LEAST 1 3 180 SF OF INTERIO S, ADDITIONAL TRE TER. UNDER GROU IENT WITHIN ISLAN ONTO LANDSCAPE 0 C C C C C C C C C C C C C C C C C C		INCLUDE 3 DE AR USE FRONTA PARKING STAL THROUGH LANE D = 2,920 SF APED 135 SF AND BE ARD INTERIOR. REE IS INCLUDE SCAPE AREA ATED AROUND DMWATER FACI S. ATED AROUND S. ATED AROUND S. A	CIDUOUS AGE LS S 10' WIDE ED LITY LIMITS 40 LE	ILUN WAYFAIR NORT	CITY OF WUNTOSA CITY OF WAUWATOSA CITY OF WAUWATOSA CITY OF WAUWATOSA CITY OF WAUWATOSA CITY OF WAUWATOSA CITY OF WAUWATOSA CITY OF WAUWATOSA	PYRIGH th, Inc 08/25 = 20 <sup>3</sup> 50016 ANAGE AMS, I BY: REV		



## GENERAL LA

- 1. Contractor responsible for contact
- 2. Contractor to verify all plant quant
- 3. All plantings shall comply with star reserves the right to inspect and po damaged.
- 4. Any potential plant substitutions installation. All plants must be ins architect. Any potential changes
- by the owner's representative or 5. The subsequent requirements reg
- 6. Subgrade areas shall be graded
- 7. Topsoil shall be placed to meet p general / grading contractor to ins
- 8. Topsoil shall be: screened existin requirements. Clean topsoil shall must be free of plants or plant part
- 9. Planting beds and parking lot islan harmful to plant growth) has been require additional topsoil to bring provide proper drainage, unless pavement.
- 10. Seeded areas: to receive a settled removal of unwanted material (gra necessary) and the fine grading of
- 11. Tree planting (see planting detail) acceptable method of digging tree vertical alignment and will no long support wire from the sides of root Lightly tamp each lift using foot pr tamping equipment. Discard any soak into soil to settle the soil. Co
- Provide a 3" deep, 4 ft. diameter s trunk of tree. Trees that are insta holes, shall be placed with sling.
- 12. Shrub planting (see planting detail backfilling holes. When hole is two
- 13. Mulching: all tree and shrub plant uniform in size, color, quality and material injurious to plant growth mulch annual flower beds (if applic
- 14. Edging: edge all planting beds with plant bed is required.
- 15. Plant bed preparation: the soil in a layer of compost (per note below)
- 16. Compost shall be stable, and week concentrations toxic to plant grow Specification.
- 17. Lawn installation for all seeded tu surface stones 1" or larger and g covering suitable to germinate ar used in swales and on steep grad and guarantee a smooth, uniform canary grass is not acceptable as
- An acceptable quality turf is define areas.
- 18. Seed mix for lawn areas use only perennial rye applied at 5 lbs pe
- 19. Lawn installation for all sodded tu removing all surface stones 1" or l 1995) and ASPA standards. Inst upon installation to a 3" depth. S . Landscape contractor shall repair
- 20. The landscape contractor is respo completion of the installation and grass areas. Maintenance include and maintaining turf areas (includi maintained.
- 21.Substantial Completion of Lands representative and the general co substantial completion unless oth days. The landscape contractor s
- 22. Warranty and replacements: All p be in healthy and flourishing cond regular watering) after substantial replacements due to failure to com specimens in size. The landscap

— Prune cut dead and broken branches retain natural plant shape Plant at same depth as previous level – — Do not bury any bottom branches — Prune out any brown branches – Dig hole 2x wider than dia. of root ball /-Finished grade-mulch level —Planting mix – <u>\_\_\_\_\_</u> (see specifications) Balled & Burlapped Container grown Remove burlap and twine from top 1/3 Carefully remove from plastic pot and of root ball and score remaining 2/3 score roots 1" deep with a sharp knife

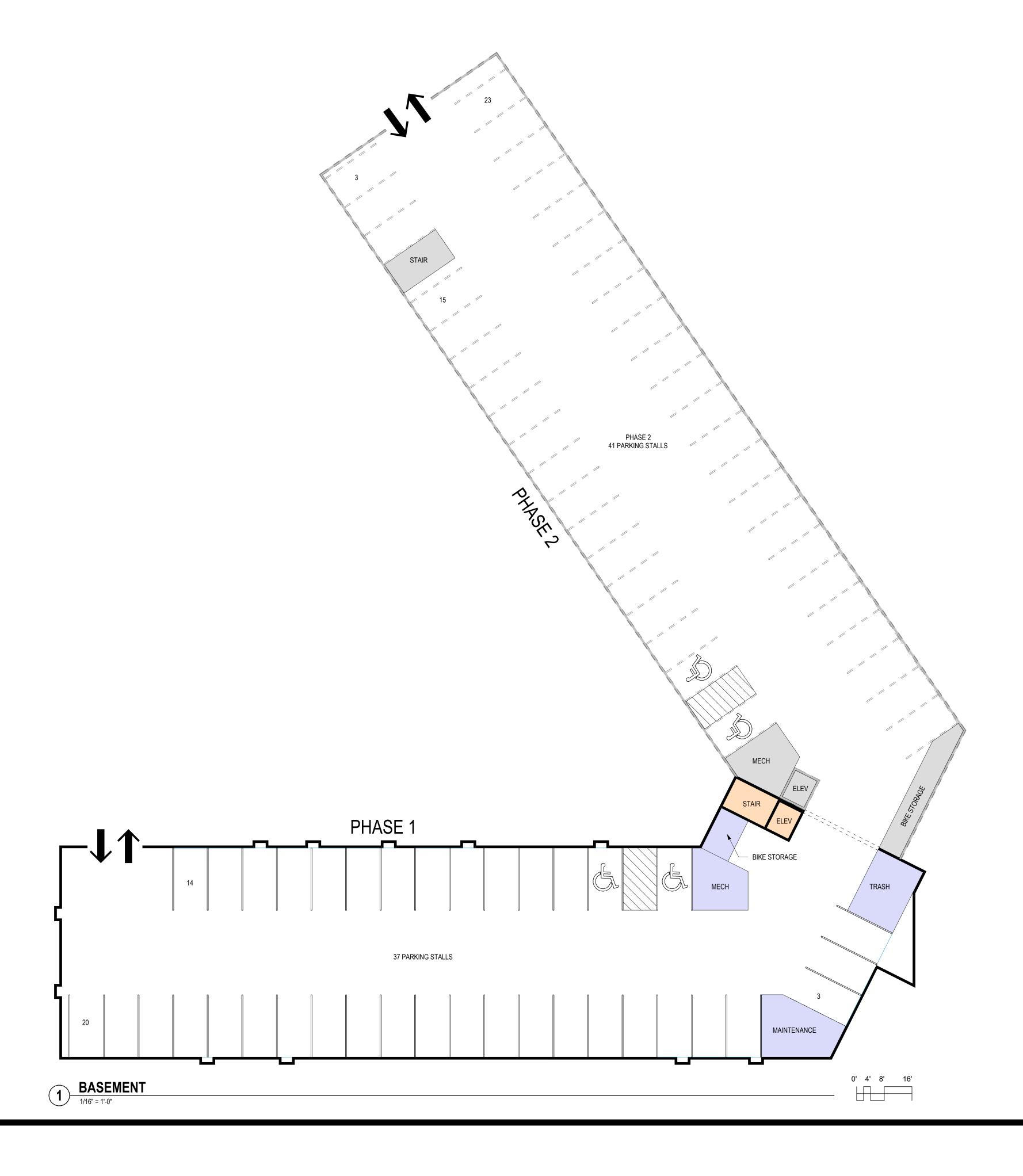
### SHRUB PLANTING DETAIL

NOT TO SCALE

–Lawn والمشاول والمشاول والمعادية والمتحاط والمواطعة والمعاطر والمعاد المطرو

P-PL-BDEG-01

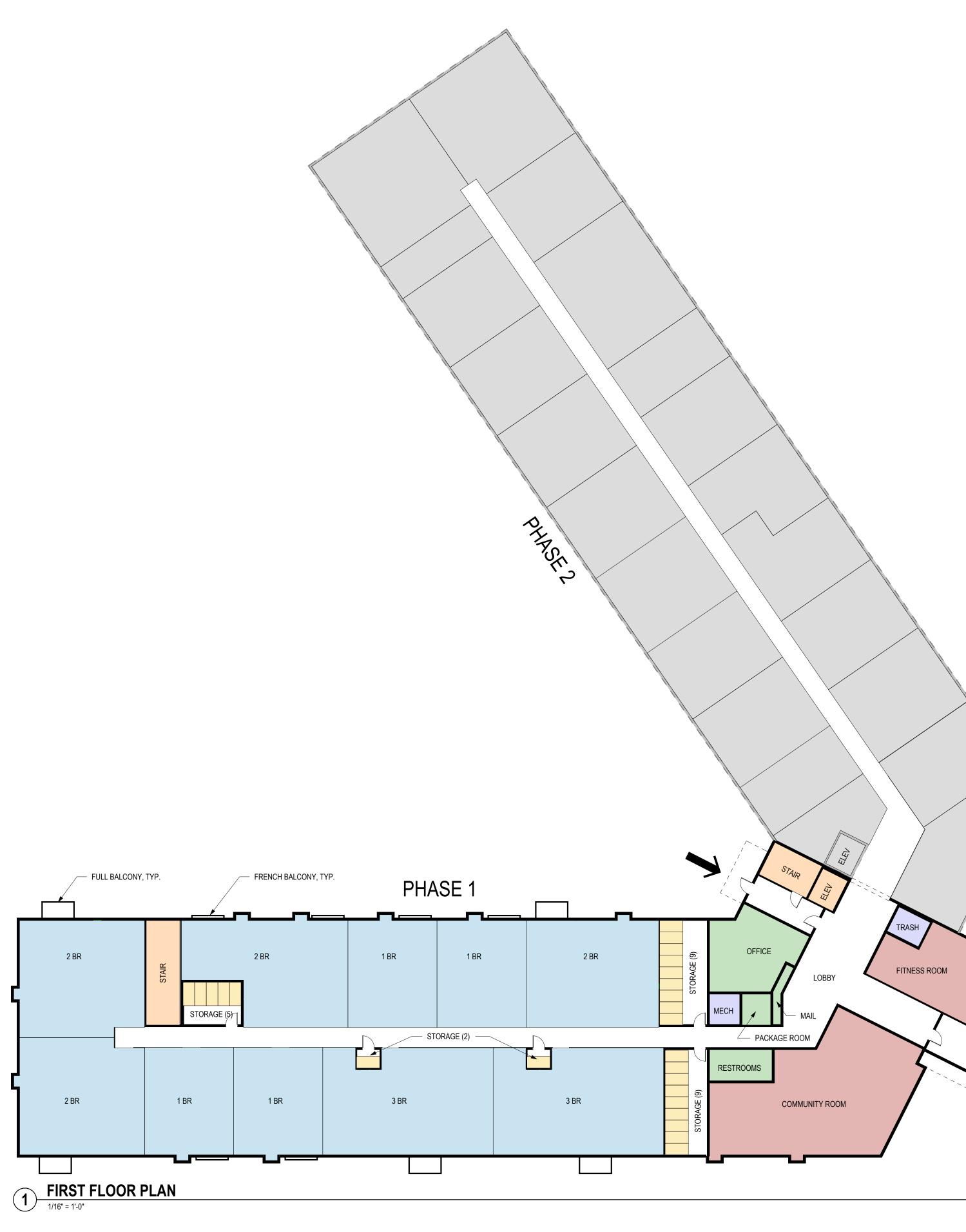
NDSCAPE NOTES				
cting public and private underground utility locating service to have site marked prior to any digging or earthwork.				
andards as described in American Standard of Nursery Stock - ANSI Z60.1 (latest version). General contractor or owner's representative potentially reject any plants that are inferior, compromised, undersized, diseased, improperly transported, installed incorrectly or				
must be submitted in writing to the general contractor and approved by the owner's representative or landscape architect prior to stalled as per sizes and quantities shown on plant material schedule, unless approved by the owner's representative or landscape to sizes shown on plan and appropriate cost credits / adjustments must be submitted in writing to the general contractor and approved landscape architect prior to installation.	SCRIPTION			
garding topsoil should be coordinated between the general contractor, grading contractor and landscape contractor. to within 1", more or less, of proposed subgrade. Deviations shall not be consistent in one direction.	DES			
proposed finished grade. Planting islands to be backfilled with clean topsoil free of debris (per note below) to a minimum depth of 18" by sure long term plant health. All other landscaped areas to receive a minimum depth of 6" of clean topsoil (per note below).				
ng stockpiled topsoil, existing in-place soil, or screened soil from an off-site source that will support plant growth, and meets the following be free of rocks, coarse fragments, gravel, sticks, trash, roots, debris over 3/4" and any substances harmful to plant growth. It also ints of any noxious weeds. Topsoil shall contain 3 to 5 percent decomposed organic matter and a pH between 5.5 and 7.0.	ATE			
ands: Landscape contractor is responsible for ensuring that unwanted material (gravel, debris, roots and other extraneous material in removed from the topsoil and for the fine grading of all landscaped areas. The fine grading of planting beds and parking lot islands may to finish grade, allowing for mulch depth. Crown all planting islands and planting beds not adjacent to buildings, a minimum of 6" to otherwise specified. All other finished landscaped areas to be smooth, uniform and provide positive drainage away from structures and	DA			
ed minimum depth of 6" of blended, prepared and non-compacted topsoil. Landscape contractor is responsible for excavation and ravel, debris, roots and other extraneous material harmful to plant growth) to the specified depth, supplementing with additional topsoil (if of all seeded areas.		l Road -5938		
): plant all trees slightly higher than finished grade at root flare. Remove excess soil from top of root ball, if needed. An auger is not an e planting holes. Scarify side walls of tree pit prior to installation. Once tree has been placed into the hole, is at the correct depth and ger be moved; brace root ball by tamping soil around the lower portion of the root ball. Remove and discard twine / rope, burlap and ot ball. Backfill pit with 75% existing soil removed from excavation and 25% compost blended prior to backfilling holes, in six-inch lifts. The same or hand tools to settle backfill, support the tree and eliminate voids. Do not over compact or use mechanical or pneumatic or gravel, heavy clay or stones. When hole has been backfilled to three-quarters of its depth, pour water around the root ball and allow to portion backfilling until soil is brought to grade level.		ш /,	81-1000	VI   Madison, WI ine, CA
shredded hardwood bark mulch ring around all trees in lawn areas, reduced to 1" deep on top of root ball. Keep mulch 3"- 5" away from illed incorrectly will be replaced at the time and expense of the landscape contractor. Trees too large for two people to lift in and out of Do not rock the trees in holes to raise them.		16745 W. Brookfield,	(202) / 81-1 rasmith.co	ppleton, V e, IL   Irv
ail): all shrubs to be pocket planted with a mix of 75% existing soil removed from excavation and 25% compost, blended prior to vo-thirds full, shrubs shall be watered thoroughly and water left to soak in before proceeding.			DNG	WI   A
ting beds to receive a 3" deep layer of high-quality shredded hardwood bark mulch (not enviromulch or wood chips). Mulch shall be overall appearance. Mulch shall be free of debris, large wood chunks, soil, rocks, weeds, invasive plant parts or seeds and any other . All perennial and ornamental grass planting areas to receive a 2" layer and groundcover areas a 1-2" layer of the same mulch. Do not licable). Do not allow mulch to contact plant stems and tree trunks.		mit	BEYOND ENGINEERING	Brookfield, WI   Milwaukee, WI   Appleton, WI   Cedarburg, WI   Naperville, IL   Irvine,
ith a 4" deep spaded edge (shovel cut or mechanical). Bedlines are to be cut crisp, as per plan. A clean definition between lawn area and		Ξ	OND EI	ld, WI   Cedarb
all perennial, ornamental grass, annual and groundcover areas shall be amended with compost prior to plant installation. Spread a 2" ) on top of clean topsoil and rototill to a depth of approximately 8". ed-free organic matter. It shall be resistant to further decomposition and free of compounds, such as ammonia and organic acids, in		S		Brookfie
vth. The compost shall contain no pathogens or other chemical contaminants and meet the requirements of WisDNR S100 Compost		0	REATIVITY	
urfgrass areas: remove / kill off any existing unwanted vegetation prior to seeding. Prepare the topsoil and seed bed by removing all rading lawn areas to finish grade. Apply a starter fertilizer and specified seed, ensure good seed to soil contact, and provide mulch and establish turf. Provide seed and fertilizer mix information to general contractor prior to installation. Erosion control measures are to be des, where applicable. Methods of installation may vary at the discretion of the landscape contractor on his/her responsibility to establish n, quality turf. If straw mulch is used as a mulch covering, a tackifier may be necessary to avoid wind damage. Marsh hay containing reed s a mulch covering.			0	
ned as having no more than 5% of the total area with bare spots larger than 1/2 square foot and uniform coverage throughout all turf				
hly a premium quality seed mix. Premium blend seed mix (or equivalent): 50% blended bluegrass, 25% creeping red fescue, 25% 1,000 SF or at recommended rates from supplier. Provide seed specifications to general contractor prior to installation.			ILS	
aufgrass areas(optional): remove / kill off any existing unwanted vegetation prior to sodding. Prepare the topsoil and sod bed by rarger and grading lawn areas to finish grade, allowing for thickness of sod. Use only premium sod blend according to TPI (revised call sod uniformly with staggered joints, laid tightly end to end and side to side. Roll sod with a walk behind roller and water immediately stake any sod installed on steep slopes or in swales, etc. Landscape contractor is responsible to provide a smooth, uniform, healthy turf. r and re-sod any eroded, sunken or bare spots (larger than $\frac{1}{2}$ square foot) until acceptance by owner.		SA	DETA	
onsible for the watering and maintenance of all landscape areas at time of planting and throughout construction until the substantial acceptance by the owner. This includes all trees, shrubs, evergreens, perennials, ornamental grasses, and seeded slopes and turf es mowing, weeding, watering, mulching, edging, pruning, deadheading, raking leaves / debris, sweeping up grass clippings, fertilizing ding applying pre and post emergent herbicides), and any other needs that are required to keep the landscape healthy and well			AND	
cape: after the landscape has been installed, the landscape contractor is responsible to conduct a final review with the owner's ontractor to ensure that all plans and specifications have been met. After this review, the landscape will be considered to be installed in nerwise noted by the owner's representative and/or general contractor. Any items missing or incomplete, shall be corrected within 30 shall provide written watering and maintenance instructions for the new plantings and lawn to the owner.			NOTES	
plants (trees, evergreens, shrubs, perennials, ornamental grasses and groundcovers) shall be warranted by the landscape contractor to dition for a period of <u>one year from the date of substantial completion</u> . This assumes the owner performs required maintenance (i.e. al completion of the landscape. Only one replacement per plant will be required during the warranty period, except for losses or mply with specified requirements. Replacements shall be plants of the same variety specified on the plan and closely match adjacent e contractor is responsible for keeping a documented record of which plants have been replaced during the warranty period.			ANDSCAPE NO	
			LAP	
		R.A. Smith		)25
		TE: 07/0	8/25	
Know what's <b>below.</b> <b>Call</b> before you dig.		B NO. <b>325</b> OJECT MA		
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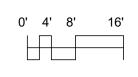
FOUNDRY WAY, WAUWATOSA, WI BASEMENT PLAN 07/08/2025 24106



	1BR	2BR	3BR	TOTAL	STORAGE
FIRST FLOOR	4	4	2	10	25
SECOND FLOOR	7	5	3	15	10
THIRD FLOOR	7	5	3	15	10
FOURTH FLOOR	7	5	3	15	10
TOTAL	26	19	11	55	56









FOUNDRY WAY, WAUWATOSA, WI FIRST FLOOR 07/08/2025 24106





	1BR	2BR	3BR	TOTAL	STORAGE
FIRST FLOOR	4	4	2	10	25
SECOND FLOOR	7	5	3	15	10
THIRD FLOOR	7	5	3	15	10
FOURTH FLOOR	7	5	3	15	10
TOTAL	26	19	11	55	56





FOUNDRY WAY, WAUWATOSA, WI SECOND, THIRD, & FOURTH FLOOR PLAN 07/08/2025 24106

## EXTERIOR MATERIALS PALETTE





architecture · interior design · planning 6515 Grand Teton Plaza, Suite 120, Madison, Wisconsin 53719 p608.829.4444 f608.829.4445 dimensionivmadison.com

## PROJECT INSPIRATION



CLEAN LINES AND SIMPLE FORMS



SCANDINAVIAN COLOR PALETTE CHARCOAL GRAY, BLACK, NATURAL WOOD TONE, AND CRISP WHITE (WITH A SPLASH OF ACCENT COLOR)



INTEGRATED OUTDOOR SPACES BALCONIES & PATIOS

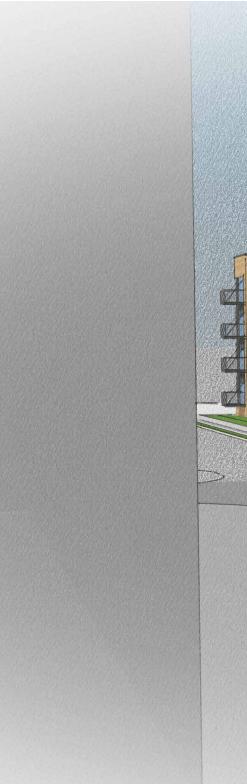


LARGE WINDOWS MAXIMIZING NATURAL LIGHT



FOUNDRY WAY, WAUWATOSA, WI MATERIAL SAMPLES 07/08/2025 24106





















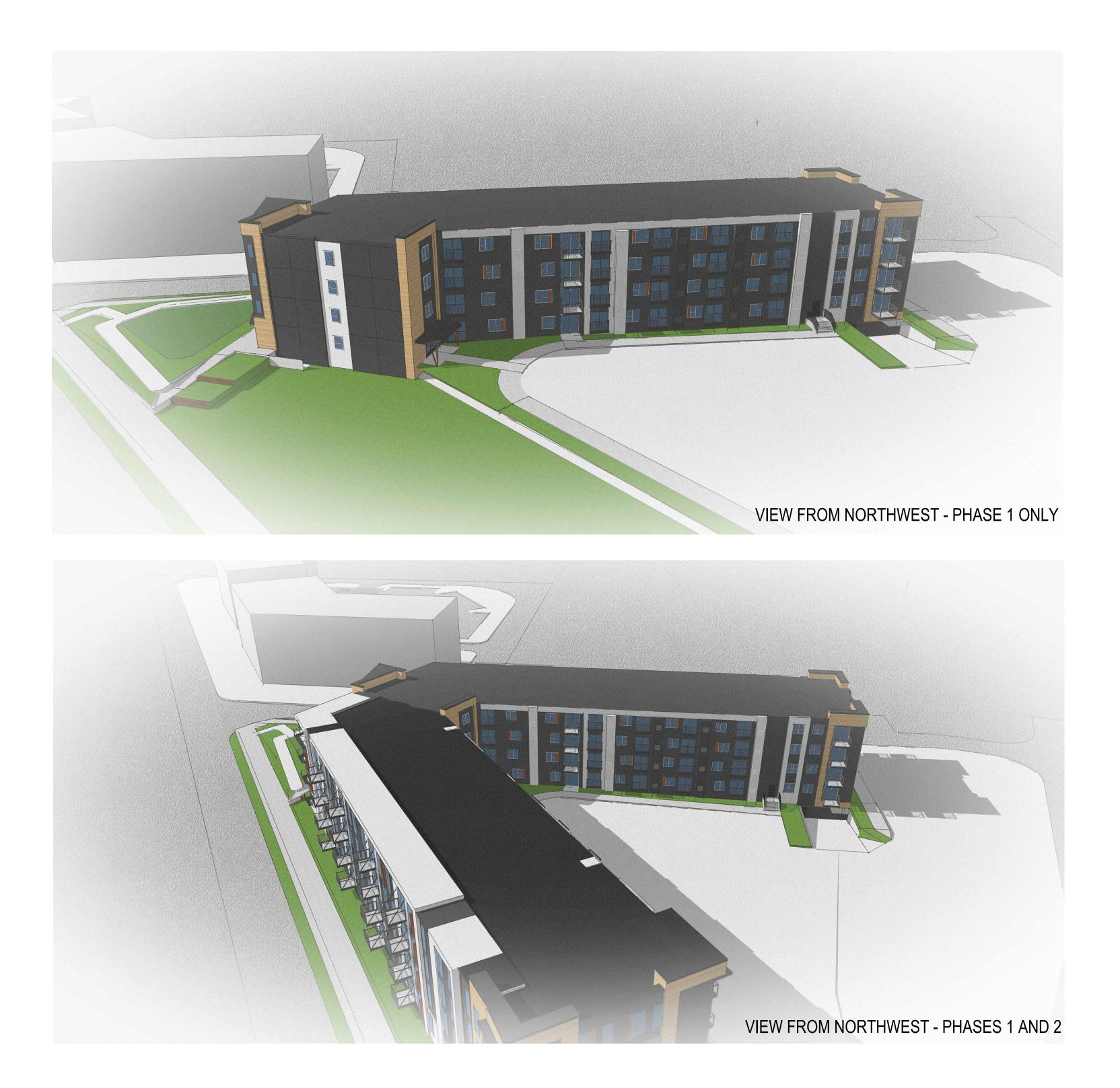






VIEW FROM SOUTH - PHASE 1 ONLY







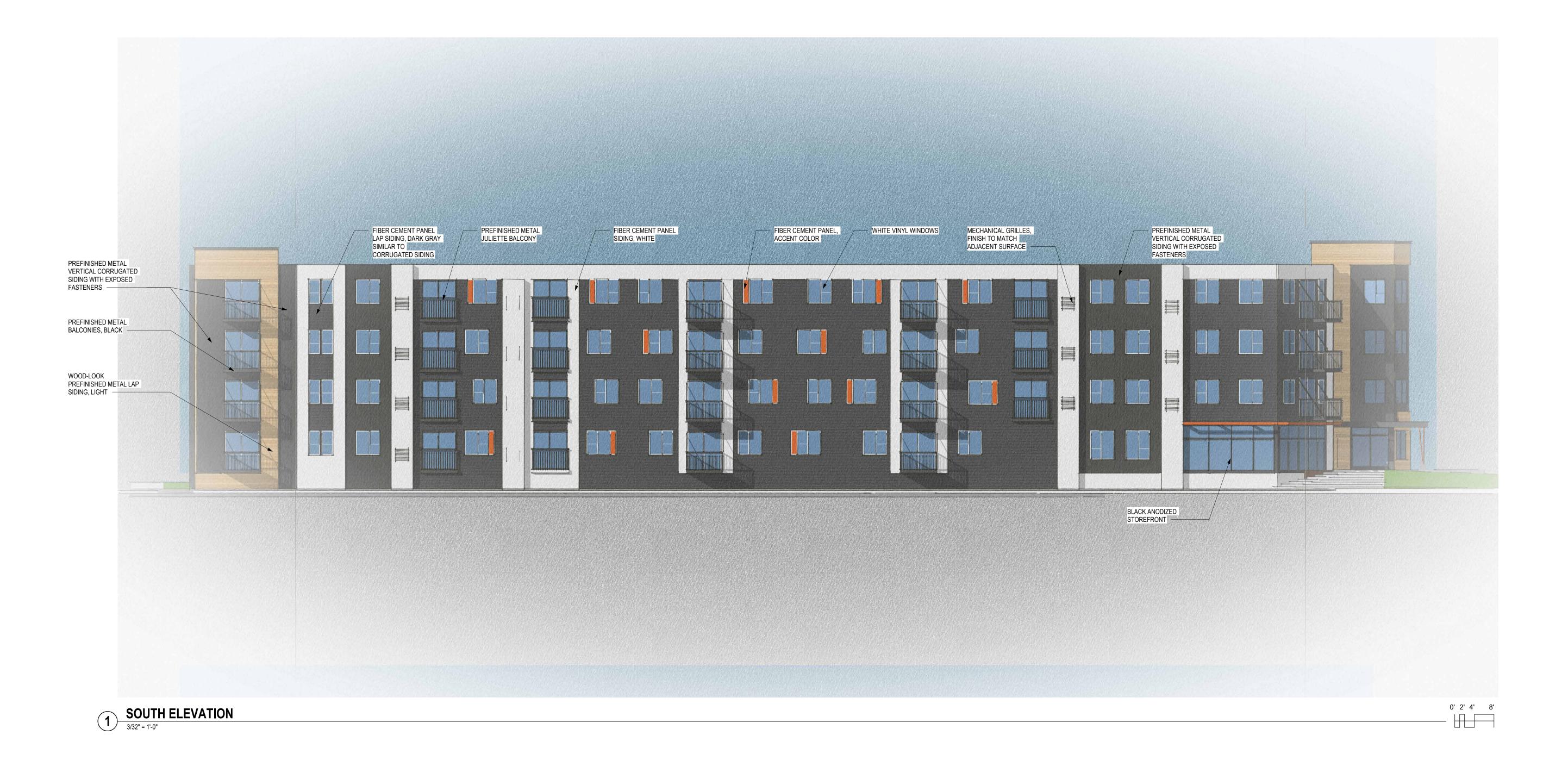
















FOUNDRY WAY, WAUWATOSA, WI EXTERIOR ELEVATIONS 07/08/2025 24106











FOUNDRY WAY, WAUWATOSA, WI EXTERIOR ELEVATIONS 07/08/2025 24106

0' 4' 8' 16'