



CITY OF WAUWATOSA

**BUILDING & SAFETY DIVISION**

7725 WEST NORTH AVENUE, WAUWATOSA, WISCONSIN 53213

PHONE (414) 479-8907

FACSIMILE (414) 479-8986

E-MAIL: [tbuilding@wauwatosa.net](mailto:tbuilding@wauwatosa.net)

WEB SITE: [www.wauwatosa.net](http://www.wauwatosa.net)

**DESIGN REVIEW BOARDS**

The Design Review Board is created to review and approve the exterior design and aesthetic aspects of building projects. Their purpose is to promote good design and continuity, which often impacts the overall appearance and property value of a neighborhood. Applicants are required to attend the meeting in order to address any of the Board's questions or concerns. Meetings are conducted at City Hall, 7725 West North Avenue, Wauwatosa, Wisconsin at 7:00 p.m. on the first and third Thursdays of each month (\*unless otherwise noted). The application deadlines can be found in the schedule below.

**HOW TO MAKE APPLICATION**

1. It is suggested that you discuss the proposed application with the Building & Safety Division prior to submission, in the interest of having adequate information for the request.
2. The request shall consist of an online application through our Customer Service Portal accompanied by the following. **Incomplete submittals will not be considered.**
  - One digital copy of the plans (to scale). All elevations must be shown on the plans.
  - One digital copy of the land survey (to scale) and site plan with the proposed structure (with dimensions and distances from lot lines) drawn on each copy.
  - Photograph of the existing front elevation.
  - Photograph of the affected area to be built.
  - One digital copy of scaled drawings of the building elevations showing fenestration, materials and landscaping.
  - One digital copy of exterior lighting plans including lamp types, light pattern and fixture style.
  - One digital copy of samples of all exterior materials affected by the project, and physical samples dropped off in the Building & Safety Department. **INLCUDED ON ELEVATION SHEETS**
  - Colored rendering of the proposed project.
  - Three color copy packets including the above requirements.
3. A \$50 application fee is due at the time of the online submittal. Total fees are calculated based on the cost of a project or square footage, plus plan review. Plan review adds another \$100-\$500 depending on the scope of the project. **PAID ONLINE**
4. All applications and submittals must be completed online not later than the application date and time indicated below to be considered for the schedule's meeting date. The advance application date is necessary to meet legal notification requirements.

12:00 PM APPLICATION DATE	7:00 PM *MEETING DATE
December 27, 2022	January 5, 2023
January 10, 2023	January 19, 2023
January 24, 2023	February 2, 2023
February 7, 2023	February 16, 2023
February 21, 2023	March 2, 2023
March 7, 2023	March 16, 2023
April 11, 2023	April 20, 2023
April 25, 2023	May 4, 2023
May 9, 2023	May 18, 2023
May 23, 2023	June 1, 2023
June 6, 2023	June 15, 2023
June 27, 2023	July 6, 2023

12:00 PM APPLICATION DATE	7:00 PM *MEETING DATE
July 11, 2023	July 20, 2023
July 25, 2023	August 3, 2023
August 8, 2023	August 17, 2023
August 22, 2023	September 7, 2023
September 5, 2023	September 21, 2023
September 26, 2023	October 5, 2023
October 10, 2023	October 19, 2023
October 24, 2023	November 2, 2023
November 7, 2023	November 16, 2023
November 28, 2023	December 7, 2023
December 5, 2023	December 21, 2023

**Questions?**

Application related questions may be directed to the clerical staff (414-479-8907) anytime 8:00 a.m.-4:30 p.m. weekdays. The City code is available online at: [www.wauwatosa.net](http://www.wauwatosa.net).



Project Name

St. John's Evangelical Lutheran Church

Project Address

7809 Harwood Ave.

Wauwatosa, WI 53213



Project Description

Proposed 3,925 SF building addition to the existing church/narthex to provide additional church office space, larger accessible restrooms, and a larger narthex for gathering before/after church services. The church will also remove an existing house on the property currently being used for a parsonage in order to gain additional space for parking. Additional parking spaces near the main entrance will be provided along with a covered canopy for visitors to be dropped.

65 YEARS OF DESIGN EXCELLENCE

SHEET INDEX

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G-001	COVER SHEET																															
C-001	SURVEY/ EXISTING SITE PLAN																															
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L-100	LANDSCAPE PLAN																															
E-100	PHOTOMETRIC PLAN																															
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MSI GENERAL CORPORATION  
P.O. BOX. 7  
OCONOMOWOC, WI 53066  
PHONE: 262-367-5661  
FAX: 262-367-7590

WWW.MSIGENERAL.COM  
SINGLE SOURCE RESPONSIBILITY™

ISSUE DATES:

City Submittal 06/07/2023  
Design Review Board: 08/07/2023  
Proposal: xx/xx/xxxx  
Bid: xx/xx/xxxx  
Contract: xx/xx/xxxx  
State Submittal / Permit: xx/xx/xxxx  
As-Built: xx/xx/xxxx

REVISIONS:

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PROJECT ADDRESS:

PROJECT NAME  
St. John's Evangelical Lutheran Church  
STREET ADDRESS  
7809 Harwood Ave.  
CITY/ STATE / ZIP  
Wauwatosa, WI 53213

ALL WORK TO BE COMPLETED AS SHOWN, AND IN ACCORDANCE WITH THE LATEST EDITION OF THE MSI GENERAL MASTER SPECIFICATION

Architect: AMH  
Engineer: --  
Reviewed By: --  
Sheet Title: COVER SHEET  
Sheet Number: G-001  
Project Number: P13586

LEADERS

ENGINEERS

CONTRACTORS

ARCHITECTS

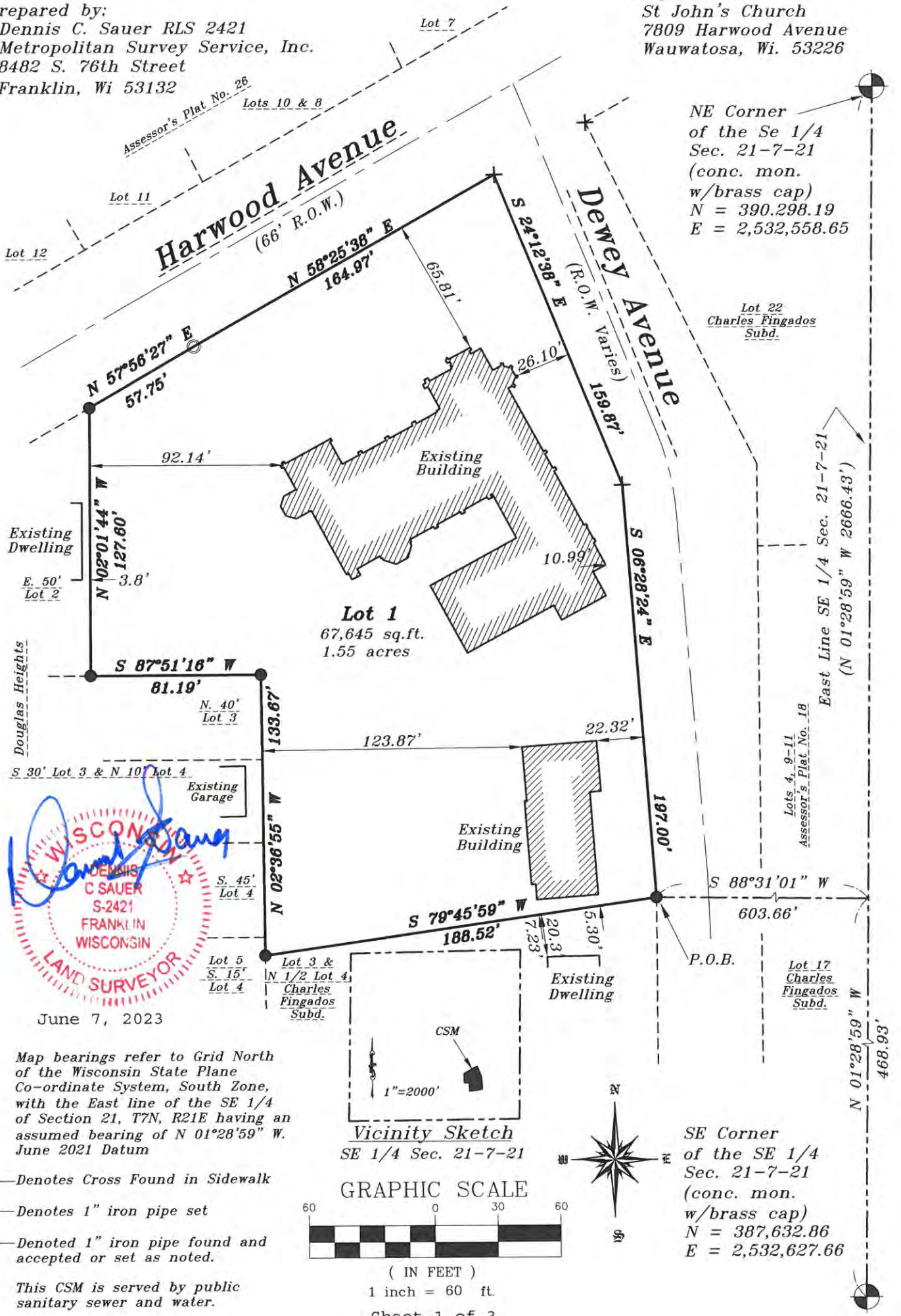


**CERTIFIED SURVEY MAP NO. \_\_\_\_\_**

Being a redivision of Lot 1 of DOUGLAS HEIGHTS, Lot 9 of ASSESSOR'S PLAT NO. 26 and Lots 1 and 2 of CHARLES FINGADO'S SUBDIVISION, being part of the Southeast 1/4 of the Southeast 1/4 Section 21, Town 7 North, Range 21 East, in the City of Wauwatosa, Milwaukee County, Wisconsin.

Prepared by:  
 Dennis C. Sauer RLS 2421  
 Metropolitan Survey Service, Inc.  
 8482 S. 76th Street  
 Franklin, Wi 53132

Prepared for:  
 St John's Church  
 7809 Harwood Avenue  
 Wauwatosa, Wi. 53226



**WISCONSIN LAND SURVEYOR**  
 DENNIS C SAUER  
 S-2421  
 FRANKLIN WISCONSIN

June 7, 2023

Map bearings refer to Grid North of the Wisconsin State Plane Co-ordinate System, South Zone, with the East line of the SE 1/4 of Section 21, T7N, R21E having an assumed bearing of N 01°28'59" W. June 2021 Datum

- + Denotes Cross Found in Sidewalk
- Denotes 1" iron pipe set
- Denoted 1" iron pipe found and accepted or set as noted.

This CSM is served by public sanitary sewer and water.



CERTIFIED SURVEY MAP NO. \_\_\_\_\_

Being a redivision of Lot 1 in Douglas Heights, Lot 9 of Assessor's Plat No. 26 and Lots 1 and 2 of Charles Fingado's Subdivision, being part of the Southeast 1/4 of the Southeast 1/4 of Section 21, Town 7 North, Range 21 East, in the City of Wauwatosa, Milwaukee County, Wisconsin.

SURVEYOR'S CERTIFICATE

STATE OF WISCONSIN)  
MILWAUKEE COUNTY ) SS

I, Dennis C. Sauer, registered land surveyor, hereby certify that:

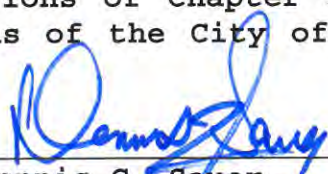
I have surveyed, divided and mapped a redivision of the West 50 feet of Lot 1, in Douglas Heights, and Lot 9 of Assessor's Plat No. 26 and Lots 1 and 2 of Charles Fingado's Subdivision and the East 31.3 feet of Lot 1 of Douglas Heights Subdivision, being part of the Southeast 1/4 of the Southeast 1/4 of Section 21, Town 7 North, Range 21 East, in the City of Wauwatosa, Milwaukee County, Wisconsin, bounded and described as follows: Commencing at the Southeast corner of said Southeast 1/4; thence N 01°28'59" W along the East line of said Southeast 1/4, 468.93; thence S 88°31'01" W, 603.66 feet to the West right-of-way line of Dewey Avenue and the point of beginning; thence S 79°45'59" W, 188.52 feet; thence N 02°36'55" W, 133.67 feet; thence S 87°51'16" W, 81.19 feet; thence N 02°01'44" W, 127.60 feet to southeasterly right-of-way line of Harwood Avenue; thence N 57°56'27" E along said southeasterly right-of-way line, 57.75 feet; thence N 58°25'38" E along said southeasterly right-of-way line, 164.97 feet to the West right-of-way line of Dewey Avenue; thence S 24°12'38" E along said West right-of-way line, 159.87 feet; thence S 06°28'24" W along said West right-of-way line, 197.00 feet to the point of beginning. Said lands containing 67,645 square feet (1.55 acres).

That I have made such survey, land division and map by the direction of St. John's Evangelical Church, owner of said land.

That such map is a correct representation of all exterior boundaries of the land surveyed and the land division thereof made.

That I have fully complied with the provisions of Chapter 236.34 of the Wisconsin State Statutes and the Regulations of the City of Wauwatosa in surveying, dividing and mapping the same.

June 7, 2023  
Date

  
Dennis C. Sauer  
Registered Land Surveyor S-2421



PREPARED FOR:  
St. John's Evangelical Church  
7809 Harwood Avenue  
Wauwatosa, WI 53226

PREPARED BY:  
Metropolitan Survey Service  
8482 South 76<sup>th</sup> Street  
Franklin, WI 53132



CERTIFIED SURVEY MAP NO. \_\_\_\_\_

Being a redivision of Lot 1 of Douglas Heights, Lot 9 of Assessor's Plat No. 26 and Lots 1 and 2 of Charles Fingado's Subdivision, being part of the Southeast 1/4 of the Southeast 1/4 of Section 21, Town 7 North, Range 21 East, in the City of Wauwatosa, Milwaukee County, Wisconsin.

CORPORATE OWNER'S CERTIFICATE OF DEDICATION

St. John's Evangelical Church, a Wisconsin corporation duly organized and existing under and by virtue of the laws of the State of Wisconsin St. as owner, does hereby certify that it has caused the land described on this map to be surveyed, divided and mapped as represented on this map in accordance with the requirements of Chapter 236.34 of the Wisconsin State Statutes and the Regulations of the City of Wauwatosa.

IN WITNESS WHEREOF, the said St. John's Evangelical Church has caused these presents to be signed by Peter Hanson, President of St. John's Evangelical Church, this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

\_\_\_\_\_  
Peter Hanson, President

STATE OF WISCONSIN)  
MILWAUKEE COUNTY ) ss

PERSONALLY came before me this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_, Peter Hanson, President of St. John's Evangelical Church to me known to be the person who executed the foregoing instrument and acknowledged the same.

\_\_\_\_\_  
Notary Public  
State of Wisconsin  
My Commission Expires: \_\_\_\_\_

COMMON COUNCIL APPROVAL

APPROVED and DEDICATED by the Common Council of the City of Wauwatosa in accordance with resolution adopted on this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

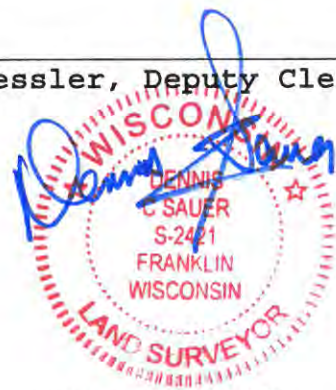
\_\_\_\_\_  
Steven Braatz, City Clerk

PLANNING COMMISSION APPROVAL

APPROVED and DEDICATED by the Planning Commission of the City of Wauwatosa in accordance with resolution adopted on this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

\_\_\_\_\_  
Dennis McBride, Chair, Mayor

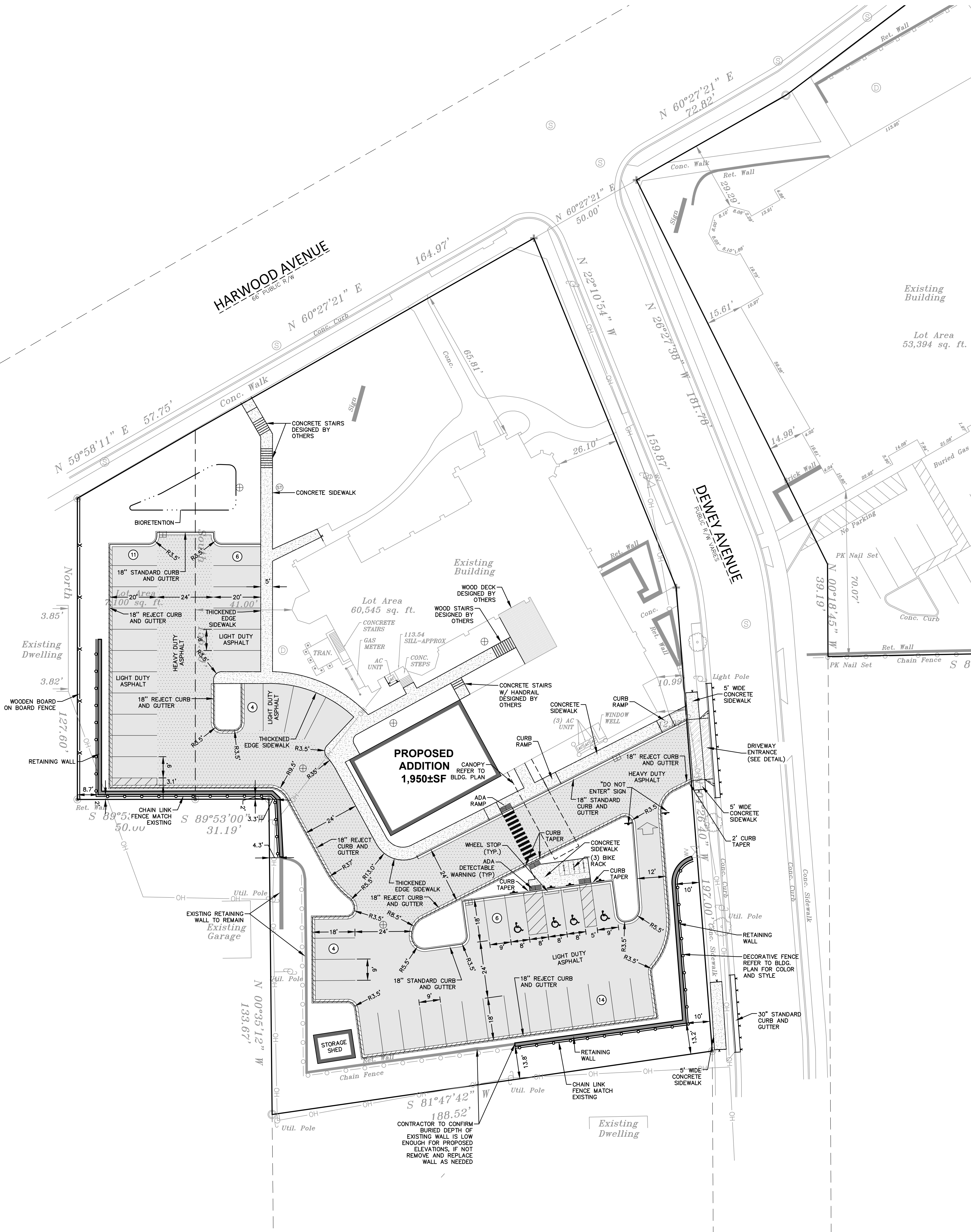
\_\_\_\_\_  
Zachary Kessler, Deputy Clerk



THIS INSTRUMENT WAS DRAFTED BY:  
Dennis C. Sauer, R.L.S. S-2421

June 7, 2023





**PAVING NOTES**

- ALL PAVING SHALL CONFORM TO STATE OF WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY & STRUCTURE CONSTRUCTION AND APPLICABLE CITY OF WAUWATOSA ORDINANCES.
- CONCRETE PAVING SPECIFICATIONS—  
 CODES AND STANDARDS — THE PLACING, CONSTRUCTION AND COMPOSITION OF THE CONCRETE PAVEMENT SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF SECTIONS 415 AND 416 OF THE STATE OF WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, CURRENT EDITION. HEREAFTER, THIS PUBLICATION WILL BE REFERRED TO AS STATE HIGHWAY SPECIFICATIONS.  
 CRUSHED AGGREGATE BASE COURSE — THE BASE COURSE SHALL CONFORM TO SECTIONS 301 AND 305, STATE HIGHWAY SPECIFICATIONS. CLEAN RECYCLED CRUSHED CONCRETE MAY BE USED IF APPROVED BY GEOTECH ENGINEER OF RECORD.  
 SURFACE PREPARATION — NOTIFY CONTRACTOR OF UNSATISFACTORY CONDITIONS. DO NOT BEGIN PAVING WORK UNTIL DEFICIENT SUBBASE AREAS HAVE BEEN CORRECTED AND ARE READY TO RECEIVE PAVING.  
 ASPHALTIC CONCRETE PAVING SPECIFICATIONS—  
 CODES AND STANDARDS — THE PLACING, CONSTRUCTION AND COMPOSITION OF THE ASPHALTIC BASE COURSE AND ASPHALTIC CONCRETE SURFACING SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF SECTIONS 450, 455, 460 AND 465 OF THE STATE OF WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, EDITION OF 2005. HEREAFTER, THIS PUBLICATION WILL BE REFERRED TO AS STATE HIGHWAY SPECIFICATIONS.  
 WEATHER LIMITATIONS — APPLY TACK COATS WHEN AMBIENT TEMPERATURE IS ABOVE 50° F (10° C) AND WHEN TEMPERATURE HAS NOT BEEN BELOW 35° F (1° C) FOR 12 HOURS IMMEDIATELY PRIOR TO APPLICATION. DO NOT APPLY WHEN BASE IS WET OR CONTAINS EXCESS AMOUNTS OF MOISTURE. CONSTRUCT ASPHALTIC CONCRETE COURSE WHEN ATMOSPHERIC TEMPERATURE IS ABOVE 40° F (4° C) AND WHEN BASE IS DRY AND WHEN WEATHER IS NOT RAINY. BASE COURSE MAY BE PLACED WHEN AIR TEMPERATURE IS ABOVE 30° F (-1° C).  
 GRADE CONTROL — ESTABLISH AND MAINTAIN REQUIRED LINES AND ELEVATIONS FOR EACH COURSE DURING CONSTRUCTION.  
 CRUSHED AGGREGATE BASE COURSE — THE TOP LAYER OF BASE COURSE SHALL CONFORM TO SECTIONS 301 AND 305, STATE HIGHWAY SPECIFICATIONS. CLEAN RECYCLED CRUSHED CONCRETE MAY BE USED IF APPROVED BY GEOTECH ENGINEER OF RECORD.  
 BINDER COURSE AGGREGATE — THE AGGREGATE FOR THE BINDER COURSE SHALL CONFORM TO SECTIONS 460.2.7 AND 315, STATE HIGHWAY SPECIFICATIONS.  
 SURFACE COURSE AGGREGATE — THE AGGREGATE FOR THE SURFACE COURSE SHALL CONFORM TO SECTIONS 460.2.7 AND 465, STATE HIGHWAY SPECIFICATIONS.  
 ASPHALTIC MATERIALS — THE ASPHALTIC MATERIALS SHALL CONFORM TO SECTION 455 AND 460, STATE HIGHWAY SPECIFICATIONS.  
 SURFACE PREPARATION — NOTIFY CONTRACTOR OF UNSATISFACTORY CONDITIONS. DO NOT BEGIN PAVING WORK UNTIL DEFICIENT SUBBASE AREAS HAVE BEEN CORRECTED AND ARE READY TO RECEIVE PAVING.

**PAVEMENT STRIPING NOTES**

- CONTRACTOR SHALL CONSULT STRIPING COLOR WITH OWNER PRIOR TO CONSTRUCTION.
- PROVIDE CONTRACTOR GRADE ACRYLIC STRIPING PAINT FOR NEW ASPHALT OR COATED ASPHALT. ALL STRIPING SHALL BE APPLIED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
- THOROUGHLY CLEAN SURFACES FREE OF DIRT, SAND, GRAVEL, OIL AND OTHER FOREIGN MATTER. CONTRACTOR RESPONSIBLE TO INSPECT PAVEMENT SURFACES FOR CONDITIONS AND DEFECTS THAT WILL ADVERSELY AFFECT QUALITY OF WORK, AND WHICH CANNOT BE PUT INTO AN ACCEPTABLE CONDITION THROUGH NORMAL PREPARATORY WORK AS SPECIFIED.
- DO NOT PLACE MARKING OVER UNSOUND PAVEMENTS. IF THESE CONDITIONS EXIST, NOTIFY OWNER. STARTING INSTALLATION CONSTITUTES CONTRACTOR'S ACCEPTANCE OF SURFACE AS SUITABLE FOR INSTALLATION.
- LAUNCH MARKINGS USING GUIDE LINES, TEMPLATES AND FORMS. STENCILS AND TEMPLATES SHALL BE PROFESSIONALLY MADE TO INDUSTRY STANDARDS. "TREE HAND" PAINTING OF ARROWS, SYMBOLS, OR WORDING SHALL NOT BE ALLOWED. APPLY STRIPES STRAIGHT AND EVEN.
- PROTECT ADJACENT CURBS, WALKS, FENCES, AND OTHER ITEMS FROM RECEIVING PAINT.
- APPLY MARKING PAINT AT A RATE OF ONE (1) GALLON PER THREE TO FOUR HUNDRED (300-400) LINEAL FEET OF FOUR (4) INCH WIDE STRIPES. (OR TO MFG. SPECIFICATIONS)
- BARRICADE MARKED AREAS DURING INSTALLATION AND UNTIL THE MARKING PAINT IS DRIED AND READY FOR TRAFFIC.
- ALL HANDICAPPED ACCESSIBLE PARKING SHALL BE LOCATED PER 2009 IBC 1106.6

**PAVEMENT THICKNESS NOTES**

ALL PAVING SHALL CONFORM TO STATE OF WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY & STRUCTURE CONSTRUCTION — CURRENT EDITION AND ADDENDUM, APPLICABLE CITY OF WAUWATOSA ORDINANCES, AND THE GEOTECHNICAL ENGINEERING SERVICES REPORT PREPARED BY CCG INC., DATED MARCH 8, 2023.

\*\* FINAL PAVEMENT DESIGN TO BE DETERMINED BY OWNER BASED ON GEOTECHNICAL ENGINEER OF RECORD RECOMMENDATIONS. ALL PAVING SHALL BE PERFORMED IN ACCORDANCE WITH THE GEOTECHNICAL ENGINEER OF RECORDS RECOMMENDATIONS AS SPECIFIED IN THE SAID GEOTECHNICAL REPORT.

**MINIMUM PAVEMENT STRUCTURE**

HEAVY DUTY ASPHALT PAVEMENT	4-1/2" ASPHALTIC CONCRETE (2 LIFTS, 3" BINDER, 1-1/2" SURFACE)
UPPER LAYER (1.75" SURFACE, S/LT 58.28 S)	LOWER LAYER (2.25" BINDER, 4LT 58.28 S)
11" CRUSHED AGGREGATE BASE COURSE (1-1/4" DENSE GRADED LESTONE)	CLEAN RECYCLED CRUSHED CONCRETE MAY BE USED IF APPROVED BY GEOTECH ENGINEER OF RECORD.
LIGHT DUTY ASPHALT PAVEMENT	3" ASPHALTIC CONCRETE (2 LIFTS, 1-1/2" BINDER, 1-1/2" SURFACE)
UPPER LAYER (1.5" SURFACE, S/LT 58.28 S)	LOWER LAYER (1.5" BINDER, 4LT 58.28 S)
9" CRUSHED AGGREGATE BASE COURSE (1-1/4" DENSE GRADED LESTONE)	CLEAN RECYCLED CRUSHED CONCRETE MAY BE USED IF APPROVED BY GEOTECH ENGINEER OF RECORD.
CONCRETE SIDEWALK AND STOOPS	5" CONCRETE
CONCRETE PAVEMENT (DRIVEWAY APPROACH)	7" CONCRETE
	6" CRUSHED AGGREGATE BASE COURSE (1-1/4" DENSE GRADED LESTONE)
	CLEAN RECYCLED CRUSHED CONCRETE MAY BE USED IF APPROVED BY GEOTECH ENGINEER OF RECORD.

**GENERAL NOTES AND SPECIFICATIONS**

- THE INTENTION OF THE PLANS AND SPECIFICATIONS IS TO SET FORTH PERFORMANCE AND CONSTRUCTION MATERIAL STANDARDS FOR THE PROPER EXECUTION OF WORK. ALL WORKS CONTAINED WITHIN THE PLANS AND SPECIFICATIONS SHALL BE COMPLETED IN ACCORDANCE WITH ALL REQUIREMENTS FROM LOCAL, STATE, FEDERAL OR OTHER GOVERNING AGENCY'S LAWS, REGULATIONS, JURISDICTIONAL ORDINANCES/CODES/RULES/ETC., AND THE OWNER'S DIRECTION.
- THE CONTRACTOR IS RESPONSIBLE FOR PERFORMING ANY ADDITIONAL SOILS INVESTIGATIONS THEY FEEL IS NECESSARY FOR THE PROPER EVALUATION OF THE SITE FOR PURPOSES OF PLANNING, BIDDING, OR CONSTRUCTING THE PROJECT AT NO ADDITIONAL COST TO THE OWNER.
- THE CONTRACTOR IS RESPONSIBLE TO REVIEW AND UNDERSTAND ALL COMPONENTS OF THE PLANS AND SPECIFICATIONS, INCLUDING FIELD VERIFYING SOIL CONDITIONS, PRIOR TO SUBMISSION OF A BID PROPOSAL.
- THE CONTRACTOR SHALL PROMPTLY REPORT ANY ERRORS OR AMBIGUITIES DISCOVERED AS PART OF THEIR REVIEW OF PLANS, SPECIFICATIONS, REPORTS AND FIELD INVESTIGATIONS.
- THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE COMPUTATION OF QUANTITIES AND WORK REQUIRED TO COMPLETE THIS PROJECT. THE CONTRACTOR'S BID SHALL BE BASED ON THEIR OWN COMPUTATIONS AND UNDER NO CIRCUMSTANCES BE BASED ON THE ENGINEER'S ESTIMATE.
- QUESTIONS/CLARIFICATIONS WILL BE INTERRUPTED BY ENGINEER/OWNER PRIOR TO THE AWARD OF CONTRACT. ENGINEER/OWNER WILL SUBMIT OFFICIAL RESPONSES IN WRITING. INTERPRETATIONS PRESENTED IN OFFICIAL RESPONSES SHALL BE BINDING ON ALL PARTIES ASSOCIATED WITH THE CONTRACT. IN NO WAY SHALL WORD-OF-MOUTH DIALOG CONSTITUTE AN OFFICIAL RESPONSE.
- PRIOR TO START OF WORK, CONTRACTOR SHALL BE COMPLETELY FAMILIAR WITH ALL CONDITIONS OF THE SITE, AND SHALL ACCOUNT FOR CONDITIONS THAT AFFECT, OR MAY AFFECT CONSTRUCTION INCLUDING, BUT NOT LIMITED TO, LIMITATIONS OF WORK ACCESS, SPACE LIMITATIONS, OVERHEAD OBSTRUCTIONS, TRAFFIC PATTERNS, LOCAL REQUIREMENTS, ADJACENT ACTIVITIES, ETC. FAILURE TO CONSIDER SITE CONDITIONS SHALL NOT BE CAUSE FOR CLAIM OF JOB EXTRAS.
- COMMENCEMENT OF CONSTRUCTION SHALL EXPLICITLY CONFIRM THAT THE CONTRACTOR HAS REVIEWED THE PLANS AND SPECIFICATIONS, THEIR ENTIRETY AND CERTIFIES THAT THEIR SUBMITTED BID PROPOSAL CONTAINS PROVISIONS TO COMPLETE THE PROJECT, WITH THE EXCEPTION OF UNPREDSEEN FIELD CONDITIONS. ALL APPLICABLE PERMITS HAVE BEEN OBTAINED; AND CONTRACTOR UNDERSTANDS ALL OF THE REQUIREMENTS OF THE PROJECT.
- SHOULD ANY DISCREPANCIES OR CONFLICTS IN THE PLANS OR SPECIFICATIONS BE DISCOVERED AFTER THE AWARD OF CONTRACT, ENGINEER SHALL BE NOTIFIED IN WRITING IMMEDIATELY AND CONSTRUCTION OF ITEMS AFFECTED BY THE DISCREPANCIES/CONFLICTS SHALL NOT COMMENCE, OR CONTINUE, UNTIL A WRITTEN RESPONSE FROM ENGINEER/OWNER IS DISTRIBUTED. IN THE EVENT OF A CONFLICT BETWEEN REFERENCED CODES, STANDARDS, SPECIFICATIONS AND PLANS, THE ONE ESTABLISHING THE MOST STRINGENT REQUIREMENTS SHALL BE FOLLOWED.
- THE CONTRACTOR SHALL, AT ITS OWN EXPENSE, OBTAIN ALL NECESSARY PERMITS AND LICENSES TO COMPLETE THE PROJECT. OBTAINING PERMITS, OR DELAYS IN OBTAINING PERMITS, IS NOT CAUSE FOR DELAY OF THE CONTRACT OR SCHEDULE. CONTRACTOR SHALL COMPLY WITH ALL PERMIT REQUIREMENTS.
- CONTRACTOR SHALL NOTIFY ALL INTERESTED GOVERNING AGENCIES, UTILITY COMPANIES AFFECTED BY THIS CONSTRUCTION PROJECT, AND "DIGGER'S HOTLINE" IN ADVANCE OF CONSTRUCTION TO COMPLY WITH ALL JURISDICTIONAL ORDINANCES/CODES/RULES/ETC. PERMIT STIPULATIONS, AND OTHER APPLICABLE STANDARDS. CONTRACTOR IS RESPONSIBLE TO DETERMINE WHICH ORDINANCES/CODES/RULES/ETC. ARE APPLICABLE.
- SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE TO INITIATE, INSTITUTE, ENFORCE, MAINTAIN, AND SUPERVISE ALL SAFETY PRECAUTIONS AND JOB SITE SAFETY PROGRAMS IN CONNECTION WITH THE WORK.
- CONTRACTOR SHALL KEEP THE JOBSITE CLEAN AND ORDERLY AT ALL TIMES. ALL LOCATIONS OF THE SITE SHALL BE KEPT IN A WORKING MANNER SUCH THAT DEBRIS IS REMOVED CONTINUOUSLY AND ALL RESPECTIVE CONTRACTORS OPERATE UNDER GENERAL "GOOD HOUSEKEEPING".
- THE CONTRACTOR SHALL INDEMNIFY THE OWNER, JSD, AND THEIR AGENTS FROM ALL LIABILITY INVOLVED WITH THE CONSTRUCTION, INSTALLATION, AND TESTING OF THE WORK ON THIS PROJECT.
- ALL FIELD/RAIN TILE ENCOUNTERED DURING CONSTRUCTION OPERATIONS SHALL BE IMMEDIATELY REPORTED TO ENGINEER/OWNER. TILES ORIGINATING OUTSIDE THE PROJECT LIMITS SHALL BE RECONNECTED OR REROUTED TO MAINTAIN DRAINAGE. ENGINEER/OWNER SHALL DETERMINE THE MOST FAVORABLE METHOD OF RE-ESTABLISHMENT OF OFFSITE DRAINAGE. IF TILE IS ENCOUNTERED DURING TRENCH EXCAVATIONS, RE-ESTABLISHING TILE FUNCTIONALITY SHALL BE CONSIDERED AN INCIDENTAL EXPENSE.
- ALL WORK WITHIN CITY RIGHT-OF-WAY AND CITY EASEMENTS TO BE IN ACCORDANCE WITH CURRENT CITY STANDARD SPECIFICATIONS AND DETAILS. CONTRACTOR TO NOTIFY CITY ENGINEERING DEPT. 5 DAYS PRIOR TO WORK IN CITY RIGHT OF WAY.
- LIMITS OF FINAL CITY STREET PAVEMENT AND CURB AND GUTTER REMOVAL AND REPLACEMENTS TO BE MARKED BY CITY ENGINEERING STAFF IN FIELD.
- PROPOSED PAVEMENT RESTORATION LIMITS IN CITY STREET FOR DRIVEWAY APPROACH REMOVALS ARE SHOWN ARE MINIMUM AREAS. THE CITY REQUIRES PAVEMENT PATCHES TO BE WIDTH TO MATCH LENGTH, OR TO CENTERLINE OF STREET.
- ALL WORK WITHIN THE PUBLIC RIGHT OF WAY REQUIRES A STREET OCCUPANCY PERMIT FROM THE CITY.

**PRE-DEVELOPMENT (PROPERTY\*) LIMIT:**

PERVIOUS — 34,691 SF (51.3% GREEN SPACE)
IMPERVIOUS — 32,954 SF

**POST-DEVELOPMENT (PROPERTY\*) LIMIT:**

PERVIOUS — 28,311 SF (41.9% GREEN SPACE)
IMPERVIOUS — 39,334 SF

\* PROPERTY BASED ON SURVEY BY OTHER.

**PRE-DEVELOPMENT ONSITE PARKING STALLS:**

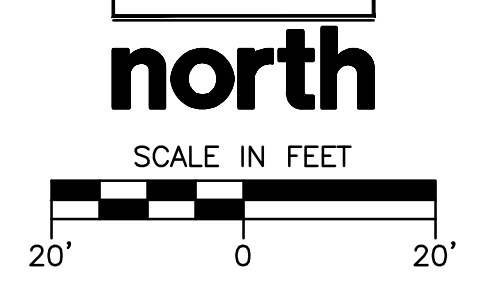
TOTAL PARKING STALLS — 30
ADA PARKING STALLS — 4
NON-STRIPED PARKING STALLS — 5

**POST-DEVELOPMENT ONSITE PARKING STALLS:**

TOTAL PARKING STALLS — 45
ADA PARKING STALLS — 4
STANDARD PARKING STALLS — 41
BIKE PARKING STALLS — 6

**LEGEND**

⊙	SANITARY SEWER MANHOLE	— SAN —	SANITARY SEWER
⊕	STORM MANHOLE	— W —	WATER MAIN
⊕	CATCH BASIN ROUND	— ST —	STORM SEWER
⊕	CATCH BASIN SQUARE	— RD —	ROOF DRAIN
⊕	FIRE HYDRANT	— G —	UNDERGROUND GAS
⊕	WATER VALVE	— E —	UNDERGROUND ELECTRIC
⊕	GAS VALVE	— T —	UNDERGROUND TELEPHONE
⊕	LIGHT POLE	— FIB —	UNDERGROUND FIBER OPTICS
⊕	TELEPHONE PEDESTAL	— OH —	OVERHEAD UTILITY
⊕	ELECTRICAL MANHOLE	— SF —	SILT FENCE
⊕	POWER POLE	— SIGN —	18" STANDARD CURB AND GUTTER
⊕	GUY WIRE	— 18" —	18" HIGH SIDE CURB AND GUTTER
⊕		— TREE —	CONFERIOUS TREE
⊕		— TREE —	DECIDUOUS TREE



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 MILWAUKEE REGIONAL OFFICE  
 W228 N1910 BUSSE ROAD, SUITE 100  
 WAUKESHA, WISCONSIN 53188  
 P. 262.513.0666  
 JSD PROJ. NO. 22-11646  
 JSD PROJ. MGR. RWI



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 P.O. BOX 7  
 OCONOMOWOC, WI 53066  
 PHONE: 262-367-3661

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**ISSUE DATES:**

Proposal:	XX/XX/XXXX
Bid:	XX/XX/XXXX
Contract:	XX/XX/XXXX
State Submittal / Permit:	XX/XX/XXXX
As-Built:	XX/XX/XXXX
<b>CITY SUBMITTAL:</b>	<b>06/07/2023</b>

**REVISIONS:**

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**PROJECT ADDRESS:**  
 PROJECT NAME  
 St. John's Evangelical Lutheran Church  
 STREET ADDRESS  
 7809 Harwood Ave.  
 CITY / STATE / ZIP  
 Wauwatosa, WI 53213

ALL WORK TO BE COMPLETED AS SHOWN, AND IN ACCORDANCE WITH THE LATEST EDITION OF THE MSI GENERAL MASTER SPECIFICATION

Architect:	Engineer:	Reviewed By:
AMH	APM	RWI
Sheet Title: <b>SITE PLAN</b>		
Sheet Number: <b>C-200</b>		
Project Number: <b>P13586</b>		

DRAFT - NOT FOR CONSTRUCTION

SITE PLAN 1"=20'-0"

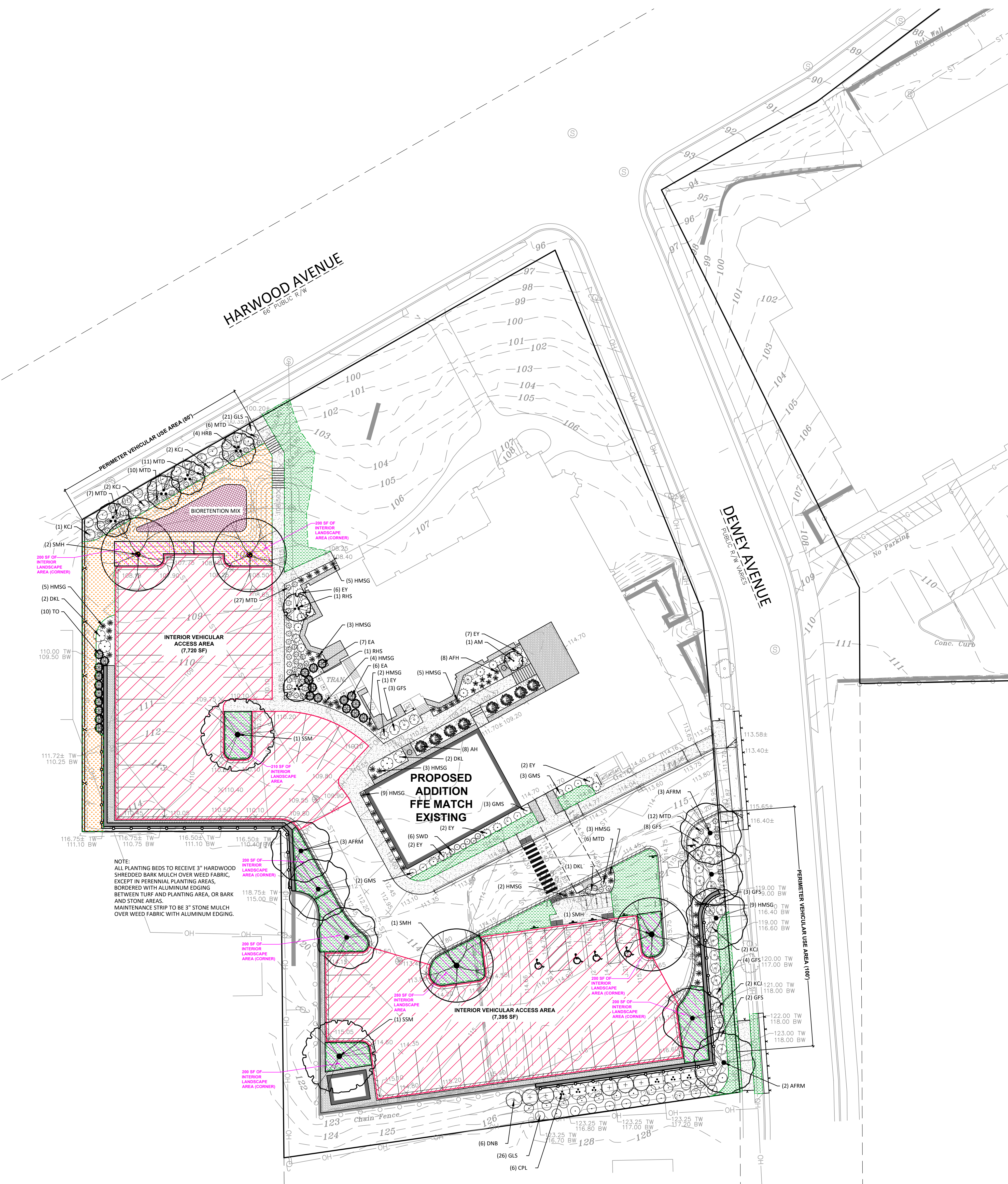
MANAGERS

ENGINEERS

CONTRACTORS

ARCHITECTS





**PLANT SCHEDULE**

PLANT SCHEDULE					
01-DECIDUOUS TREES	CODE	QTY	BOTANICAL / COMMON NAME	CONT	SIZE
	SSM	2	<i>Acer miyabei</i> 'Morton' TM / State Street Miyabei Maple	B & B	2.5" Cal
	AFRM	8	<i>Acer rubrum</i> 'Autumn Flame' / Autumn Flame Red Maple	B & B	2.5" Cal
	SMH	4	<i>Gleditsia triacanthos inermis</i> 'Shademaster' TM / Shademaster Locust	B & B	2.5" Cal
03-ORNAMENTAL TREES					
	RHS	2	<i>Amelanchier x grandiflora</i> 'Robin Hill' / Robin Hill Apple Serviceberry	B & B	6' Tall (Multi-Stem)
	HRB	4	<i>Betula nigra</i> 'Cully' TM / Heritage River Birch	B & B	7' Tall (Multi-Stem)
	AM	1	<i>Magnolia x 'Ann'</i> / Ann Magnolia	B & B	2" Cal
4-UPRIGHT EVERGREEN SHRUB					
	TO	10	<i>Thuja occidentalis</i> 'Emerald' / Emerald Arborvitae	B & B	4' Tall
	EA	13	<i>Thuja occidentalis</i> 'Emerald' / Emerald Arborvitae	B & B	4' Tall
DECIDUOUS SHRUBS					
	AH	8	<i>Hydrangea arborescens</i> 'Annabelle' / Annabelle Hydrangea	Cont.	#3
	DNB	6	<i>Physocarpus opulifolius</i> 'Monlo' TM / Diabolo Purple Ninebark	B & B	36" Tall
	GLS	47	<i>Rhus aromatica</i> 'Gro-Low' / Gro-Low Fragrant Sumac	Cont.	#3
	GFS	20	<i>Spiraea japonica</i> 'Goldflame' / Goldflame Japanese Spirea	Cont.	#3
	GMS	8	<i>Spiraea japonica</i> 'Goldmound' / Goldmound Japanese Spirea	Cont.	#3
	DKL	5	<i>Syringa meyeri</i> 'Palibin' / Dwarf Korean Lilac	B & B	24" Tall
	CPL	6	<i>Syringa vulgaris</i> / Common Lilac	B & B	36" Tall
EVERGREEN SHRUBS					
	KCJ	9	<i>Juniperus chinensis</i> 'Kallay's Compact' / Kallay Compact Pfitzer Juniper	Cont.	#5
	EY	21	<i>Taxus x media</i> 'Everlow' / Everlow Yew	B & B	24" Tall
PERENNIALS & GRASSES					
	MTD	69	<i>Hemerocallis x 'Mary Todd'</i> / Mary Todd Daylily	Cont.	#1
	SWD	6	<i>Hemerocallis x 'Summer Wine'</i> / Summer Wine Daylily	Cont.	#1
	AFH	8	<i>Hosta x 'Autumn Frost'</i> / Autumn Frost Plantain Lily	Cont.	#1
	HMSG	50	<i>Panicum virgatum</i> 'Heavy Metal' / Heavy Metal Switch Grass	Cont.	#1

**BIORENTION BASIN PLUGS**

BIORENTION BASIN PLUG SCHEDULE (528 square feet)			
Botanical Name	Common Name	Spacing	Quantity
<b>Permanent Grasses:</b>			
<i>Carex grayii</i>	Common Bur Sedge	12" O.C.	48
<i>Carex spicata</i>	Common Fox Sedge	12" O.C.	48
<i>Panicum virgatum</i>	Switch Grass	12" O.C.	48
<i>Spartina pectinata</i>	Prairie Cord Grass	12" O.C.	48
<b>Forbs:</b>			
<i>Aster novae-angliae</i>	New England Aster	12" O.C.	24
<i>Asclepias incarnata</i>	Swamp Milkweed	12" O.C.	24
<i>Echinacea purpurea</i>	Broad-Leaved Purple Coneflower	12" O.C.	24
<i>Eryngium yuccifolium</i>	Rattlesnake Master	12" O.C.	24
<i>Fupatorium maculatum</i>	Spotted Joe-Pye Weed	12" O.C.	24
<i>Liatris spicata</i>	Marsh Blazing Star	12" O.C.	24
<i>Loebelia cardinalis</i>	Cardinal Flower	12" O.C.	24
<i>Moulinia latifolia</i>	Wild Bergamot	12" O.C.	24
<i>Penstemon digitalis</i>	Foxglove Beardtongue	12" O.C.	24
<i>Pycnanthemum virginianum</i>	Common Mountain Mint	12" O.C.	24
<i>Ratibida pinnata</i>	Yellow Caneflower	12" O.C.	24
<i>Rudbeckia hirta</i>	Black-Eyed Susan	12" O.C.	24
<i>Veronicastrum virginianum</i>	Culver's Root	12" O.C.	24
<i>Zizia aurea</i>	Golden Alexanders	12" O.C.	24

**LANDSCAPE REQUIREMENTS**

<b>Sec. 24.12.020 PERIMETER VEHICULAR ACCESS AREA (NORTH) (80 LF)</b>	Landscape Requirement: 2 Deciduous Trees + 8 Shrubs per 50 LF 80 LF / 50 = 1.6 (1.6 x 2 Trees = 3.2 Trees) + (1.6 x 8 Shrubs = 12.8 Shrubs) Required: 4 Trees + 13 Shrubs Provided: 4 Trees + 24 Shrubs + 24 Perennials
<b>Sec. 24.12.020 PERIMETER VEHICULAR ACCESS AREA (EAST) (100 LF)</b>	Landscape Requirement: 2 Deciduous Trees + 8 Shrubs per 50 LF 100 LF / 50 = 2 (2 x 2 Trees = 4 Trees) + (2 x 8 Shrubs = 16 Shrubs) Required: 4 Trees + 16 Shrubs Provided: 4 Trees + 21 Shrubs + 21 Perennials
<b>Sec. 24.12.030 INTERIOR VEHICULAR ACCESS AREA (NORTH) (7,720 SF)</b>	Landscape Requirement: At least 10% must be landscaped At least 1 tree per 180 SF of required interior landscape area 7,720 x 10% = 772 772 / 180 = 4.3 Required: 772 of interior landscape area + 5 trees Provided: 3(200 SF) + 1(210 SF) = 810 SF of interior landscape area + 5 trees
<b>Sec. 24.12.030 INTERIOR VEHICULAR ACCESS AREA (EAST) (7,395 SF)</b>	Landscape Requirement: At least 10% must be landscaped At least 1 tree per 180 SF of required interior landscape area 7,395 x 10% = 740 740 / 180 = 4.1 Required: 740 of interior landscape area + 5 trees Provided: 3(200 SF) + 1(280 SF) = 880 SF of interior landscape area + 5 trees

**LEGEND**

	SANITARY SEWER MANHOLE		SANITARY SEWER
	STORM MANHOLE		WATER MAIN
	CATCH BASIN ROUND		STORM SEWER
	CATCH BASIN SQUARE		ROOF DRAIN
	FIRE HYDRANT		UNDERGROUND GAS
	WATER VALVE		UNDERGROUND ELECTRIC
	GAS VALVE		UNDERGROUND TELEPHONE
	LIGHT POLE		UNDERGROUND FIBER OPTICS
	TELEPHONE PEDESTAL		OVERHEAD UTILITY
	ELECTRICAL MANHOLE		SILT FENCE
	SIGN		18" STANDARD CURB AND GUTTER
	POWER POLE		18" HIGH SIDE CURB AND GUTTER
	GUY WIRE		ALUMINUM LANDSCAPE EDGING
	EX. CONIFEROUS TREE		DECORATIVE STONE MULCH
	EX. DECIDUOUS TREE		BIORENTION BASIN PLUGS
			NO-MOW FESCUE SEED MIX
			BLUEGRASS BLEND SOO

**GENERAL NOTES**

- REFER TO THE EXISTING CONDITIONS SURVEY FOR EXISTING CONDITIONS NOTES AND LEGEND.
- ALL WORK IN THE ROW SHALL BE IN ACCORDANCE WITH THE MUNICIPAL STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
- JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES.
- DRAWING FOR REVIEW - NOT FOR CONSTRUCTION UNLESS OTHERWISE NOTED IN THE TITLE BLOCK.
- THE LANDSCAPE CONTRACTOR SHALL COORDINATE ALL FINE GRADING AND TOPSOILING WITH GENERAL CONTRACTOR.
- REFER TO "LANDSCAPE DETAILS AND NOTES" SHEET FOR ADDITIONAL DETAILS, NOTES AND SPECIFICATION INFORMATION INCLUDING MATERIALS, GUARANTEE AND EXECUTION RELATED TO LANDSCAPE PLAN.
- CONTRACTOR SHALL REVIEW SITE CONDITIONS FOR UTILITY CONFLICTS, DRAINAGE ISSUES, SUBSURFACE ROCK, AND PLANT PLACEMENT CONFLICTS PRIOR TO PLANT INSTALLATION. REPORT ANY CONDITIONS THAT MAY HAVE ADVERSE IMPACT ON PLANTING OPERATIONS TO LANDSCAPE ARCHITECT.
- DO NOT COMMENCE PLANTING OPERATIONS UNTIL ALL ADJACENT SITE IMPROVEMENTS, IRRIGATION INSTALLATION (IF APPLICABLE), AND FINISH GRADING ARE COMPLETE.

**CONTRACTOR NOTES:**

- SHREDDED HARDWOOD BARK MULCH TO BE INSTALLED IN ALL PLANTING AREAS UNLESS OTHERWISE DEPICTED.
- ALL DISTURBED AREAS SHALL RECEIVE BLUEGRASS SEED (TYP) UNLESS OTHERWISE DEPICTED.



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Bid: XX/XX/XXXX  
Contract: XX/XX/XXXX  
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As-Built: XX/XX/XXXX  
CITY SUBMITTAL: 06/07/2023

**REVISIONS:**

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**PROJECT ADDRESS:**  
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STREET ADDRESS  
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CITY / STATE / ZIP  
Wauwatosa, WI 53213

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Architect: AMH  
Engineer: APM  
Reviewed By: RWI  
Sheet Title:  
**LANDSCAPE PLAN**  
Sheet Number:  
**L-100**  
Project Number:  
**P13586**

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LANDSCAPE PLAN 1"=20'-0"

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JSD PROJ. NO. 22-11648  
JSD PROJ. MGR. RWI

MANAGERS

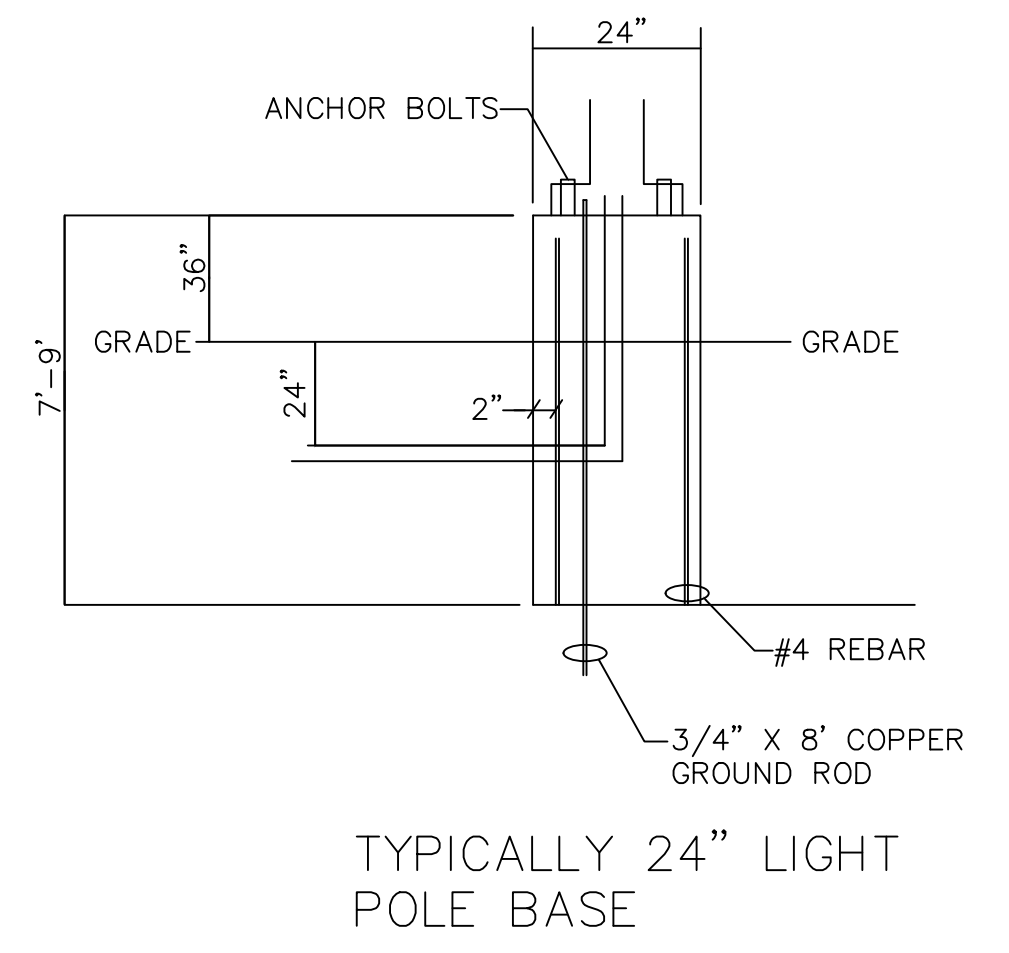
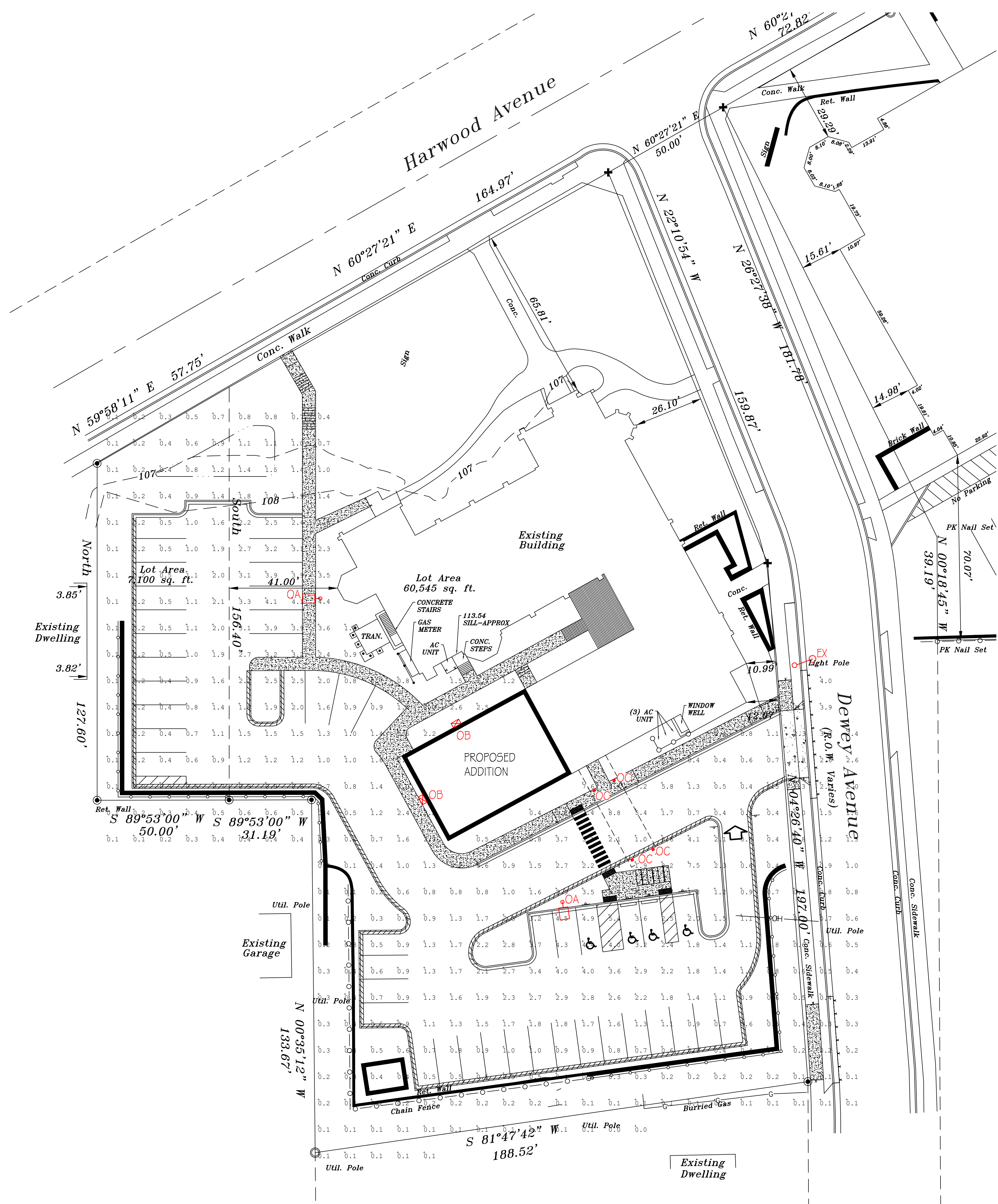
ENGINEERS

CONTRACTORS

ARCHITECTS



REVISIONS SCHEDULE		
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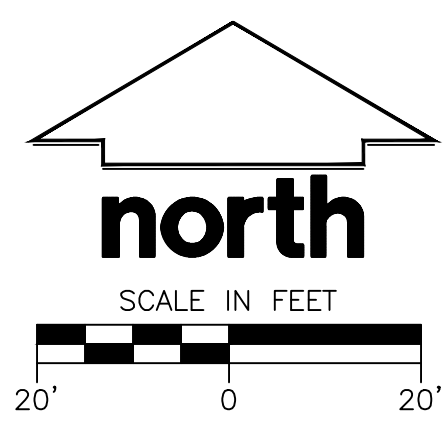
QTY	SYMBOL/TYPE	DESCRIPTION	MAKE	ST. JOHN'S WAUWATOSA LIGHTING FIXTURE SCHEDULE CATALOG NO.	QTY	LAMP DATA TYPE	CEILING TYPE	MOUNTING HEIGHT	VOLTAGE	SEE NOTE
2	OA	LED POLE LIGHT W/ 20' POLE ON A 3' TALL POLE BASE	LITHONIA	FIXTURE: 1590 LED P7 4K 7000 LM W/1 5W LED80 (1590) CL POLE: 335 20' 40' DIMENS: 1250	171W EACH LED			23'-0" POLE	UNV	1
2	OB	LED WALL PACK	LITHONIA	W0922 LED P3 40K 7000 13M MVOLT P8W DOBND	32W EACH LED			12'-0" AFG	UNV	1
4	OC	LED WALL LIGHT	AMERLUX	D485 TA AV2 SY 30K 700M CLB W/ WBR04 CLB	38W LED			10'-0" AFG	UNV	
	EX	EXISTING STREET LIGHT								2

**LIGHTING NOTES:**  
 1. MULTIPLE PARTS ARE NEEDED TO ASSEMBLE AS A COMPLETE FIXTURE. SEE INSTALLATION INSTRUCTIONS.  
 2. EXISTING POLE LIGHT ADDED INTO CALCULATION FOR REPRESENTATION OF CONTRIBUTED LIGHT.

**UNDERGROUND NOTES:**  
 - - - - - UNDERGROUND ELECTRICAL RACEWAY MIN. DEPTH OF 18" A.F.G.

Calculation Summary	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Label	Illuminance	Fc	1.31	9.4	0.0	N.A.	N.A.
Site							

DISCLAIMER: CALCULATIONS HAVE BEEN PERFORMED ACCORDING TO IESNA & CIE STANDARDS AND GOOD PRACTICE. SOME DIFFERENCES BETWEEN MEASURED VALUES AND CALCULATED RESULTS MAY OCCUR DUE TO TOLERANCES IN CALCULATION METHODS, TESTING PROCEDURES, COMPONENT PERFORMANCE, MEASUREMENT TECHNIQUES AND FIELD CONDITIONS SUCH AS VOLTAGE AND TEMPERATURE VARIATIONS. INPUT DATA USED TO GENERATE THE ATTACHED CALCULATIONS SUCH AS ROOM DIMENSIONS, REFLECTANCES, FURNITURE AND ARCHITECTURAL ELEMENTS SIGNIFICANTLY AFFECT THE LIGHTING CALCULATIONS. IF THE REAL ENVIRONMENT CONDITIONS DO NOT MATCH THE INPUT DATA, DIFFERENCES WILL OCCUR BETWEEN MEASURED VALUES AND CALCULATED VALUES.



1 SITE PHOTOMETRIC PLAN  
 1" = 20'-0"

**GIRAFFE Electric**  
 ELECTRIC INC.

GIRAFFE ELECTRIC II, INC.

2025 S. WEST AVENUE  
 WAUKESHA, WI  
 53189  
 262-549-6500  
 FAX 262-549-6503

PROJECT ADDRESS:  
 ST. JOHN'S EV. LUTHERAN CHURCH  
 7809 HARWOOD AVE.  
 WAUWATOSA, W 53213

DATE: 6/5/23  
 DRAWN BY: JDG  
 REVISIONS:  
 DATE:  
 SHEET NUMBER:  
 E-5-0  
 SHEET TITLE:  
 SITE LIGHTING PHOTOMETRICS PLAN  
 PROJECT NUMBER:  
 SCALE:  
 1" = 20'-0"







**GENERAL NOTES - FLOOR PLAN(S)**  
 A. MOISTURE RESISTANT GWB AT ALL LOCATIONS EXPOSED TO MOISTURE (BATHROOMS, JANITOR/PLUMBING ROOMS, KITCHENS, ETC. AND EXTERIOR WINDOW AND DOOR HEAD AND JAMB RETURNS)  
 B.



**DESIGNBUILD**

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 NASHOTAH, WI 53058  
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**MILESTONE ISSUE DATES**

PRELIMINARY SET:	
BUDGET SET:	
LOCAL DESIGN REVIEW SET:	08/08/2023
PROPOSAL SET:	
CONSTRUCTION SET:	
RECORD DRAWING SET:	

**REVISIONS:**




CONSULTANT LOGO

KEY PLAN

PROJECT NAME  
**ST. JOHN'S WAUWATOSA CHURCH ADDITION**

PROJECT DESCRIPTION  
**NEW FACILITY**

STREET ADDRESS  
**7809 HARWOOD AVE**

CITY/STATE/ZIP  
**WAUWATOSA, WISCONSIN 53213**

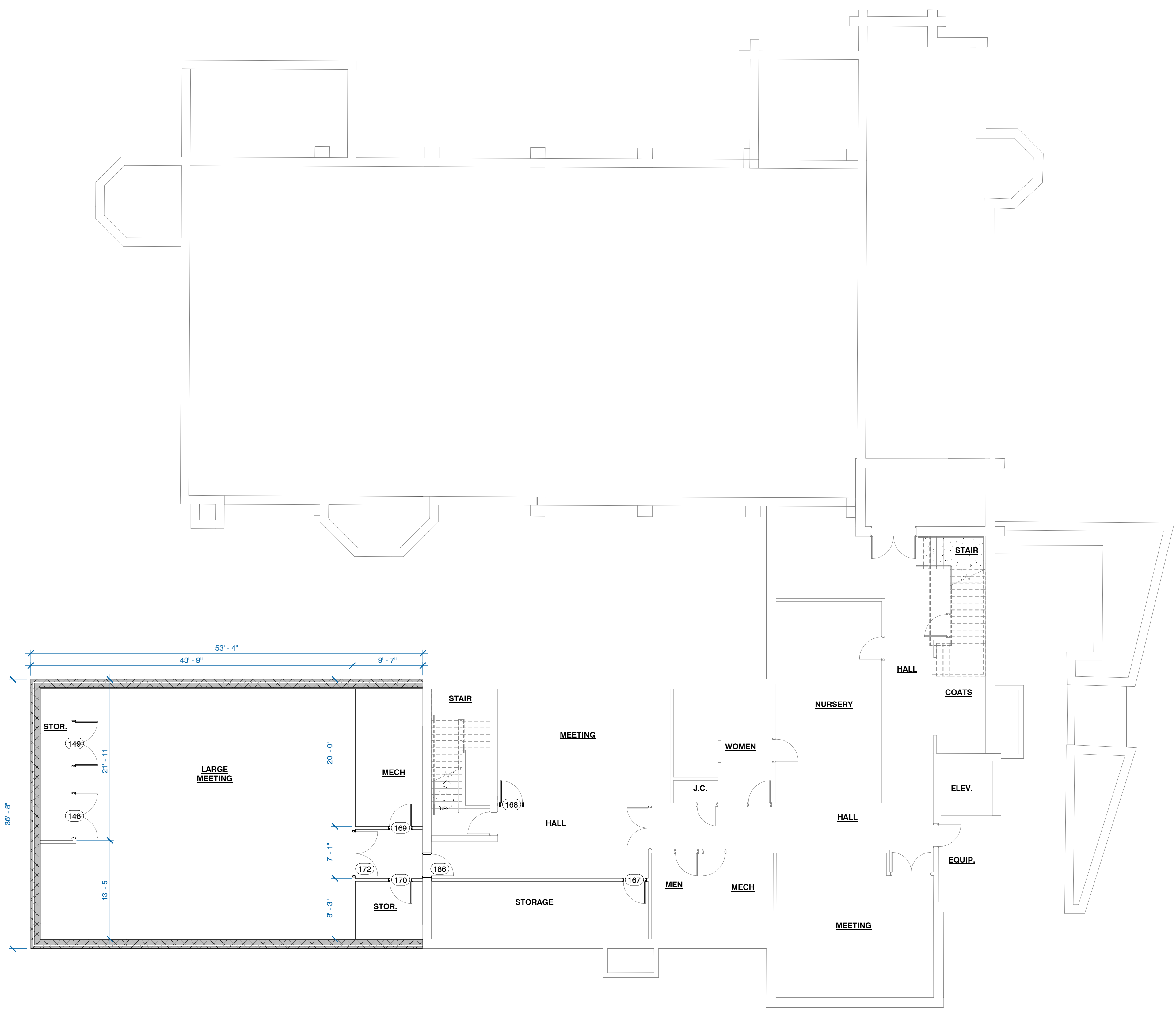
ALL WORK TO BE COMPLETED AS SHOWN, AND IN ACCORDANCE WITH THE LATEST EDITION OF THE MSI GENERAL MASTER SPECIFICATION

PROJECT ARCHITECT xxx	STRUCTURAL ENGINEER xxx	LANDSCAPE DESIGN xxx
DESIGN ARCHITECT xxx	CIVIL ENGINEER xxx	REVIEWED BY xxx

SHEET TITLE:  
**LOWER LEVEL PLAN**

SHEET NUMBER:  
**A-101**

PROJECT NUMBER: **P13586**



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LEADERS

ENGINEERS

CONTRACTORS

ARCHITECTS



GENERAL NOTES - FLOOR PLAN(S)	
A.	MOISTURE RESISTANT GWB AT ALL LOCATIONS EXPOSED TO MOISTURE (BATHROOMS, JANITOR/PLUMBING ROOMS, KITCHENS, ETC. AND EXTERIOR WINDOW AND DOOR HEAD AND JAMB RETURNS)
B.	

SHEET NOTES - FLOOR PLAN(S)	
NOTE: THESE NOTES APPLY ONLY TO THIS SHEET	
NO.	DESCRIPTION
01	COMPOSITE DECK WITH COMPOSITE DECORATIVE RAILING ON TREATED SUB STRUCTURE POSTS.



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BUDGET SET:	
LOCAL DESIGN REVIEW SET:	08/08/2023
PROPOSAL SET:	
CONSTRUCTION SET:	
RECORD DRAWING SET:	

REVISIONS:	



CONSULTANT LOGO

KEY PLAN

PROJECT NAME  
**ST. JOHN'S WAUWATOSA CHURCH ADDITION**

PROJECT DESCRIPTION  
**NEW FACILITY**

STREET ADDRESS  
**7809 HARWOOD AVE**

CITY/STATE/ZIP  
**WAUWATOSA, WISCONSIN 53213**

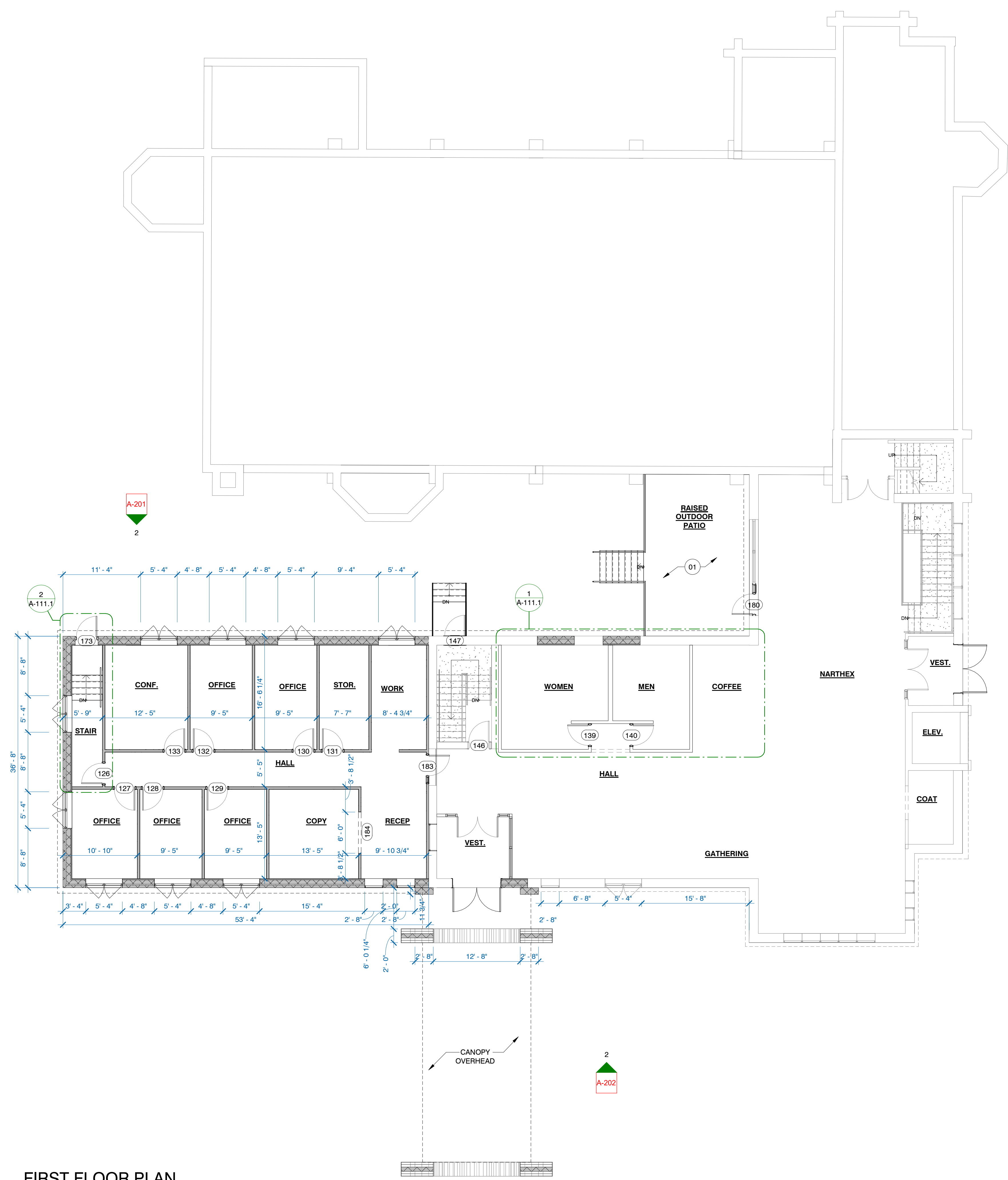
ALL WORK TO BE COMPLETED AS SHOWN, AND IN ACCORDANCE WITH THE LATEST EDITION OF THE MSI GENERAL MASTER SPECIFICATION

PROJECT ARCHITECT XXX	STRUCTURAL ENGINEER XXX	LANDSCAPE DESIGN XXX
DESIGN ARCHITECT XXX	CIVIL ENGINEER XXX	REVIEWED BY XXX

SHEET TITLE:  
**FIRST FLOOR PLAN**

SHEET NUMBER:  
**A-111**

PROJECT NUMBER:  
**P13586**



**FIRST FLOOR PLAN**  
 1/8" = 1'-0"

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LEADERS

ENGINEERS

CONTRACTORS

ARCHITECTS

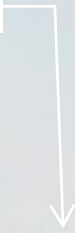




ST. JOHN'S EV. LUTHERAN CHURCH EXISTING EAST ELEVATION



ADDITION



ST. JOHN'S EV. LUTHERAN CHURCH EXISTING SOUTH ELEVATION





ADDITION

ST. JOHN'S EV. LUTHERAN CHURCH EXISTING WEST ELEVATION (



**GENERAL NOTES - EXT. ELEVATION(S)**

- A. LIMESTONE AND MORTAR ASHLAR PATTERN TO APPEAR SEAMLESS BETWEEN OLD AND NEW CONSTRUCTION AS MUCH AS POSSIBLE.
- B. ALL COLORS TO BE SUBMITTED FOR ARCHITECT APPROVAL

**SHEET NOTES - EXT. ELEVATIONS**

NOTE: THESE NOTES APPLY ONLY TO THIS SHEET

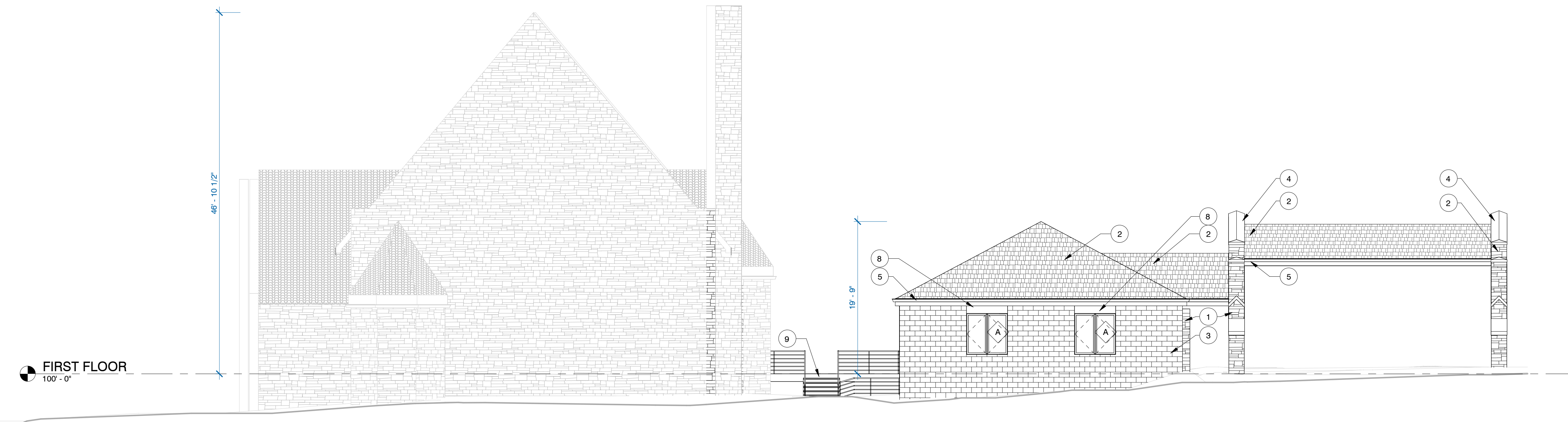
NO.	DESCRIPTION
1	LANNON STONE VENEER ON CONCRETE BLOCK BACKUP TO APPROXIMATE EXISTING CONDITION.
2	CLASS B SHINGLE ROOF TO MATCH TO APPROXIMATE EXISTING COLOR AND LOOK OF EXISTING SHINGLES
3	SPLIT FACE CONCRETE BLOCK TO APPROXIMATE EXISTING ADJACENT BLOCK WALL COLOR.
4	4" CUT STONE COPING TO APPROXIMATE EXISTING COLOR.
5	ALUMINUM GUTTER AND DOWNSPOUT WITH PAINTED FASCIA TO APPROXIMATE EXISTING CONDITION.
8	PREFINISHED ALUMINUM REVEAL TO APPROXIMATE EXISTING CONDITION
9	COMPOSITE DECK WITH COMPOSITE DECORATIVE RAILING ON TREATED SUB STRUCTURE POSTS.

- \*\*NUMBER COINCIDES WITH KEYNOTE CALLOUT ON ELEVATIONS\*\*
- 02- GAF BARKWOOD
  - 05- PAC CLAD, MANSARD BROWN
  - 03- DECORATIVE BLOCK, OYSTER SPLIT FACE
  - 09- COMPOSITE DECK, FIBERON - BURNT UMBER
  - 01- BEUCHEL STONE, CASTLE ROCK 30%, JUTE CLOTH COUNTRY SQUIRE 70%

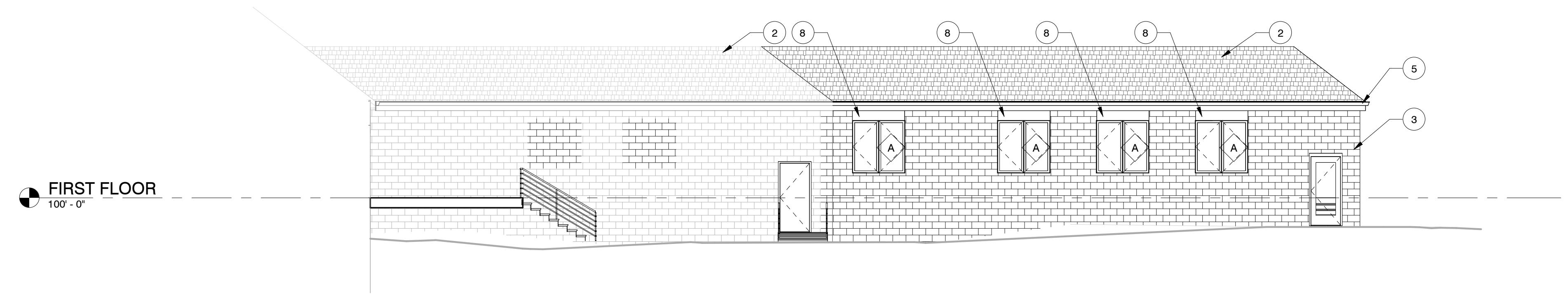


\*\*ALL MATERIALS TO APPROXIMATE EXISTING CONDITIONS IN COLOR, TEXTURE AND QUALITY AS APPLICABLE\*\*

**MATERIAL LEGEND**  
3" = 1'-0"



**1 SOUTH ELEVATION**  
1/8" = 1'-0"



**2 WEST ELEVATION**  
1/8" = 1'-0"



**DESIGNBUILD**

MSI GENERAL CORPORATION  
W215 E. WISCONSIN AVE.  
NASHOTAH, WI 53058  
262.367.3661 | MSIGENERAL.COM

SINGLE SOURCE RESPONSIBILITY  
DESIGNING EXCELLENCE. BUILDING TRUST TM

**MILESTONE ISSUE DATES**

PRELIMINARY SET:	
BUDGET SET:	
LOCAL DESIGN REVIEW SET:	08/08/2023
PROPOSAL SET:	
CONSTRUCTION SET:	
RECORD DRAWING SET:	

**REVISIONS:**

NO.	DESCRIPTION



CONSULTANT LOGO

KEY PLAN

PROJECT NAME  
**ST. JOHN'S WAUWATOSA CHURCH ADDITION**

PROJECT DESCRIPTION  
NEW FACILITY

STREET ADDRESS  
7809 HARWOOD AVE

CITY/STATE/ZIP  
WAUWATOSA, WISCONSIN 53213

ALL WORK TO BE COMPLETED AS SHOWN, AND IN ACCORDANCE WITH THE LATEST EDITION OF THE MSI GENERAL MASTER SPECIFICATION

PROJECT ARCHITECT XXX	STRUCTURAL ENGINEER XXX	LANDSCAPE DESIGN XXX
DESIGN ARCHITECT XXX	CIVIL ENGINEER XXX	REVIEWED BY XXX

SHEET TITLE:  
**EXTERIOR ELEVATIONS**

SHEET NUMBER:  
**A-201**

PROJECT NUMBER: **P13586**

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LEADERS

ENGINEERS

CONTRACTORS

ARCHITECTS



WINDOW SCHEDULE											
MARK	QTY.	STYLE	WINDOW SIZE		ROUGH OPENING		MANUFACTURER	MODEL #	GLAZING	COMMENTS	DESCRIPTION
			WIDTH	HEIGHT	WIDTH	HEIGHT					
34	6		<<varies>	2'-0"	2'-8"	5'-4"					OPERABLE CASEMENT WOOD WINDOW WITH PREFINISHED ALUMINUM EXTERIOR CLADDING
A	9		5'-4"	5'-4"	5'-4 1/2"	5'-4 1/2"					OPERABLE CASEMENT WOOD WINDOW WITH PREFINISHED ALUMINUM EXTERIOR CLADDING
B	2	FIXED	2'-8"	5'-4"	2'-8 1/2"	5'-4 1/2"					OPERABLE CASEMENT WOOD WINDOW WITH PREFINISHED ALUMINUM EXTERIOR CLADDING

**GENERAL NOTES - EXT. ELEVATION(S)**

- A. LIMESTONE AND MORTAR ASHLAR PATTERN TO APPEAR SEAMLESS BETWEEN OLD AND NEW CONSTRUCTION AS MUCH AS POSSIBLE.
- B. ALL COLORS TO BE SUBMITTED FOR ARCHITECT APPROVAL.

**SHEET NOTES - EXT. ELEVATIONS**

NOTE: THESE NOTES APPLY ONLY TO THIS SHEET

NO.	DESCRIPTION
1	LANNON STONE VENEER ON CONCRETE BLOCK BACKUP TO APPROXIMATE EXISTING CONDITION.
2	CLASS B SHINGLE ROOF TO MATCH TO APPROXIMATE EXISTING COLOR AND LOOK OF EXISTING SHINGLES
3	SPLIT FACE CONCRETE BLOCK TO APPROXIMATE EXISTING ADJACENT BLOCK WALL COLOR.
4	4" CUT STONE COPING TO APPROXIMATE EXISTING COLOR.
5	ALUMINUM GUTTER AND DOWNSPOUT WITH PAINTED FASCIA TO APPROXIMATE EXISTING CONDITION.
6	STEEL BEAM WITH SCISSOR TRUSS, UNDERSIDE OF T&G PAINTED WOOD.
7	LANNON CUT STONE SELF SUPPORTING ARCHWAY
8	PREFINISHED ALUMINUM REVEAL TO APPROXIMATE EXISTING CONDITION
10	PRE-FINISHED DECORATIVE GLAZED INSULATED ENTRY DOOR



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**MILESTONE ISSUE DATES**

PRELIMINARY SET:	
BUDGET SET:	
LOCAL DESIGN REVIEW SET:	08/08/2023
PROPOSAL SET:	
CONSTRUCTION SET:	
RECORD DRAWING SET:	

**REVISIONS:**

NO.	DESCRIPTION



CONSULTANT LOGO

KEY PLAN

PROJECT NAME  
**ST. JOHN'S WAUWATOSA CHURCH ADDITION**

PROJECT DESCRIPTION  
**NEW FACILITY**

STREET ADDRESS  
**7809 HARWOOD AVE**

CITY/STATE/ZIP  
**WAUWATOSA, WISCONSIN 53213**

ALL WORK TO BE COMPLETED AS SHOWN, AND IN ACCORDANCE WITH THE LATEST EDITION OF THE MSI GENERAL MASTER SPECIFICATION

PROJECT ARCHITECT xxx	STRUCTURAL ENGINEER xxx	LANDSCAPE DESIGN xxx
DESIGN ARCHITECT xxx	CIVIL ENGINEER xxx	REVIEWED BY xxx

SHEET TITLE:  
**EXTERIOR ELEVATIONS**

SHEET NUMBER:  
**A-202**

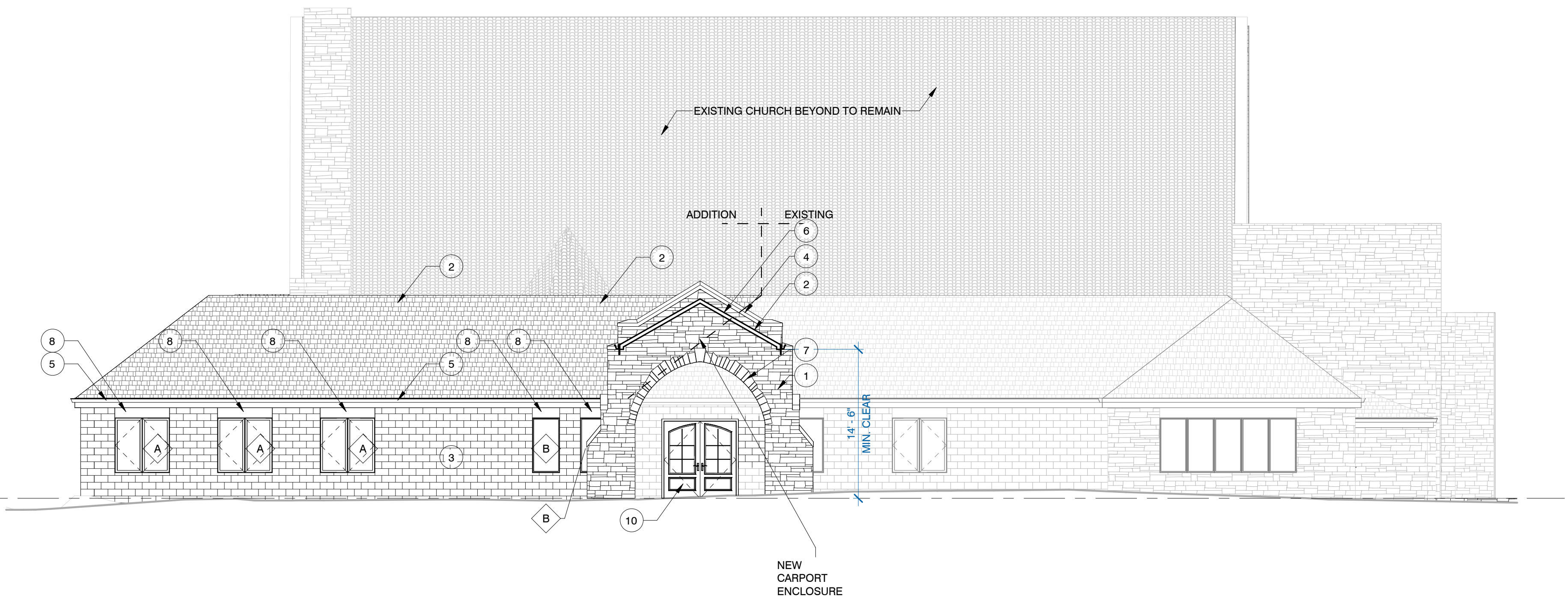
PROJECT NUMBER:  
**P13586**

LEADERS

ENGINEERS

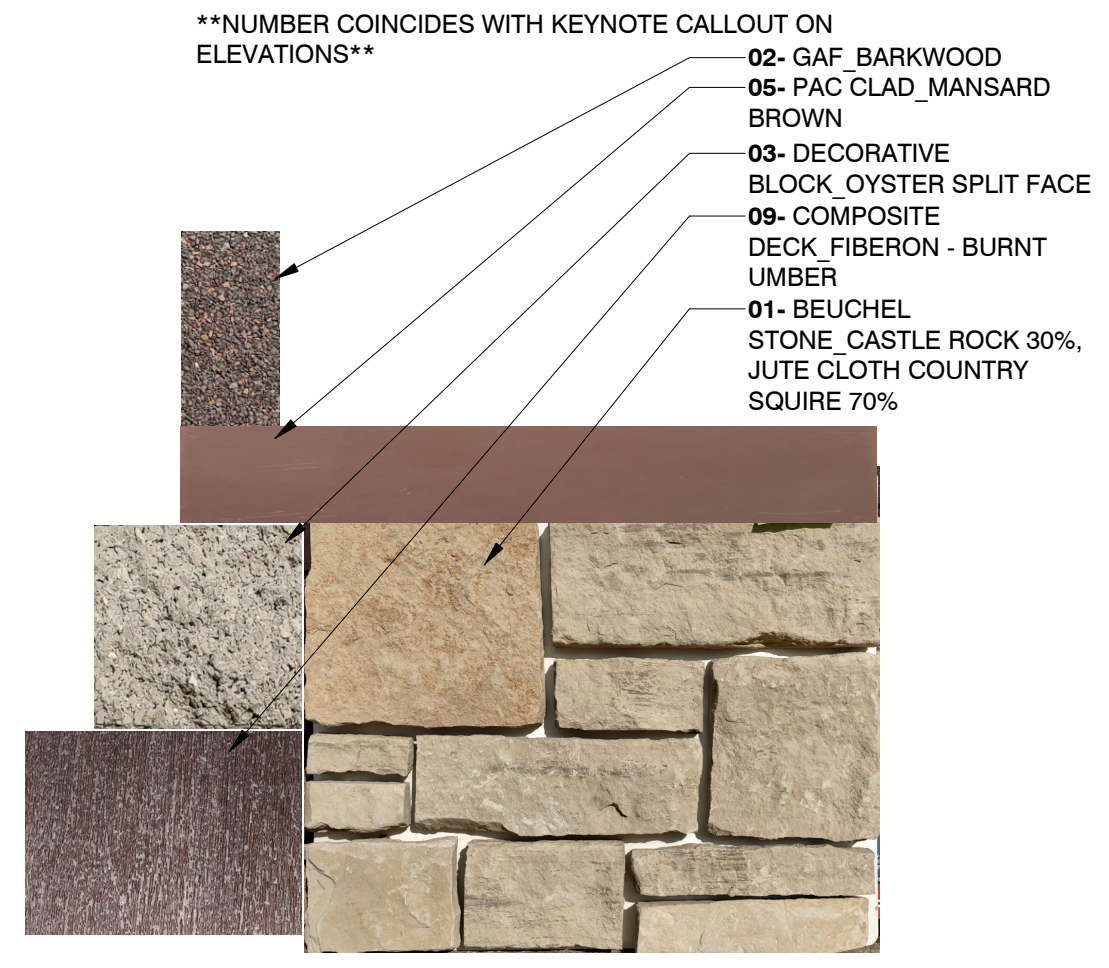
CONTRACTORS

ARCHITECTS



FIRST FLOOR  
 100'-0"

**EAST ELEVATION**  
 1/8" = 1'-0"



\*\*NUMBER COINCIDES WITH KEYNOTE CALLOUT ON ELEVATIONS\*\*

\*\*ALL MATERIALS TO APPROXIMATE EXISTING CONDITIONS IN COLOR, TEXTURE AND QUALITY AS APPLICABLE\*\*

**MATERIAL LEGEND**  
 3" = 1'-0"





SOUTH ELEVATION



SOUTHWEST ELEVATION



PATIO ELEVATION

EXTERIOR RENDERINGS N.T.S.



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ISSUE DATES:

LOCAL DESIGN REVIEW SET:	08/08/2023
Proposal:	xx/xx/xxxx
Bid:	xx/xx/xxxx
Contract:	xx/xx/xxxx
State Submittal / Permit:	xx/xx/xxxx
As-Built:	xx/xx/xxxx

REVISIONS:

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PROJECT ADDRESS:  
PROJECT NAME  
St. John's Evangelical Lutheran Church  
STREET ADDRESS  
7809 Harwood Ave.  
CITY / STATE / ZIP  
Wauwatosa, WI 53213

ALL WORK TO BE COMPLETED AS SHOWN, AND IN ACCORDANCE WITH THE LATEST EDITION OF THE MSI GENERAL MASTER SPECIFICATION

Architect: AMH  
Engineer: --  
Reviewed By: --  
Sheet Title:  
EXTERIOR RENDERINGS  
Sheet Number:  
A-203  
Project Number:  
P13586

LEADERS

ENGINEERS

CONTRACTORS

ARCHITECTS