

MSP - WAUWATOSA NORTH

FOUNDRY WAY, WAUWATOSA, WI



Architecture :

Developer:

Civil Engineering:

Landscape Architecture

Dimension IV - Madison Design Group

6515 Grand Teton Plaza, Suite 120, Madison, WI 53719

p: 608.829.4444 www.dimensionivmadison.com

MSP Real Estate

7901 West National Avenue, West Allis, WI 53214

p: 414.259.2108 www.msprealestateinc.com

CJ Engineering

9205 West Center Street, Suit 214, Milwaukee, WI 53222

p: 414.443.1312 www.cj-engineering.com

raSmith

16745 W. Bluemound Road, Brookfield, WI 53005-5938

p: 262.781.1000 www.rasmith.com

UNIT MIX					
PHASE 1 UNITS					
FLOOR	1	2	3	4	TOTAL
1 BED / 1 BATH	1	7	7	7	22
2 BED / 1 BATH	5	2	2	2	11
2 BED / 2 BATH	2	3	3	3	11
3 BED / 2 BATH	2	3	3	3	11
TOTAL					55
PHASE 2 UNITS					
FLOOR	1	2	3	4	TOTAL
STUDIO	3	2	1	1	7
1 BED / 1 BATH	11	12	13	12	48
2 BED	4	4	4	3	15
TOTAL					70
PARKING					
	PHASE 1	PHASE 2	TOTAL		
SURFACE PARKING	36	31	67		
UNDERGROUND PARKING	39	41	80		
TOTAL			147		

LIST OF DRAWINGS

SHEET NO.

SHEET NAME

G1-0

COVER SHEET

G2-0

SITE

G3-0

SITE PHOTOS

G4-0

EXISTING PROJECT PHOTOS

G5-0

PEDESTRIAL CONNECTIVITY PLAN

AL-0

SITE SURVEY

C200

SITE PLAN

C201

PHASE 1 SITE PLAN

L100

SITE LANDSCAPE PLAN

L200

LANDSCAPE NOTES AND DETAILS

LIGHT

SITE LIGHTING PHOTOMETRICS PLAN

LIST OF DRAWINGS

SHEET NO.

SHEET NAME

A1-0

BASEMENT FLOOR PLAN

A1-1

FIRST FLOOR PLAN

A1-2

SECOND, THIRD, & FOURTH FLOOR PLANS

A2-00

MATERIAL SAMPLES

A2-01

MATERIAL SAMPLES

A2-02

MATERIAL CALLOUT PERSPECTIVE

A2-03

PERSPECTIVE ELEVATION

A2-04

PERSPECTIVE ELEVATION

A2-05

PERSPECTIVE ELEVATION

A2-06

PERSPECTIVE ELEVATION

A2-07

PERSPECTIVE ELEVATION

A2-08

PERSPECTIVE ELEVATION

A2-09

EXTERIOR ELEVATIONS

A2-10

EXTERIOR ELEVATIONS

STATE MAP

SITE MAP

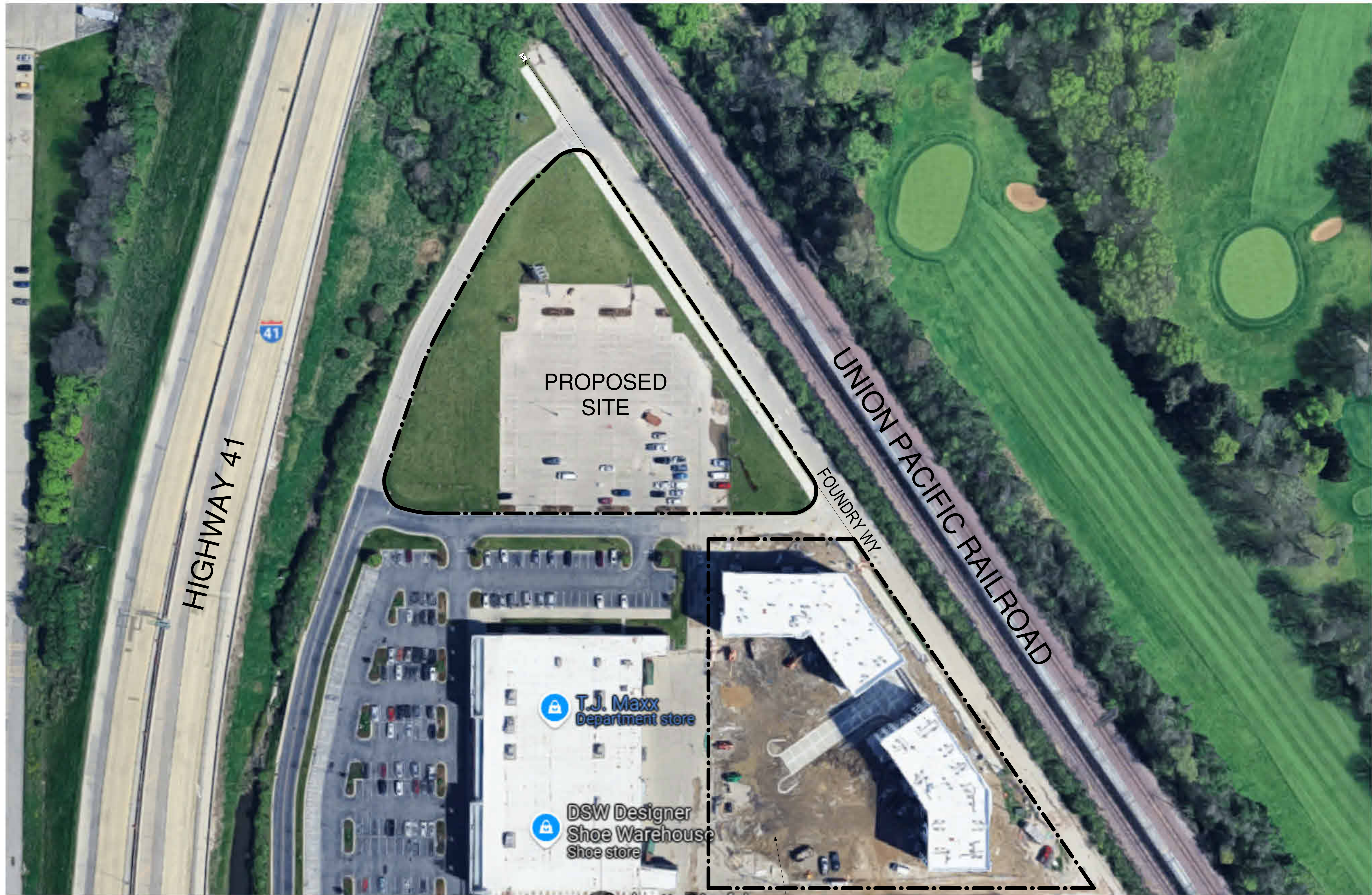
PROJECT LOCATION

DESIGN REVIEW BOARD SUBMITTAL

10/07/2025

PROJECT # 24106

G1-0



① SITE AERIAL VIEW
1 1/2" = 1'-0"

(The Regent & The Oxford)
EXISTING APARTMENT BUILDING



VIEW LOOKING FROM NORTH TOWARDS THE SITE



VIEW LOOKING FROM EAST TOWARDS THE SITE



VIEW LOOKING FROM SOUTH TOWARDS THE SITE



VIEW LOOKING FROM WEST TOWARDS THE SITE

PHOTOS OF *The Regent & The Oxford*, (EXISTING APARTMENT BUILDINGS AT 3325 AND 3375 FOUNDRY WAY)



VIEW LOOKING FROM WEST TOWARDS BUILDING



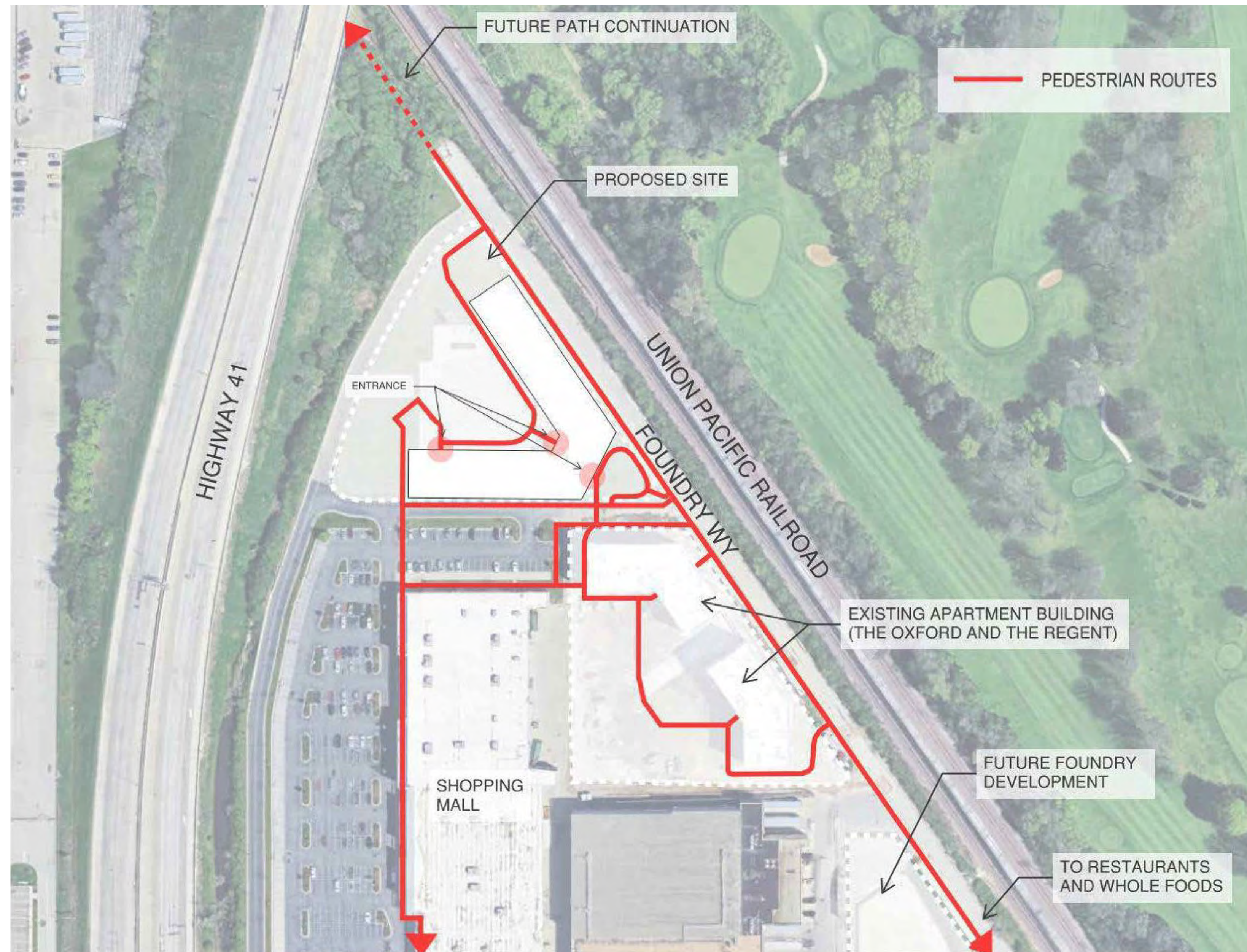
VIEW LOOKING NORTH FROM SOUTH

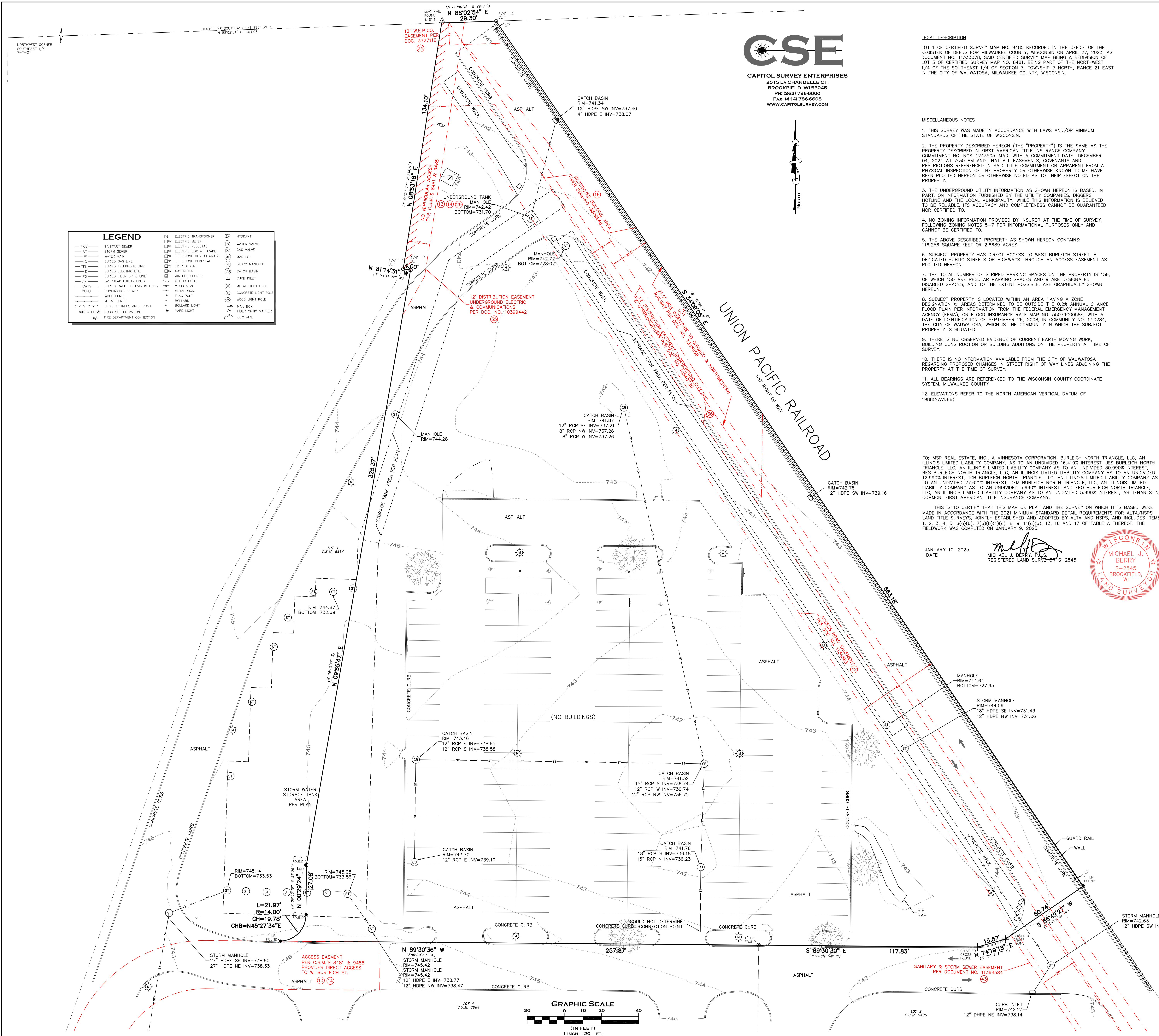


VIEW OF BUILDING A



VIEW LOOKING FROM SITE TO EXISTING BUILDING





LEGAL DESCRIPTION

LOT 1 OF CERTIFIED SURVEY MAP NO. 9485 RECORDED IN THE OFFICE OF THE REGISTER OF DEEDS FOR MILWAUKEE COUNTY, WISCONSIN ON APRIL 27, 2023, AS DOCUMENT NO. 1133078, SAID CERTIFIED SURVEY MAP BEING A REDIVISION OF LOT 3 OF CERTIFIED SURVEY MAP NO. 8481, BEING PART OF THE NORTHWEST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 7, TOWNSHIP 7 NORTH, RANGE 21 EAST IN THE CITY OF WAUWATOSA, MILWAUKEE COUNTY, WISCONSIN.

MISCELLANEOUS NOTES

1. THIS SURVEY WAS MADE IN ACCORDANCE WITH LAWS AND/OR MINIMUM STANDARDS OF THE STATE OF WISCONSIN.
2. THE PROPERTY DESCRIBED HEREON (THE "PROPERTY") IS THE SAME AS THE PROPERTY DESCRIBED IN FIRST AMERICAN TITLE INSURANCE COMPANY COMMITMENT NO. NCS-1243505-MAD, WITH A COMMITMENT DATE: DECEMBER 04, 2024 AT 7:30 AM AND THAT ALL EASEMENTS, COVENANTS AND RESTRICTIONS REFERENCED IN SAID TITLE COMMITMENT OR APPARENT FROM A PHYSICAL INSPECTION OF THE PROPERTY OR OTHERWISE KNOWN TO ME HAVE BEEN PLOTTED HEREON OR OTHERWISE NOTED AS TO THEIR EFFECT ON THE PROPERTY.
3. THE UNDERGROUND UTILITY INFORMATION AS SHOWN HEREON IS BASED, IN PART, ON INFORMATION FURNISHED BY THE UTILITY COMPANIES, DIGGERS HOTLINE AND THE LOCAL MUNICIPALITY. WHILE THIS INFORMATION IS BELIEVED TO BE RELIABLE, ITS ACCURACY AND COMPLETENESS CANNOT BE GUARANTEED NOR CERTIFIED TO.
4. NO ZONING INFORMATION PROVIDED BY INSURER AT THE TIME OF SURVEY. FOLLOWING ZONING NOTES 5-7 FOR INFORMATIONAL PURPOSES ONLY AND CANNOT BE CERTIFIED TO.
5. THE ABOVE DESCRIBED PROPERTY AS SHOWN HEREON CONTAINS: 116,256 SQUARE FEET OR 2.6689 ACRES.
6. SUBJECT PROPERTY HAS DIRECT ACCESS TO WEST BURLINGH STREET, A DEDICATED PUBLIC STREETS OR HIGHWAYS THROUGH AN ACCESS EASEMENT AS PLOTTED HEREON.
7. THE TOTAL NUMBER OF STRIPED PARKING SPACES ON THE PROPERTY IS 159, OF WHICH 150 ARE REGULAR PARKING SPACES AND 9 ARE DESIGNATED DISABLED SPACES, AND TO THE EXTENT POSSIBLE, ARE GRAPHICALLY SHOWN HEREON.
8. SUBJECT PROPERTY IS LOCATED WITHIN AN AREA HAVING A ZONE DESIGNATION X; AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOOD PLAIN PER INFORMATION FROM THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA), ON FLOOD INSURANCE RATE MAP NO. 55070C0058, WITH A DATE OF IDENTIFICATION OF SEPTEMBER 26, 2008, IN COMMUNITY NO. 550284, THE CITY OF WAUWATOSA, WHICH IS THE COMMUNITY IN WHICH THE SUBJECT PROPERTY IS SITUATED.
9. THERE IS NO OBSERVED EVIDENCE OF CURRENT EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS ON THE PROPERTY AT TIME OF SURVEY.
10. THERE IS NO INFORMATION AVAILABLE FROM THE CITY OF WAUWATOSA REGARDING PROPOSED CHANGES IN STREET RIGHT OF WAY LINES ADJOINING THE PROPERTY AT THE TIME OF SURVEY.
11. ALL BEARINGS ARE REFERENCED TO THE WISCONSIN COUNTY COORDINATE SYSTEM, MILWAUKEE COUNTY.
12. ELEVATIONS REFER TO THE NORTH AMERICAN VERTICAL DATUM OF 1988(NAD83).

TO: MSP REAL ESTATE, INC., A MINNESOTA CORPORATION, BURLINGH NORTH TRIANGLE, LLC, AN ILLINOIS LIMITED LIABILITY COMPANY, AS TO AN UNDIVIDED 16.419% INTEREST, JES BURLINGH NORTH TRIANGLE, LLC, AN ILLINOIS LIMITED LIABILITY COMPANY AS TO AN UNDIVIDED 30.900% INTEREST, RES BURLINGH NORTH TRIANGLE, LLC, AN ILLINOIS LIMITED LIABILITY COMPANY AS TO AN UNDIVIDED 12.900% INTEREST, TCB BURLINGH NORTH TRIANGLE, LLC, AN ILLINOIS LIMITED LIABILITY COMPANY AS TO AN UNDIVIDED 27.621% INTEREST, OFM BURLINGH NORTH TRIANGLE, LLC, AN ILLINOIS LIMITED LIABILITY COMPANY AS TO AN UNDIVIDED 5.990% INTEREST, AND EEO BURLINGH NORTH TRIANGLE, LLC, AN ILLINOIS LIMITED LIABILITY COMPANY AS TO AN UNDIVIDED 5.990% INTEREST, AS TENANTS IN COMMON, FIRST AMERICAN TITLE INSURANCE COMPANY.

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16 AND 17 OF TABLE A THEROF. THE FIELDWORK WAS COMPLETED ON JANUARY 9, 2025.

JANUARY 10, 2025
DATE

MICHAEL J. BERRY, P.L.S.
REGISTERED LAND SURVEYOR S-2545



SCHEDULE B, PART II-EXCEPTIONS

- 13 ACCESS RESTRICTIONS AND EASEMENTS AS SET FORTH ON CERTIFIED SURVEY MAP NO. 8481, AFFECTS PROPERTY AS PLOTTED HEREON.
- 14 EASEMENTS, DEDICATIONS, RESERVATIONS, PROVISIONS, RELINQUISHMENTS, RETAILS, CERTIFICATES, AND ANY OTHER MATTERS AS PROVIDED FOR OR DELINEATED ON CERTIFIED SURVEY MAP NO. 9485 RECORDED APRIL 27, 2023, AS DOCUMENT NO. 1133078 REFERENCED IN THE LEGAL DESCRIPTION CONTAINED HEREIN, REFERENCE IS HEREBY MADE TO SAID PLAT FOR PARTICULARS. AFFECTS PROPERTY AS PLOTTED HEREON.
- 15 EASEMENT FOR SANITARY SEWER INTO BY AND BETWEEN MOHAWK REFRIGERATING COMPANY, A P CONTROLS CORPORATION AND BRIGGS & STRATTON CORPORATION, DATED APRIL 16, 1951 AND RECORDED APRIL 19, 1951 IN VOLUME 2871 OF DEEDS ON PAGE 603, AS DOCUMENT NO. 3019445, THE TERMS BEING SET FORTH BY THAT INSTRUMENT RECORDED AS DOCUMENT NO. 3409545. DOES NOT AFFECT PROPERTY - NOTHING PLOTTED.
- 16 RESTRICTIONS CONTAINED IN A WARRANTY DEED RECORDED ON JULY 12, 1954 AS DOCUMENT NO. 3309845. AFFECTS PROPERTY AS PLOTTED HEREON.
- 17 RIGHTS OF THE CHICAGO AND NORTH WESTERN RAILWAY COMPANY, A WISCONSIN CORPORATION, UNDER AN INDENTURE RECORDED ON NOVEMBER 19, 1954, AS DOCUMENT NO. 3346559. AFFECTS PROPERTY AS PLOTTED HEREON.
- 18 UTILITY EASEMENT GRANTED TO WISCONSIN ELECTRIC POWER COMPANY DOCUMENT NO. 3356612. MAY AFFECT PROPERTY BY LOCATION - UNABLE TO PLOT, SUBSTATION GONE.
- 19 COVENANTS, CONDITIONS, RESTRICTIONS, EASEMENTS AND CHARGES SET FORTH IN WARRANTY DEED PROVIDED FOR IN AN INSTRUMENT RECORDED AS DOCUMENT NO. 3409545. RELEASE OF RESTRICTIONS CONTAINED IN AN INSTRUMENT RECORDED AS DOCUMENT NO. 3681997. AFFECTS PROPERTY BY LOCATION - NOTHING TO PLOT.
- 20 WISCONSIN ELECTRIC POWER COMPANY RECORDED MARCH 27, 1958 ON DEED 3798, PAGE 419 AS DOCUMENT NO. 3645992. DOES NOT AFFECT PROPERTY - NOTHING TO PLOT.
- 21 UTILITY EASEMENT GRANTED TO WISCONSIN ELECTRIC POWER COMPANY RECORDED AS DOCUMENT NO. 3645993. DOES NOT AFFECT PROPERTY - NOTHING TO PLOT.
- 22 EASEMENT GRANTED TO WISCONSIN ELECTRIC POWER COMPANY AND WISCONSIN TELEPHONE COMPANY RECORDED AS DOCUMENT NO. 3657858. DOES NOT AFFECT PROPERTY - NOTHING TO PLOT.
- 23 UTILITY EASEMENT TO WISCONSIN ELECTRIC POWER COMPANY AND WISCONSIN TELEPHONE COMPANY RECORDED AS DOCUMENT NO. 3683185. MAY AFFECT PROPERTY BY LOCATION - UNABLE TO PLOT, SUBSTATION GONE.
- 24 UTILITY EASEMENT GRANTED TO WISCONSIN ELECTRIC POWER COMPANY RECORDED ON APRIL 13, 1959 AS DOCUMENT NO. 3727116. AFFECTS PROPERTY AS PLOTTED HEREON.
- 25 EASEMENT GRANTED TO WISCONSIN ELECTRIC POWER COMPANY AND WISCONSIN TELEPHONE COMPANY RECORDED AS DOCUMENT NO. 3847693. MAY AFFECT PROPERTY BY LOCATION - UNABLE TO PLOT, SUBSTATION GONE.
- 26 EASEMENTS GRANTED TO KOHL'S WAREHOUSE CORPORATION, A CORPORATION DULY ORGANIZED AND EXISTING UNDER AND BY VIRTUE OF THE LAWS OF THE STATE OF WISCONSIN RECORDED IN INSTRUMENT RECORDED DECEMBER 21, 1961 IN VOLUME 4203 OF DEEDS, PAGE 72 AS DOCUMENT NO. 5925550. UNABLE TO DETERMINE LOCATION - BUILDING GONE.
- 27 WATERMAIN EASEMENTS GRANTED TO CITY OF WAUWATOSA RECORDED AS DOCUMENT NO. 3941267, DOCUMENT NO. 4076990 AND DOCUMENT NO. 4271033. DOES NOT AFFECT PROPERTY - NOTHING PLOTTED.
- 28 EASEMENT DEED BY AND BETWEEN ROUNDY'S, INC. AND CHICAGO AND NORTHWESTERN RAILWAY COMPANY RECORDED ON NOVEMBER 5, 1962 AS DOCUMENT NO. 3985559. DOES NOT AFFECT PROPERTY - NOTHING PLOTTED.
- 29 LIMITATIONS ON ACCESS AS SET FORTH IN AWARD OF DAMAGES RECORDED ON APRIL 7, 1966, AS DOCUMENT NO. 4247674. AFFECTS PROPERTY AS PLOTTED HEREON.
- 30 EASEMENT GRANTED TO WISCONSIN TELEPHONE COMPANY RECORDED ON JUNE 29, 1966 AS DOCUMENT NO. 4263617. DOES NOT AFFECT PROPERTY - NOTHING TO PLOT.
- 31 WISCONSIN GAS CORPORATION EASEMENT GRANTED TO WISCONSIN GAS COMPANY, A WISCONSIN CORPORATION RECORDED ON NOVEMBER 29, 1993 AS DOCUMENT NO. 6863226. DOES NOT AFFECT PROPERTY - NOTHING TO PLOT.
- 32 UTILITY EASEMENT GRANTED TO WISCONSIN ELECTRIC POWER COMPANY RECORDED AS DOCUMENT NO. 4335958. DOES NOT AFFECT PROPERTY - NOTHING TO PLOT.
- 33 WISCONSIN GAS COMPANY CORPORATION EASEMENT RECORDED ON DECEMBER 10, 1993 AS DOCUMENT NO. 6869634. DOES NOT AFFECT PROPERTY - NOTHING TO PLOT.
- 34 EASEMENT AGREEMENT RECORDED ON JANUARY 4, 2007, AS DOCUMENT NO. 9363400. MODIFICATION AND/OR AMENDMENT BY INSTRUMENT: AMENDED AND RESTATED EASEMENT AGREEMENT RECORDED INFORMATION: APRIL 12, 2013 AS DOCUMENT NO. 10237291. MODIFICATION AND/OR AMENDMENT BY INSTRUMENT: THIRD AMENDED AND RESTATED EASEMENT AGREEMENT RECORDED INFORMATION: FEBRUARY 13, 2023 AS DOCUMENT NO. 11317498. AFFECTS PROPERTY BY DESCRIPTION - UNABLE TO PLOT.
- 35 THIRD AMENDED AND RESTATED EASEMENT AGREEMENT EASEMENT FOR UNDERGROUND ELECTRIC AND COMMUNICATIONS GRANTED TO WISCONSIN ELECTRIC POWER COMPANY, A WISCONSIN CORPORATION DOING BUSINESS AS WE ENERGIES, TIME WARNER ENTERTAINMENT COMPANY, LP AND WISCONSIN BELL, INC. DOING BUSINESS AS AT&T WISCONSIN, A WISCONSIN CORPORATION RECORDED ON SEPTEMBER 30, 2014 AS DOCUMENT NO. 10399444. AFFECTS PROPERTY AS PLOTTED HEREON.
- 36 DISTRIBUTION EASEMENT UNDERGROUND ELECTRIC AND COMMUNICATIONS GRANTED TO WISCONSIN ELECTRIC POWER COMPANY, A WISCONSIN CORPORATION DOING BUSINESS AS WE ENERGIES, TIME WARNER ENTERTAINMENT COMPANY, LP AND WISCONSIN BELL, INC. DOING BUSINESS AS AT&T WISCONSIN, A WISCONSIN CORPORATION, RECORDED ON SEPTEMBER 30, 2014 AS DOCUMENT NO. 10399444. AFFIDAVIT OF CORRECTION, RECORDED FEBRUARY 17, 2016 AS DOCUMENT NO. 10540720. AFFECTS PROPERTY AS PLOTTED HEREON.
- 37 DISTRIBUTION EASEMENT GAS AND COMMUNICATIONS GRANTED TO WISCONSIN GAS LLC, A WISCONSIN LIMITED LIABILITY COMPANY DOING BUSINESS AS WE ENERGIES, TIME WARNER ENTERTAINMENT COMPANY, LP AND WISCONSIN BELL, INC. DOING BUSINESS AS AT&T WISCONSIN, A WISCONSIN CORPORATION, RECORDED ON SEPTEMBER 30, 2014 AS DOCUMENT NO. 10399444. AFFIDAVIT OF CORRECTION, RECORDED FEBRUARY 17, 2016 AS DOCUMENT NO. 10540721. DOES NOT AFFECT PROPERTY - NOTHING PLOTTED.
- 38 DISTRIBUTION EASEMENT UNDERGROUND ELECTRIC AND COMMUNICATIONS GRANTED TO WISCONSIN ELECTRIC POWER COMPANY, A WISCONSIN CORPORATION DOING BUSINESS AS WE ENERGIES AND WISCONSIN BELL, INC. DOING BUSINESS AS AT&T WISCONSIN, A WISCONSIN CORPORATION, RECORDED ON MARCH 07, 2016 AS DOCUMENT NO. 10545013. DOES NOT AFFECT PROPERTY - NOTHING PLOTTED.
- 39 WATER MAIN EASEMENT GRANTED TO CITY OF WAUWATOSA RECORDED ON NOVEMBER 21, 2016 AS DOCUMENT NO. 10625233. DOES NOT AFFECT PROPERTY - NOTHING PLOTTED.
- 40 RECIPROCAL EASEMENT AND OPERATION AGREEMENT RECORDED ON JANUARY 17, 2017, AS DOCUMENT NO. 10641155. MODIFICATION AND/OR AMENDMENT BY INSTRUMENT: FIRST AMENDMENT TO RECIPROCAL EASEMENT AND OPERATION AGREEMENT RECORDED INFORMATION: SEPTEMBER 06, 2023 AS DOCUMENT NO. 11364888. AFFECTS PROPERTY BY DESCRIPTION - GENERAL IN NATURE. NOTHING TO PLOT.
- 41 UTILITY EASEMENT TO WISCONSIN ELECTRIC POWER COMPANY, A WISCONSIN CORPORATION AND WISCONSIN GAS LLC, A WISCONSIN LIMITED LIABILITY COMPANY, BOTH DOING BUSINESS AS WE ENERGIES, DATED JULY 7, 2015, RECORDED/FILED APRIL 24, 2018 AS DOCUMENT NO. 10770298. DOES NOT AFFECT PROPERTY - NOTHING PLOTTED.
- 42 ACCESS ROAD EASEMENT RECORDED ON SEPTEMBER 06, 2023 AS DOCUMENT NO. 11364583. AFFECTS PROPERTY AS PLOTTED HEREON.
- 43 SANITARY AND STORM SEWER EASEMENT AGREEMENT: DATED: AUGUST 29, 2023. PARTIES: BURLINGH 45, LLC, AN ILLINOIS LIMITED LIABILITY COMPANY, TCB BURLINGH RETAIL, LLC, AN ILLINOIS LIMITED LIABILITY COMPANY, BURLINGH MAYFAIR, LLC, AN ILLINOIS LIMITED LIABILITY COMPANY, TCB BURLINGH MAYFAIR, LLC, AN ILLINOIS LIMITED LIABILITY COMPANY, BURLINGH NORTH TRIANGLE, LLC, AN ILLINOIS LIMITED LIABILITY COMPANY, JES BURLINGH NORTH TRIANGLE, LLC, AN ILLINOIS LIMITED LIABILITY COMPANY, RES BURLINGH NORTH TRIANGLE, LLC, AN ILLINOIS LIMITED LIABILITY COMPANY, TCB BURLINGH NORTH TRIANGLE, LLC, AN ILLINOIS LIMITED LIABILITY COMPANY, OFM BURLINGH NORTH TRIANGLE, LLC, AN ILLINOIS LIMITED LIABILITY COMPANY, EEO BURLINGH NORTH TRIANGLE, LLC, AN ILLINOIS LIMITED LIABILITY COMPANY AND TCB BURLINGH BELL, LLC, AN ILLINOIS LIMITED LIABILITY COMPANY. RECORDED: SEPTEMBER 06, 2023. INSTRUMENT NO.: 11364584. AFFECTS PROPERTY AS PLOTTED HEREON.
- 44 EASEMENT FOR WATER MAIN GRANTED TO THE CITY OF WAUWATOSA, A MUNICIPAL CORPORATION BY INSTRUMENT RECORDED IN APRIL 30, 2024 AS DOCUMENT NO. 11416247. DOES NOT AFFECT PROPERTY - NOTHING PLOTTED.

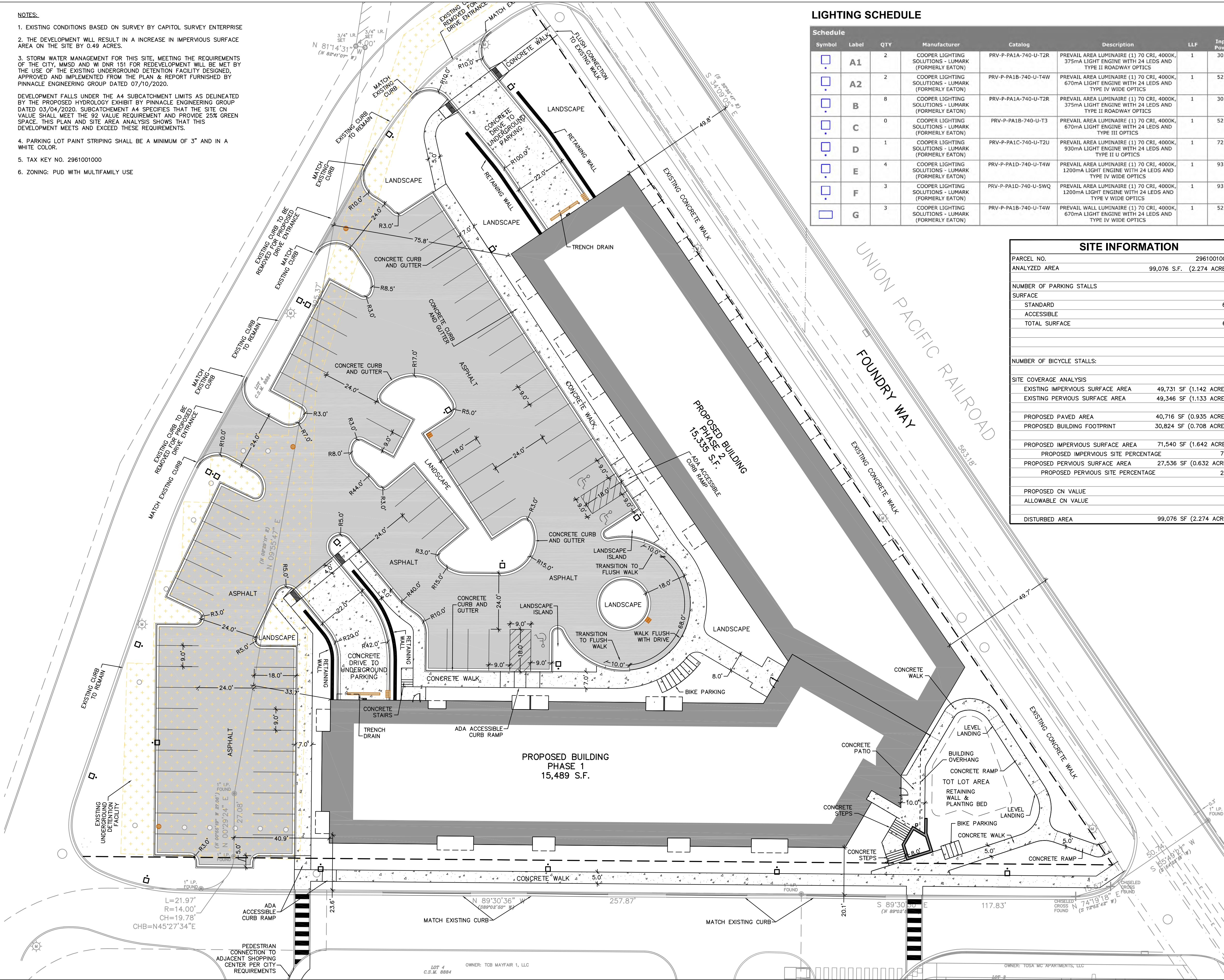
ALTA/NSPS LAND TITLE SURVEY

FOR
MSP - MAYFAIR NORTH
W. BURLINGH ST.
WAUWATOSA, WI

DRAWN BY:	DHS	DATE:	JAN. 10, 2025
CHECKED BY:	MJB	DRAWING NO.	AL - 0
CSE JOB NO.:	24-147	SHEET	1 OF 1

NOTES:

1. EXISTING CONDITIONS BASED ON SURVEY BY CAPITOL SURVEY ENTERPRISE
2. THE DEVELOPMENT WILL RESULT IN A INCREASE IN IMPERVIOUS SURFACE AREA ON THE SITE BY 0.49 ACRES.
3. STORM WATER MANAGEMENT FOR THIS SITE, MEETING THE REQUIREMENTS OF THE CITY, MMSD AND WI DNR 151 FOR REDEVELOPMENT WILL BE MET BY THE USE OF THE EXISTING UNDERGROUND DETENTION FACILITY DESIGNED, APPROVED AND IMPLEMENTED FROM THE PLAN & REPORT FURNISHED BY PINNACLE ENGINEERING GROUP DATED 07/10/2020.
- DEVELOPMENT FALLS UNDER THE A4 SUBCATCHMENT LIMITS AS DELINEATED BY THE PROPOSED HYDROLOGY EXHIBIT BY PINNACLE ENGINEERING GROUP DATED 03/04/2020. SUBCATCHMENT A4 SPECIFIES THAT THE SITE ON VALUE SHALL MEET THE 92 VALUE REQUIREMENT AND PROVIDE 25% GREEN SPACE. THIS PLAN AND SITE AREA ANALYSIS SHOWS THAT THIS DEVELOPMENT MEETS AND EXCEED THESE REQUIREMENTS.
4. PARKING LOT PAINT STRIPING SHALL BE A MINIMUM OF 3" AND IN A WHITE COLOR.
5. TAX KEY NO. 2961001000
6. ZONING: PUD WITH MULTIFAMILY USE



LIGHTING SCHEDULE

Schedule						
Symbol	Label	QTY	Manufacturer	Catalog	Description	LLF Input Power
	A1	2	COOPER LIGHTING SOLUTIONS - LUMARK (FORMERLY EATON)	PRV-P-PA1A-740-U-T2R	PREVAIL AREA LUMINAIRE (1) 70 CRI, 4000K, 375ma LIGHT ENGINE WITH 24 LEDS AND TYPE II ROADWAY OPTICS	1 30.7
	A2	2	COOPER LIGHTING SOLUTIONS - LUMARK (FORMERLY EATON)	PRV-P-PA1B-740-U-T4W	PREVAIL AREA LUMINAIRE (1) 70 CRI, 4000K, 670ma LIGHT ENGINE WITH 24 LEDS AND TYPE IV WIDE OPTICS	1 52.8
	B	8	COOPER LIGHTING SOLUTIONS - LUMARK (FORMERLY EATON)	PRV-P-PA1A-740-U-T2R	PREVAIL AREA LUMINAIRE (1) 70 CRI, 4000K, 375ma LIGHT ENGINE WITH 24 LEDS AND TYPE II ROADWAY OPTICS	1 30.7
	C	0	COOPER LIGHTING SOLUTIONS - LUMARK (FORMERLY EATON)	PRV-P-PA1B-740-U-T3	PREVAIL AREA LUMINAIRE (1) 70 CRI, 4000K, 670ma LIGHT ENGINE WITH 24 LEDS AND TYPE III OPTICS	1 52.8
	D	1	COOPER LIGHTING SOLUTIONS - LUMARK (FORMERLY EATON)	PRV-P-PA1C-740-U-T2U	PREVAIL AREA LUMINAIRE (1) 70 CRI, 4000K, 930ma LIGHT ENGINE WITH 24 LEDS AND TYPE II U OPTICS	1 72.1
	E	4	COOPER LIGHTING SOLUTIONS - LUMARK (FORMERLY EATON)	PRV-P-PA1D-740-U-T4W	PREVAIL AREA LUMINAIRE (1) 70 CRI, 4000K, 1200ma LIGHT ENGINE WITH 24 LEDS AND TYPE IV WIDE OPTICS	1 93.4
	F	3	COOPER LIGHTING SOLUTIONS - LUMARK (FORMERLY EATON)	PRV-P-PA1D-740-U-SWQ	PREVAIL AREA LUMINAIRE (1) 70 CRI, 4000K, 1200ma LIGHT ENGINE WITH 24 LEDS AND TYPE V WIDE OPTICS	1 93.4
	G	3	COOPER LIGHTING SOLUTIONS - LUMARK (FORMERLY EATON)	PRV-P-PA1B-740-U-T4W	PREVAIL WALL LUMINAIRE (1) 70 CRI, 4000K, 670ma LIGHT ENGINE WITH 24 LEDS AND TYPE IV WIDE OPTICS	1 52.8

SITE INFORMATION	
PARCEL NO.	2961001000
ANALYZED AREA	99,076 S.F. (2.274 ACRES)
NUMBER OF PARKING STALLS	
SURFACE	
STANDARD	64
ACCESSIBLE	3
TOTAL SURFACE	67
NUMBER OF BICYCLE STALLS:	13
SITE COVERAGE ANALYSIS	
EXISTING IMPERVIOUS SURFACE AREA	49,731 SF (1.142 ACRES)
EXISTING PERVIOUS SURFACE AREA	49,346 SF (1.133 ACRES)
PROPOSED PAVED AREA	40,716 SF (0.935 ACRES)
PROPOSED BUILDING FOOTPRINT	30,824 SF (0.708 ACRES)
PROPOSED IMPERVIOUS SURFACE AREA	71,540 SF (1.642 ACRES)
PROPOSED IMPERVIOUS SITE PERCENTAGE	72%
PROPOSED PERVIOUS SURFACE AREA	27,536 SF (0.632 ACRES)
PROPOSED PERVIOUS SITE PERCENTAGE	28%
PROPOSED CN VALUE	91
ALLOWABLE CN VALUE	92
DISTURBED AREA	99,076 SF (2.274 ACRES)

DIMENSION
Madison Design Group
architecture · interior design · planning

6515 Grand Teton Plaza, Suite 120
Madison, Wisconsin 53719
p608.829.4444 f608.829.4445 dimensionivmadison.com



CREATE THE VISION TELL THE STORY

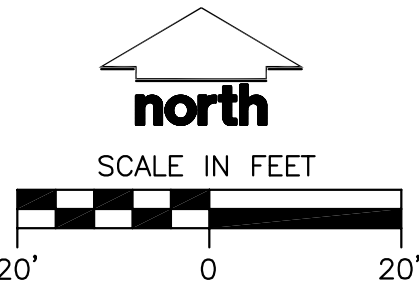
jsdinc.com

MILWAUKEE REGIONAL OFFICE
W238 N1610 BUSSE ROAD, SUITE 100
WAUKESHA, WISCONSIN 53188
P. 262.513.0666

JSD PROJECT NO: 25-15011

MSP MAYFAIR
NORTH

FOUNDRY WAY, WAUWATOSA, WI
53222



DIGGERS & HOTLINE
Toll Free (800) 242-8511

DATE OF ISSUE: 10/07/2025

REVISIONS:

PRELIMINARY
NOT FOR
CONSTRUCTION

PROJECT # 24106

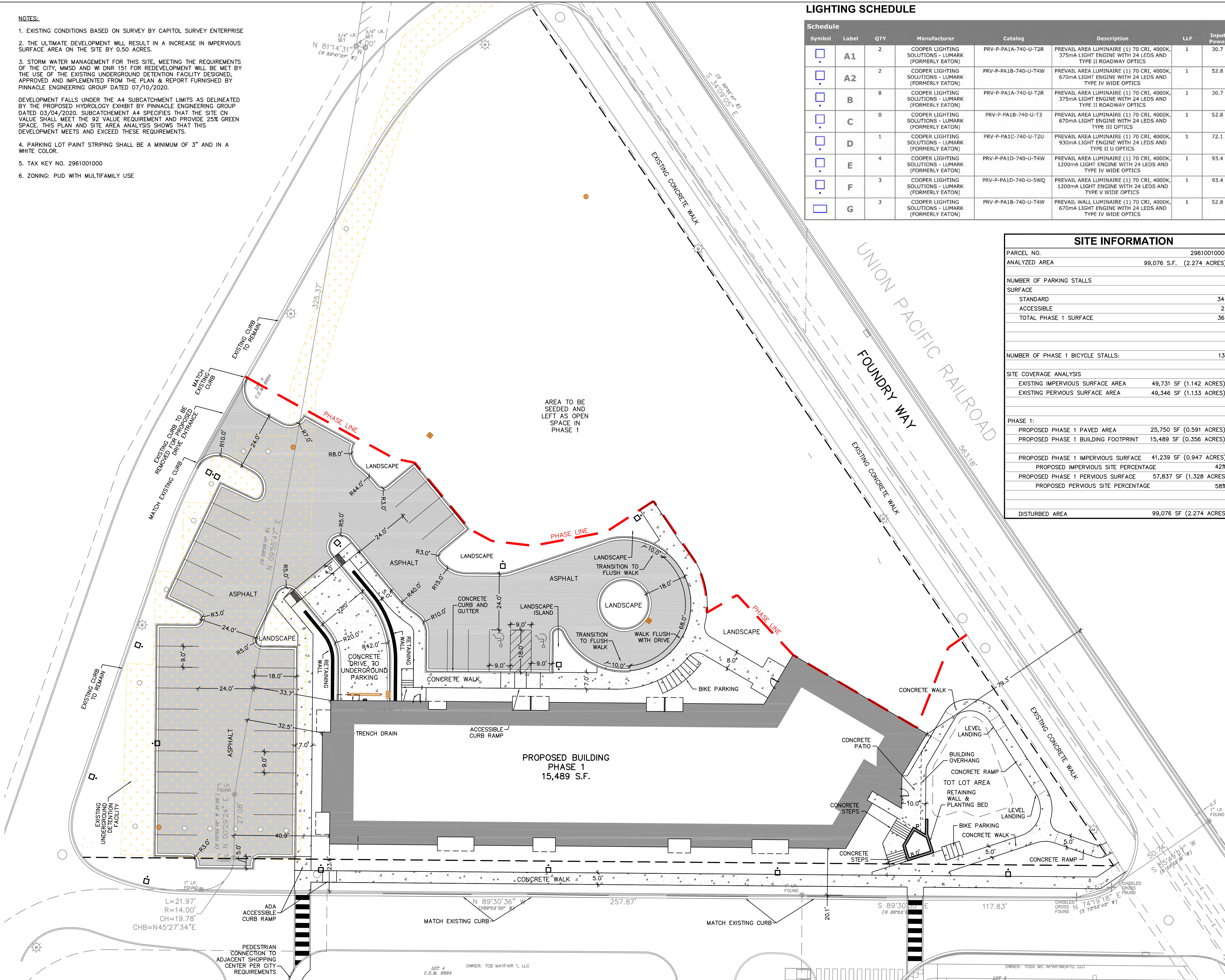
SITE PLAN

C200

NOTES:

1. EXISTING CONDITIONS BASED ON SURVEY BY CAPITOL SURVEY ENTERPRISE
2. THE ULTIMATE DEVELOPMENT WILL RESULT IN A INCREASE IN IMPERVIOUS SURFACE AREA ON THE SITE BY 0.50 ACRES.
3. STORM WATER MANAGEMENT FOR THIS SITE, MEETING THE REQUIREMENTS OF THE CITY, MMSD AND W DNR 151 FOR REDEVELOPMENT WILL BE MET BY THE USE OF THE EXISTING UNDERGROUND DETENTION FACILITY DESIGNED, APPROVED AND IMPLEMENTED FROM THE PLAN & REPORT FURNISHED BY PINNACLE ENGINEERING GROUP DATED 07/10/2020.
4. PARKING LOT PAINT STRIPING SHALL BE A MINIMUM OF 3" AND IN A WHITE COLOR.
5. TAX KEY NO. 2961001000
6. ZONING: PUD WITH MULTIFAMILY USE

DEVELOPMENT FALLS UNDER THE A4 SUBCATCHMENT LIMITS AS DELINEATED BY THE PROPOSED HYDROLOGY EXHIBIT BY PINNACLE ENGINEERING GROUP DATED 03/04/2020. SUBCATCHMENT A4 SPECIFIES THAT THE SITE ON VALUE SHALL MEET THE 92 VALUE REQUIREMENT AND PROVIDE 25% GREEN SPACE. THIS PLAN AND SITE AREA ANALYSIS SHOWS THAT THIS DEVELOPMENT MEETS AND EXCEED THESE REQUIREMENTS.



LIGHTING SCHEDULE

Schedule						
Symbol	Label	QTY	Manufacturer	Catalog	Description	LLF Input Power
□	A1	2	COOPER LIGHTING SOLUTIONS - LUMARK (FORMERLY EATON)	PRV-P-PA1A-740-U-T2R	PREVAIL AREA LUMINAIRE (1) 70 CRI, 4000K, 375mA LIGHT ENGINE WITH 24 LEDS AND TYPE II ROADWAY OPTICS	1 30.7
□	A2	2	COOPER LIGHTING SOLUTIONS - LUMARK (FORMERLY EATON)	PRV-P-PA1B-740-U-T4W	PREVAIL AREA LUMINAIRE (1) 70 CRI, 4000K, 670mA LIGHT ENGINE WITH 24 LEDS AND TYPE IV WIDE OPTICS	1 52.8
□	B	8	COOPER LIGHTING SOLUTIONS - LUMARK (FORMERLY EATON)	PRV-P-PA1A-740-U-T2R	PREVAIL AREA LUMINAIRE (1) 70 CRI, 4000K, 375mA LIGHT ENGINE WITH 24 LEDS AND TYPE II ROADWAY OPTICS	1 30.7
□	C	0	COOPER LIGHTING SOLUTIONS - LUMARK (FORMERLY EATON)	PRV-P-PA1B-740-U-T3	PREVAIL AREA LUMINAIRE (1) 70 CRI, 4000K, 670mA LIGHT ENGINE WITH 24 LEDS AND TYPE III OPTICS	1 52.8
□	D	1	COOPER LIGHTING SOLUTIONS - LUMARK (FORMERLY EATON)	PRV-P-PA1C-740-U-T2U	PREVAIL AREA LUMINAIRE (1) 70 CRI, 4000K, 930mA LIGHT ENGINE WITH 24 LEDS AND TYPE II U OPTICS	1 72.1
□	E	4	COOPER LIGHTING SOLUTIONS - LUMARK (FORMERLY EATON)	PRV-P-PA1D-740-U-T4W	PREVAIL AREA LUMINAIRE (1) 70 CRI, 4000K, 1200mA LIGHT ENGINE WITH 24 LEDS AND TYPE IV WIDE OPTICS	1 93.4
□	F	3	COOPER LIGHTING SOLUTIONS - LUMARK (FORMERLY EATON)	PRV-P-PA1D-740-U-5WQ	PREVAIL AREA LUMINAIRE (1) 70 CRI, 4000K, 1200mA LIGHT ENGINE WITH 24 LEDS AND TYPE V WIDE OPTICS	1 93.4
□	G	3	COOPER LIGHTING SOLUTIONS - LUMARK (FORMERLY EATON)	PRV-P-PA1B-740-U-T4W	PREVAIL WALL LUMINAIRE (1) 70 CRI, 4000K, 670mA LIGHT ENGINE WITH 24 LEDS AND TYPE IV WIDE OPTICS	1 52.8

SITE INFORMATION

PARCEL NO.	2961001000
ANALYZED AREA	99,076 S.F. (2.274 ACRES)
NUMBER OF PARKING STALLS	
SURFACE	
STANDARD	34
ACCESSIBLE	2
TOTAL PHASE 1 SURFACE	36
NUMBER OF PHASE 1 BICYCLE STALLS:	13
SITE COVERAGE ANALYSIS	
EXISTING IMPERVIOUS SURFACE AREA	49,731 SF (1.142 ACRES)
EXISTING PERVIOUS SURFACE AREA	49,346 SF (1.133 ACRES)
PHASE 1:	
PROPOSED PHASE 1 PAVED AREA	25,750 SF (0.591 ACRES)
PROPOSED PHASE 1 BUILDING FOOTPRINT	15,489 SF (0.356 ACRES)
PROPOSED PHASE 1 IMPERVIOUS SURFACE	41,239 SF (0.947 ACRES)
PROPOSED IMPERVIOUS SITE PERCENTAGE	42%
PROPOSED PHASE 1 PERVIOUS SURFACE	57,837 SF (1.328 ACRES)
PROPOSED PERVIOUS SITE PERCENTAGE	58%
DISTURBED AREA	99,076 SF (2.274 ACRES)

DIMENSION 
Madison Design Group

architecture · interior design · planning

6515 Grand Teton Plaza, Suite 120
Madison, Wisconsin 53719
p608.829.4444 f608.829.4445 dimensionivmadison.com

JSD

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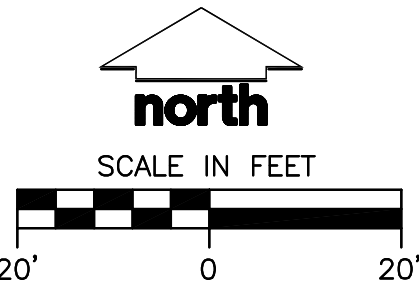
jsdinc.com

MILWAUKEE REGIONAL OFFICE
W238 N1810 BUSSE ROAD, SUITE 100
WAUKESHA, WISCONSIN 53188
P. 262.513.0666

JSD PROJECT NO: 25-15011

MSP MAYFAIR
NORTH

FOUNDRY WAY, WAUWATOSA, WI
53222



DIGGERS & HOTLINE
Toll Free (800) 242-8511

PHASE 1

DATE OF ISSUE: 10/07/2025

REVISIONS:

PRELIMINARY

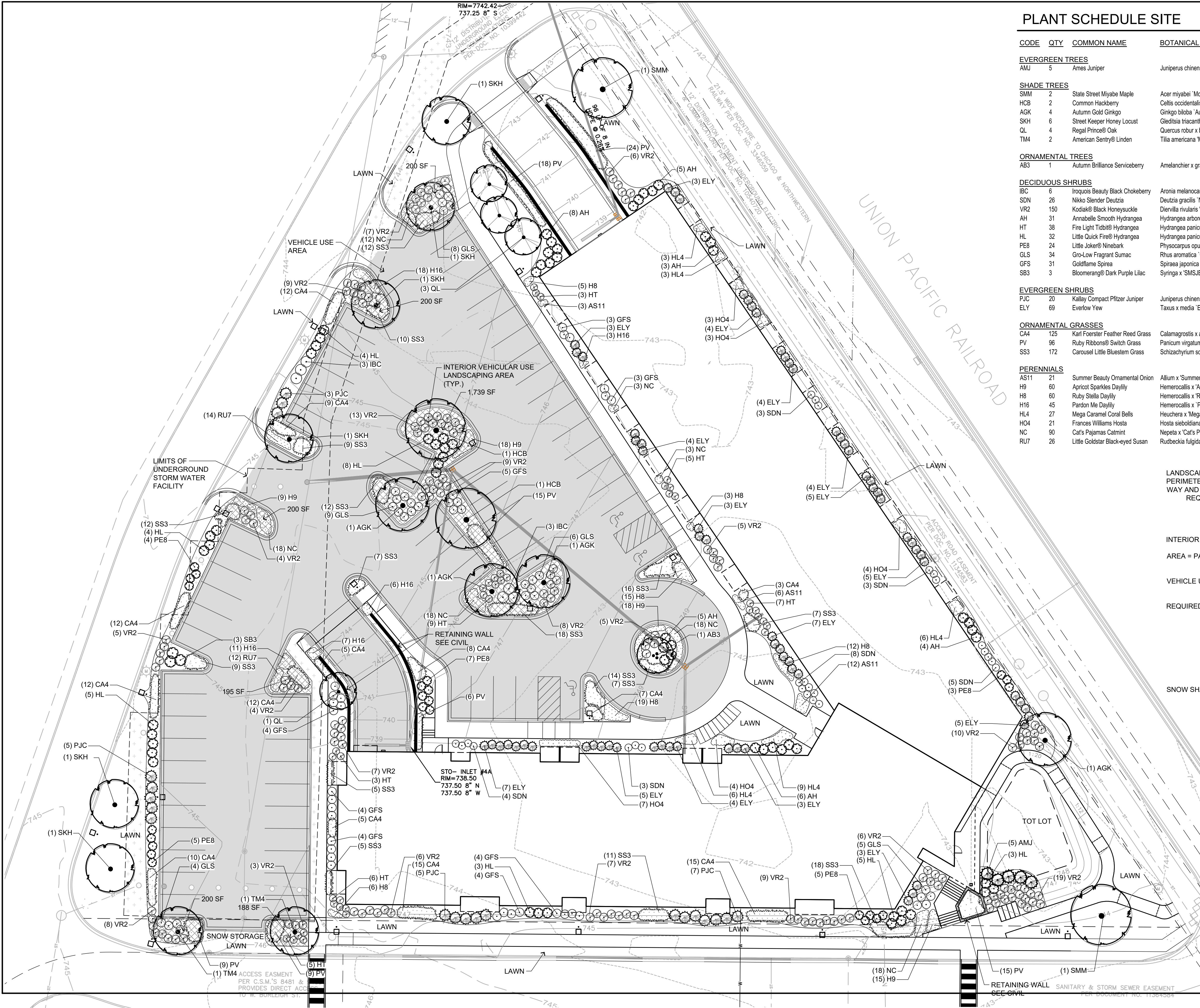
**NOT FOR
CONSTRUCTION**

PROJECT # 24106

PHASE 1 SITE PLAN

C201

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PLANT SCHEDULE SITE

CODE	QTY	COMMON NAME	BOTANICAL NAME	INSTALLED SIZE	ROOT	SPACING	MATURE SIZE
EVERGREEN TREES							
AMJ	5	Ames Juniper	Juniperus chinensis 'Ames'	6' HT	B&B	Spacing as shown	8' x 6'
SHADE TREES							
SMM	2	State Street Miyabe Maple	Acer miyabei 'Morton' State Stree	2 1/2" CAL	B&B	Spacing as shown	35' x 35'
HCB	2	Common Hackberry	Celtis occidentalis	2 1/2" CAL	B&B	Spacing as shown	50' x 50'
AGK	4	Autumn Gold Ginkgo	Ginkgo biloba 'Autumn Gold' TM	2 1/2" CAL	B&B	Spacing as shown	45' x 30'
SKH	6	Street Keeper Honey Locust	Gleditsia triacanthos 'Draves'	2 1/2" CAL	B&B	Spacing as shown	45' x 20'
QL	4	Regal Prince® Oak	Quercus robur x bicolor 'Long'	2" CAL	CONT	Spacing as shown	45' x 18'
TM4	2	American Sentry® Linden	Tilia americana 'McKsentry'	2 1/2" CAL	B&B	Spacing as shown	55' x 25'
ORNAMENTAL TREES							
AB3	1	Autumn Brilliance Serviceberry	Amelanchier x grandiflora 'Autumn Brilliance'	7'-8' CL	B&B	Spacing as shown	20' x 20'
DECIDUOUS SHRUBS							
IBC	6	Iroquois Beauty Black Chokeberry	Aronia melanocarpa 'Morton'	18" HT	CONT	Spacing as shown	2.5' x 4.5'
SDN	26	Nikko Slender Deutzia	Deutzia gracilis 'Nikko'	15" HT	CONT	Spacing as shown	2' x 4'
VR2	150	Kodiak® Black Honeysuckle	Diervilla rivularis 'SMNDRSP'	15" HT	CONT	Spacing as shown	3' x 4'
AH	31	Annabelle Smooth Hydrangea	Hydrangea arborescens 'Annabelle'	18" HT	CONT	Spacing as shown	4' x 4'
HT	38	Fire Light® Hydrangea	Hydrangea paniculata 'SMNHPK'	15" HT	CONT	Spacing as shown	2.5' x 3'
HL	32	Little Quick Fire® Hydrangea	Hydrangea paniculata 'SMHPLQF'	18" HT	CONT	Spacing as shown	4' x 4'
PE8	24	Little Joker® Ninebark	Physocarpus opulifolius 'Hoogi021'	18" HT	CONT	Spacing as shown	3.5' x 3.5'
GLS	34	Gro-Low Fragrant Sumac	Rhus aromatica 'Gro-Low'	15" SPD	CONT	Spacing as shown	2.5' x 6'
GFS	31	Goldflame Spiraea	Spiraea japonica 'Goldflame'	15" HT	CONT	Spacing as shown	2.5' x 3.5'
SB3	3	Bloomerang® Dark Purple Lilac	Syringa x 'SMSJBFP'	18" HT	CONT	Spacing as shown	5' x 5'
EVERGREEN SHRUBS							
PJC	20	Kallay Compact Pfizer Juniper	Juniperus chinensis 'Kallays Compact'	18" SPD	CONT	Spacing as shown	2' x 5'
ELY	69	Everlow Yew	Taxus x media 'Everlow'	15" HT	B&B	Spacing as shown	1.5' x 5'
ORNAMENTAL GRASSES							
CA4	125	Karl Foerster Feather Reed Grass	Calamagrostis x acutiflora 'Karl Foerster'	1 GAL	CONT	24" Spacing	5' x 2'
PV	96	Ruby Ribbons® Switch Grass	Panicum virgatum 'RR'	1 GAL	CONT	30" Spacing	3' x 2.5'
SS3	172	Carousel Little Bluestem Grass	Schizachyrium scoparium 'Carousel'	1 GAL	CONT	24" Spacing	2.5' x 2.5'
PERENNIALS							
AS11	21	Summer Beauty Ornamental Onion	Allium x 'Summer Beauty'	1 GAL	POT	18" Spacing	1.5' x 1.5'
H9	60	Apricot Sparkles Daylily	Hemerocallis x 'Apricot Sparkles'	1 GAL	POT	18" Spacing	1.5' x 1.5'
H8	60	Ruby Stella Daylily	Hemerocallis x 'Ruby Stella'	1 GAL	POT	18" Spacing	1.5' x 1.5'
H16	45	Pardon Me Daylily	Hemerocallis x 'Pardon Me'	1 GAL	POT	18" Spacing	1.5' x 1.5'
HL4	27	Mega Caramel Coral Bells	Heuchera x 'Mega Caramel'	1 GAL	POT	24" Spacing	1.5' x 2'
HO4	21	Frances Williams Hosta	Hosta sieboldiana 'Frances Williams'	1 GAL	POT	30" Spacing	2' x 4'
NC	90	Cat's Pajamas Catmint	Nepeta x 'Cat's Pajamas'	1 GAL	POT	18" Spacing	1.25' x 1.5'
RU7	26	Little Goldstar Black-eyed Susan	Rudbeckia fulgida var. sullivantii 'Little Goldstar'	1 GAL	POT	18" Spacing	1.25' x 1.5'

LANDSCAPE CALCULATIONS
PERIMETER VEHICULAR USE AREA - WHEN PARKING IS WITHIN 100LF OF RIGHT OF WAY AND MORE THAN 5 PARKING STALLS
REQUIRED: LANDSCAPE STRIP MIN OF 7' DEPTH MUST BE PROVIDED BETWEEN VEHICLE USE AREA, AND ROW MUST INCLUDE 3 DECIDUOUS TREES AND 10 SHRUBS PER 50LF OF VEHICULAR USE FRONTAGE NA-

INTERIOR VEHICULAR USE AREA LANDSCAPE: 5 OR MORE PARKING STALLS
AREA = PARKING, DRIVE AISLES, DRIVEWAYS AND DRIVE THROUGH LANES (DOES NOT INCLUDE PARKING IN A STRUCTURE)

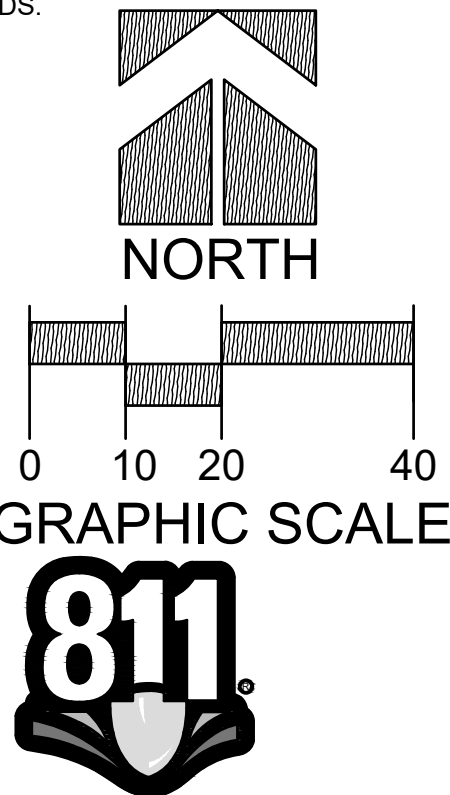
VEHICLE USE AREA = 29,198 - LANDSCAPE AREA REQUIRED = 2,920 SF
PROVIDED: 2,922 SF

REQUIRED: AT LEAST 10% OF USE AREA MUST BE LANDSCAPED
ISLANDS AND MEDIANS MUST HAVE AT LEAST 135 SF AND BE 10' WIDE AREAS OUTSIDE THE VUA DON'T COUNT TOWARD INTERIOR.
CORNERS MAX 200 SF, IF AT LEAST 1 SHADE TREE IS INCLUDED
1 SHADE TREE PER 180 SF OF INTERIOR LANDSCAPE AREA
2,920 / 180 = 17 TREES REQUIRED
PROVIDED: 9 TREES, ADDITIONAL TREES LOCATED AROUND PERIMETER, UNDER GROUND STORMWATER FACILITY LIMITS PLACEMENT WITHIN ISLANDS.

SNOW SHALL NOT BE PUSHED ONTO LANDSCAPE ISLANDS.



DATE: 10-07-2025



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DESCRIPTION

DATE

16745 W. Bluemound Road
Brookfield, WI 53005-5938
(262) 781-1000
rasmith.com

MSP - MAYFAIR NORTH
CITY OF WAUWATOSA

SITE LANDSCAPE PLAN

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R.A. Smith, Inc.

DATE: 10/07/25

SCALE: 1" = 20'

JOB NO. 3250016

PROJECT MANAGER:
ROB WILLIAMS, PLA

DESIGNED BY: REW

CHECKED BY: REW

SHEET NUMBER
L100

Prune only broken branches after installation, never trim leader

Plant root flare 1" to 3" above finish grade

Cut / completely remove burlap and twine from sides of root ball. Completely remove wire cage.

3" deep, 4' dia. shredded hardwood mulch in lawn areas, reduced to 1" of mulch on top of root ball. Keep mulch 3-5" away from trunk of tree.

Use shovel to roughen up sides of hole. Do not use auger to dig hole.

Plant bed or lawn

Finish grade

Backfill with blended 75% clean, native soil and 25% compost. Backfill in lifts, water in well and tamp lightly by hand to eliminate air pockets.

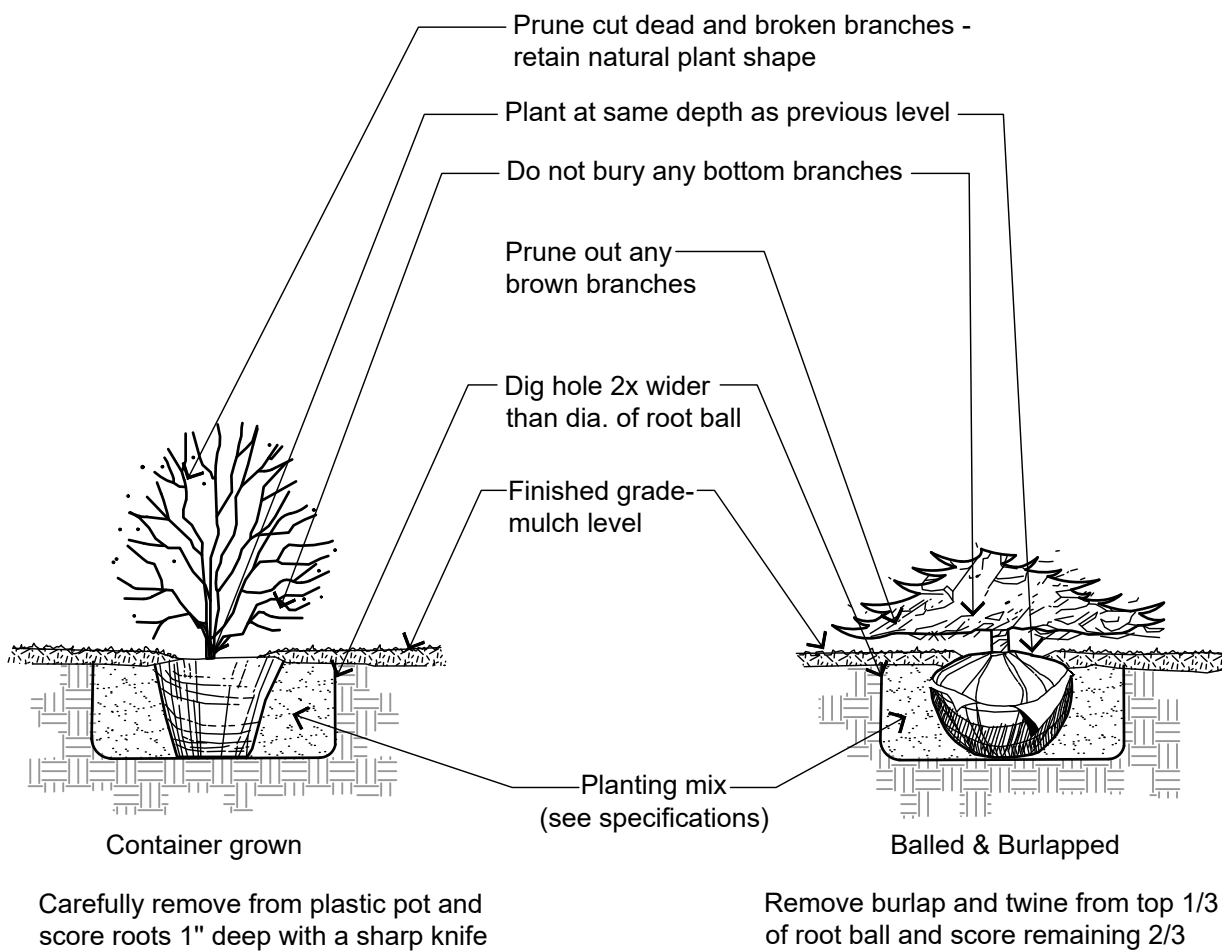
Existing, undisturbed subgrade

Dig hole 2 - 3x dia. of root ball

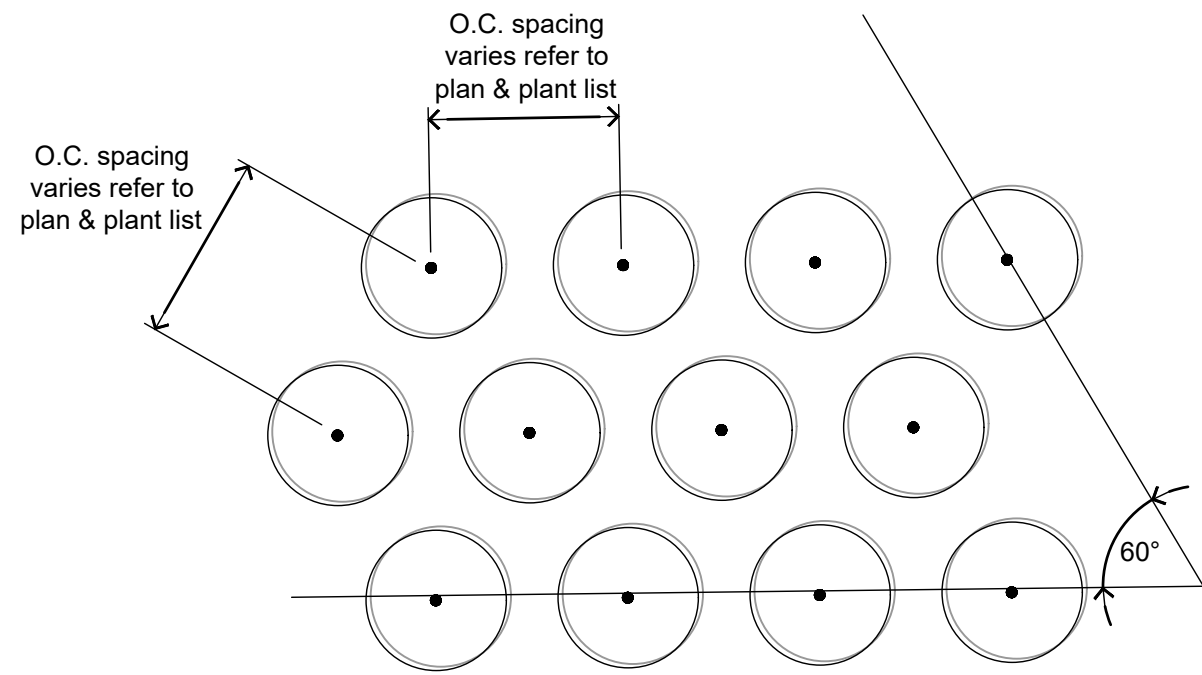
Dig hole 2 - 3x dia. of root ball

NOT TO SCALE

P-PL-TREE-07

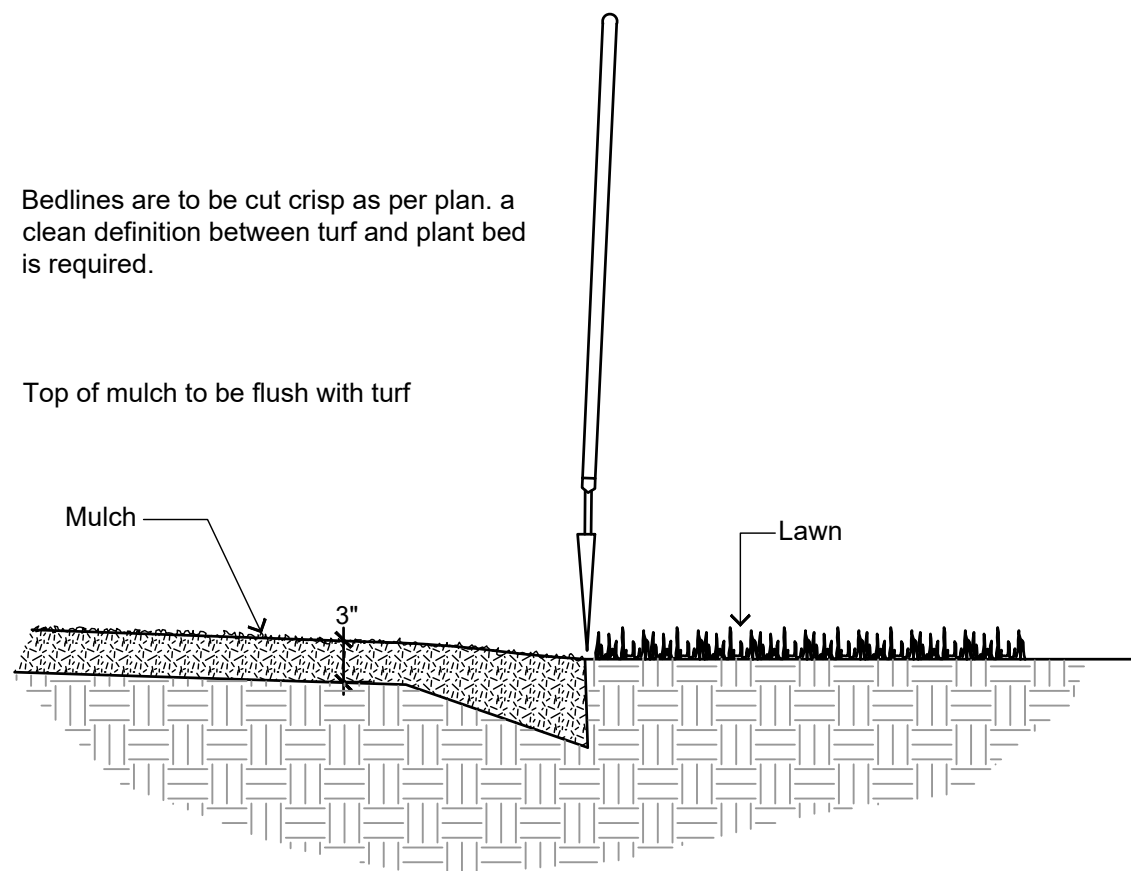


NOT TO SCALE



NOT TO SCALE

P-PL-PLO-01



NOT TO SCALE

P-PL-BDEG-01

1. Contractor responsible for contacting public and private underground utility locating service to have site marked prior to any digging or earthwork.
2. Contractor to verify all plant quantities shown on plant list and verify with plan. Report any discrepancies immediately to general contractor.
3. All plantings shall comply with standards as described in American Standard of Nursery Stock - ANSI Z60.1 (latest version). General contractor or owner's representative reserves the right to inspect and potentially reject any plants that are inferior, compromised, undersized, diseased, improperly transported, installed incorrectly or damaged.
4. Any potential plant substitutions must be submitted in writing to the general contractor and approved by the owner's representative or landscape architect prior to installation. All plants must be installed as per sizes and quantities shown on plant material schedule, unless approved by the owner's representative or landscape architect. Any potential changes to sizes shown on plan and appropriate cost credits / adjustments must be submitted in writing to the general contractor and approved by the owner's representative or landscape architect prior to installation.
5. The subsequent requirements regarding topology should be coordinated between the general contractor, grading contractor and landscape contractor.
6. Subgrade areas shall be graded to within 1", more or less, of proposed subgrade. Deviations shall not be consistent in one direction.
7. Topsoil shall be placed to meet proposed finished grade. Planting islands to be backfilled with clean topsoil free of debris (per note below) to a minimum depth of 18" by general / grading contractor to insure long term plant health. All other landscaped areas to receive a minimum depth of 6" of clean topsoil (per note below).
8. Topsoil shall be: screened existing stockpiled topsoil, existing in-place soil, or screened soil from an off-site source that will support plant growth, and meet the following requirements. Clean topsoil shall be free of rocks, coarse fragments, gravel, sticks, trash, roots, debris over 3/4" and any substances harmful to plant growth. It also must be free of plants or plant parts of any noxious weeds. Topsoil shall contain 3 to 5 percent decomposed organic matter and a pH between 5.5 and 7.0.
9. Tree beds and parking lot islands: Landscape contractor is responsible for ensuring that unwanted material (gravel, debris, roots and other extraneous material harmful to plant growth) has been removed from the topsoil and for the fine grading of all landscaped areas. The fine grading of planting beds and parking lot islands may require additional topsoil to bring to finish grade, allowing for much depth. Crown all planting islands and planting beds not adjacent to buildings, a minimum of 9" to provide proper drainage, unless otherwise specified. All other finished landscaped areas to be smooth, uniform and provide positive drainage away from structures and pavement.
10. Seeded areas: to receive a settled minimum depth of 6" of blended, prepared and non-compacted topsoil. Landscape contractor is responsible for excavation and removal of unwanted material (gravel, debris, roots and other extraneous material harmful to plant growth) to the specified depth, supplementing with additional topsoil (if necessary) and the fine grading of all seeded areas.
11. Tree planting (see planting details): plant all trees slightly higher than finished grade at root flare. Remove excess soil from top of root ball, if needed. An auger is not an acceptable method of digging tree planting holes. Scarify side walls of tree pit prior to installation. Once tree has been placed into the hole, is at the correct depth and the root flare is well exposed, back brace root ball by tamping soil around the lower portion of the root ball. Remove and discard twine / rope, burlap and support wire from the sides of root ball. Backfill pit with 75% existing soil removed from excavation and 25% compost blended prior to backfilling holes, in six-inch lifts. Lightly tamp each lift using foot pressure or hand tools to settle backfill, support the tree and eliminate voids. Do not over compact or use mechanical or pneumatic tamping equipment. Discard any gravel, heavy clay or stones. When hole has been backfilled to three-quarters of its depth, pour water around the root ball and allow to soak into soil to settle the soil. Continue backfilling until soil is brought to grade level.
12. Provide a 3" deep, 4" diameter shredded hardwood bark mulch ring around all trees in lawn areas, reduced to 1" deep on top of root ball. Keep mulch 3"-5" away from trunk of trees. Trees that are installed incorrectly will be replaced at the time and expense of the landscape contractor. Trees too large for two people to lift in and out of holes, shall be placed with sling. Do not rock the trees in holes to raise them.
13. Shrub planting (see planting details): all shrubs to be potted/planted with a mix of 75% existing soil removed from excavation and 25% compost, blended prior to backfilling holes. When hole is two-thirds full, shrubs shall be watered thoroughly and lawn left to soak in before proceeding.
14. Mulching: all tree and shrub planting beds to receive a 3" deep layer of high-quality shredded hardwood bark mulch (not environmental or wood chips). Mulch shall be uniform in size, color, quality and overall appearance. Mulch shall be free of debris, large wood chunks, soil, rocks, weeds, invasive plant parts or seeds and any other material capable to germinate and establish turf. Provide seed and fertilizer mix information to general contractor prior to installation. Erosion control measures are to be used in swales and on steep grades, where applicable. Methods of installation may vary at the discretion of the landscape contractor on his/her responsibility to establish and guarantee a smooth, uniform, quality turf. If straw mulch is used as a mulch covering, a tackifier may be necessary to avoid wind damage. Marsh hay containing reed canary grass is not acceptable as a mulch covering.
15. Edging: edge all planting beds with a 4" deep spaced edge (shovel cut or mechanical). Bedlines are to be cut crisp, as per plan. A clean definition between lawn area and plant bed is required.
16. Plant bed preparation: the soil in all perennial, ornamental grass, annual and groundcover areas shall be amended with compost prior to plant installation. Spread a 2" layer of compost (per note below) on top of clean topsoil and rototill to a depth of approximately 8".
17. Compost shall be stable, and weed-free organic matter. It shall be resistant to further decomposition and free of compounds, such as ammonia and organic acids, in concentrations toxic to plant growth. The compost shall contain no pathogens or other chemical contaminants and meet the requirements of Wisconsin S100 Compost Specification.
18. Lawn installation for all seeded turfgrass areas: remove / kill off any existing unwanted vegetation prior to seeding. Prepare the topsoil and seed bed by removing all surface stones 1" or larger and grading lawn areas to finish grade. Apply a starter fertilizer and specified seed, ensure good seed to soil contact, and provide mulch over seedbed to germinate and establish turf. Provide seed and fertilizer mix information to general contractor prior to installation. Erosion control measures are to be used in swales and on steep grades, where applicable. Methods of installation may vary at the discretion of the landscape contractor on his/her responsibility to establish and guarantee a smooth, uniform, quality turf. If straw mulch is used as a mulch covering, a tackifier may be necessary to avoid wind damage. Marsh hay containing reed canary grass is not acceptable as a mulch covering.
19. An acceptable quality turf is defined as having no more than 5% of the total area with bare spots larger than 1/2 square foot and uniform coverage throughout all turf areas.
20. Seed mix for lawn areas - use only a premium quality seed mix. Premium blend seed mix (or equivalent): 50% blended bluegrass, 25% creeping red fescue, 25% perennial ryegrass applied at 5 lbs per 1,000 SF or at recommended rates from supplier. Provide seed specifications to general contractor prior to installation.
21. Lawn installation for all sodded turfgrass areas (optional): remove / kill off any existing unwanted vegetation prior to seeding. Prepare the topsoil and sod bed by removing all surface stones 1" or larger and grading lawn areas to finish grade, allowing for thickness of sod. Use only premium blend sod according to TPI (revised 1995) and ASPA standards. Install sod uniformly with staggered joints, laid tightly end to end and side to side. Roll sod with a walk behind roller and water immediately upon installation to a 3" depth. Stake any sod installed on steep slopes or in swales, etc. Landscape contractor is responsible to provide a smooth, uniform, healthy turf. Landscape contractor shall repair and re-sod any eroded, sunken or bare spots (larger than 1/2 square foot) until acceptance by owner.
22. The landscape contractor is responsible for the watering and maintenance of all landscape areas at time of planting and throughout construction until the substantial completion of the installation and acceptance by the owner. This includes all trees, shrubs, evergreens, perennials, ornamental grasses, and seeded slopes and turf grass areas. Installation includes mowing, weeding, watering, mulching, edging, pruning, deadheading, raking leaves / debris, sweeping up grass clippings, fertilizing and maintaining turf areas (including applying pre and post emergent herbicides), and any other needs that are required to keep the landscape healthy and well maintained.
23. Substantial Completion of Landscape: after the landscape has been installed, the landscape contractor is responsible to conduct a final review with the owner's representative and the general contractor to ensure that all plans and specifications have been met. After this review, the landscape will be considered to be installed in substantial completion unless otherwise noted by the owner's representative and/or general contractor. Any items missing or incomplete, shall be corrected within 30 days. The landscape contractor shall provide written watering and maintenance instructions for the new plantings and lawn to the owner.
24. Warranty and Replacements: All plants (trees, evergreens, shrubs, perennials, ornamental grasses and groundcovers) shall be warranted by the landscape contractor to be in healthy and flourishing condition for a period of one year from the date of substantial completion. This assumes the owner performs required maintenance (i.e. regular watering) after substantial completion of the landscape. Only one replacement per plant will be required during the warranty period, except for losses or replacements due to failure to comply with specified requirements. Replacements shall be plants of the same variety specified on the plan and closely match adjacent specimens in size. The landscape contractor is responsible for keeping a documented record of which plants have been replaced during the warranty period.



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All County
Electric Supply

Mayfair Collection - North

WAUWATOSA, WI

SITE LIGHTING CALCULATIONS

project info

scale

1" = 30'-0"

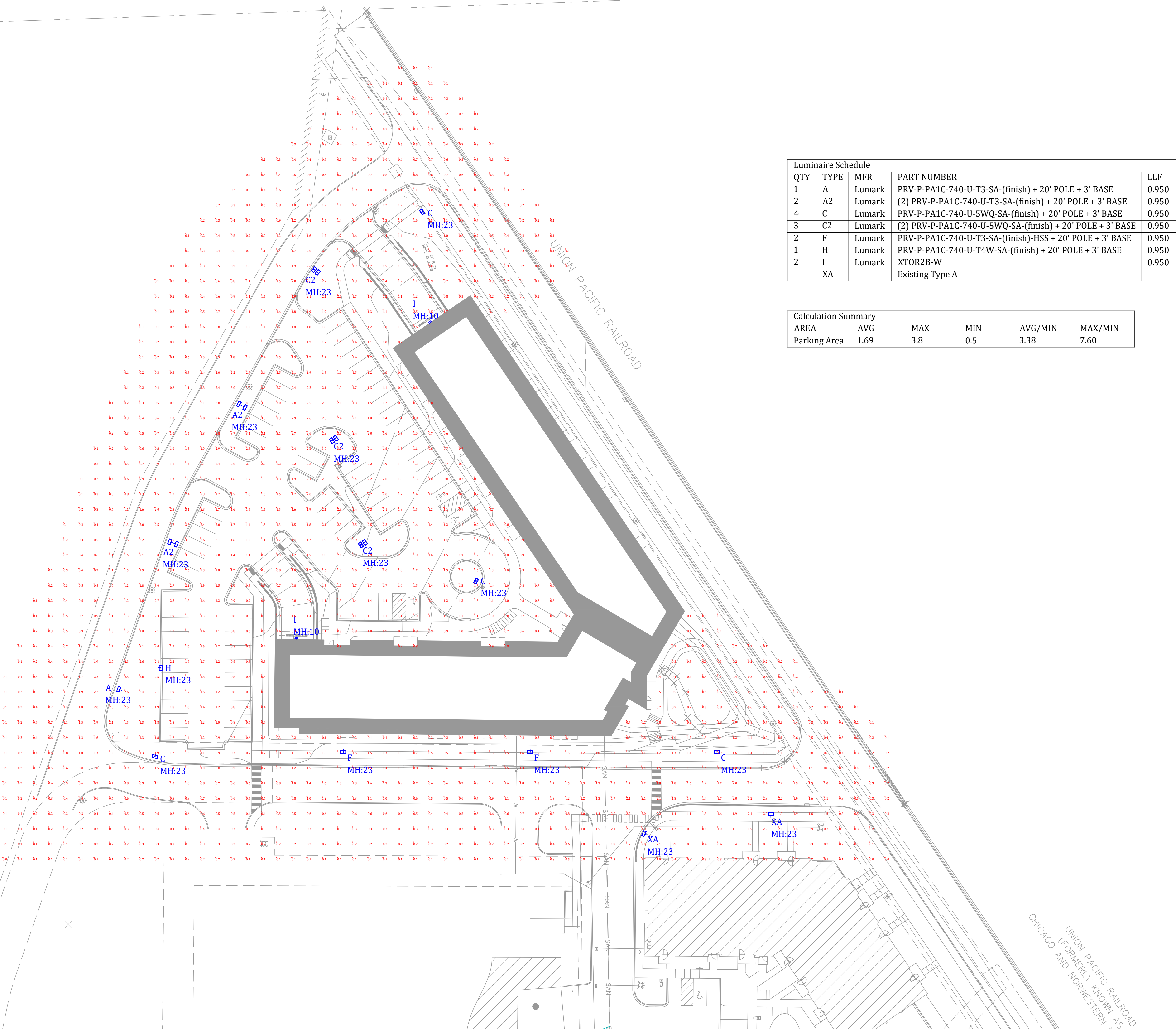
date

9/9/2025

designer

JS

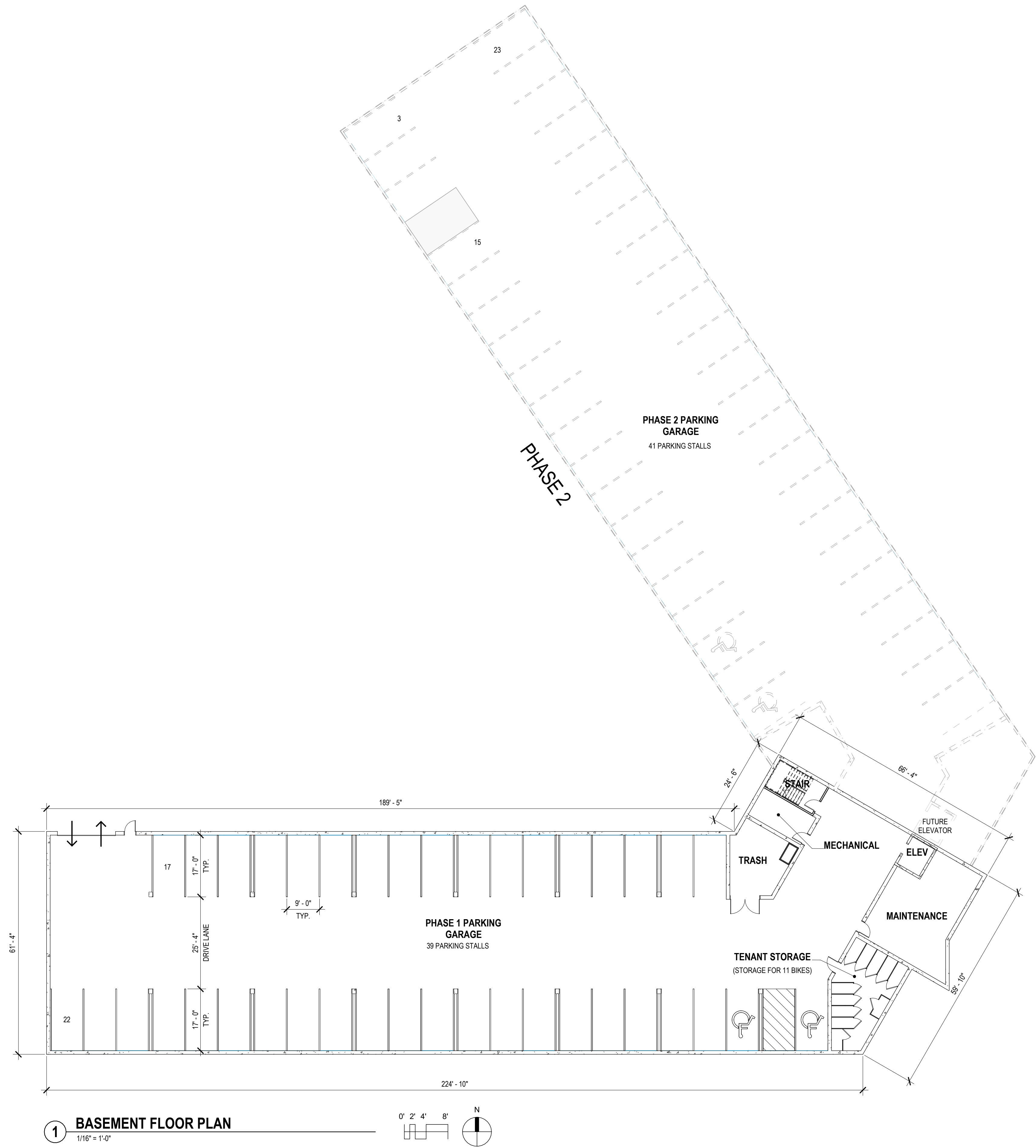
sheet name



Luminaire Schedule				
QTY	TYPE	MFR	PART NUMBER	LLF
1	A	Lumark	PRV-P-PA1C-740-U-T3-SA-(finish) + 20' POLE + 3' BASE	0.950
2	A2	Lumark	(2) PRV-P-PA1C-740-U-T3-SA-(finish) + 20' POLE + 3' BASE	0.950
4	C	Lumark	PRV-P-PA1C-740-U-5WQ-SA-(finish) + 20' POLE + 3' BASE	0.950
3	C2	Lumark	(2) PRV-P-PA1C-740-U-5WQ-SA-(finish) + 20' POLE + 3' BASE	0.950
2	F	Lumark	PRV-P-PA1C-740-U-T3-SA-(finish)-HSS + 20' POLE + 3' BASE	0.950
1	H	Lumark	PRV-P-PA1C-740-U-T4W-SA-(finish) + 20' POLE + 3' BASE	0.950
2	I	Lumark	XTOR2B-W	0.950
	XA		Existing Type A	

Calculation Summary					
AREA	AVG	MAX	MIN	AVG/MIN	MAX/MIN
Parking Area	1.69	3.8	0.5	3.38	7.60

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MSP - WAUWATOSA NORTH

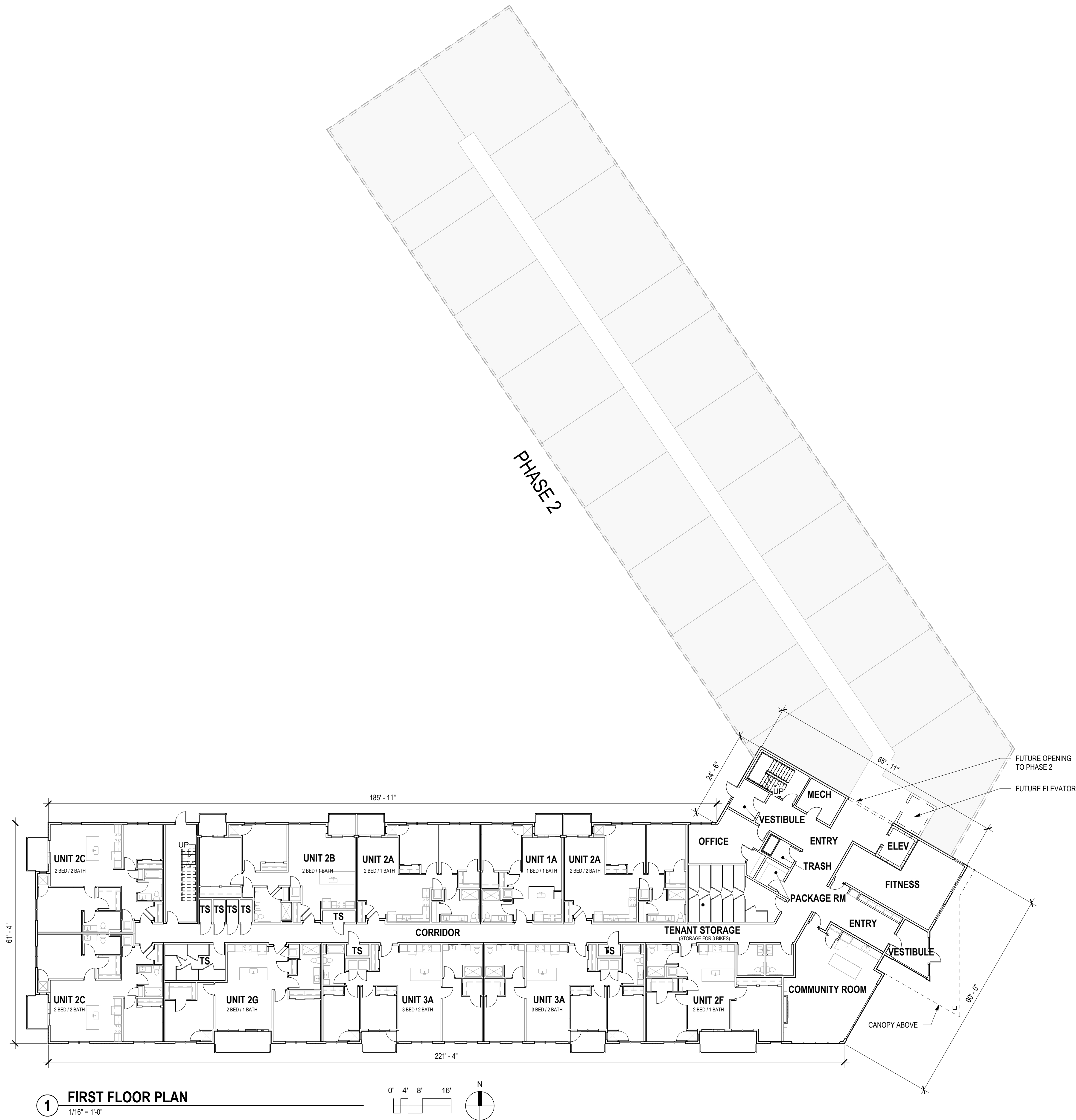
FOUNDRY WAY, WAUWATOSA, WI

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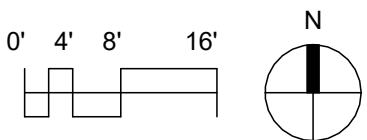
BASEMENT FLOOR PLAN

A1-0

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1 FIRST FLOOR PLAN
1/16" = 1'-0"



MSP - WAUWATOSA NORTH

FOUNDRY WAY, WAUWATOSA, WI

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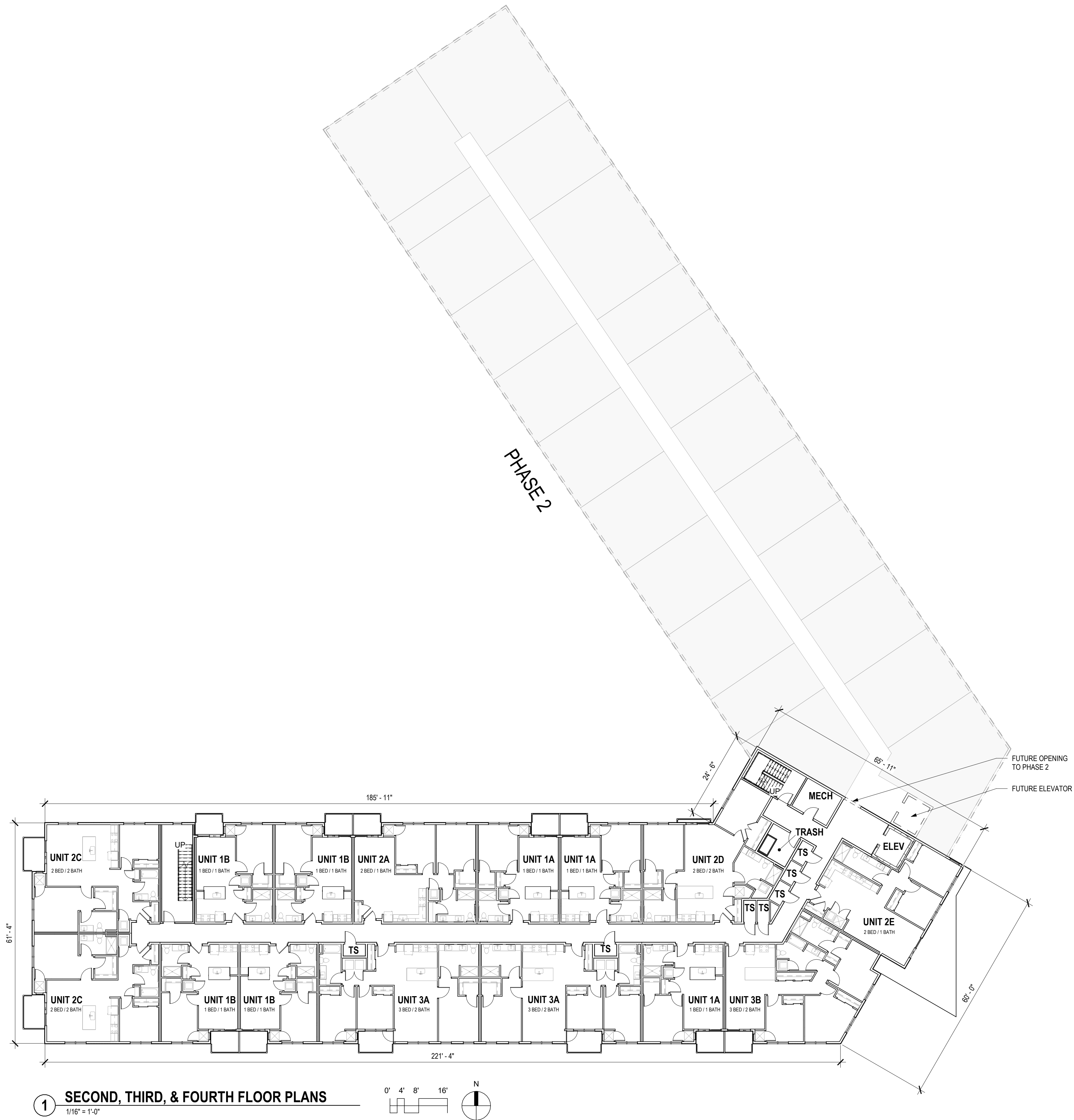
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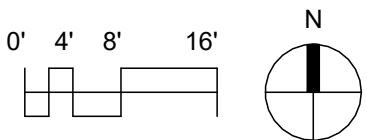
FIRST FLOOR PLAN

A1-1

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1 SECOND, THIRD, & FOURTH FLOOR PLANS
1/16" = 1'-0"



MSP - WAUWATOSA NORTH

FOUNDRY WAY, WAUWATOSA, WI

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SECOND, THIRD, & FOURTH FLOOR PLANS

A1-2

10/7/2025 11:08:11 AM Autodesk Docs/24106 MSP Wauwatosa North/24106 MSP Wauwatosa North.rvt

JAMES HARDIE - 3 COLOR LAP SIDING



6" LAP PANEL SIDING MIX
70% LIGHT MIST
15% ARCTIC WHITE
15% COBBLE STONE



JAMES HARDIE - LAP SIDING



WOOD TONE METAL PLANK SIDING



DOOR, WINDOW &
BALCONY TRIM
SHERWIN-WILLIAMS
IRON ORE



DOOR AND
WINDOW TRIM
SHERWIN-WILLIAMS
EXTRA WHITE

MSP - WAUWATOSA
NORTH

FOUNDRY WAY, WAUWATOSA, WI

DATE OF ISSUE: 10/07/2025

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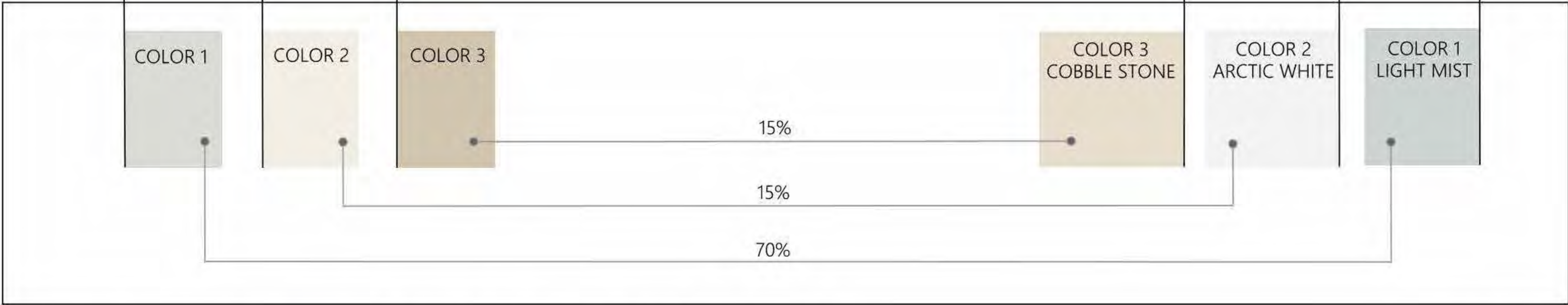
MATERIAL
SAMPLES

A2-00

3-COLOR SIDING DESIGN INSPIRATION



JAMES HARDIE - 6" LAP SIDING



MSP - WAUWATOSA
NORTH

FOUNDRY WAY, WAUWATOSA, WI

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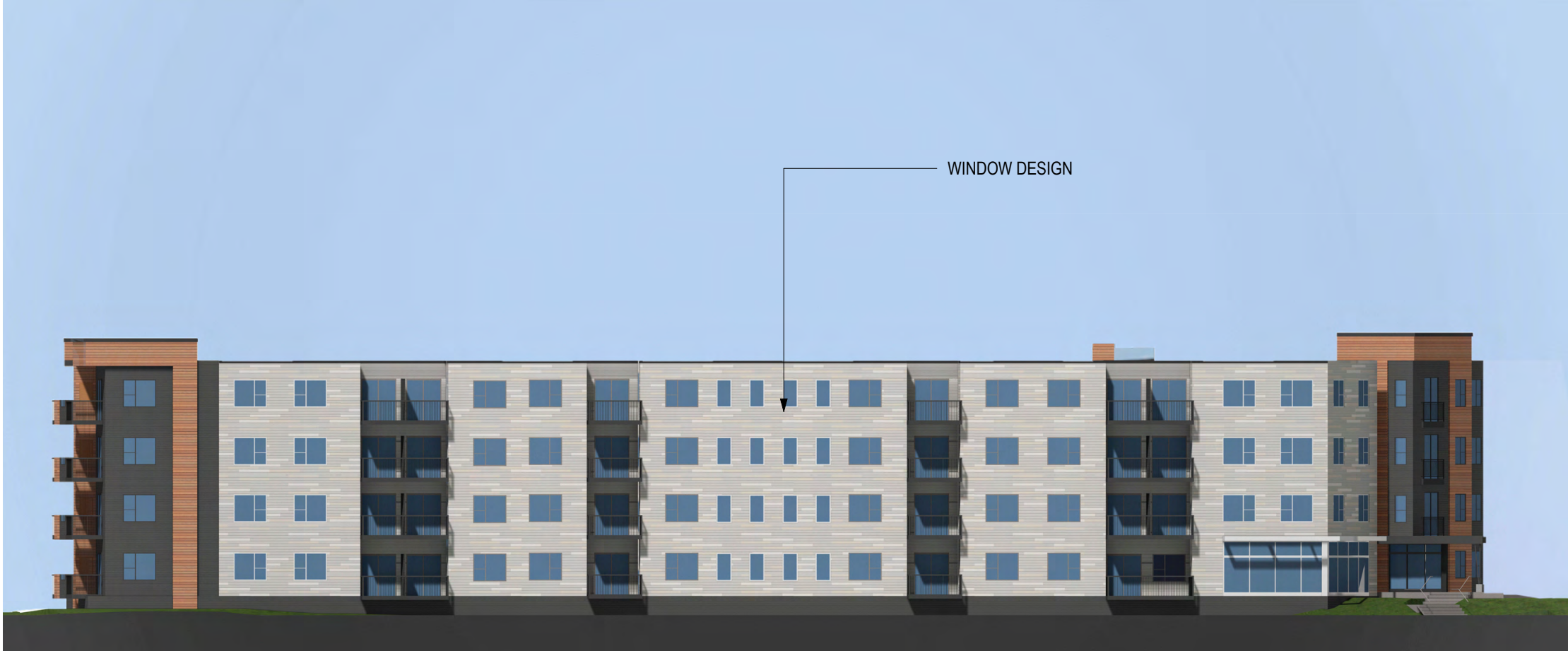
MATERIAL
SAMPLES

A2-01

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NEW MATERIALS



EXTERIOR ELEVATION, SOUTH
N.T.S.

3-COLOR SIDING MIX
6" LAP SIDING,
NEW COLOR MIX: 70% LIGHT MIST
15% ARCTIC WHITE
15% COBBLE STONE



OLD MATERIALS - 09/09/2025



OLD EXTERIOR ELEVATION, SOUTH - 09/09/2025
N.T.S.

3-COLOR SIDING MIX
8" PANEL SIDING,
OLD COLOR MIX: 70% ARCTIC WHITE
15% LIGHT MIST
15% COBBLE STONE

MSP - WAUWATOSA
NORTH

FOUNDRY WAY, WAUWATOSA, WI

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MATERIAL CALLOUT
PERSPECTIVE

A2-02

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VIEW FROM SOUTEAST - PHASES 1 AND 2



VIEW FROM SOUTEAST - PHASE 1 ONLY

10/7/2025 11:08:15 AM Autodesk Docs/24106 - MSP Wauwatosa North.dwg



VIEW FROM WEST - PHASES 1 AND 2



VIEW FROM WEST - PHASE 1 ONLY

MSP - WAUWATOSA
NORTH

FOUNDRY WAY, WAUWATOSA, WI

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PERSPECTIVE
ELEVATION

A2-04

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VIEW FROM SOUTH - PHASES 1 AND 2



VIEW FROM SOUTH - PHASE 1 ONLY

10/7/2025 11:08:15 AM Autodesk Docs/24106 MSP Wauwatosa North.dwg



VIEW FROM NORTHWEST - PHASES 1 AND 2



VIEW FROM NORTHWEST - PHASES 1 ONLY

MSP - WAUWATOSA
NORTH

FOUNDRY WAY, WAUWATOSA, WI

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PERSPECTIVE
ELEVATION

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VIEW FROM SOUTHWEST - PHASES 1 AND 2



VIEW FROM EAST

MSP - WAUWATOSA
NORTH

FOUNDRY WAY, WAUWATOSA, WI

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PERSPECTIVE
ELEVATION

A2-07

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NW ENTRY PHASE 1 AND 2



NW ENTRY PHASE 1

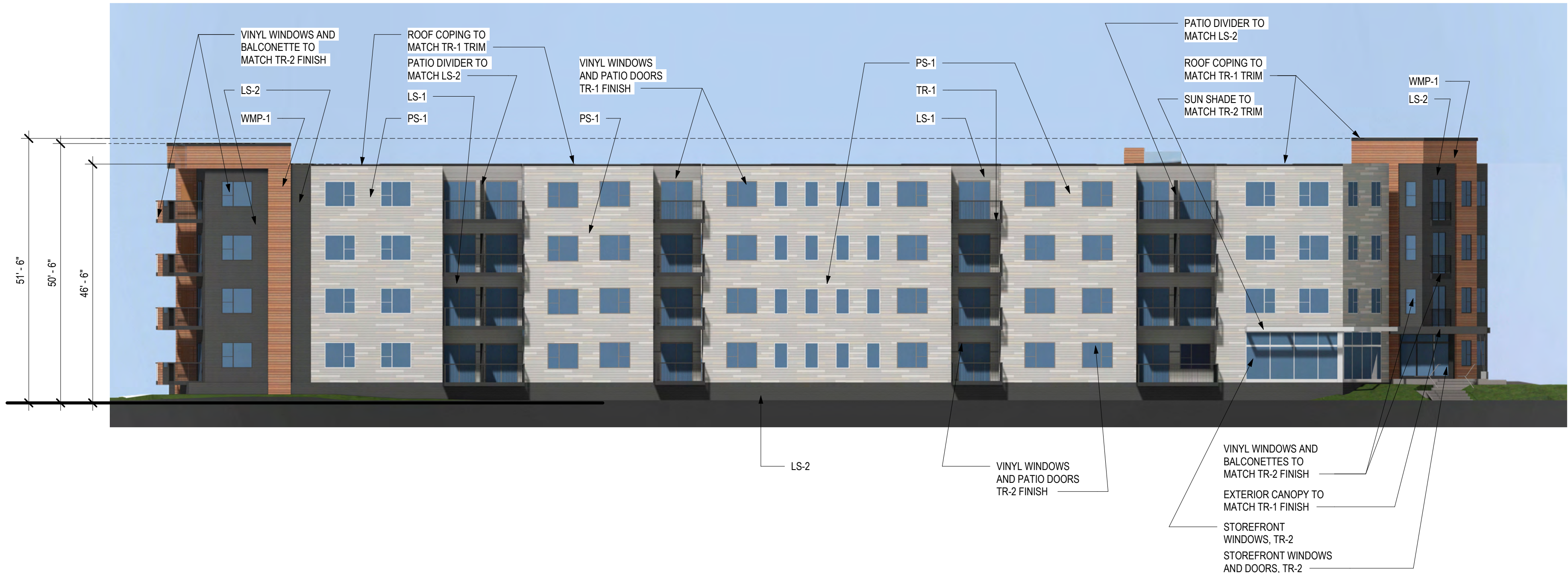
MSP - WAUWATOSA
NORTH

FOUNDRY WAY, WAUWATOSA, WI

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PERSPECTIVE
ELEVATION

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3 SOUTH ELEVATION

1/16" = 1'-0"



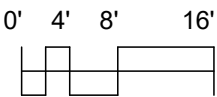
2 EAST ELEVATION

1/16" = 1'-0"



1 WEST ELEVATION

1/16" = 1'-0"



MSP - WAUWATOSA
NORTH

FOUNDRY WAY, WAUWATOSA, WI

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EXTERIOR
ELEVATIONS

A2-09

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2 NORTH EAST ELEVATION
12" = 1'-0"



1 NORTH ELEVATION
1/16" = 1'-0"

MSP - WAUWATOSA
NORTH

FOUNDRY WAY, WAUWATOSA, WI

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EXTERIOR
ELEVATIONS

A2-10