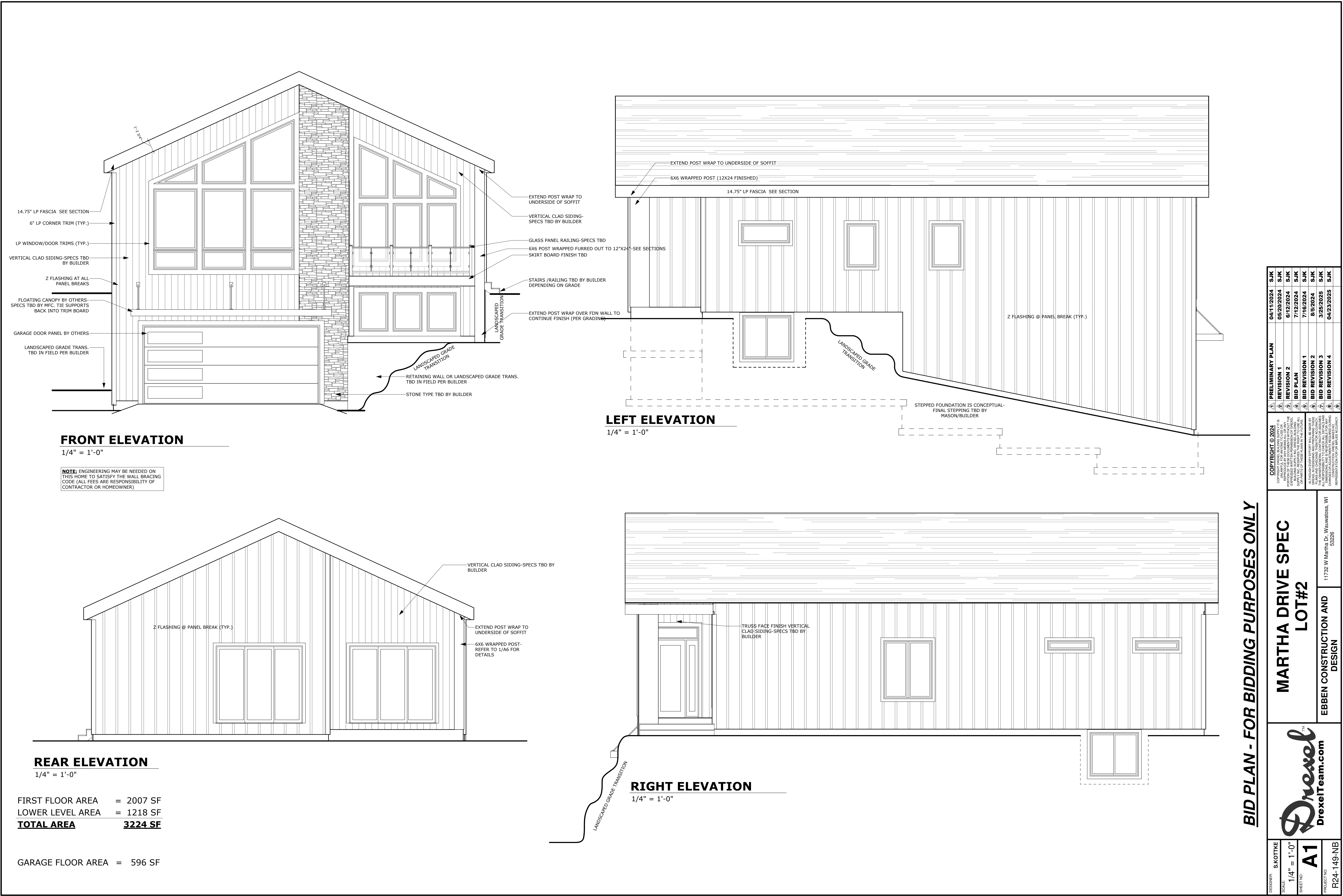
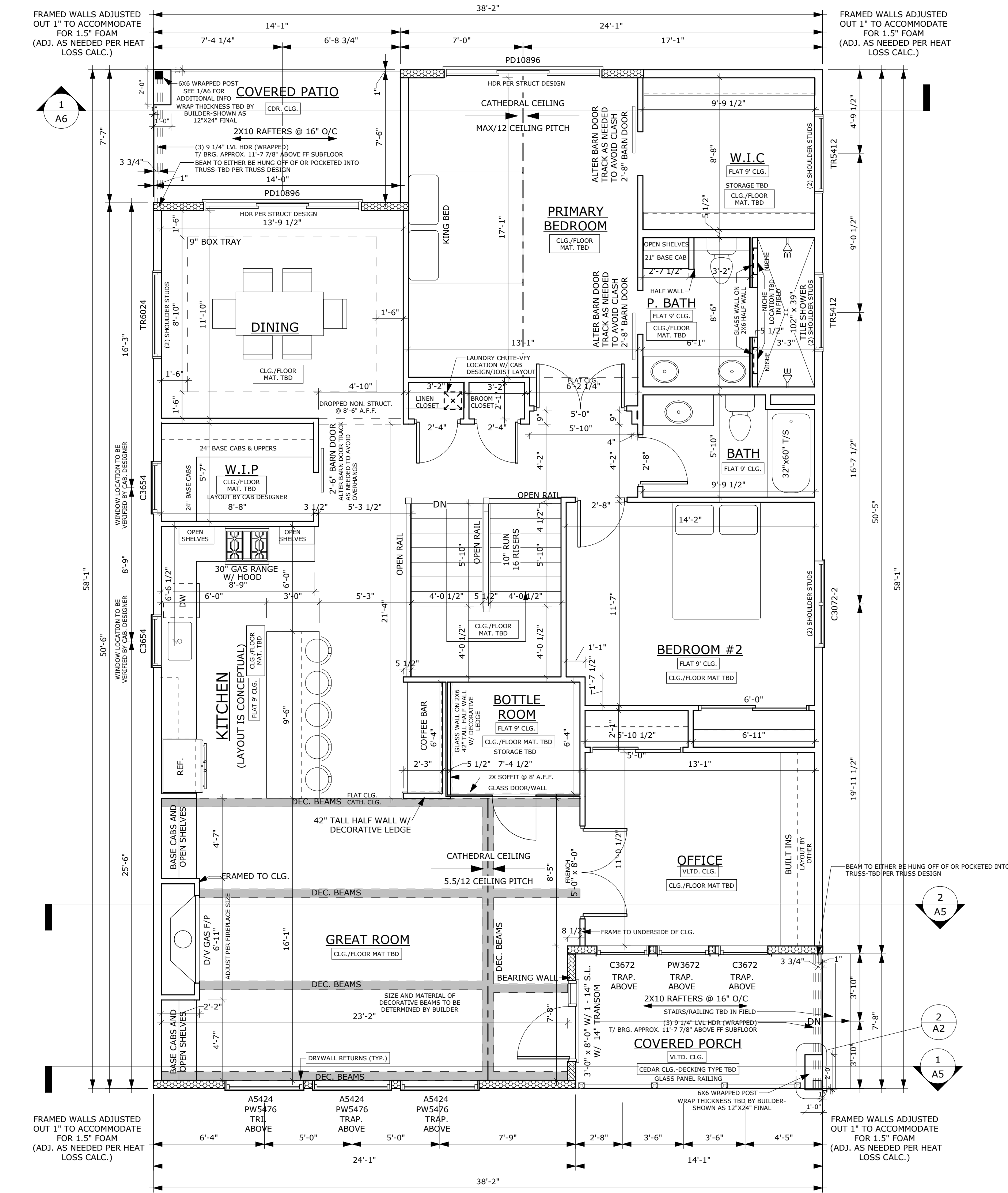




BID PLAN - FOR BIDDING PURPOSES ONLY

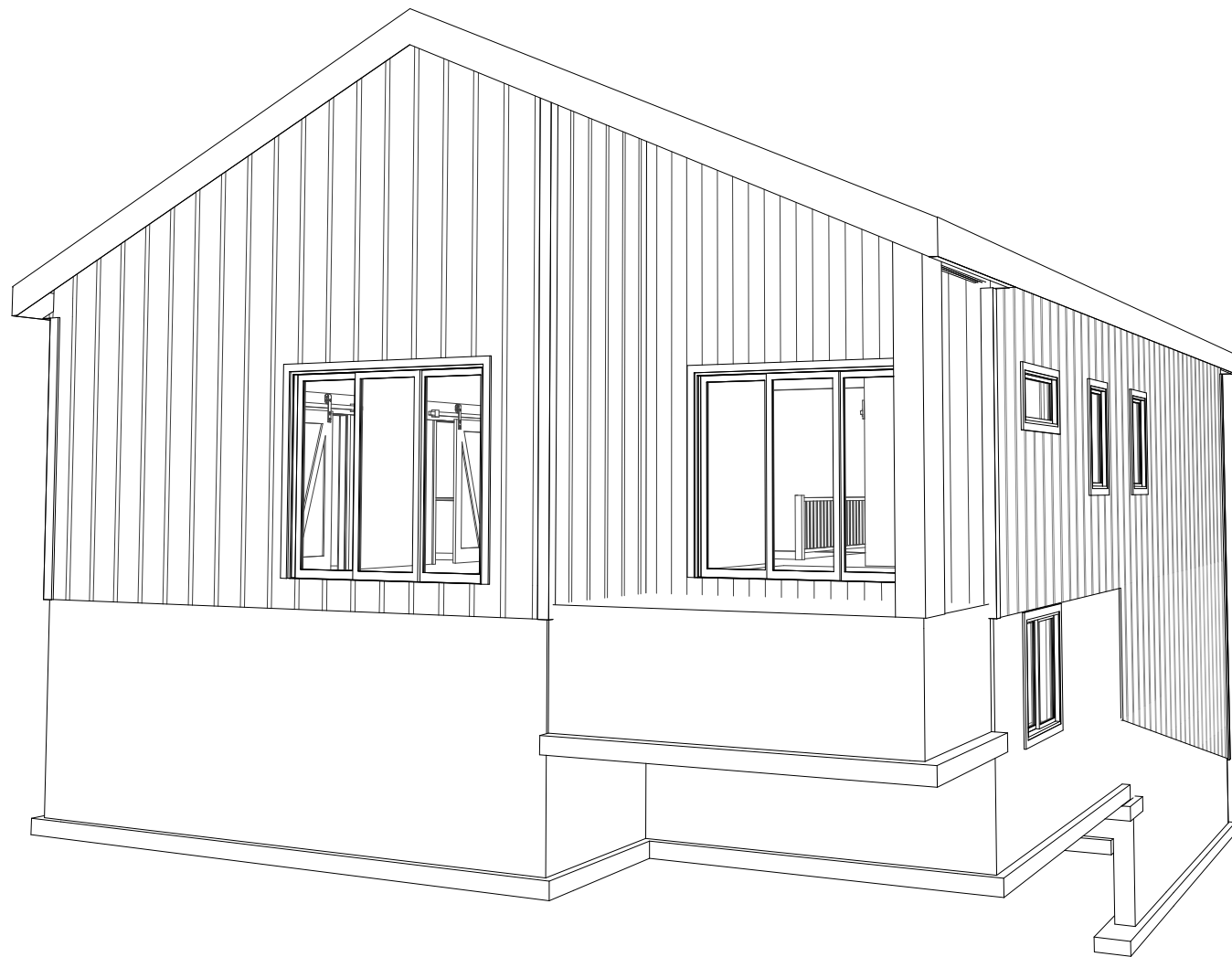
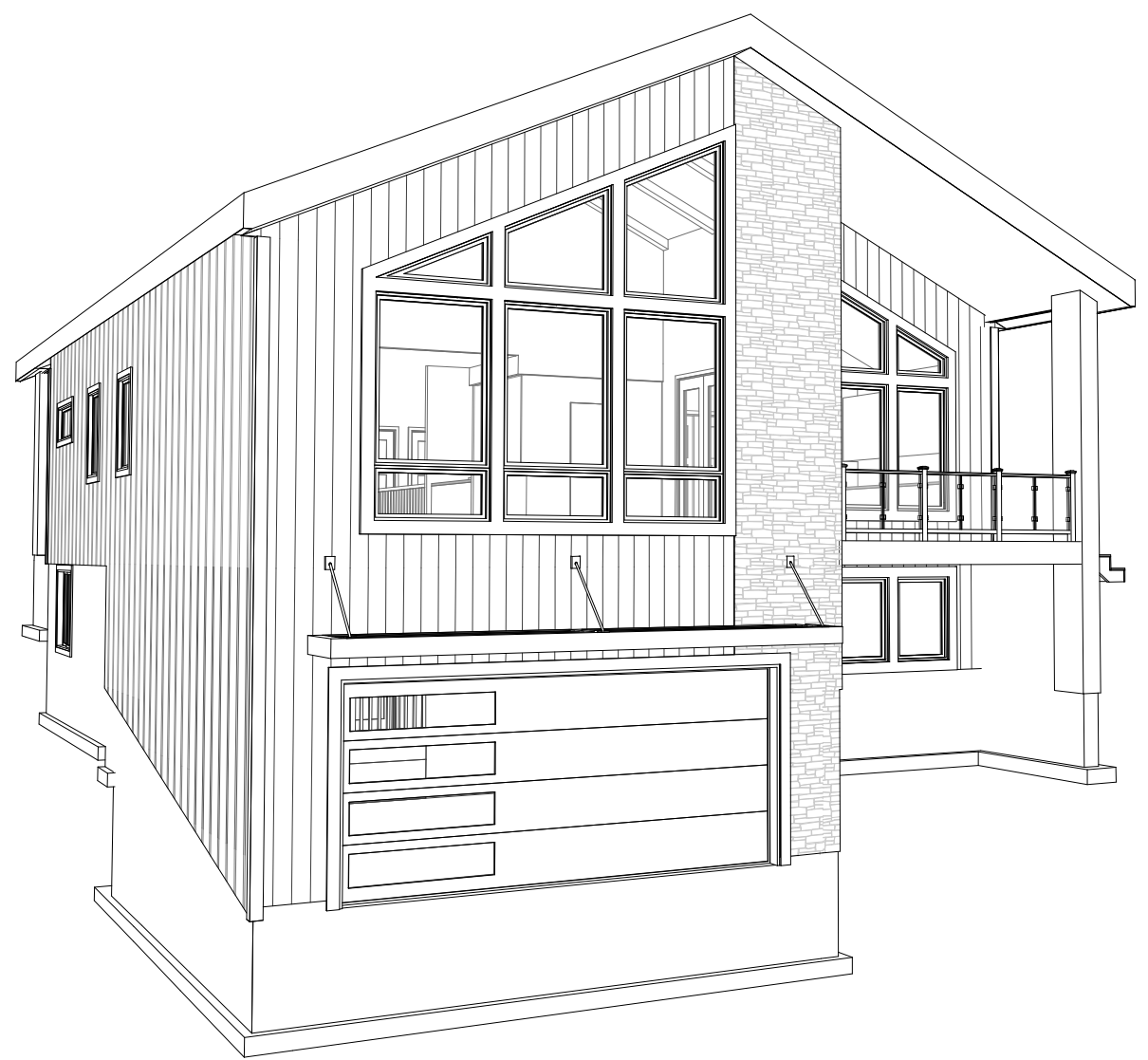
DESIGNER: SKOTTKE	PROJECT NO: R24-149-NB
SCALE: 1/4" = 1'-0"	
SHEET NO: A1	
MARTHA DRIVE SPEC LOT#2	
EBBEN CONSTRUCTION AND DESIGN	
11732 W Marina Dr, Wauwatosa, WI 53226	
Drexel™ DrexelTeam.com	
COPYRIGHT © 2024	
CONTRACTOR: BIDDING PURPOSES ONLY. THIS IS A CONCEPTUAL PLAN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR VERIFYING THE ACCURACY OF ALL INFORMATION PROVIDED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR VERIFYING THE ACCURACY OF ALL INFORMATION PROVIDED.	
PRELIMINARY PLAN	04/11/2024 SJK
REVISION 1	05/20/2024 SJK
REVISION 2	06/12/2024 SJK
BID PLAN	07/12/2024 SJK
BID REVISION 1	07/16/2024 SJK
BID REVISION 2	08/15/2024 SJK
BID REVISION 3	09/25/2025 SJK
BID REVISION 4	04/23/2025 SJK



1 FIRST FLOOR PLAN

A2 1/4" = 1'-0"

NOTE: ENGINEERING MAY BE NEEDED ON THIS HOME TO SATISFY THE WALL BRACING CODE (ALL FEES ARE RESPONSIBILITY OF CONTRACTOR OR HOMEOWNER)



NEW HOME PLAN SPECIFICATIONS

FOUNDATION INFORMATION

- HOUSE FOUNDATION
 - 10" X 9'-0" POURED CONCRETE WALL
- GARAGE FOUNDATION
 - SEE PLAN POURED CONCRETE WALL
- PORCH/PATIO FOUNDATION (UNEXCAVATED)
 - 6" X 4'-0" POURED CONCRETE WALL (MIN. 4'-0" TALL)
- WALL THICKNESS FOR REPRESENTATION ONLY- MASON/CONTRACTOR TO VERIFY
- FINAL WALL/POST FOOTING SIZE AND DEPTH DETERMINED BY CONTRACTOR
- MASON TO LOCATE PILASTERS AND SIZE FOOTINGS PER CODE AND SOIL CONDITIONS
- WINDOWS/DOORS TO BE SET IN CONCRETE WALL- MAKE R.O. 3" BIGGER IN WIDTH AND HEIGHT
- BEARING WALLS TO SIT ON MIN. 16" X 8" CONT. CONCRETE FOOTINGS, STUDS @ 16" O.C.

WALL INFORMATION

- HOUSE EXTERIOR
 - STUDS @ 16" O.C. (UNLESS NOTED/SHOWN OTHERWISE)
- HOUSE INTERIOR
 - FIRST FLOOR WALL HEIGHT: 2 x 6 x 9' 1 1/8" (UNLESS NOTED/SHOWN OTHERWISE)
 - FIRST FLOOR WALL HEIGHT: 2 x 4 x 9' 1 1/8" (UNLESS NOTED/SHOWN OTHERWISE)
- GARAGE
 - WALL HEIGHT: SEE PLAN (UNLESS NOTED/SHOWN OTHERWISE)

FLOOR SYSTEMS

- BASEMENT
 - 4" CONCRETE SLAB
- FIRST FLOOR
 - VARIABLES-SEE PLAN
 - STANDARD LOADING (PER SQ. FT.)
 - 40' LL, 15' DL
 - ADDITIONAL LOADING (PER SQ. FT.) (WHEN APPLICABLE)
 - 10' DL FOR TILE FLOOR
 - 13' DL FOR GYPCRETE (1.5" THICK)
 - 20' DL FOR FIREPLACE FACE/HEARTH
 - 25' DL FOR GRANITE/QUARTZ
 - DEFLECTION: LL=L/480, TL=L/360
 - DURATION OF LOAD: 1.00%

ROOF SYSTEMS

- ENGINEERED WOOD TRUSSES @ 24" O.C. DESIGNED FOR: ZONE 2
- STD. LOADING (PER SQ. FT.)
 - 30# TCCL, 10# TCCL, 10# BCDL
- DEFLECTION: LL=L/240, TL=L/180
- DURATION OF LOAD: 1.15%

HEADERS

- STANDARD HEADER
- ALL HEADERS NOT LABELED AS LVL TO BE MIN. (2) 2x10'S HEADER FOR ON-SITE (UNLESS VALUE ENGINEERED FOR OFF-SITE CONSTRUCTION)
- TOP OF WINDOW R.O.S.

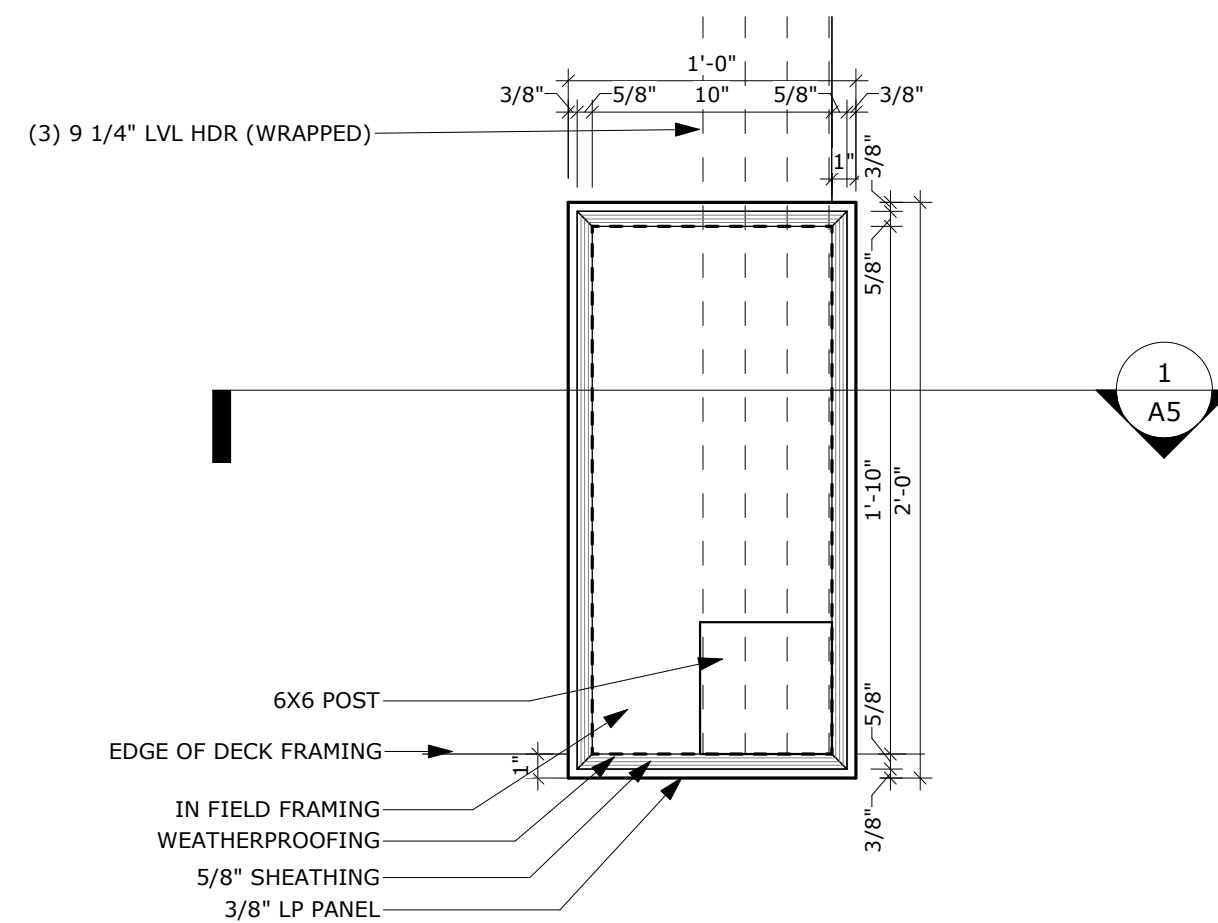
- FIRST FLOOR @ 7'-11 3/8" ABOVE SUBFLOOR (UNLESS NOTED/SHOWN OTHERWISE)
- MINIMUM OF (2) SHOULDER STUDS AT EACH END FOR ALL OPENINGS 6'-0" AND LARGER

GENERAL INFORMATION

- ALL DIMENSIONS ARE TO THE ROUGH STUD (UNLESS NOTED OTHERWISE)
- 2X6 WALLS=5 1/2", 2X4 WALLS = 3 1/2"
- ALL DIMENSIONS ARE TO OUTSIDE OF FOUNDATION WALLS/BRICK LEDGES
- GENERAL CONTRACTOR TO LOCATE THE FOLLOWING ITEMS IN THE FOUNDATION (WHEN APPLICABLE)
 - FLOOR DRAINS, ELECTRIC SERVICES, WATER HEATER, SUMP PIT + PUMP, FURNACE, GAS/LP LINE, BASEMENT, WINDOWS, ETC.
- ACTUAL STEPS IN FOUNDATION WALLS AND LOCATION OF WINDOW WELLS TO BE DETERMINED ON-SITE BY GENERAL CONTRACTOR
- DECK FRAMING SPECIFICATION TO MEET OR EXCEED REQUIREMENTS DEFINED WITHIN "APPENDIX B" OF THE WI UNIFORM DWELLING
- ALL CABINET LAYOUTS ARE CONCEPTUAL-CONSULT CABINET DESIGNER FOR EXACT SIZES AND LOCATIONS OF CABINETS, APPLIANCES, AND WINDOWS
- ALL DOOR HEIGHTS ARE 6'-8" UNLESS NOTED/SHOWN OTHERWISE

WALL HATCH LEGEND

- BALLOON FRAME TALL WALL
- 18'-5 7/8" +/- TALL WALL
- BEARING WALL/POST



2 POST DETAIL

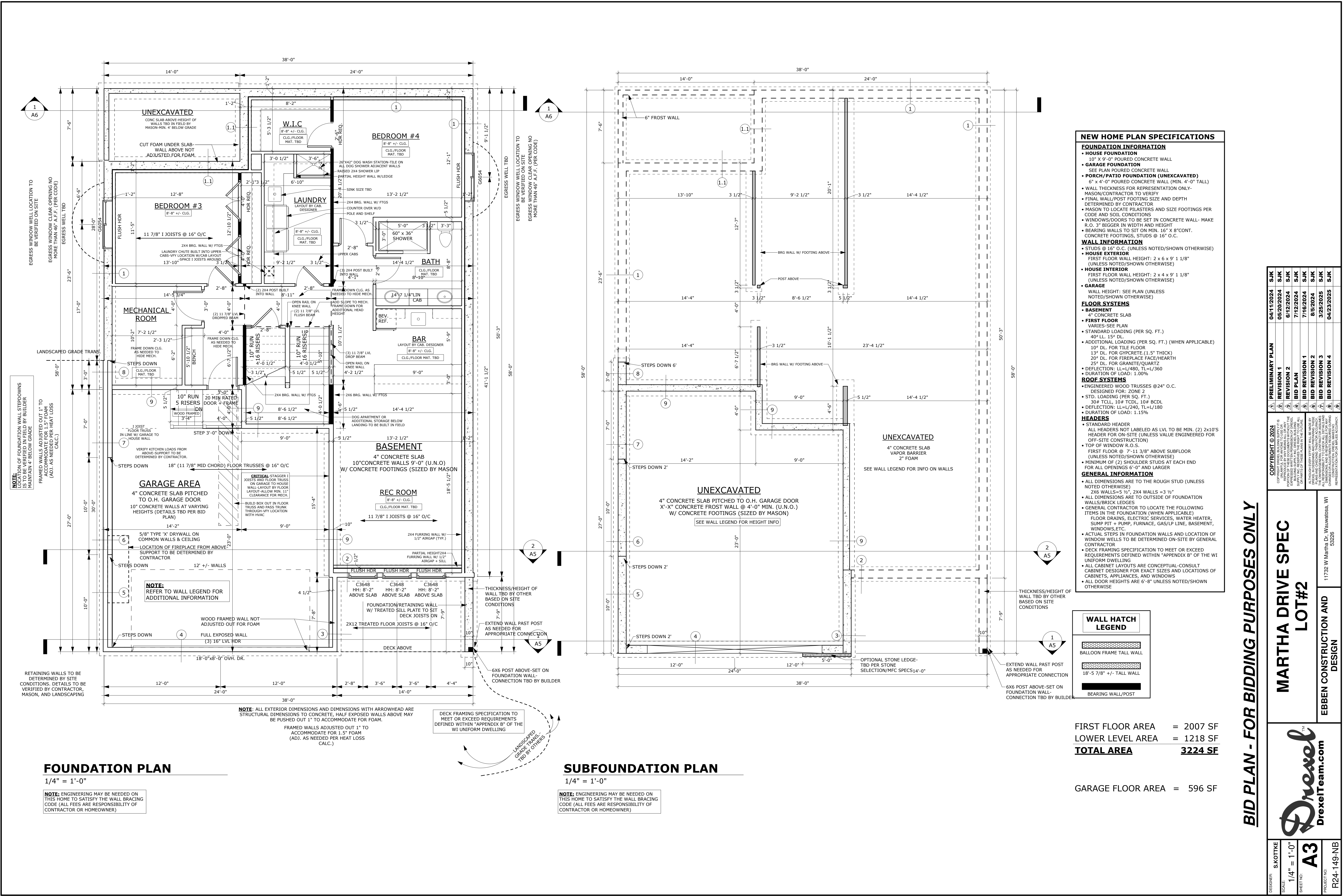
A2 1 1/2" = 1'-0"

FIRST FLOOR AREA = 2007 SF
LOWER LEVEL AREA = 1218 SF
TOTAL AREA 3224 SF

GARAGE FLOOR AREA = 596 SF

BID PLAN - FOR BIDDING PURPOSES ONLY

DESIGNER: SKOTTKE	PROJECT NO: R24-149-NB
SCALE: As indicated	PROJECT NO: R24-149-NB
SHEET NO: A2	PROJECT NO: R24-149-NB
MARTHA DRIVE SPEC LOT#2	
EBBEN CONSTRUCTION AND DESIGN	
11732 W Martha Dr, Wauwatosa, WI 53226	
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COMPUTER GENERATED DRAWING. ANY PART OF THIS DRAWING IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT PERMISSION IN WRITING FROM EBBEN CONSTRUCTION AND DESIGN.	
PRELIMINARY PLAN	
REVISION 1	04/11/2024 SJK
REVISION 2	05/20/2024 SJK
BID PLAN	6/12/2024 SJK
BID REVISION 1	7/12/2024 SJK
BID REVISION 2	7/16/2024 SJK
BID REVISION 3	8/5/2024 SJK
BID REVISION 4	3/25/2025 SJK
BID REVISION 5	04/23/2025 SJK



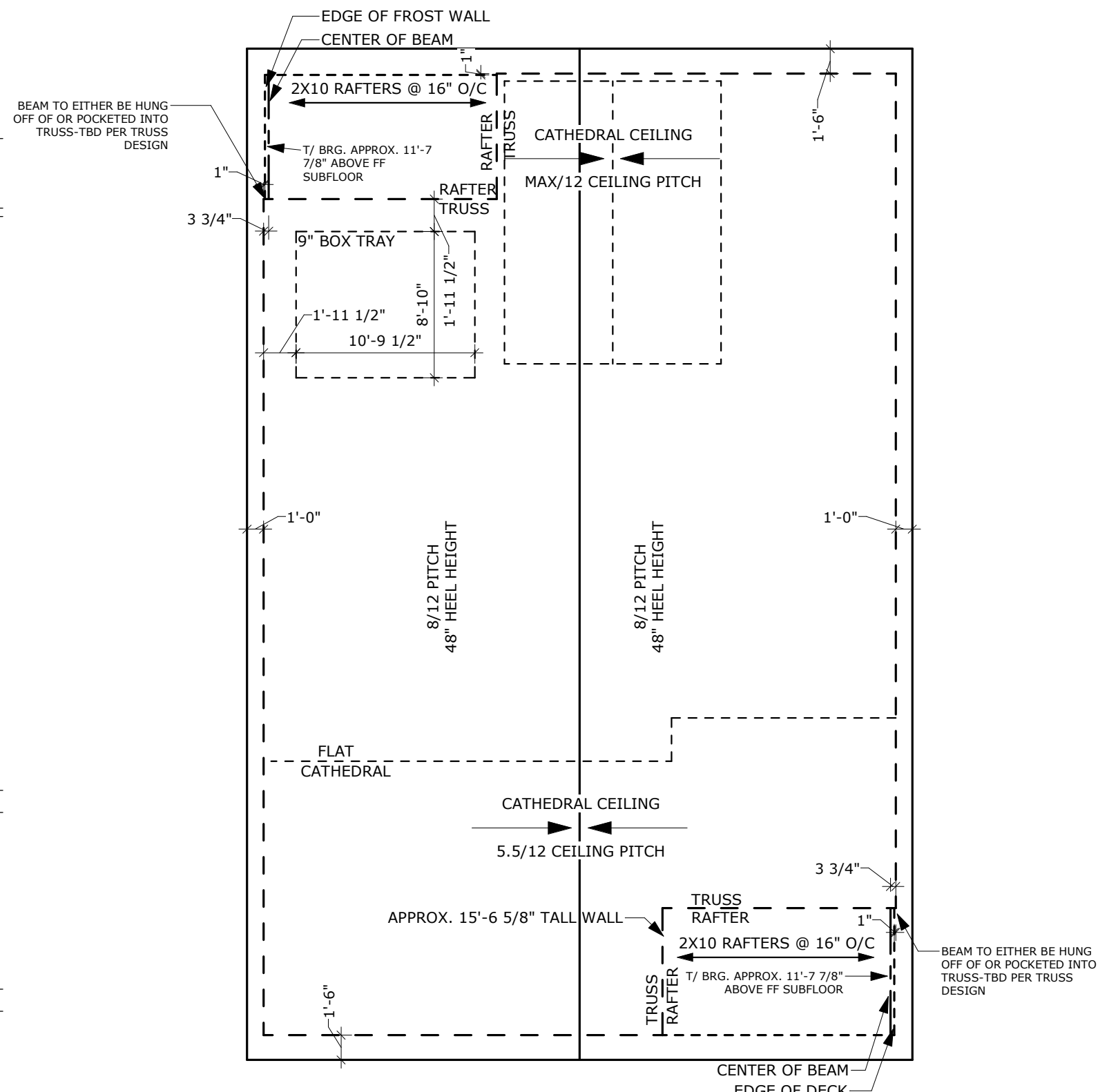
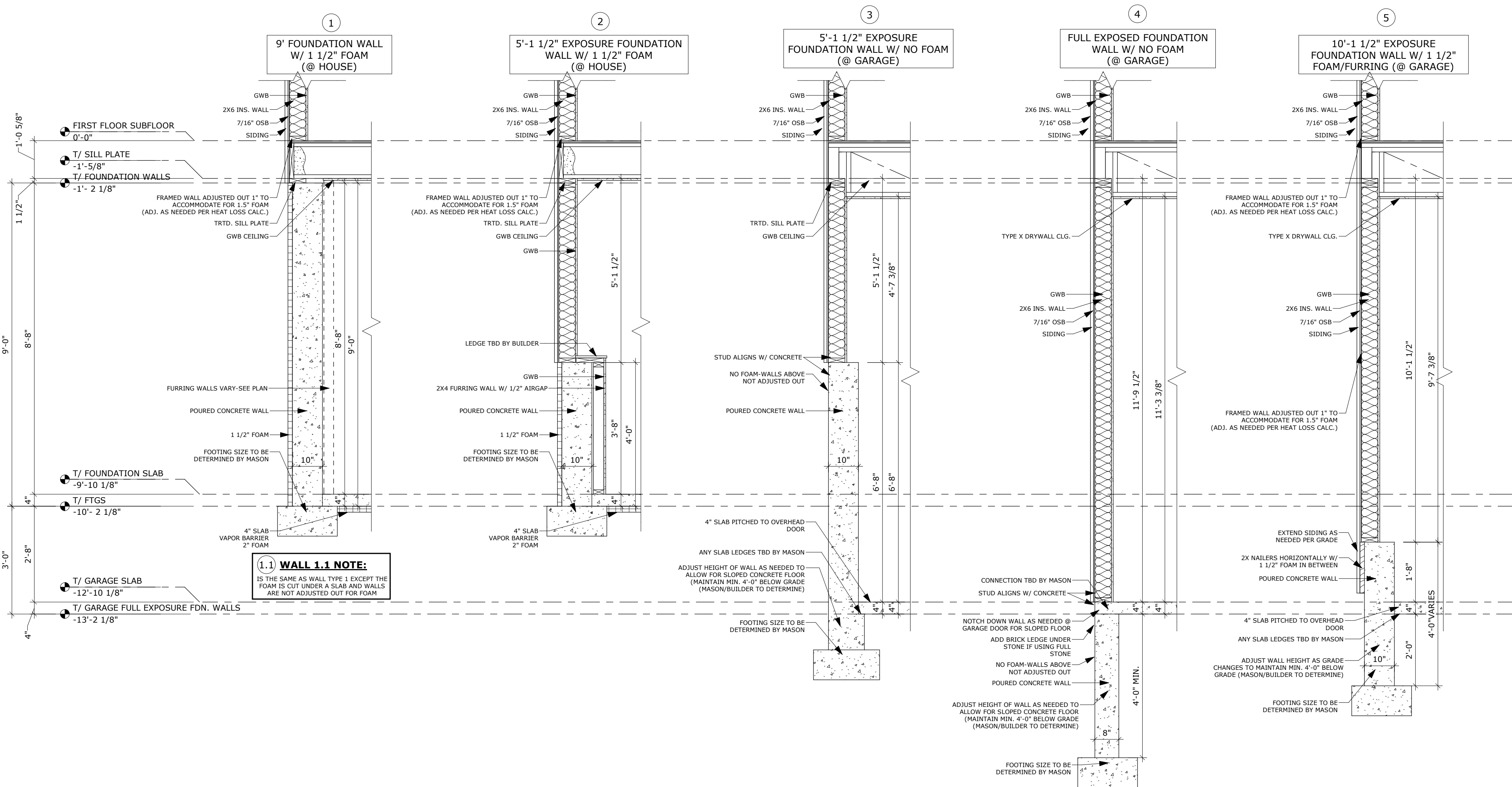
NEW HOME PLAN SPECIFICATIONS					
FOUNDATION INFORMATION					
• HOUSE FOUNDATION					
10" x 9'-0" POURED CONCRETE WALL					
• GARAGE FOUNDATION					
SEE PLAN POURED CONCRETE WALL					
• PORCH/PATIO FOUNDATION (UNEXCAVATED)					
6" x 4'-0" POURED CONCRETE WALL (MIN. 4'-0" TALL)					
• WALL THICKNESS FOR REPRESENTATION ONLY- MASON/CONTRACTOR TO VERIFY					
• FINAL WALL POST FOOTING SIZE AND DEPTH DETERMINED BY CONTRACTOR					
• MASON TO LOCATE PILASTERS AND SIZE FOOTINGS PER CODE AND SOIL CONDITIONS					
• WINDOWS/DOORS TO BE SET IN CONCRETE WALL- MAKE R.O. 3" BIGGER IN WIDTH AND HEIGHT					
• BEARING WALLS TO SIT ON MIN. 16" X 8" CONT. CONCRETE FOOTINGS, STUDS @ 16" O.C.					
WALL INFORMATION					
• STUDS @ 16" O.C. (UNLESS NOTED/SHOWN OTHERWISE)					
• HOUSE EXTERIOR					
FIRST FLOOR WALL HEIGHT: 2 x 6 x 9' 1 1/8" (UNLESS NOTED/SHOWN OTHERWISE)					
• HOUSE INTERIOR					
FIRST FLOOR WALL HEIGHT: 2 x 4 x 9' 1 1/8" (UNLESS NOTED/SHOWN OTHERWISE)					
• GARAGE					
WALL HEIGHT: SEE PLAN (UNLESS NOTED/SHOWN OTHERWISE)					
FLOOR SYSTEMS					
• BASEMENT					
4" CONCRETE SLAB					
• FIRST FLOOR					
VARIES-SEE PLAN					
• STANDARD LOADING (PER SQ. FT.)					
40' LL, 15' DL					
• ADDITIONAL LOADING (PER SQ. FT.) (WHEN APPLICABLE)					
10" DL FOR TILE FLOOR					
13" DL FOR GYPCRETE (1.5" THICK)					
20" DL FOR FIREPLACE FACE/HEARTH					
25" DL FOR GRANITE/QUARTZ					
• DEFLECTION: LL=L/240, TL=L/360					
• DURATION OF LOAD: 1.15%					
ROOF SYSTEMS					
• ENGINEERED WOOD TRUSSES @24" O.C.					
DESIGNED FOR: ZONE 2					
• STD. LOADING (PER SQ. FT.)					
30# T.C.L., 10# T.C.D.L., 10# B.C.D.L.					
• DEFLECTION: LL=L/240, TL=L/180					
• DURATION OF LOAD: 1.15%					
HEADERS					
• STANDARD HEADER					
ALL HEADERS NOT LABELED AS LVL TO BE MIN. (2) 2x10'S					
HEADER FOR ON-SITE (UNLESS VALUE ENGINEERED FOR OFF-SITE CONSTRUCTION)					
• TOP OF WINDOW R.O.S.					
FIRST FLOOR @ 7'-11 3/8" ABOVE SUBFLOOR (UNLESS NOTED/SHOWN OTHERWISE)					
• MINIMUM OF (2) SHOULDER STUDS AT EACH END FOR ALL OPENINGS 6'-0" AND LARGER					
GENERAL INFORMATION					
• ALL DIMENSIONS ARE TO THE ROUGH STUD (UNLESS NOTED OTHERWISE)					
2X6 WALLS=3 1/2", 2X4 WALLS=3 1/2"					
• ALL DIMENSIONS ARE TO OUTSIDE OF FOUNDATION WALLS/BRICK LEDGES					
• GENERAL CONTRACTOR TO LOCATE THE FOLLOWING ITEMS IN THE FOUNDATION (WHEN APPLICABLE)					
FLOOR DRAINS, ELECTRIC SERVICES, WATER HEATER, SUMP PIT + PUMP, FURNACE, GAS/LP LINE, BASEMENT, WINDOWS, ETC.					
• ACTUAL STEPS IN FOUNDATION WALLS AND LOCATION OF WINDOW WALLS TO BE DETERMINED ON-SITE BY GENERAL CONTRACTOR					
• DECK FRAMING SPECIFICATION TO MEET OR EXCEED REQUIREMENTS DEFINED WITHIN "APPENDIX B" OF THE WI UNIFORM DWELLING					
• ALL CABINET LAYOUTS ARE CONCEPTUAL-CONSULT CABINET DESIGNER FOR EXACT SIZES AND LOCATIONS OF CABINETS, APPLIANCES, AND WINDOWS					
• ALL DOOR HEIGHTS ARE 6'-8" UNLESS NOTED/SHOWN OTHERWISE					

WALL HATCH LEGEND	
	BALLOON FRAME TILT WALL
	18'-5 7/8" +/- TALL WALL
	BEARING WALL/POST

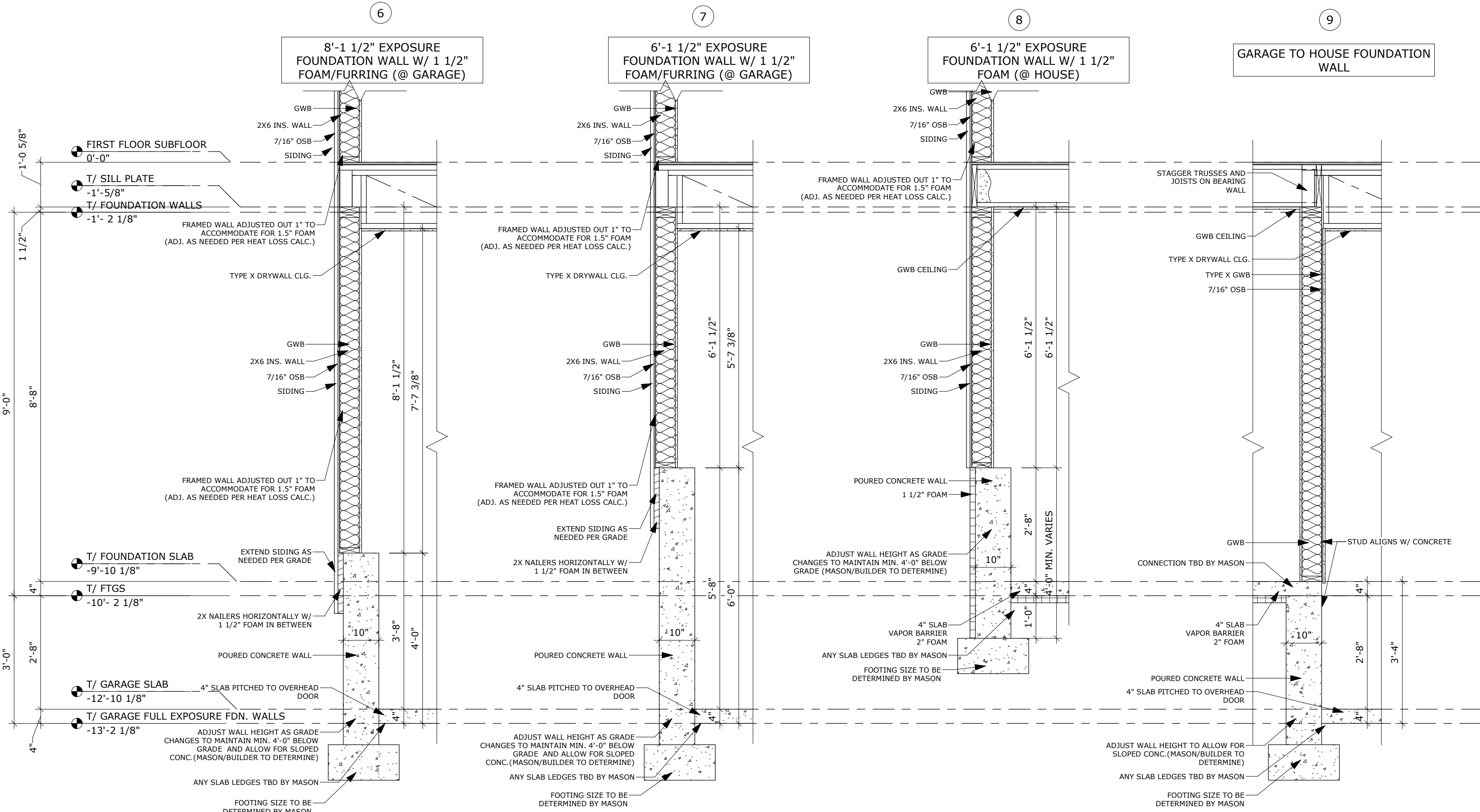
FIRST FLOOR AREA	=	2007 SF
LOWER LEVEL AREA	=	1218 SF
TOTAL AREA	=	3224 SF
GARAGE FLOOR AREA = 596 SF		

BID PLAN - FOR BIDDING PURPOSES ONLY

DESIGNER: SKOTTKE	SCALE: 1/4" = 1'-0"	SHEET NO: A3	PROJECT NO: R24-149-NB	MARTHA DRIVE SPEC LOT#2	
				EBBEN CONSTRUCTION AND DESIGN	
				11732 W Martha Dr, Wauwatosa, WI 53226	
				Drexel™ DrexelTeam.com	



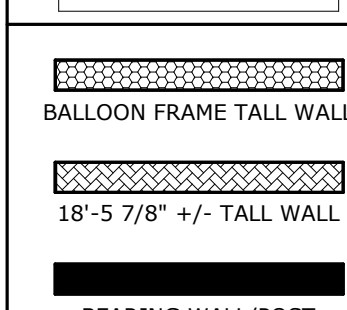
2 ROOF PLAN
A4 1/8" = 1'-0"



FIRST FLOOR AREA = 2007 SF
LOWER LEVEL AREA = 1218 SF
TOTAL AREA 3224 SF

GARAGE FLOOR AREA = 596 SF

WALL HATCH LEGEND



NEW HOME PLAN SPECIFICATIONS

- FOUNDATION INFORMATION**
- HOUSE FOUNDATION
 - 10" X 9'-0" POURED CONCRETE WALL
 - GARAGE FOUNDATION
 - SEE PLAN POURED CONCRETE WALL
 - PORCH/PATIO FOUNDATION (UNEXCAVATED)
 - 6" X 4'-0" POURED CONCRETE WALL (MIN. 4'-0" TALL)
 - WALL THICKNESS FOR REPRESENTATION ONLY- MASON/CONTRACTOR TO VERIFY
 - FINAL WALL/POST FOOTING SIZE AND DEPTH DETERMINED BY CONTRACTOR
 - MASON TO LOCATE PILASTERS AND SIZE FOOTINGS PER CODE AND SOIL CONDITIONS
 - WINDOWS/DOORS TO BE SET IN CONCRETE WALL- MAKE R.O. 3" BIGGER IN WIDTH AND HEIGHT
 - BEARING WALLS TO SIT ON MIN. 16" X 8"CONT. CONCRETE FOOTINGS, STUDS @ 16" O.C.
- WALL INFORMATION**
- STUDS @ 16" O.C. (UNLESS NOTED/SHOWN OTHERWISE)
 - HOUSE EXTERIOR
 - FIRST FLOOR WALL HEIGHT: 2 x 6 x 9' 1 1/8" (UNLESS NOTED/SHOWN OTHERWISE)
 - HOUSE INTERIOR
 - FIRST FLOOR WALL HEIGHT: 2 x 4 x 9' 1 1/8" (UNLESS NOTED/SHOWN OTHERWISE)
 - GARAGE
 - WALL HEIGHT: SEE PLAN (UNLESS NOTED/SHOWN OTHERWISE)
- FLOOR SYSTEMS**
- BASEMENT
 - 4" CONCRETE SLAB
 - FIRST FLOOR
 - VARIABLES-SEE PLAN
 - STANDARD LOADING (PER SQ. FT.)
 - 40# LL, 15# DL
 - ADDITIONAL LOADING (PER SQ. FT.) (WHEN APPLICABLE)
 - 10# DL FOR TILE FLOOR
 - 13# DL FOR GYPCRETE (1.5" THICK)
 - 20# DL FOR FIREPLACE FACE/HEARTH
 - 25# DL FOR GRANITE/QUARTZ
 - DEFLECTION: LL=L/480, TL=L/360
 - DURATION OF LOAD: 1.00%
- ROOF SYSTEMS**
- ENGINEERED WOOD TRUSSES @24" O.C. DESIGNED FOR: ZONE 2
 - STD. LOADING (PER SQ. FT.)
 - 30# TC/L, 10# TC/DL, 10# BC/DL
 - DEFLECTION: LL=L/240, TL=L/180
 - DURATION OF LOAD: 1.15%
- HEADERS**
- STANDARD HEADER
 - ALL HEADERS NOT LABELED AS LVL TO BE MIN. (2) 2X10'S HEADER FOR ON-SITE (UNLESS VALUE ENGINEERED FOR OFF-SITE CONSTRUCTION)
 - TOP OF WINDOW R.O.S.
 - FIRST FLOOR @ 7'-11 3/8" ABOVE SUBFLOOR (UNLESS NOTED/SHOWN OTHERWISE)
 - MINIMUM OF (2) SHOULDER STUDS AT EACH END FOR ALL OPENINGS 6'-0" AND LARGER
- GENERAL INFORMATION**
- ALL DIMENSIONS ARE TO THE ROUGH STUD (UNLESS NOTED OTHERWISE)
 - 2X6 WALLS=5 1/2", 2X4 WALLS=3 1/2"
 - ALL DIMENSIONS ARE TO OUTSIDE OF FOUNDATION WALLS/BRICK LEDGES
 - GENERAL CONTRACTOR TO LOCATE THE FOLLOWING ITEMS IN THE FOUNDATION (WHEN APPLICABLE)
 - FLOOR DRAINS, ELECTRIC SERVICES, WATER HEATER, SUMP PIT + PUMP, FURNACE, GAS/LP LINE, BASEMENT, WINDOWS, ETC.
 - ACTUAL STEPS IN FOUNDATION WALLS AND LOCATION OF WINDOW WELLS TO BE DETERMINED ON-SITE BY GENERAL CONTRACTOR
 - DECK FRAMING SPECIFICATION TO MEET OR EXCEED REQUIREMENTS DEFINED WITHIN "APPENDIX B" OF THE WI UNIFORM DWELLING
 - ALL CABINET LAYOUTS ARE CONCEPTUAL-CONSULT CABINET DESIGNER FOR EXACT SIZES AND LOCATIONS OF CABINETS, APPLANCES, AND WINDOWS
 - ALL DOOR HEIGHTS ARE 6'-8" UNLESS NOTED/SHOWN OTHERWISE

1 WALL LEGEND
A4 1/2" = 1'-0"

BID PLAN - FOR BIDDING PURPOSES ONLY

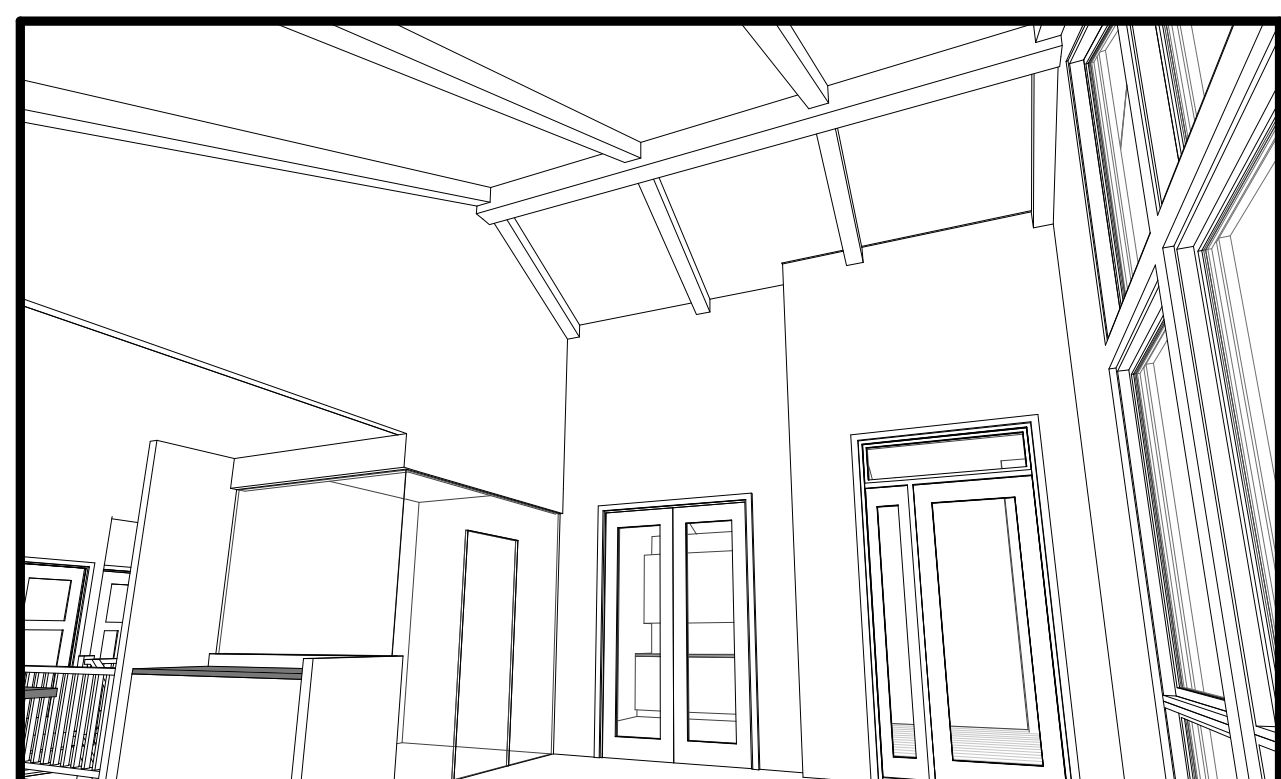
DESIGNER	SKOTTKE	REVISION 1	04/11/2024	SJK
SCALE	As indicated	REVISION 2	05/20/2024	SJK
SHEET NO.	A4	BID PLAN	6/12/2024	SJK
PROJECT NO.	R24-149-NB	BID REVISION 1	7/12/2024	SJK
		BID REVISION 2	7/16/2024	SJK
		BID REVISION 3	8/5/2024	SJK
		BID REVISION 4	3/25/2025	SJK
		BID REVISION 4	04/23/2025	SJK

MARTHA DRIVE SPEC LOT#2

EBBEN CONSTRUCTION AND DESIGN

11732 W Martha Dr, Wauwatessa, WI 53226

Drexel
DrexelTeam.com



GARAGE FLOOR AREA = 596 SF

NEW HOME PLAN SPECIFICATIONS	
FOUNDATION INFORMATION	
HOUSE FOUNDATION	CONCRETE WALL
GARAGE FOUNDATION	SEE PLAN FOUNED CONCRETE WALL
PORCH/PATIO FOUNDATION (UNEXCAVATED)	6" x 4'-0" POURED CONCRETE WALL (MIN. 4'-0" TALL)
THICKNESS FOR RETENTION ONLY-	12" MINIMUM (PER RETENTION ONLY-)
MINIMUM WALL FOOTING SIZE AND DEPTH	DETERMINED BY CONTRACTOR
FOUNDATION WALLS AND SIZE FOOTINGS PER	CONCRETE WALLS AND SIZE FOOTINGS PER
WINDOWS/DOORS TO BE SET IN CONCRETE WALL - MAKE	R.O. 3" BIGGER IN WIDTH AND HEIGHT
CONCRETE WALLS AND SIZE FOOTINGS PER	R.O. 3" BIGGER IN WIDTH AND HEIGHT
CONCRETE FOOTINGS, STUDS @ 15" O.C.	CONCRETE FOOTINGS, STUDS @ 15" O.C.
WALL INFORMATION	
STUDS @ 15" O.C. (UNLESS NOTED/SHOWN OTHERWISE)	STUDS @ 15" O.C. (UNLESS NOTED/SHOWN OTHERWISE)
HOUSE EXTERIOR HEIGHT: 2' x 6' x 9' 1 1/8"	HOUSE EXTERIOR HEIGHT: 2' x 6' x 9' 1 1/8"
HOUSE INTERIOR (UNLESS NOTED/SHOWN OTHERWISE)	HOUSE INTERIOR (UNLESS NOTED/SHOWN OTHERWISE)
GARAGE	MIN. HEIGHT: SEE PLAN (UNLESS NOTED/SHOWN OTHERWISE)
FLOOR SYSTEMS	
FIRST FLOOR	40" T.I., 15' DL
ADDITIONAL LOADING (PER SQ. FT.) (WHEN APPLICABLE)	10' DL FOR FLOOR (15" THICK)
20' DL FOR TRIPLE FACE/HEARTH	25' DL FOR GRANITE/QUARTZ
DICTION OF LOAD: 1.15%	DICTION OF LOAD: 1.15%
ROOF SYSTEMS	
ENGINEERED WOOD TRUSSES @ 24" O.C.	DESIGNED FOR: ZONE 2
5" MINIMUM TRUSS DEPTH	30" TALL, 104" TALL, 104" BOLD
DEFLECTION: LL+L/240, TL+L/180	DEFLECTION: LL+L/240, TL+L/180
DICTION OF LOAD: 1.15%	DICTION OF LOAD: 1.15%
CEILING SYSTEMS	
ALL HEADERS NOT LABELED AS L.V. TO BE MIN. (2) 2x10'S	HEADER FOR ON-SITE WALLS ENGINEERED FOR
TOP OF WINDOW R.O. TO CEILING	TOP OF WINDOW R.O. TO CEILING
FIRST FLOOR @ 7'-11 3/8" ABOVE SUBFLOOR	UNLESS NOTED/SHOWN OTHERWISE
DICTION OF LOAD: 1.15%	DICTION OF LOAD: 1.15%
GENERAL INFORMATION	
ALL DIMENSIONS ARE TO THE ROUGH STUD (UNLESS NOTED OTHERWISE)	2X6 WALLS @ 15" O.C., 2X4 WALLS @ 15" O.C.
WALLS/BRICK LEIGS	WALLS/BRICK LEIGS
GENERAL CONTRACTOR TO LOCATE THE FOLLOWING	ITEMS IN THE FOUNDATION (WHEN LABELED)
SUMP PUMP, FURNACE, GAS/LP LINE, BASEMENT	WINDMILLS, ETC.
WINDOW WALLS AND LOCATION OF WINDOW WALLS TO BE DETERMINED ON-SITE BY GENERAL CONTRACTOR	DECK FRAMING SPECIFICATION TO MEET OR EXCEED
UNIFORM DWELLING	UNIFORM DWELLING
ALL CABINET LAYOUTS ARE CONCEPTUAL-CONSULT	CABINET DESIGNER FOR EXACT SIZES AND LOCATIONS OF
ALL DOOR HEIGHTS ARE 6'-8" UNLESS NOTED/SHOWN	OTHERWISE

BID PLAN - FOR BIDDING PURPOSES ONLY

DESIGNER: S. KOTTKE SCALE: 1/4" = 1'-0" SHEET NO.: A5	 Drexel™ drexelteam.com	MARTHA DRIVE SPEC LOT#2	EBBEN CONSTRUCTION AND DESIGN 11732 W Martha Dr., Wauwatosa, WI 53226	COPYRIGHT © 2024 CONTRACT ENGINEERING SUPPORT IS PROVIDED BY ANNA WALKER, ALL CIVIL ENGINEERING WORK WAS REVIEWED BY EXPERTS WHO WROTE PERMISSION OF PRACTICE STATEMENTS. THE CLIENT TO OBTAIN ALL SUPPLIES AND REBID THE TENT TO OTHER ALL		PRELIMINARY PLAN	04/11/2024 SJK
				REVISION 1	05/10/2024 SJK		
				REVISION 2	06/12/2024 SJK		
				BID PLAN	7/12/2024 SJK		
				BID REVISION 1	7/16/2024 SJK		
				BID REVISION 2	8/5/2024 SJK		
				BID REVISION 3	8/25/2025 SJK		
				BID REVISION 4	04/23/2025 SJK		

Plat of Survey

Property Description: Lot 2 Certified Survey Map Number 9424 All of Lots 15 and 16, in Block 4, in Blue Mound Vista No. 2, a Subdivision of a Part of the the Southeast 1/4 of the Southwest 1/4,of Section 30, Township 7 North, Range 21 East, in the City of Wauwatosa, Milwaukee County, WI.

Suggested Top of Wall: 771.69'
Suggested Top of Footing Basement: 762.69'
Suggested Top of Wall Garage: 759.69'
Suggested Top of Frost Footing Garage:754.69'
Suggested Garage Floor: 759.36'
Suggested Final Yard Grades: 771.0'/759.0'
Driveway Slope = Back of Curb to Lot line 8.33%/
Lot line to Garage10%
(Assuming 9' Poured Wall-check plans)
Sewer invert elevations to be verified by sewer contractor

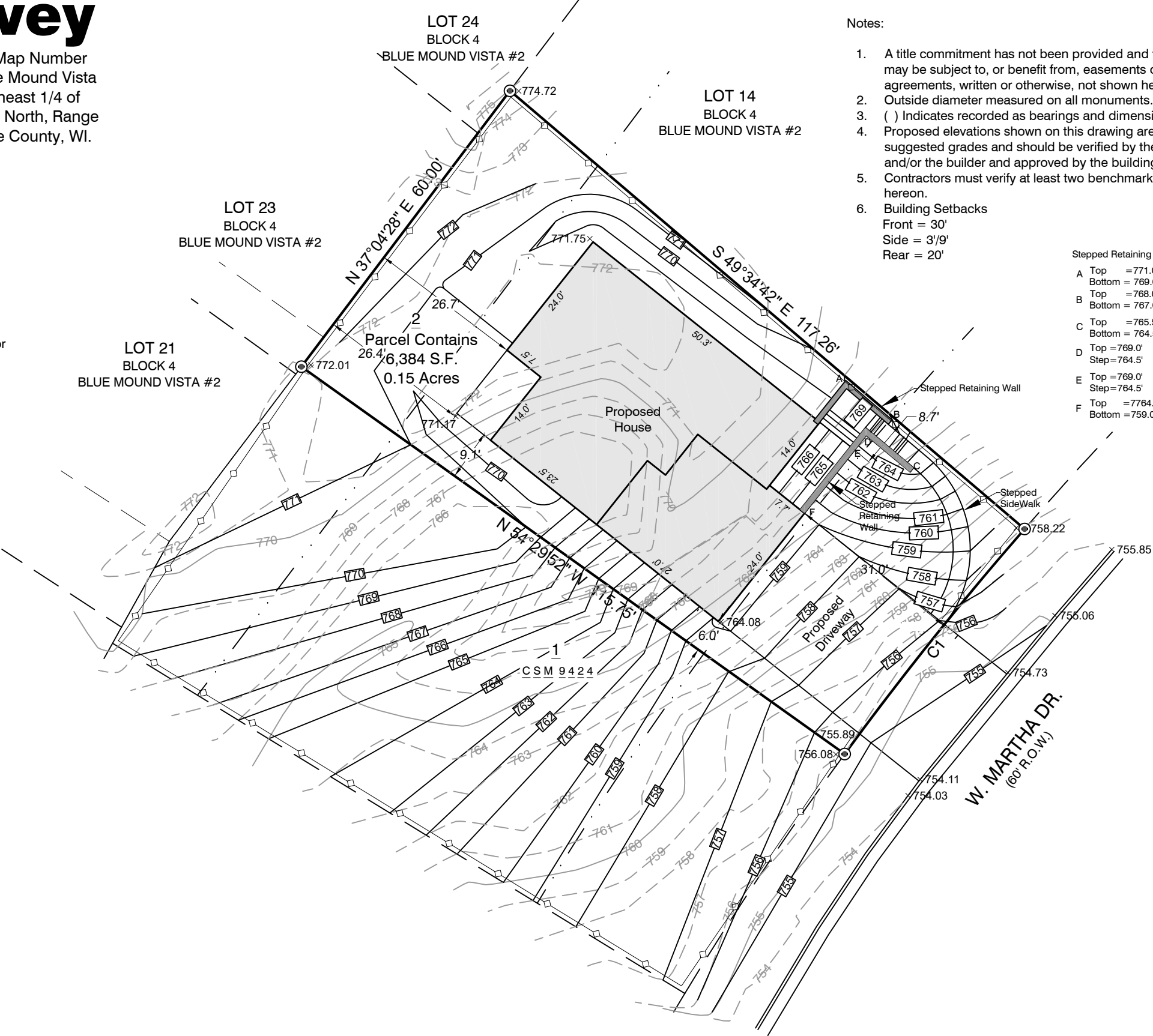
LEGEND

- 10' Offset
- Monument Found as Noted
- 3/4"x18" Iron Rod Set
- Existing Spot Grade
- Proposed Grade
- Proposed Contour
- Existing Contour
- Building Setback Line
- Proposed Silt Fence

Graphic Scale 1" = 20'

0' 20' 40'

CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING
C1	584.45'	50.01'	50.00'	S 38°37'33" W



- Notes:
- A title commitment has not been provided and this parcel may be subject to, or benefit from, easements or agreements, written or otherwise, not shown hereon.
 - Outside diameter measured on all monuments.
 - () Indicates recorded as bearings and dimensions.
 - Proposed elevations shown on this drawing are suggested grades and should be verified by the owner and/or the builder and approved by the building inspector.
 - Contractors must verify at least two benchmarks shown hereon.
 - Building Setbacks
Front = 30'
Side = 3'/9'
Rear = 20'

Stepped Retaining Walls

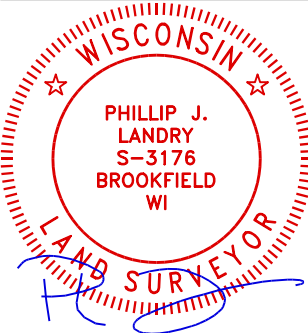
A	Top = 771.0'
	Bottom = 769.0'
B	Top = 768.0'
	Bottom = 767.0'
C	Top = 765.5'
	Bottom = 764.5'
D	Top = 769.0'
	Step = 764.5'
E	Top = 769.0'
	Step = 764.5'
F	Top = 7764.0'
	Bottom = 759.0'



21005 Watertown Rd. Suite A2
Waukesha, WI 53186 (262) 312-1034
landsurveysinc.com

SURVEYOR'S CERTIFICATE

I hereby certify that we surveyed the property described above and that the map is a true representation thereof and shows the size and location of the property, it's exterior boundaries. Said survey meets the minimum standards for property surveys of the Wisconsin Administrative Code (A-E7) and the map hereon is correct to the best of my knowledge and belief. This Survey is solely for the use of the present owners of the property at the date below.



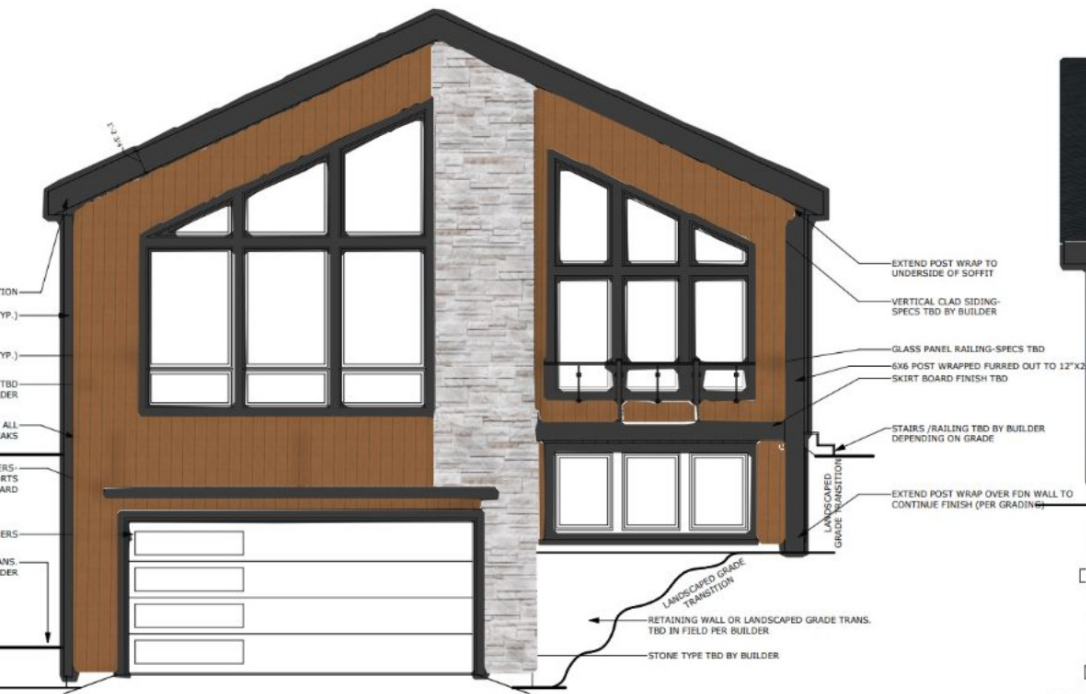
Dated this 4th Day of April, 2025:
Phillip J. Landry S-3176

REVISIONS

Ebben Construction and Design, LLC
2640 Sunnyview Cir.
Appleton, WI

BEARINGS ARE REFERENCED TO
C.S.M. 9424,
SOUTHWEST LINE
LOT 2,
BEARS N 00°00'00" E

Drawn By: TM Job# 23114
Sheet 01 of 01



FRONT ELEVATION

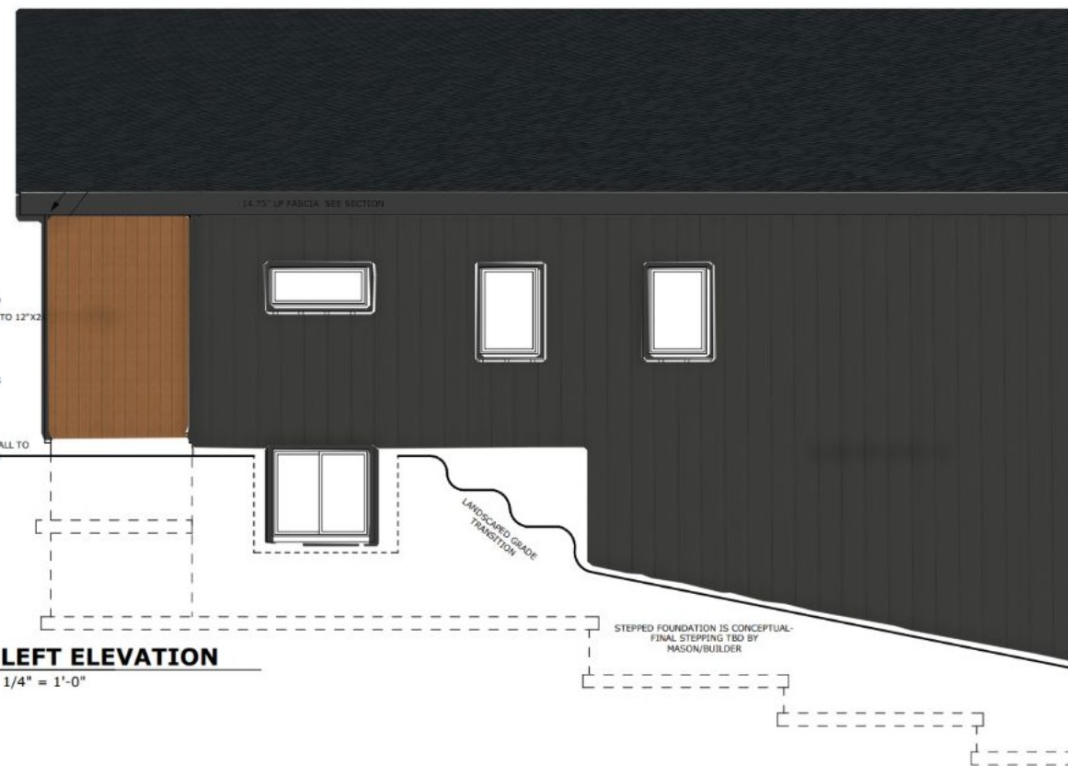
1/4" = 1'-0"

ENGINEERING MAY BE NEEDED ON
SOME TO SATISFY THE WALL BRACING
ALL FEES ARE RESPONSIBILITY OF
OWNER OR HOMEOWNER



REAR ELEVATION

AREA = 2007 SF
AREA = 1218 SF
3224 SF



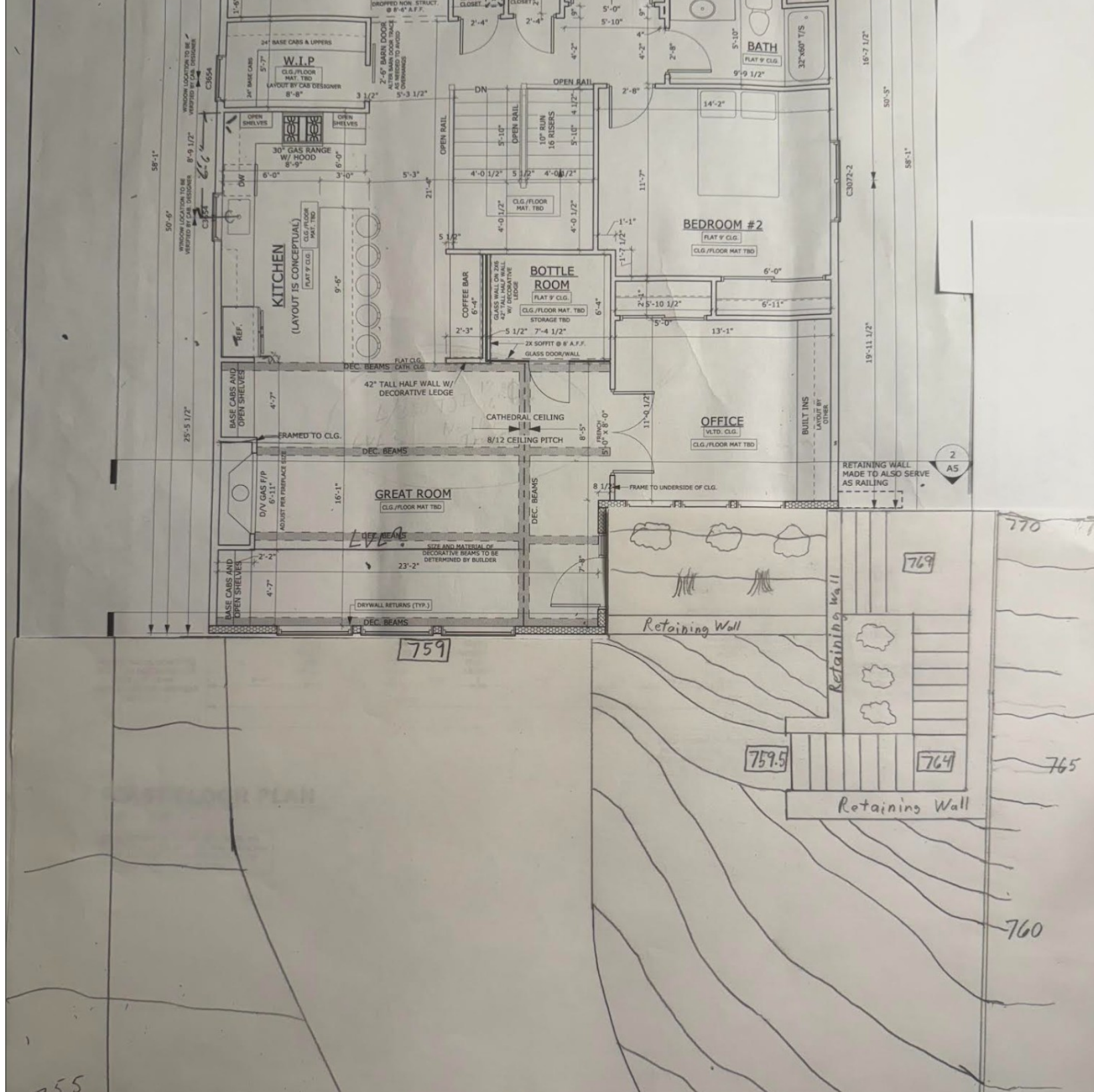
LEFT ELEVATION

1/4" = 1'-0"



RIGHT ELEVATION

1/4" = 1'-0"

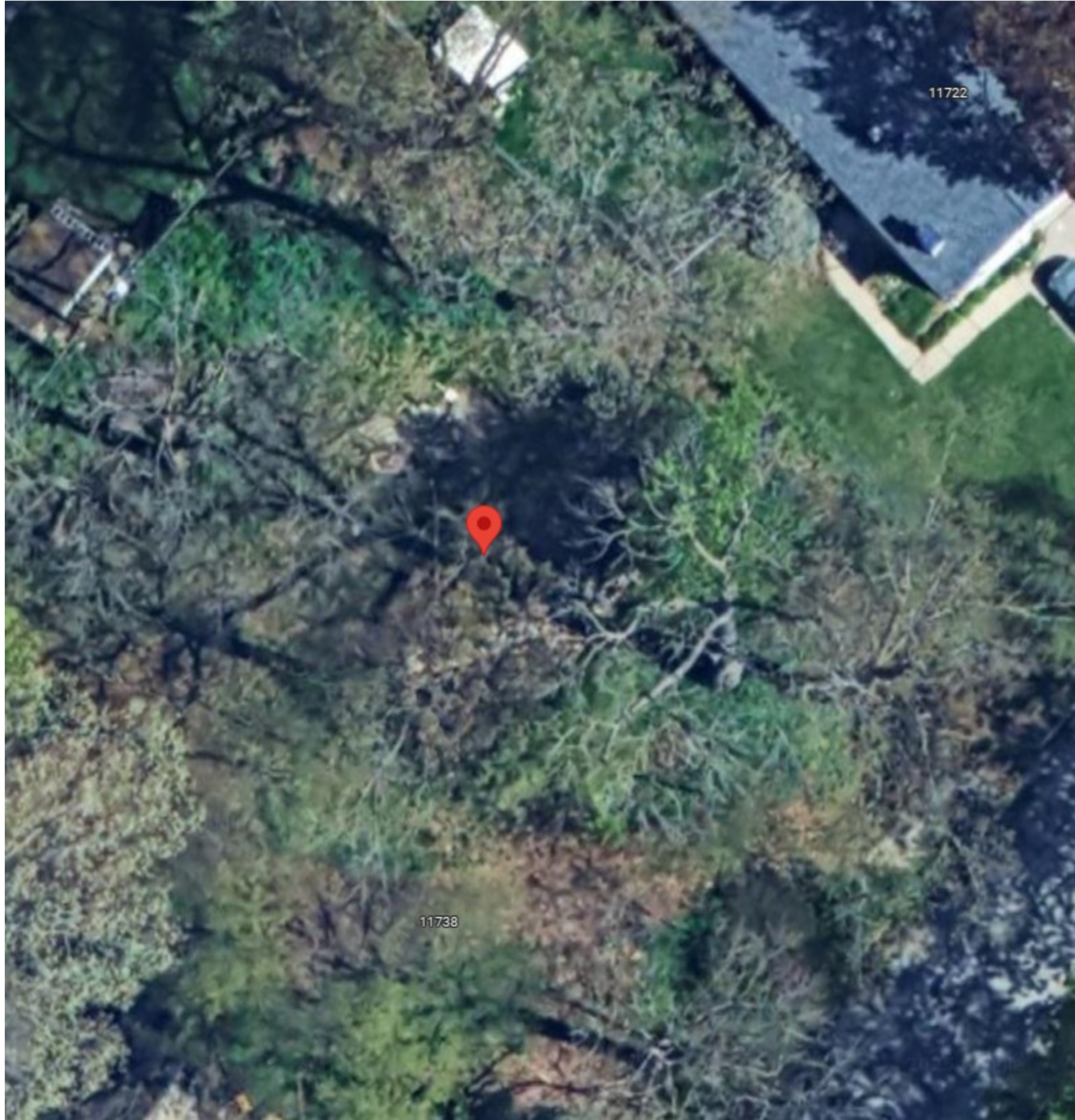


STON

Tight-Cut, Lunar Drift

Actual color may vary from printed representation.





11722

11738

