



Wauwatosa, WI

Design Review Board

Meeting Agenda - Final

7725 W. North Avenue
Wauwatosa, WI 53213

Thursday, April 18, 2024

7:00 PM

Common Council Chambers

CALL TO ORDER

ROLL CALL

NEW BUSINESS

1. 7474 Harwood Avenue - New Multi-Family

[24-0565](#)

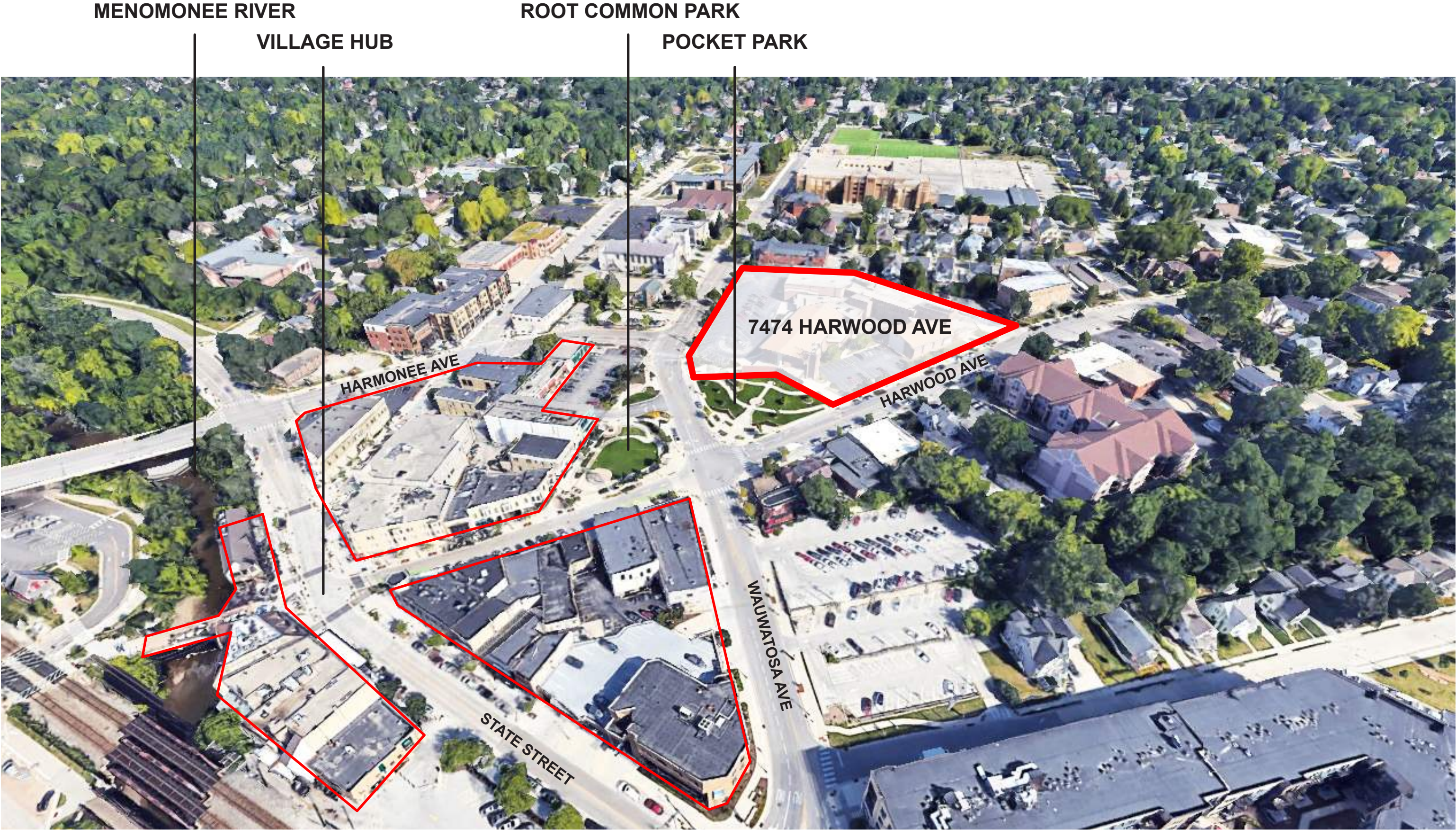
ADJOURNMENT

NOTICE TO PERSONS WITH A DISABILITY

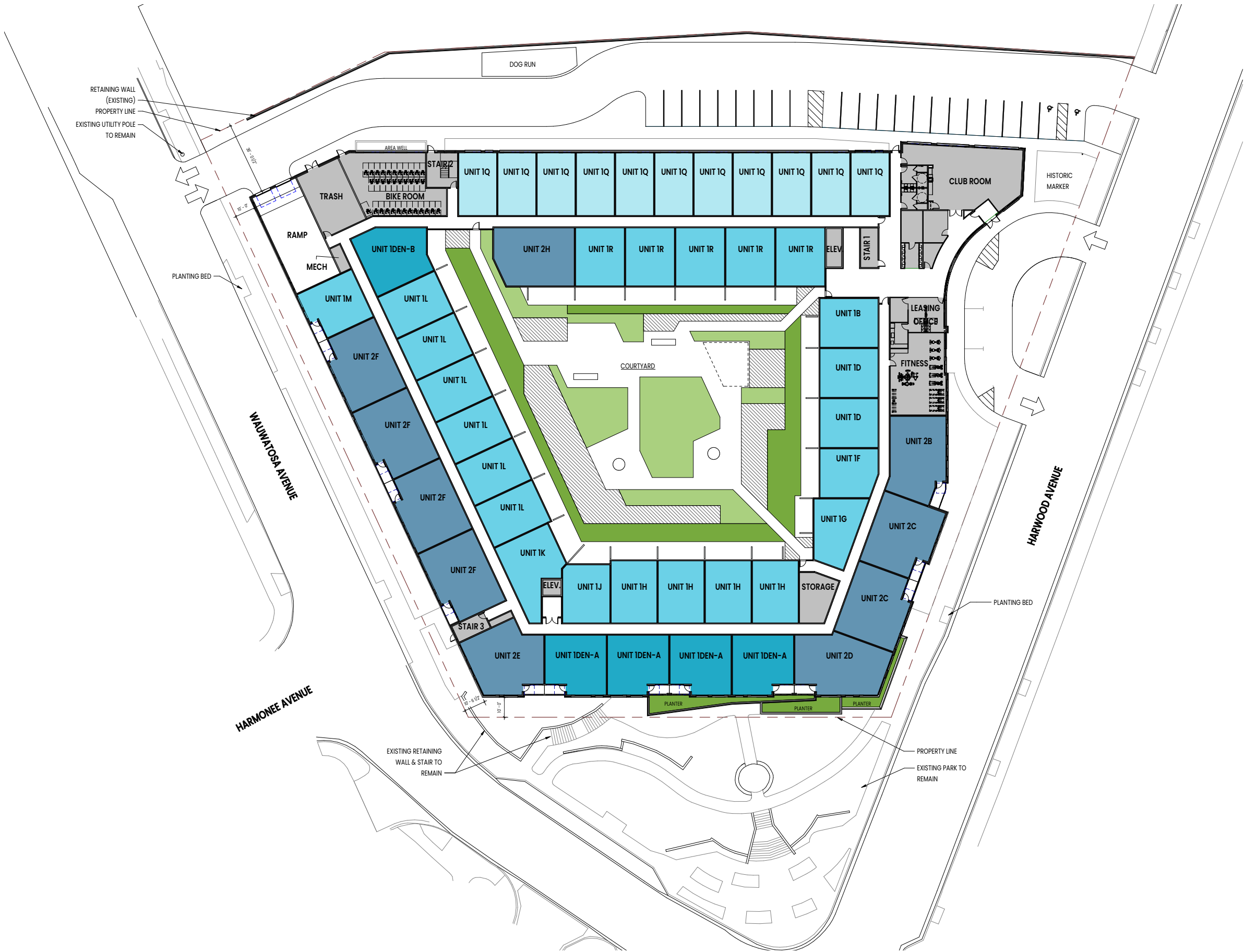
Persons with a disability who need assistance to participate in this meeting should call the City Clerk's office at (414) 479-8917 or send an email to tclerk@wauwatosa.net, with as much advance notice as possible.

7474 HARWOOD

04.09.2024



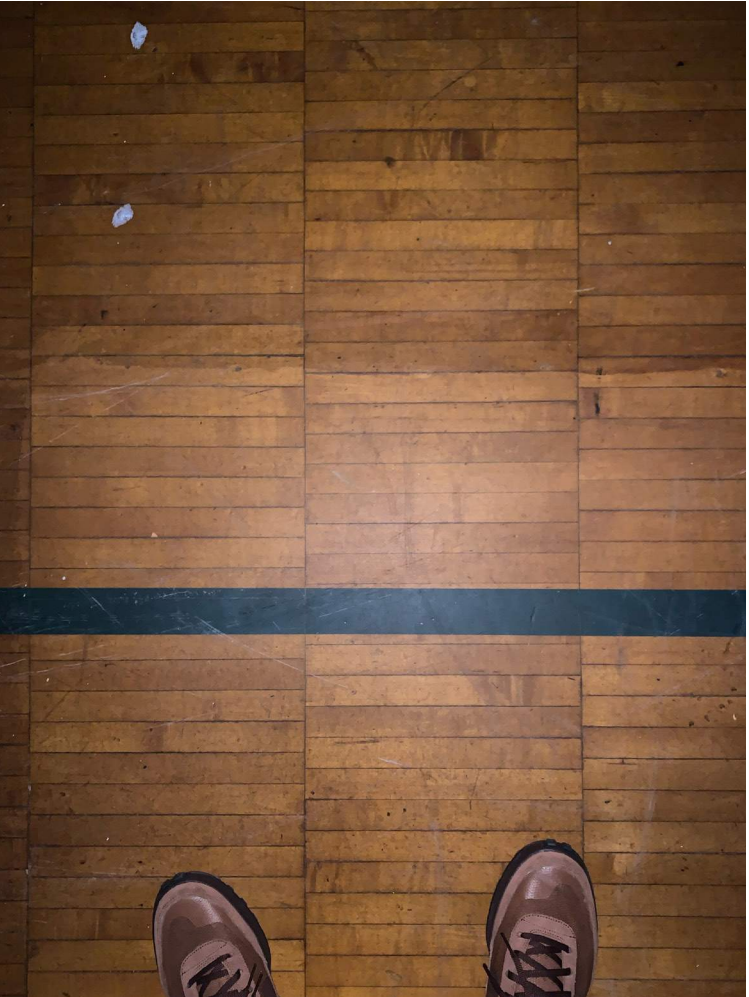
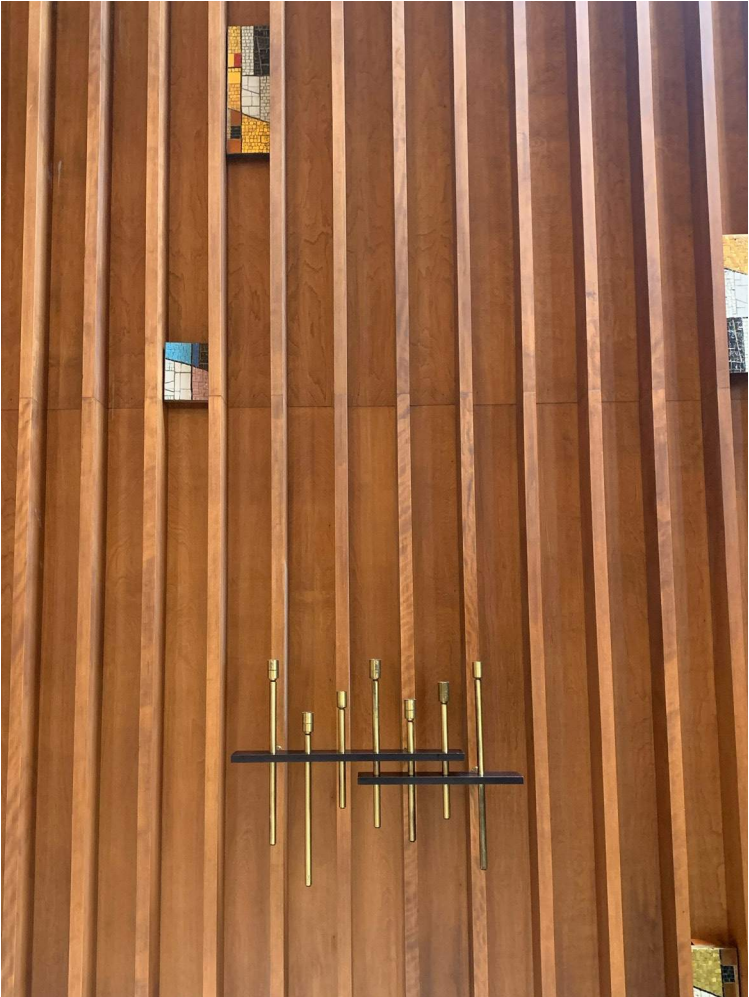
SITE PLAN



NOT TO SCALE
REFER TO SCALED DRAWINGS IN SUPPORTING DOCUMENTS

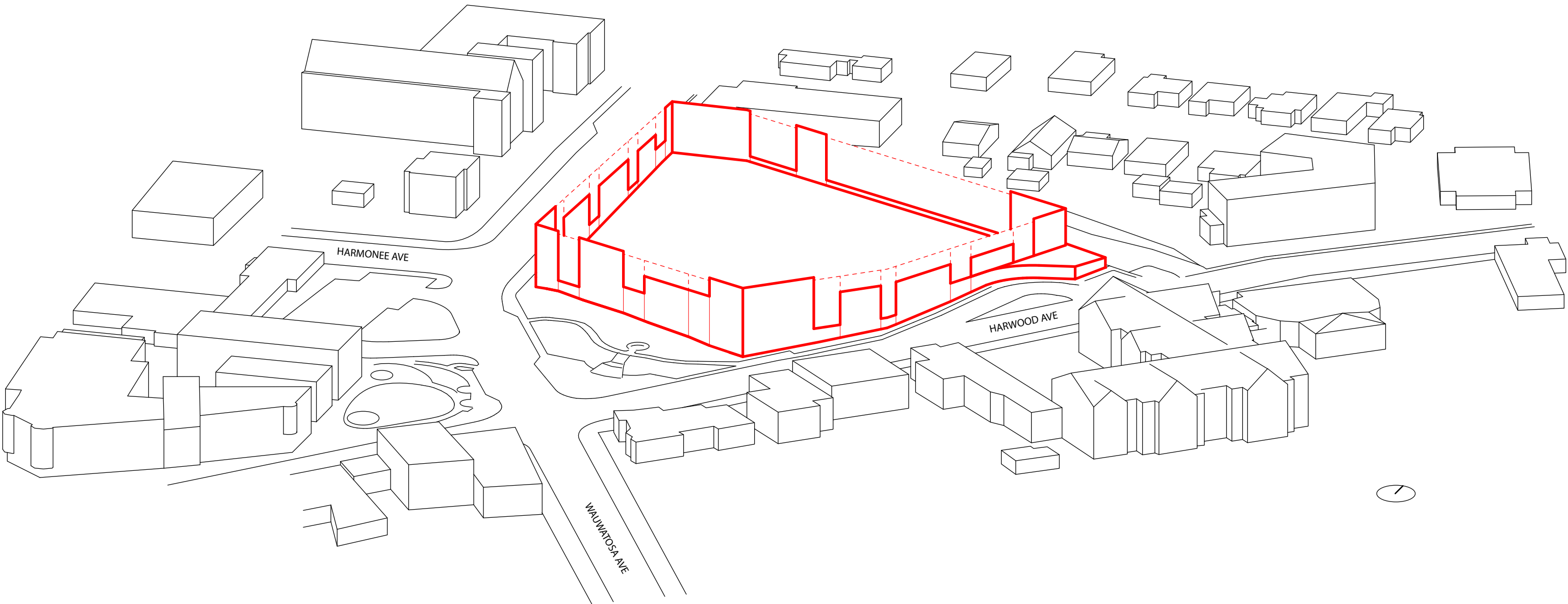






GRADE PLANE DETERMINATION





STEPPING AND STAGGERING CREATES A DYNAMIC RHYTHM AND VARIATION WITHIN THE MASSING

MASSING_EXTERIOR CHARACTER SEEKS A DIALOGUE WITH SURROUNDING ARCHITECTURE



CURRENT HEIGHT OF BUILDING: 39'-9"

MAX HEIGHT 40'
SEE GRADE PLANE PLAN
DETERMINATION



SCALE IS REFLECTIVE OF THE NEIGHBORHOOD WHILE ASSERTING ITS OWN IDENTITY AS A MODERN ADDITION



RESTRAINED CONTEMPORAY PALETTE WITH A SENSITIVITY TO THE ARCHITECTURAL CONTEXT

APPROACH _ STRONG SCULPTURAL “PAVILIONS” STEP UP TO PROMINENT CORNER



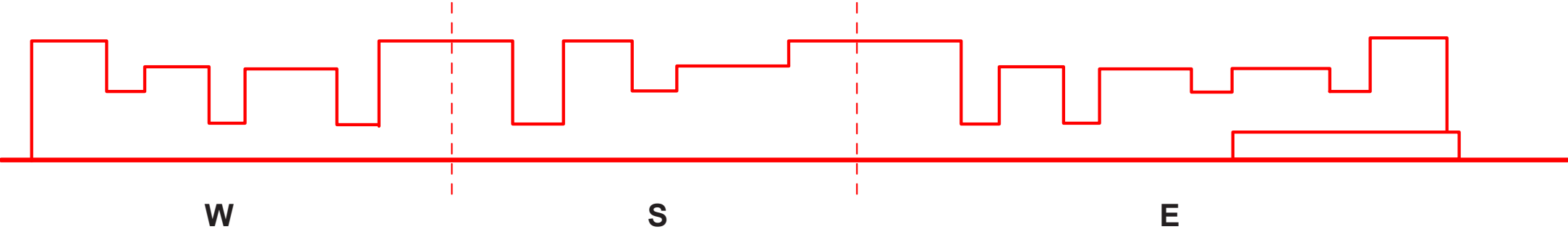
HARWOOD AVE LOOKING N

AND STEP DOWN AS PLANTERS TO A SOFT EDGE ON THE PARK



INTERSECTION LOOKING N





UNRAVELED ELEVATION EXPRESSES NEW SILHOUETTE OF BRICK VOLUMES



HARWOOD AVE LOOKING W



HARWOOD AVE LOOKING W



HARMONEE AVE LOOKING E



SUPPORTING DOCUMENTS



24004_01- 7474 HARWOOD PROJECT DATA- 4 stories within 40'-0" height limit

2024-04-09

	JR 1 BR	650 SF	1 BR	750-850 SF	1 BR +	850-950 SF	2 BR	1150-1250 SF	TOTALS	PARKING
Level 3	12		21		11		13		57	
Level 2	12		21		11		13		57	
Level 1	11		21		7		10		49	23
Level B1	0		0		0		0		0	187
TOTAL UNITS	35		63		29		36		163	
% TOTAL	21%		39%		18%		22%		100%	
TOTAL BEDS	35		63		29		72		199	
PARKING REQ. PER UNIT TYPE	1		1		1		1.5			
TOTAL PARKING REQ.	35		63		29		54			181
RESIDENT PARKING PROVIDED										187
VISITOR PARKING PROVIDED										23
TOTAL PARKING PROVIDED										210
CARS PER UNIT RATIO										1.29
CARS PER BED RATIO										1.06

7474 HARWOOD

DESIGN REVIEW BOARD SUBMISSION

4.9.2024



7474 HARWOOD BLVD
WAUWATOSA, WI 53213

OWNER	ARCHITECT	CIVIL ENGINEER	LANDSCAPE CONSULTANT:
THREE LEAF PARTNERS 504 WEST JUNEAU MILWAUKEE, WI 53203	KORB + ASSOCIATES ARCHITECTS 648 N. PLANKINTON AVE, SUITE 240 MILWAUKEE, WI 53203	TRIO 4100 N CALHOUN RD STE 300 BROOKFIELD, WI 53005	INSITE DESIGN INC. 11525 W NORTH AVE WAUWATOSA, WI 53226
CONTACT: JORDAN MICHALKIEWICZ jmichalkiewicz@threeleafdevelopment.com (414) 775-0857	CONTACT: MARK LARSON (PROJ. MGR.) mlarson@kaa-arch.com (414) 273-8230	CONTACT: JOSH PUDELKO jpudelko@trioeng.com	CONTACT: MICHAEL DAVIS mdavis@insitedesigninc.com (414) 476-1204
DRAWING INDEX	SUPERVISING PROFESSIONAL: JASON KORB		

PROJECT:
7474 HARWOOD
7474 HARWOOD BLVD
WAUWATOSA, WI 53213

OWNER:
THREE LEAF PARTNERS
504 WEST JUNEAU
MILWAUKEE, WI 53203

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648 N. PLANKINTON AVE,
SUITE 240
MILWAUKEE, WI 53203

CIVIL ENGINEER:
TRIO
4100 N CALHOUN RD
STE 300
BROOKFIELD, WI 53005

LANDSCAPE CONSULTANT:
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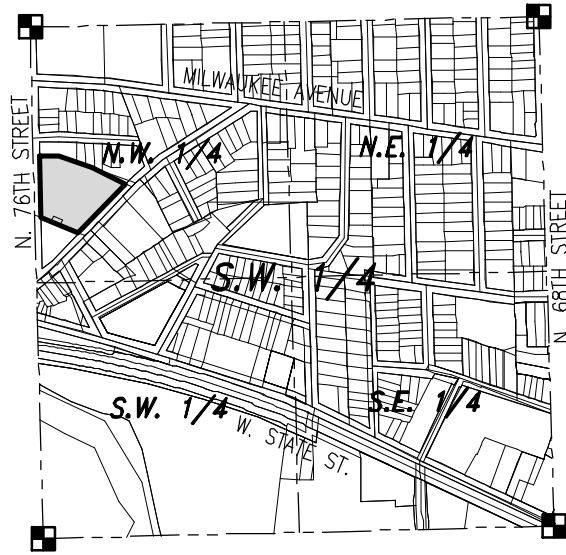
DATE	REVISION
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CIVIL	ARCHITECTURAL
C0.10 - LAND SURVEY/EXISTING SITE PLAN	A1 - ARCHITECTURAL SITE PLAN
C1.0 - PROPOSED SITE PLAN	A2 - BASEMENT PLAN
LANDSCAPE	A3 - FIRST FLOOR PLAN
LSP1.0 - PROPOSED LANDSCAPE PLAN GENERAL NOTES	A4 - SECOND FLOOR PLAN
LSP1.1 - PROPOSED PERIMETER FOUNDATION & BUFFER LANDSCAPE PLAN	A5 - THIRD FLOOR PLAN
LSP1.2 - PROPOSED COURTYARD LANDSCAPE PLAN	A6 - ELEVATIONS - SOUTH & WEST
LSP1.3 - PROPOSED COURTYARD LANDSCAPE MATERIALS	A7 - ELEVATIONS - NORTH
LSP1.4 - PROPOSED LANDSCAPE PLAN PLANTING DETAILS	A8 - ELEVATIONS - EAST
PHO1.1 - PROPOSED PHOTOMETRIC PLAN	A9 - ELEVATIONS - INTERIOR COURTYARD
PHO1.2 - PROPOSED SITE LIGHT FIXTURES	
PHO1.3 - PROPOSED BUILDING MOUNTED LIGHT FIXTURES	

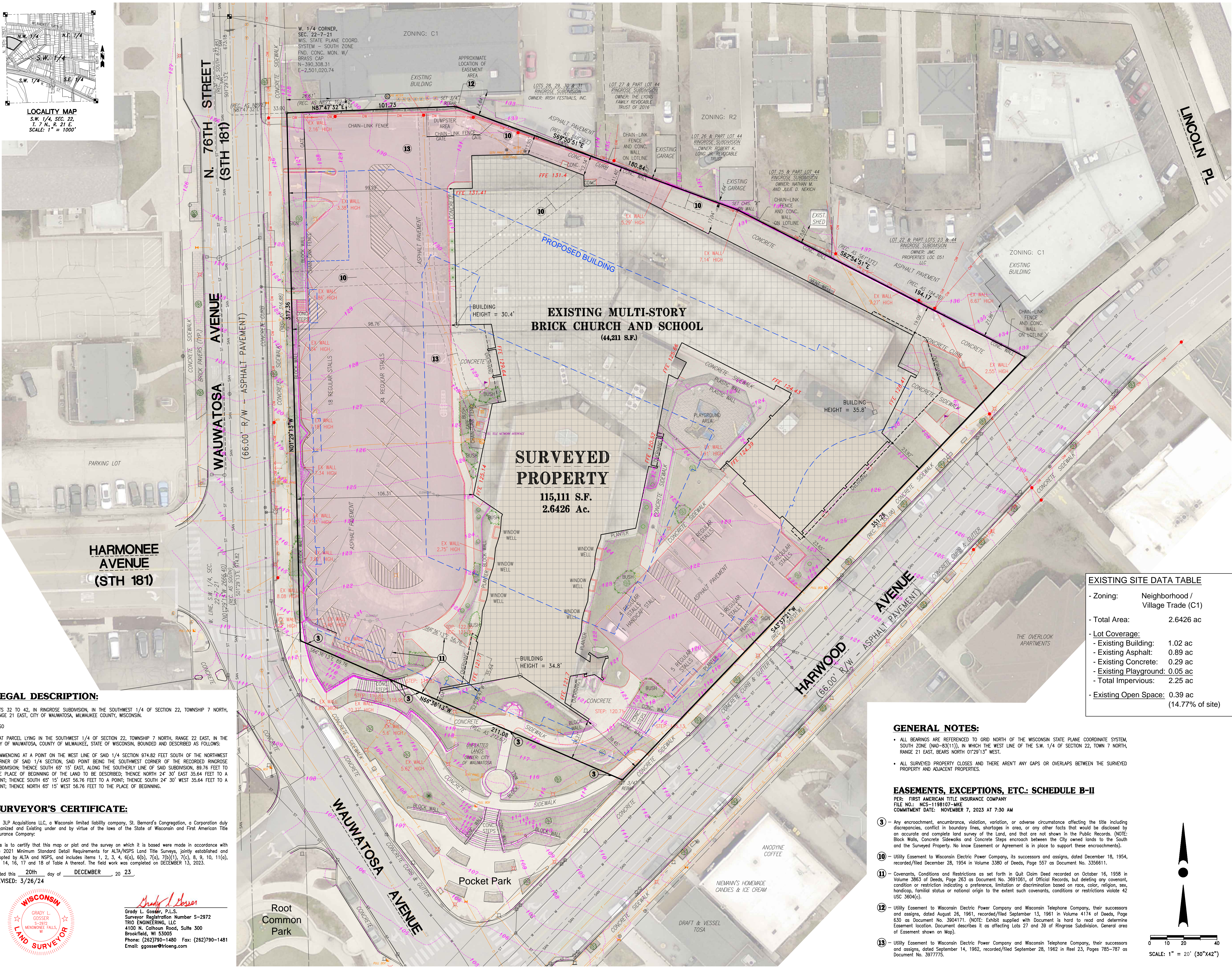
PROJ. NO.	24004.01
SCALE:	
PHASE:	DESIGN REVIEW BOARD
SUBMISSION	
DATE:	4.9.2024

COVER
A0

FOR REVIEW - NOT FOR CONSTRUCTION



LOCALITY MAP
S.W. 1/4, SEC. 22,
T. 7 N., R. 21 E.
SCALE: 1" = 1000'



EXISTING MULTI-STORY
BRICK CHURCH AND SCHOOL
(44,211 S.F.)

SURVEYED
PROPERTY
115,111 S.F.
2.6426 Ac.

EXISTING SITE DATA TABLE

- Zoning:	Neighborhood / Village Trade (C1)
- Total Area:	2.6426 ac
- Lot Coverage:	
- Existing Building:	1.02 ac
- Existing Asphalt:	0.89 ac
- Existing Concrete:	0.29 ac
- Existing Playground:	0.05 ac
- Total Impervious:	2.25 ac
- Existing Open Space:	0.39 ac (14.77% of site)

GENERAL NOTES:

- ALL BEARINGS ARE REFERENCED TO GRID NORTH OF THE WISCONSIN STATE PLANE COORDINATE SYSTEM, SOUTH ZONE (NAD-83(11)), IN WHICH THE WEST LINE OF THE S.W. 1/4 OF SECTION 22, TOWN 7 NORTH, RANGE 21 EAST, BEARS NORTH 01°29'13" WEST.
- ALL SURVEYED PROPERTY CLOSES AND THERE AREN'T ANY GAPS OR OVERLAPS BETWEEN THE SURVEYED PROPERTY AND ADJACENT PROPERTIES.

EASEMENTS, EXCEPTIONS, ETC.: SCHEDULE B-II

PER: FIRST AMERICAN TITLE INSURANCE COMPANY
FILE NO.: NCS-1198107-MKE
COMMITMENT DATE: NOVEMBER 7, 2023 AT 7:30 AM

- Any encroachment, encumbrance, violation, variation, or adverse circumstance affecting the title including discrepancies, conflict in boundary lines, shortages in area, or any other facts that would be disclosed by an accurate and complete land survey of the Land, and that are not shown in the Public Records. (NOTE: Block Walls, Concrete Sidewalks and Concrete Steps encroach between the City owned lands to the South and the Surveyed Property. No know Easement or Agreement is in place to support these encroachments).
- Utility Easement to Wisconsin Electric Power Company, its successors and assigns, dated December 18, 1954, recorded/Filed December 28, 1954 in Volume 3380 of Deeds, Page 557 as Document No. 3356611.
- Covenants, Conditions and Restrictions as set forth in Quit Claim Deed recorded on October 16, 1958 in Volume 3863 of Deeds, Page 263 as Document No. 3691061, of Official Records, but deleting any covenant, condition or restriction indicating a preference, limitation or discrimination based on race, color, religion, sex, handicap, familial status or national origin to the extent such covenants, conditions or restrictions violate 42 USC 3604(c).
- Utility Easement to Wisconsin Electric Power Company and Wisconsin Telephone Company, their successors and assigns, dated August 26, 1961, recorded/Filed September 13, 1961 in Volume 4174 of Deeds, Page 630 as Document No. 3904171. (NOTE: Exhibit supplied with Document is hard to read and determine Easement location. Document describes it as affecting Lots 27 and 39 of Ringrose Subdivision. General area of Easement shown on Map).
- Utility Easement to Wisconsin Electric Power Company and Wisconsin Telephone Company, their successors and assigns, dated September 14, 1962, recorded/Filed September 28, 1962 in Reel 23, Pages 785-787 as Document No. 3977775.

LEGAL DESCRIPTION:

LOTS 32 TO 42, IN RINGROSE SUBDIVISION, IN THE SOUTHWEST 1/4 OF SECTION 22, TOWNSHIP 7 NORTH, RANGE 21 EAST, CITY OF WAUWATOSA, MILWAUKEE COUNTY, WISCONSIN.

ALSO

THAT PARCEL LYING IN THE SOUTHWEST 1/4 OF SECTION 22, TOWNSHIP 7 NORTH, RANGE 22 EAST, IN THE CITY OF WAUWATOSA, COUNTY OF MILWAUKEE, STATE OF WISCONSIN, BOUNDED AND DESCRIBED AS FOLLOWS:

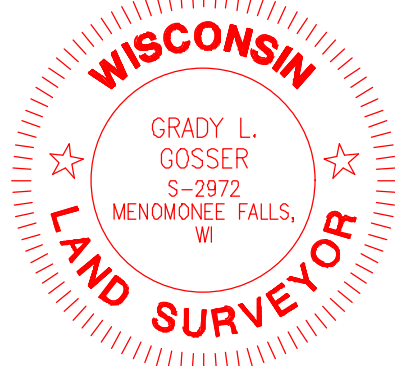
COMMENCING AT A POINT ON THE WEST LINE OF SAID 1/4 SECTION 974.82 FEET SOUTH OF THE NORTHWEST CORNER OF SAID 1/4 SECTION, SAID POINT BEING THE SOUTHWEST CORNER OF THE RECORDED RINGROSE SUBDIVISION; THENCE SOUTH 65° 15' EAST, ALONG THE SOUTHERLY LINE OF SAID SUBDIVISION, 89.76 FEET TO THE PLACE OF BEGINNING OF THE LAND TO BE DESCRIBED; THENCE NORTH 24° 30' EAST 35.64 FEET TO A POINT; THENCE SOUTH 65° 15' EAST 56.76 FEET TO A POINT; THENCE SOUTH 24° 30' WEST 35.64 FEET TO A POINT; THENCE NORTH 65° 15' WEST 56.76 FEET TO THE PLACE OF BEGINNING.

SURVEYOR'S CERTIFICATE:

To: 3LP Acquisitions LLC, a Wisconsin limited liability company, St. Bernard's Congregation, a Corporation duly organized and Existing under and by virtue of the laws of the State of Wisconsin and First American Title Insurance Company:

This is to certify that this map or plot and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes items 1, 2, 3, 4, 6(a), 6(b), 7(a), 7(b)(1), 7(c), 8, 9, 10, 11(a), 13, 14, 16, 17 and 18 of Table A thereof. The field work was completed on DECEMBER 13, 2023.

Dated this 20th day of DECEMBER, 2023.
REVISED: 3/26/24



Grady L. Gosser, P.L.S.
Surveyor Registration Number S-2972
TRIO ENGINEERING, LLC
4100 N. Calhoun Road, Suite 300
Brookfield, WI 53005
Phone: (262)790-1480 Fax: (262)790-1481
Email: ggosser@trioeng.com



PROJECT:
7474 HARWOOD
7474 HARWOOD BLVD
WAUWATOSA, WI 53213

OWNER:
THREE LEAF PARTNERS
504 WEST JUNEAU
MILWAUKEE, WI 53203

ARCHITECT:
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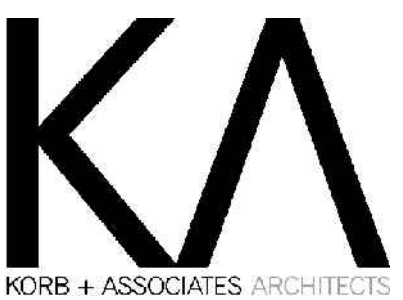
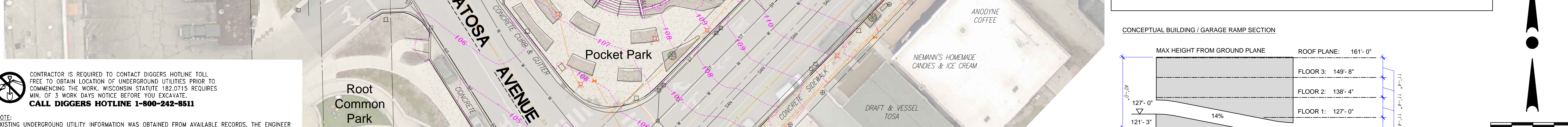
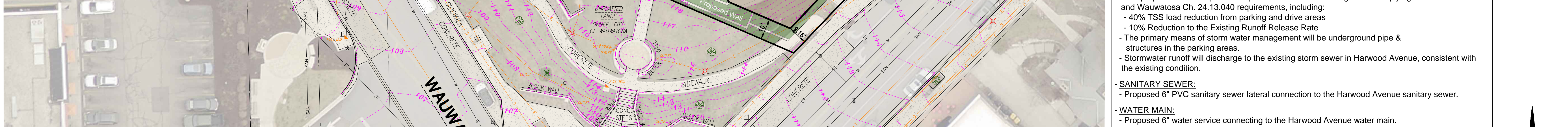
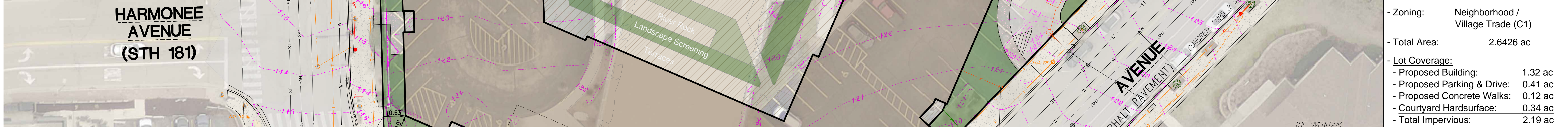
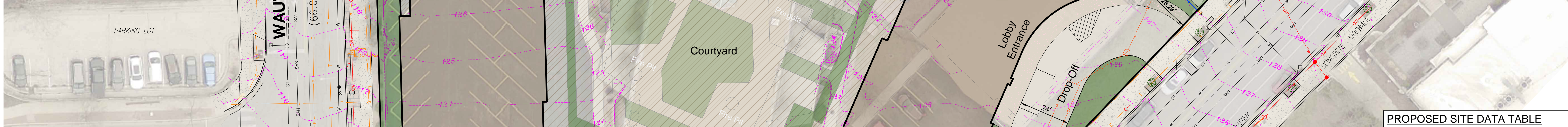
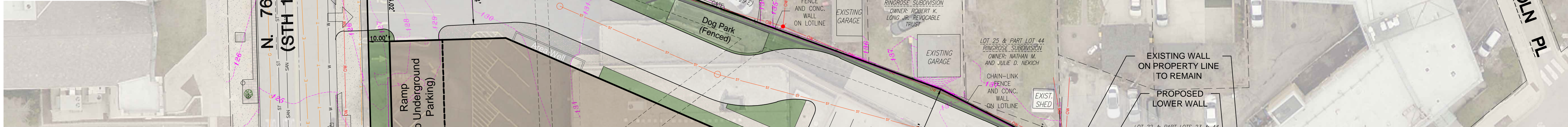
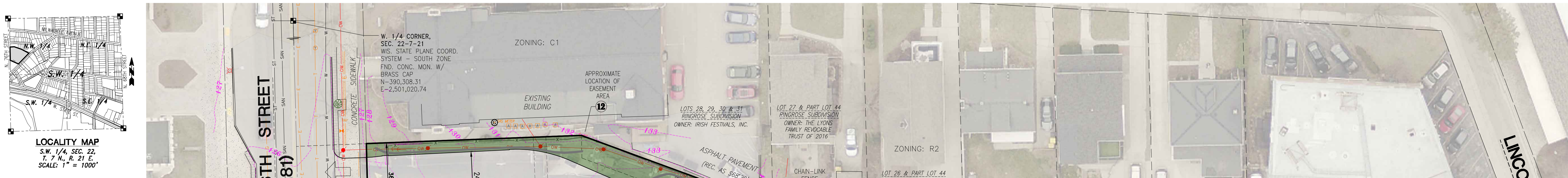
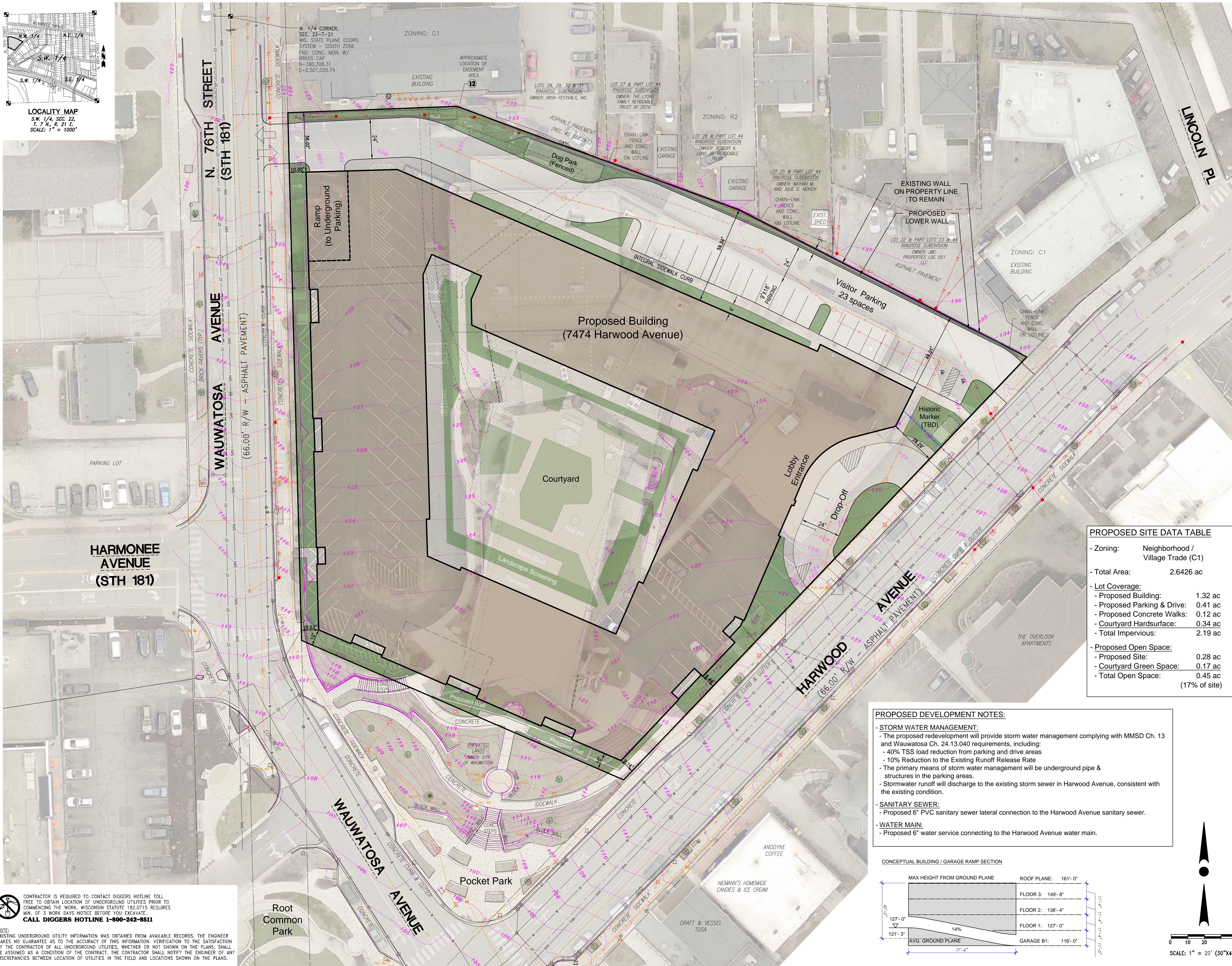
LANDSCAPE ARCHITECT:
INSITE DESIGN INC.
11525 W NORTH AVE
WAUWATOSA, WI 53226

DATE	REVISION
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DESIGN REVIEW - NOT FOR CONSTRUCTION

PROJECT:	24004.01
SCALE:	
PHASE:	DESIGN REVIEW BOARD SUBMISSION
DATE:	4.9.2024

LAND SURVEY
EXISTING SITE PLAN
C0.10



PROJECT:
7474 HARWOOD
7474 HARWOOD BLVD
WAUWATOSA, WI 53213

OWNER:
THREE LEAF PARTNERS
504 WEST JUNEAU
MILWAUKEE, WI 53203

ARCHITECT:
KORB + ASSOCIATES
ARCHITECTS
648 N. PLANKINTON AVE,
SUITE 240
MILWAUKEE, WI 53203

CIVIL ENGINEER:
TRIO ENGINEERING
4100 N. CALHOUN RD
STE 300
BROOKFIELD, WI 53005

LANDSCAPE ARCHITECT:
INSITE DESIGN INC.
11525 W. NORTH AVE
WAUWATOSA, WI 53226

DATE	REVISION
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PROPOSED SITE PLAN

C1.0

SITE INFORMATION

USDA PLANT HARDINESS ZONE	TOTAL INTERFEROUS
LOT TOWING	TOTAL GREENSPACE
LOT AREA	SITE LANDSCAPE PERCENTAGE
SITE BUILDING AREA	TOTAL PARKING SPALLS

DESIGN COMPLIANCE REQUIREMENTS: DURING THE PREPARATION OF THIS LANDSCAPE PLAN, THE CITY OF WAUWATOSA LANDSCAPE REQUIREMENTS WERE REFERENCED FOR COMPLIANCE. LANDSCAPING AND SCREENING: 24.12.1, 24.12.020 - PERIMETER VEHICULAR USE AREA LANDSCAPING; 24.12.030 - INTERIOR VEHICULAR USE AREA LANDSCAPING; SCREENING: 24.12.040, LANDSCAPE MATERIAL AND DESIGN 24.12.050, LANDSCAPE PLAN 24.12.060, MID MDTOWN DISTRICTS - 24.06.85P - LOT EDGES, ID MDTOWN DISTRICTS - 24.06.85P4 - LANDSCAPE EDGES, ID MDTOWN DISTRICTS - 24.06.85P6 - PARKING EDGE,

24.12.020 - PERIMETER VEHICULAR USE AREA LANDSCAPING.
A LANDSCAPE STRIP WITH A MINIMUM DEPTH OF 10 FEET MUST BE PROVIDED BETWEEN THE VEHICULAR USE AREA AND THE PUBLIC RIGHT-OF-WAY.
VIA MUST INCLUDE AT LEAST 2 DECIDUOUS TREES AND 8 SHRUBS PER 50 FEET OF VEHICULAR USE AREA FRONTAGE IS REQUIRED.
PROVIDED VIA = 10' X 10' AND IS A TOTAL OF 100 SQUARE FEET
SIZE OF VIA BUFFER PROVIDED IS "X-X" X "X" = XXXX sq ft
X TREES AND XY SHRUBS REQUIRED
X TREES AND X SHRUBS ARE PROVIDED
24.12.030 - Interior Vehicular Use Area Landscaping.
2.Minimum Interior Landscape Area. At least 10% of the interior of vehicular use areas must be landscaped AT A MINIMUM OF 135 square feet and be at least 10 feet in width.
XXX sq FT OF INTERIOR LANDSCAPE IS REQUIRED
0.52 FT OF INTERIOR LANDSCAPE IS PROVIDED
24.12.040 - Screening. All plant material used for screening must be at least 4 feet in height at time of planting.

EXISTING CONDITIONS GENERAL NOTES

1. INFORMATION PERTAINING TO EXISTING CONDITIONS GIVEN ON THESE LANDSCAPE DRAWINGS REPRESENTS TO THE BEST OF OUR KNOWLEDGE THE ACTUAL EXISTING FIELD CONDITIONS. INSITE LANDSCAPE DESIGN, INC. MAKES NO WARRANTY AS TO THEIR ACCURACY. CONTRACTOR TO FIELD VERIFY EXISTING CONDITIONS IMPERATIVE TO THEIR NEW WORK. REPORT ANY DISCREPANCIES BETWEEN THE DRAWINGS AND FIELD CONDITIONS TO THE LANDSCAPE ARCHITECT FOR REVIEW. ANY WORK PERFORMED PRIOR TO RESOLUTION OF DISCREPANCIES BY THE LANDSCAPE ARCHITECT IS SUBJECT TO REMOVAL AND REPLACEMENT AT NO ADDITIONAL COST TO THE CONTRACT.
2. THE LOCATIONS OF EXISTING UTILITY INSTALLATIONS AS SHOWN ON THIS PLAN ARE APPROXIMATE. THERE MAY BE UNDERGROUND UTILITY INSTALLATIONS WITHIN THE PROJECT AREA OF DISTURBANCE THAT ARE NOT SHOWN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE EXISTENCE AND LOCATION OF ALL UNDERGROUND UTILITIES.
3. VERIFY ALL EXISTING CONDITIONS, DIMENSIONS, AND ALIGNMENT OF WALLS. BRING ANY DISCREPANCIES TO THE LANDSCAPE ARCHITECTS ATTENTION PRIOR TO FABRICATION / CONSTRUCTION BEGINS.
4. VERIFY LOCATION OF ACCESS PANELS w/ MECHANICAL AND ELECTRICAL EQUIPMENT FOR ACCESSIBILITY OF MECHANICAL & ELECTRICAL ITEMS. VERIFY LOCATIONS OF ALL BURIED UTILITIES AND STRUCTURES AND LOCATIONS OF ALL OVERHEAD WIRES.
5. VERIFY LOCATION OF ALL EXISTING EASEMENTS.
6. INSITE LANDSCAPE DESIGN, INC. ASSUMES NO RESPONSIBILITY FOR DAMAGES, LIABILITY OR COSTS RESULTING FROM CHANGES OR ALTERATIONS MADE TO THIS PLAN WITHOUT THE EXPRESSED WRITTEN CONSENT OF INSITE LANDSCAPE DESIGN, INC.

PLANTER SPECULATIONS

1. BOTTOM OF PLANTER (APPROX. LOWER THIRD OF PLANTER INTERIOR) TO BE FILLED WITH A LIGHTWEIGHT GRANULAR DRAINAGE MATERIAL THAT WILL PROMOTE HEALTHY PLANT GROWTH BY RETAINING AND DRAINING WATER IN A NATURAL WAY SUCH AS ROOFLITE DRAIN OR SIMILAR.
2. UPPER PORTION OF PLANTER (APPROX. UPPER TWO-THIRDS OF PLANTER INTERIOR) TO BE FILLED WITH A SOILLESS GROWING MEDIUM OPTIMIZED FOR THE DEEPER ROOT ZONE BELOW A TOP LAYER OF ROOFLITE EXTENSIVE MC IS A PRECISELY BALANCED BLEND OF LIGHT WEIGHT MINERAL AGGREGATES LIKE HYDROCKS OR PUMICE AND PREMIUM ORGANIC COMPONENTS LIKE USOC STA APPROVED COMPOST AND FREE OF WEEDS, INSECTS AND DISEASES. MEDIA TO HAVE A PH OF APPROX. 6.2 THAT MAY CONTAIN INGREDIENTS SUCH AS SPAGNUM PEAT MOSS, PERLITE, VERMICULITE, COMPOSTED BARK, COMPOST, AND COCONUT COIR. PLUS SMALL AMOUNTS OF LIME AND FERTILIZE. EXAMPLES ROOFLITE EXTENSIVE MC, 100% COMPOST 100% SOILLESS MIX, 50% SOILLESS MIX + 50% COMPOST. TOPSOIL SHOULD ONLY BE ADDED TO VERY LARGE CONTAINERS AND NOT EXCEED 5-10% OF THE VOLUME.
3. BOTTOM LAYER OF DRAIN MATERIAL AND GROWING MEDIA TO BE SEPARATED BY A THIN, MECHANICALLY STRENGTHENED, NON-WOVEN, ROOT-PERMEABLE, ENDLESS FIBER FLEECE SEPARATION LAYER AND FILTER BETWEEN DRAINAGE AND SUBSTRATE LAYERS. SEPARATION FABRIC WORKS AS A FILTER KEEPS THE FINER PARTICLES CONTAINED IN THE GROWTH MEDIA OR BASE LAYER FROM MIGRATING INTO THE DRAINAGE AND SHOULD NOT CLOG OR DEGRADE OVER TIME.
4. PLANTERS SHOULD BE FERTILIZED FREQUENTLY AND IN SMALL AMOUNTS.
5. ORGANIC OPTIONS INCLUDE BLOOD MEAL AND BONE MEAL FOR SUPPLEMENTAL NITROGEN AND PHOSPHORUS. AS THE SEASON GOES ON, YOU CAN LIQUID FEED WITH SUBSTANCES SUCH AS FISH EMULSION OR COMPOST.
6. INORGANIC FERTILIZER, ADD A SLOW-RELEASE GRANULAR PRODUCT WITH A NITROGEN-PHOSPHORUS-POTASSIUM RATIO OF 3:1:2. ONE EXAMPLE MIGHT HAVE A FORMULATION OF 30-6-12. REAPPLY HALFWAY THROUGH THE GROWING SEASON. YOU MAY ALSO CHOOSE A WATER-SOLUBLE FERTILIZER WITH A SIMILAR CHEMICAL MAKEUP AND APPLY FREQUENTLY USING A HOSE OR WATERING CANT TEA.
7. PLANTERS SHOULD BE MONITORED AND BE WATERED FREQUENTLY IF NOT ON A DRIP IRRIGATION SYSTEM. BASED IN PLANT MATERIAL AND GROWING CONDITIONS MAY NEED TO BE WATERED UP TO TWICE A DAY.

LANDSCAPE PLAN GENERAL NOTES

PLANT MATERIAL SHOWN ON LANDSCAPE PLAN IS DEPICTED AT MATURE GROWTH.

1. AT LEAST SEVENTY-TWO HOURS PRIOR TO ANY EXCAVATION, CONTRACTOR SHALL VERIFY UTILITY LOCATIONS AS GIVEN BY THE ELECTRIC, GAS, TELEPHONE, WATER, SEWER, AND CABLE TELEVISION COMPANIES, UTILITIES OR ENTITIES. REVIEW WITH OWNER'S REPRESENTATIVE SITE MECHANICAL, SITE ELECTRICAL AND LIGHTING, SITE GRADING AND DRAINAGE, SITE IRRIGATION AND ALL OTHER DRAWINGS PERTAINING TO UNDERGROUND UTILITY LOCATIONS. RECORD SET OF INFORMATION THE SAME AS IN POSSESSION OF OWNER'S REPRESENTATIVE. ALSO REVIEW OWNER'S "MARK SETS" OF ALL OF THESE DRAWINGS IN POSSESSION OF THE CONTRACTOR OR OWNER. MARK ALL SUCH UTILITIES ON THE SITE PRIOR TO COMMENCING. COORDINATE WITH OWNER BEFORE AND DURING CONSTRUCTION. REPAIR ANY DAMAGE TO ANY SYSTEM THAT IS CAUSED BY LANDSCAPE CONTRACTOR AT NO COST TO OWNER.
 2. ALL PLANTINGS SPECIFIED FOR THE HARWOOD PROJECT PLANTING TABLES SHALL COMPLY WITH STANDARDS AS DESCRIBED IN AMERICAN STANDARD OF NURSERY STOCK ANSI Z60.1 2014 AND ANSI STANDARDS FOR PLANTING 2012.
 3. ALL DEVIATIONS FROM THE APPROVED HARWOOD PROJECT PLANS SHALL BE NOTED ON THE RECORD DRAWINGS. BY THE CONTRACTOR AND MAY BE EXECUTED ONLY WITH PRIOR APPROVAL FROM THE LANDSCAPE ARCHITECT AND OWNER'S REPRESENTATIVE. VERBAL AGREEMENTS OR REVISIONS WITHOUT A CHANGE ORDER WILL NOT BE RECOGNIZED BY LANDSCAPE ARCHITECT AND OWNER.
 4. ALL PLANTS MUST BE BID AND SELECTED PER THE SPECIES SPECIFIED ON THE PLANS. ANY SPECIES SUBSTITUTIONS MUST BE APPROVED IN WRITING BY LANDSCAPE ARCHITECT. THE SIZES OF PLANT MATERIAL LISTED HEREIN IS A MINIMUM ACCEPTABLE SIZE. ADDITIONALLY, IF EXCESSIVE PRUNING REDUCES THE CROWN THE PLANT SHALL BE REPLACED.
 5. PROTECT PUBLIC FROM CONSTRUCTION WITH BARRIERS AND BARRICADES.
 6. ALL AREAS THAT WERE DISTURBED DURING CONSTRUCTION AND AREAS NOT COVERED WITH PAVEMENT, BUILDING, PLANTING BEDS, OR TREE PITS ARE TO BE TOPSOILED 3" DEEP (MIN.) AND SHALL BE SOODED/SEEDED WITH SPECIFIED LAWN GRASS. LANDSCAPE CONTRACTOR SHALL INCLUDE COST PER SQUARE YARD FOR ADDITIONAL SEED OPERATIONS AS MAY BE POSSIBLY REQUIRED TO REESTABLISH ADJACENT TURF GRASS AREAS WHICH MAY BECOME DAMAGED DURING THE CONSTRUCTION PROCESS OR TO REPAIR DAMAGE DONE BY OTHERS.
 7. CONTRACTOR IS RESPONSIBLE FOR FURNISHING ALL MATERIALS, TOOLS, EQUIPMENT, LABOR, AND PLANTS NECESSARY FOR PROPER PLANTING AND INSTALLATION OF ALL LANDSCAPE MATERIAL.
 8. QUANTITIES ON PLANT MATERIALS LIST ARE FOR CONVENIENCE OF BIDDING ONLY. CONTRACTOR IS RESPONSIBLE FOR ALL PLANTS SHOWN ON LANDSCAPE PLANS AND COVERAGE OF ALL AREAS DELINEATED. THE PLANS ARE TO SUPERSEDE THE PLANT LIST IN ALL CASES.
 9. CONTRACTOR IS RESPONSIBLE FOR ALL ESTIMATING AND BIDDING, ALL AREAS, QUANTITIES MATERIALS SHOULD BE FIELD VERIFIED WITH SITE CONDITION.
 10. WHERE DISCREPANCIES OCCUR BETWEEN THE LANDSCAPE PLANS AND/OR ARCHITECTURAL AND/OR THE CIVIL DRAWINGS (AND ANY OTHER SITE DRAWINGS) THE DISCREPANCIES MUST BE BROUGHT TO THE LANDSCAPE ARCHITECTS ATTENTION FOR COORDINATION AND RESOLUTION.
 11. ALL DISEASED, NOXIOUS OR INAPPROPRIATE MATERIALS SHALL BE REMOVED FROM THE PROPOSED SITE PRIOR TO THE START OF CONSTRUCTION AND DURING THE MAINTENANCE PERIOD.
 12. GENERAL CONTRACTOR SHALL LEAVE THE SITE FREE OF CONSTRUCTION DEBRIS.
 13. ALL LAWN AND PLANTING AREAS SHALL SLOPE TO DRAIN A MINIMUM OF 2% UNLESS NOTED OTHERWISE AND REVIEWED WITH OWNER'S REPRESENTATIVE FOR FINAL APPROVAL.
 14. FINISH GRADES FOR SHRUB AND GROUND COVER AREAS SHALL BE HELD 1" BELOW TOP OF ADJACENT PAVEMENTS AND CURBS, UNLESS NOTED OTHERWISE ON THE PLANS. REFER TO LSP1.9 FOR FURTHER INFORMATION.
 15. ALL PERENNIAL, ANNUAL AND GROUND COVER AREAS TO RECEIVE A BLEND OF ORGANIC SOIL AMENDMENTS PRIOR TO PLANTING. TILL THE FOLLOWING MATERIALS INTO EXISTING TOPSOIL TO A DEPTH OF APPROXIMATELY 4" A DEPTH OF 12" IN TREE PITS. PROPORTIONS AND QUANTITIES MAY REQUIRE ADJUSTMENT DEPENDING ON THE CONDITION OF EXISTING SOIL. REFER TO LSP1.9 FOR FURTHER INFORMATION.
PER EVERY 100 SQUARE FEET ADD: ONE -2 CUBIC FOOT BALE OF PEAT MOSS, 2 POUNDS OF 5 -10-5 GARDEN FERTILIZER, 1/4 CUBIC YARD OF COMPOSTED MANURE OR OTHER COMPOSTED, ORGANIC MATERIAL.
 16. ALL SHRUBS TO BE POCKET PLANTED WITH A 50/50 MIX OF COMPOSTED, ORGANIC MATERIAL AND EXISTING SOIL. INSTALL TOPSOIL INTO ALL BEDS AS NEEDED TO ACHIEVE PROPER GRADE. REMOVE ALL EXCESSIVE GRAVEL, CLAY AND STONES. REFER TO LSP1.9 FOR FURTHER INFORMATION.
 17. PLANT ALL TREES SLIGHTLY HIGHER THAN FINISHED GRADE AT ROOT FLARE. BACK FILL HOLE WITH 2/3 EXISTING TOPSOIL AND ORGANIC SOIL AMENDMENTS SPECIFIED IN NOTE 15. AVOID ANY AIR POCKETS. DISCARD ANY GRAVEL, CLAY OR STONES. REFER TO LSP1.9 FOR FURTHER INFORMATION.
 18. ALL TREES TO BE INSTALLED, STAKED AND GUYED ACCORDING TO DETAILS. REFER TO ANSI STANDARDS FOR PLANTING 2012 AND DETAILS ON LSP1.9 FOR FURTHER INFORMATION.
 19. PROVIDE A 4'-0" - 5'-0" DIAMETER MULCH RING AT THE ROOT BALL FLARE OF ALL LAWN TREES.
 20. ALL PLANTINGS TO BE WATERED AT THE TIME OF PLANTING, THROUGHOUT CONSTRUCTION AND UPON COMPLETION OF PROJECT AS REQUIRED.
 21. WHERE SPECIFIED, ALL PLANT BEDS, PITS AND TREE RINGS ARE TO RECEIVE A MINIMUM OF 2" - 3" DRESSING OF SHREDED HARDWOOD. OAK BARK MULCH SHAVINGS FREE OF GROWTH, WEEDS, FOREIGN PLANTER DEBRIS/ITAL TO PLANT LIFE OR GERMINATION INHIBITING INGREDIENTS. LANDSCAPE CONTRACTOR TO PROVIDE A SAMPLE TO OWNER FOR APPROVAL. CONTRACTOR TO TAKE CARE WITH INSTALLATION NOT TO DAMAGE OR COVER PLANTS. REFER TO LSP1.9 FOR FURTHER INFORMATION.
 22. LAWN INSTALLATION: CONTRACTOR TO FURNISH AND PREPARE TOPSOIL (3" MIN) AND SEED BED (REMOVE ALL STONES 1" OR LARGER), APPLY STARTER FERTILIZER AND SEED UNIFORMLY. PROVIDE A MULCH COVERING SUITABLE TO GERMINATE AND ESTABLISH TURF. EROSION CONTROL MESH SHOULD BE USED IN SWALES AND STEEP GRADES WHERE APPLICABLE. METHODS OF INSTALLATION MAY VARY AT THE DISCRETION OF CONTRACTOR. IT IS HIS/HER RESPONSIBILITY TO ESTABLISH AND GUARANTEE A SMOOTH, UNIFORM, QUALITY TURF. IF STRAW MULCH IS USED AS A COVERING, A TACKIFIER MAY BE NECESSARY TO AVOID WIND DAMAGE.
- 23. DELUXE 50 GRASS SEED MIX REINDER'S (800) 785-3301**
20% KENTUCKY BLUE GRASS
15% NEWPORT KENTUCKY BLUE GRASS
15% SR 2100 Kentucky Bluegrass
25% Creeping Red Fescue
15% Replikat Perennial Ryegrass
10% Fescue 4 Perennial Ryegrass
APPLY AT A RATE OF 200 POUNDS PER ACRE. REFER TO SUPPLIERS SPECIFICATIONS & INSTALLATION CUT SHEETS FOR FURTHER FORMATION
24. DURING THE INITIAL "30 DAY MAINTENANCE PERIOD" THE LANDSCAPE CONTRACTOR IS REQUIRED TO PROVIDE AND ON-GOING PLEASANT VISUAL ENVIRONMENT WHEREAS ANY PLANT WHICH IS NOT RESPONDING TO TRANSPLANTING OR THRIVING SHALL IMMEDIATELY BE REPLACED. NEW LAWNS SHALL BE WATERED AND REPAIRED AND WEEDS MUST CONSTANTLY BE REMOVED, NO EXCEPTIONS WILL BE GRANTED.
MAINTENANCE NOTE:
MAINTENANCE IS THE RESPONSIBILITY OF THE PROPERTY OWNER TO MAINTAIN REQUIRED LANDSCAPING IN ACCORDANCE WITH THE MUNICIPALITY'S PROPERTY MAINTENANCE CODE AND AN APPROVED MAINTENANCE PLAN. THE MAINTENANCE MUST INCLUDE, AT A MINIMUM, METHODS FOR PROVIDING THE FOLLOWING:
 - NECESSARY IRRIGATION (IF REQUIRED)
 - INTEGRATED PEST MANAGEMENT
 - PROPER FERTILIZATION
 - TREE CARE AND PRUNING, SHRUB TIP CLIPPING AND SHAPING AS REQUIRED
 - REPLACEMENT OF LOST VEGETATION, AND ALL DISEASED, DAMAGED, OR DEAD MATERIAL WILL BE REPLACED BY THE END OF THE FOLLOWING PLANTING SEASON IN PERPETUITY. FOR REPLACEMENT IN PERPETUITY REFER TO APPROVED DEVELOPERS AGREEMENT.
 - WEED MANAGEMENT AND BED CARE.
 25. ALL NEWLY PLANTED TREES AND SHRUBS ARE TO RECEIVE AN APPLICATION OF AN ANTI-TRANSPLANT SPRAY THAT WILL EFFECTIVELY REDUCE THE WATER LOSS OF TRANSPIRATION OF PLANT MATERIAL AND REDUCE THE STRESS OF TRANSPLANTATION. IT IS RECOMMENDED AS PART OF THE ONGOING MAINTENANCE THAT ANY BROADLEAF EVERGREEN AND CONIFEROUS TREE AND SHRUBS (EXCLUDING ARBUTUS/VITAE) RECEIVE AN APPLICATION OF AN ANTI-DESICCANT SPRAY TO REDUCE THE LOSS OF MOISTURE DUE TO WINTER DESICCATION.
 26. MAINTENANCE. THE OWNER SHALL TEND AND MAINTAIN ALL PLANT MATERIALS IN A HEALTHY GROWING CONDITION AS PER THE APPROVED MAINTENANCE PLAN AND APPROVED PLAN DOCUMENTS. PLANTINGS SHALL BE REPLACED WHEN NECESSARY AND KEPT FREE FROM REFUSE & DEBRIS. ALL PLANTING MATERIAL WHICH IS DYING OR DAMAGED BEYOND RECOVERY SHALL BE REPLACED WITHIN SIX (6) MONTHS OR BY THE NEXT PLANTING SEASON, WHICHEVER COMES FIRST. REFER TO ADDITIONAL INFORMATION REGARDING INSTALLATION AND MAINTENANCE FOR THE SPECIFIED SEED MIXES ON PER CUT SHEET PROVIDED ON LSP1.16.
 27. LANDSCAPE / SITE DEMOLITION CONTRACTOR TO VERIFY LOCATIONS OF EXISTING TREES AND SHRUBS TO BE SALVAGED AND CLEARLY TAG THEM WITH MARKING TAPE AND CONSTRUCTION FENCE.
 28. LANDSCAPE / SITE DEMOLITION CONTRACTOR TO VERIFY LOCATIONS OF EXISTING TREES AND SHRUBS TO BE RELOCATED. ALL PLANT MATERIAL TO BE RELOCATED IS TO BE CLEARLY TAGGED WITH MARKING TAPE MOVED BEFORE AND SITE DEMOLITION IS TO BEGIN.
 29. ALTERNATE BID: DESIGN IRRIGATION SYSTEM TO BE DESIGNED FOR A OVERLAPPING ZONED SPRINKLER HEAD SYSTEM IN ALL LAWN & ISLAND AREAS AND A DRIP SYSTEM FOR ALL FOUNDATION PLANTING AREAS.

TO OBTAIN LOCATION OF PARTICIPANTS UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN

DIGGERS HOT LINE

WISCONSIN STATUTE 182.0175 (1974) REQUIRES A MINIMUM OF 3 DAYS NOTICE BEFORE YOU EXCAVATE (NOT INCLUDING SATURDAY, SUNDAY OR LEGAL HOLIDAYS)

UNDERGROUND SEWER AND UTILITY INFORMATION AS SHOWN IS OBTAINED FROM THE RECORDS OF MUNICIPALITY AND LOCAL UTILITY COMPANIES. THE ACCURACY OF WHICH CAN NOT BE GUARANTEED OR CERTIFIED TO. THE LOCATIONS OF EXISTING UTILITY INSTALLATIONS AS SHOWN ON THIS SURVEY ARE APPROXIMATE. THERE MAY BE OTHER UNDERGROUND UTILITY INSTALLATIONS WITHIN THE PROJECT AREA THAT ARE NOT SHOWN.

TO OBTAIN LOCATION OF PARTICIPANTS UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN CALL THE MILWAUKEE UTILITY ALERT NETWORK
www.DiggersHotline.com
(800)-242-8511 OR

811

Know what's below. Call 811 before you dig.



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& Master Planning Design Services
11525 W. North Avenue, Suite 1B
Wauwatosa, WI 53226
Tel (414) 476-1304
www.insitedesigninc.com
mdavis@insitedesigninc.com

PROJECT:
7474 HARWOOD
7474 HARWOOD BLVD
WAUWATOSA, WI 53213

OWNER:
THREE LEAF PARTNERS
504 WEST JUNEAU
MILWAUKEE, WI 53203

ARCHITECT:
KORB + ASSOCIATES
ARCHITECTS
648 N. PLANKINTON AVE.
SUITE 240
MILWAUKEE, WI 53203

CIVIL ENGINEER:
TRIO
4100 N CALHOUN RD
STE 300
BROOKFIELD, WI 53005

LANDSCAPE ARCHITECT:
INSITE LANDSCAPE DESIGN INC.
11525 W NORTH AVE
WAUWATOSA, WI 53226

DATE REVISION

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PROJ. NO.	24004.01
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PHASE:	DESIGN REVIEW BOARD SUBMISSION
DATE:	4.9.2024

PROPOSED LANDSCAPE PLAN GENERAL NOTES AND SITE INFORMATION

LSP1.0

PROJECT:
7474 HARWOOD
7474 HARWOOD BLVD
WAUWATOSA, WI 53213

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MILWAUKEE, WI 53203

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11525 W NORTH AVE
WAUWATOSA, WI 53226

DATE: REVISION:

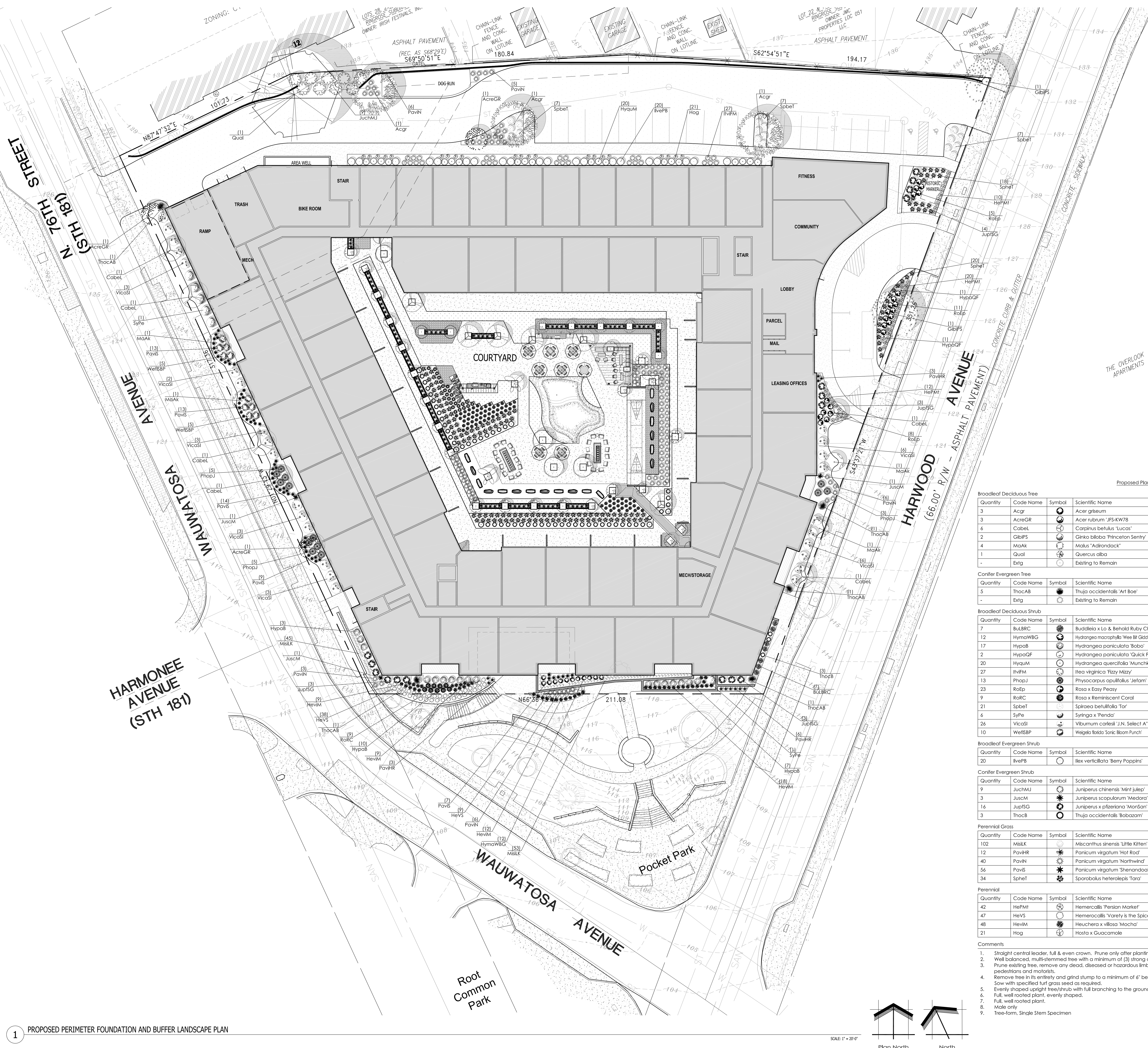
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PROPOSED PERIMETER FOUNDATION
AND BUFFER LANDSCAPE PLAN
AND PLANT MATERIAL TABLE

LSP1.1

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Proposed Plant Material Table

Quantity	Code Name	Symbol	Scientific Name	Common Name	Planting Size	Comments
3	Acgr		Acer griseum	Paperbark maple	2'-Cal - B&B	1
3	AcreGR		Acer rubrum 'JFS-KW78	Armstrong Gold Red Maple	3'-Cal - B&B	1
6	Cabel		Carpinus betulus 'Lucas'	Lucas Columnar European Hornbeam	1 1/2'-Cal - B&B	1
2	GblPIS		Ginkgo biloba 'Princeton Sentry'	Princeton Sentry Maidenhair Tree	2 1/2'-Cal - B&B	1, 8
4	MaAk		Malus 'Adirondack'	Adirondack Flowering Crab	1'-Cal - B&B	1
1	Qual		Quercus alba	White oak	3'-Cal - B&B	1
-	Extg		Existing to Remain	Existing to Remain	Existing	3

Quantity	Code Name	Symbol	Scientific Name	Common Name	Planting Size	Comments
5	ThocAB		Thuja occidentalis 'Ait Boe'	North Pole Arborvitae	7' - B&B	5
-	Extg		Existing to Remain	Existing to Remain	Existing	3

Quantity	Code Name	Symbol	Scientific Name	Common Name	Planting Size	Comments
7	BuLBRC		Buddleia x Lo & Behold Ruby Chip	Lo & Behold Ruby Chip Butterfly Bush	18" - Cont	6
12	HymaWBG		Hydrangea macrophylla 'Wee Bit Glad'	Wee Bit Glad	18" - Cont	6
17	HypaB		Hydrangea paniculata 'Bobo'	Bobo Hardy Hydrangea	24" - Cont	6
2	HypaQF		Hydrangea paniculata 'Quick Fire'	Quick Fire Hardy Hydrangea	60" - Cont	6
20	HyquM		Hydrangea quercifolia 'Munchkin'	Munchkin Oakleaf Hydrangea	18" - Cont	6
27	ItvIFM		Itea virginica 'Fizzy Mizz'	Fizzy Mizz Sweetspire	18" - Cont	6
13	PhopJ		Physocarpus opulifolius 'Jefam'	First Editions Amber Jubilee Ninebark	24" - Cont	6
23	RoEP		Rosa x Easy Peasy	Oso Easy Peasy Rose	18" - Cont	6
9	RoRC		Rosa x Reminiscent Coral	Reminiscent Coral Rose	18" - Cont	6
21	SpbeT		Spiraea betulifolia 'Tor'	Tor Birchleaf Spirea	18" - Cont	6
6	SyPe		Syringa x 'Perida'	Blooming Purple Lilac	18" - 24" - Cont	6
26	VicaSI		Viburnum carlesii 'J.N. Select A'	Spice Island Koreanspice Viburnum	24" - Cont	6
10	WeLSBP		Weigela florida 'Sonic Bloom Punch'	Sonic Bloom Punch Weigela	18" - Cont	6

Quantity	Code Name	Symbol	Scientific Name	Common Name	Planting Size	Comments
20	IlvePB		Ilex verticillata 'Berry Poppins'	Berry Poppins Winterberry	18" - Cont	6

Quantity	Code Name	Symbol	Scientific Name	Common Name	Planting Size	Comments
9	JuchMJ		Juniperus chinensis 'Mint julep'	Mint julep juniper	18" - 24" - B&B	6
3	JuscM		Juniperus scopulorum 'Medora'	Medora Juniper	4' - 5' - B&B	5
16	JupISG		Juniperus x pfitzeriana 'MonSan'	Sea of Gold Juniper	24" - Cont	6
3	ThocB		Thuja occidentalis 'Bobazam'	Mr. Bowling Ball Arborvitae	18" - Cont	6

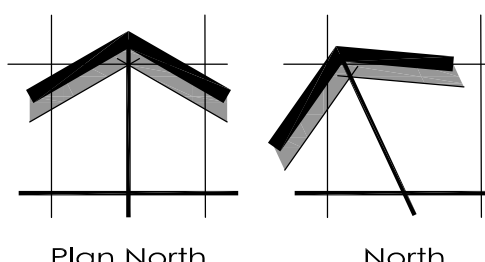
Quantity	Code Name	Symbol	Scientific Name	Common Name	Planting Size	Comments
102	MisLK		Miscanthus sinensis 'Little Kitten'	Little Kitten Maiden Grass	1-Gal - Cont	7
12	PavHR		Panicum virgatum 'Hot Rod'	Hot Rod Switch Grass	1-Gal - Cont	7
40	PavIN		Panicum virgatum 'Northwind'	Northwind Switch Grass	1-Gal - Cont	7
56	PavE		Panicum virgatum 'Shenandoah'	Shenandoah Switch Grass	1-Gal - Cont	7
34	SpheT		Sporobolus heterolepis 'Tara'	Tara Prairie Dropseed	1-Gal - Cont	7

Quantity	Code Name	Symbol	Scientific Name	Common Name	Planting Size	Comments
42	HePMI		Hemerocallis 'Persian Market'	Persian Market Daylily	1-Gal - Cont	7
47	HeVS		Hemerocallis 'Varety is the Spice'	Varety is the Spice Daylily	1-Gal - Cont	7
48	HevM		Heuchera x villosa 'Mocha'	Mocha Coral Bells	1-Gal - Cont	7
21	Hog		Hosta x Guacamole	Guacamole Plantain Lily	1-Gal - Cont	7

Comments

1. Straight central leader, full & even crown. Prune only after planting.
2. Well balanced, multi-stemmed tree with a minimum of (3) strong canes and full appearance.
3. Prune existing tree, remove any dead, diseased or hazardous limbs. Thin out as required and raise canopy for safety and viability for both pedestrians and motorists.
4. Remove tree in its entirety and grind stump to a minimum of 6" below adjacent grade. Remove grinding chips and fill hole with topsoil. Sow with specified turf grass seed as required.
5. Evenly shaped upright tree/shrub with full branching to the ground.
6. Full, well rooted plant, evenly shaped.
7. Full, well rooted plant.
8. Male only
9. Tree-form, Single Stem Specimen

SCALE: 1" = 20'-0"



1 PROPOSED PERIMETER FOUNDATION AND BUFFER LANDSCAPE PLAN



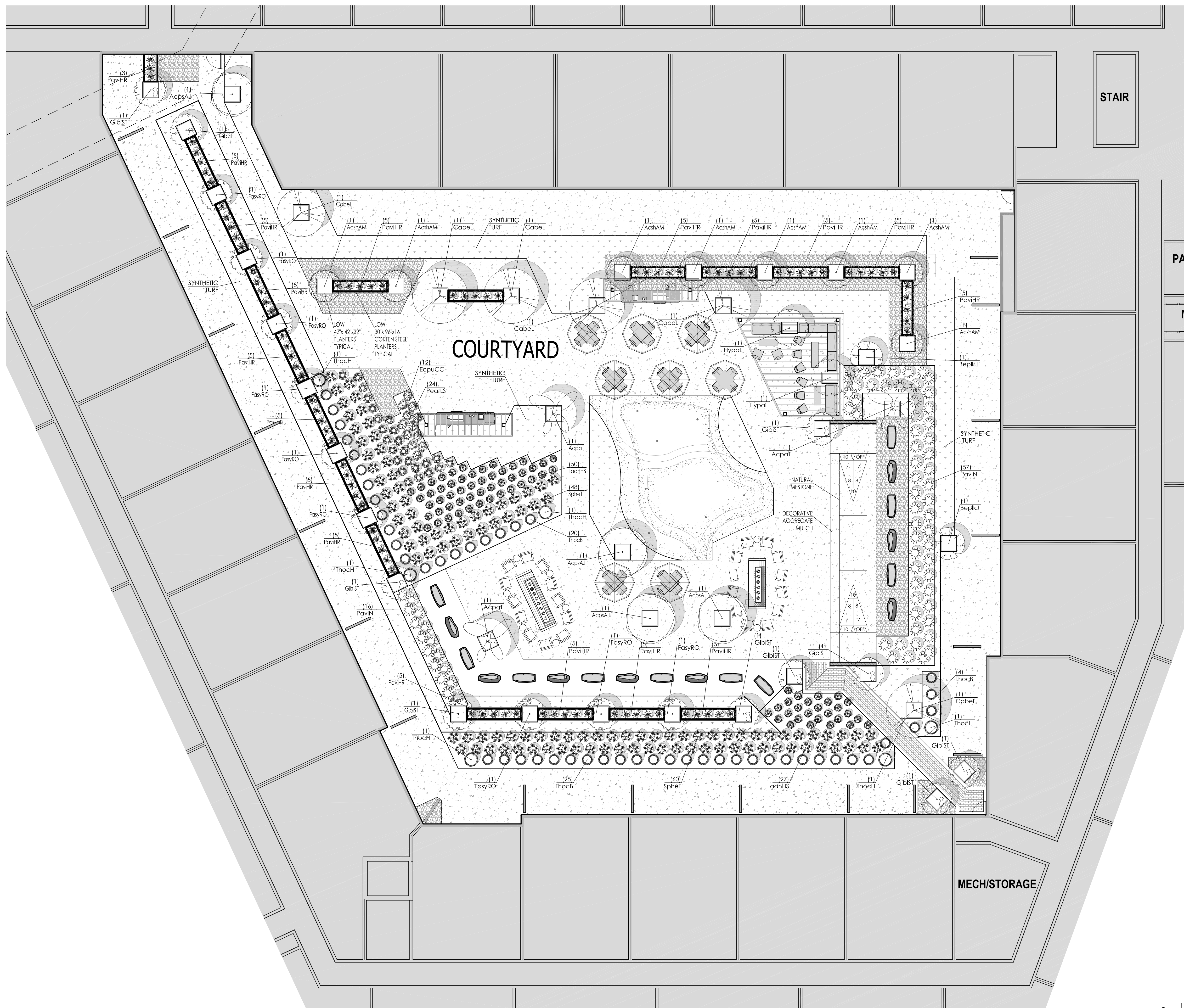
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ARCHITECT:**
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PROPOSED COURTYARD LANDSCAPE
PLAN AND PLANT MATERIAL TABLE


LSP1.2






1




PROPOSED LANDSCAPE PLAN

Broadleaf Deciduous Tree						
Quantity	Code Name	Symbol	Scientific Name	Common Name	Planting Size	Comments
3	AcPaT		<i>Acer palmatum</i> var. <i>dissectum</i> 'Tamukeyama'	Tamukeyama Japanese Maple	60" - Cont	1
4	AcArJ		<i>Acer x pseudosieboldianum</i> 'Arctic Jade'	Arctic Jade Korean Maple	60" - Cont	1
8	AcShAM		<i>Acer shirasawanum</i> 'Autumn Moon'	Autumn Moon Fullmoon Maple	40" - Cont	1
1	BaPaJ		<i>Betula papyrifera</i> 'Jellicoe'	Jefferson Pile Birch	6" - B&B	1
6	CaBel		<i>Cornus betulus</i> 'Lucas'	Lucas Columnar European Hornbeam	1 1/2' Cal - B&B	1
10	FaSyRO		<i>Fagus sylvatica</i> 'Red Abellii'	Red Abellii Beech	6" - B&B	1
9	GIBST		<i>Ginkgo biloba</i> 'JINP' Sky Tower	Sky Tower Ginkgo	6" - B&B	1, 6

Broadleaf Deciduous Shrub						
Quantity	Code Name	Symbol	Scientific Name	Common Name	Planting Size	Comments
2	HypaL		Hydrangea paniculata 'Limelight'	Limelight Hardy Hydrangea	5' - Cont	7

Conifer Evergreen Shrub						
Quantity	Code Name	Symbol	Scientific Name	Common Name	Planting Size	Comments
49	ThocB	⊙	Thuja occidentalis 'Bobazam'	Mr. Bowling Ball Arborvitae	18" - Cont'	4
6	ThocH	⊙	Thuja occidentalis 'Holmstrup'	Holmstrup Dwarf Arborvitae	2' - 3' - Cont'	3

Perennial Grass						
Quantity	Code Name	Symbol	Scientific Name	Common Name	Planting Size	Comments
94	PavIR		Panicum virgatum 'Hot Rod'	Hot Rod Switch Grass	1-Gal - Cont	
70	PavIN		Panicum virgatum 'Northwind'	Northwind Switch Grass	1-Gal - Cont	
108	SpheT		Sporobolus heterolepis 'Tara'	Tara Prairie Dropseed	1-Gal - Cont	

Parental						
Quantity	Code Name	Symbol	Scientific Name	Common Name	Planting Site	Comments
12	EcpuCC		<i>Echinacea purpurea</i> 'Coral Craze'	Coral Craze Coneflower	1-Gal - Cont	
77	LaanHS		<i>Lavandula angustifolia</i> 'Hidcote Superior'	Hidcote Superior English Lavender	1-Gal - Cont	
24	PeatLS		<i>Perovskia atriplicifolia</i> 'Little Spire'	Little Spire Russian Sage	1-Gal - Cont	

Comments

1. Straight central leader, full & even crown. Prune only after planting.
2. Well balanced, multi-stemmed tree with a minimum of (3) strong canes and full appearance.
3. Evenly shaped upright tree/shrub with full branching to the ground.
4. Full, well rooted plant, evenly shaped.
5. Full, well rooted plant.
6. Male only
7. Tree-form, Single Stem Specimen



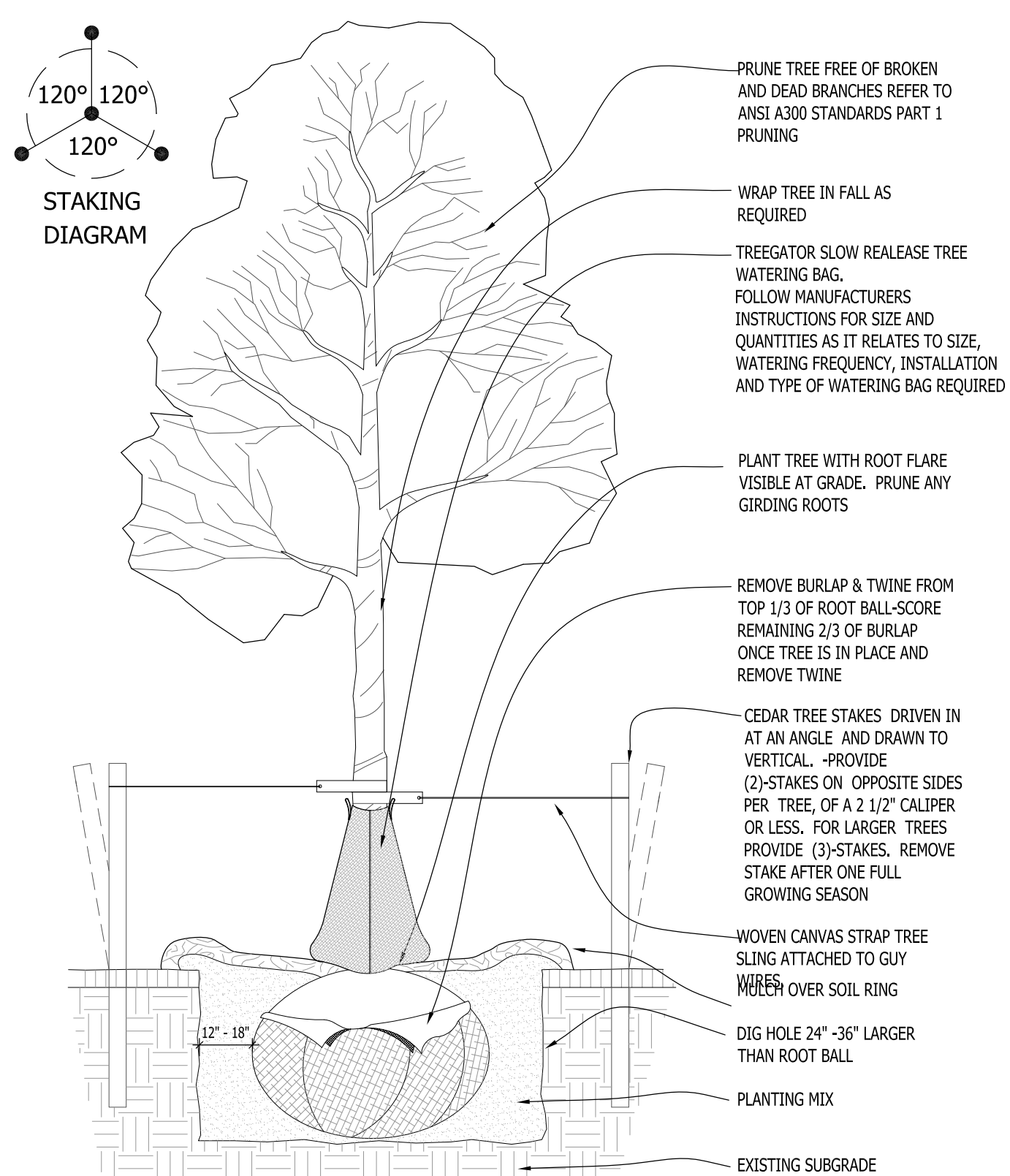


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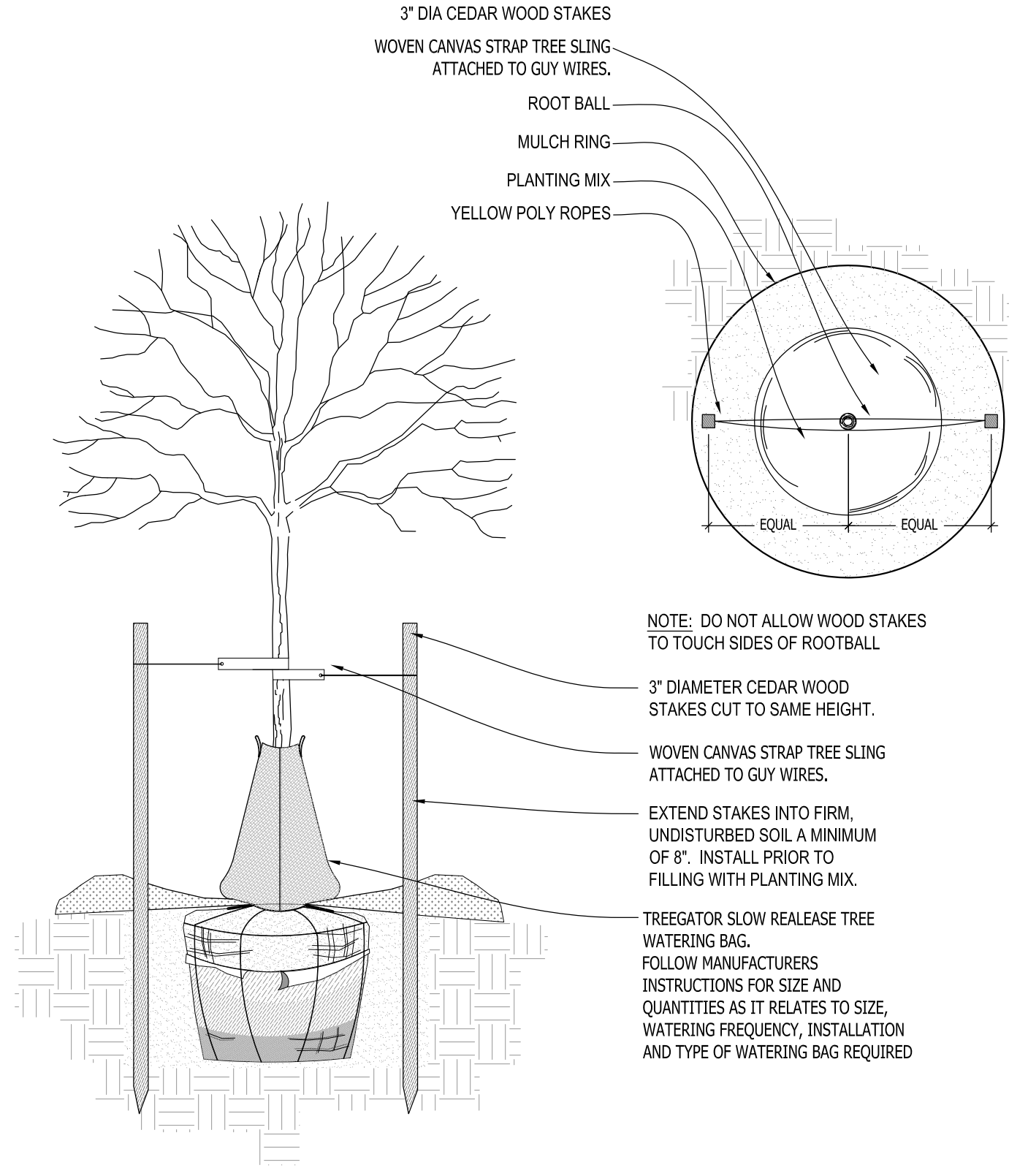
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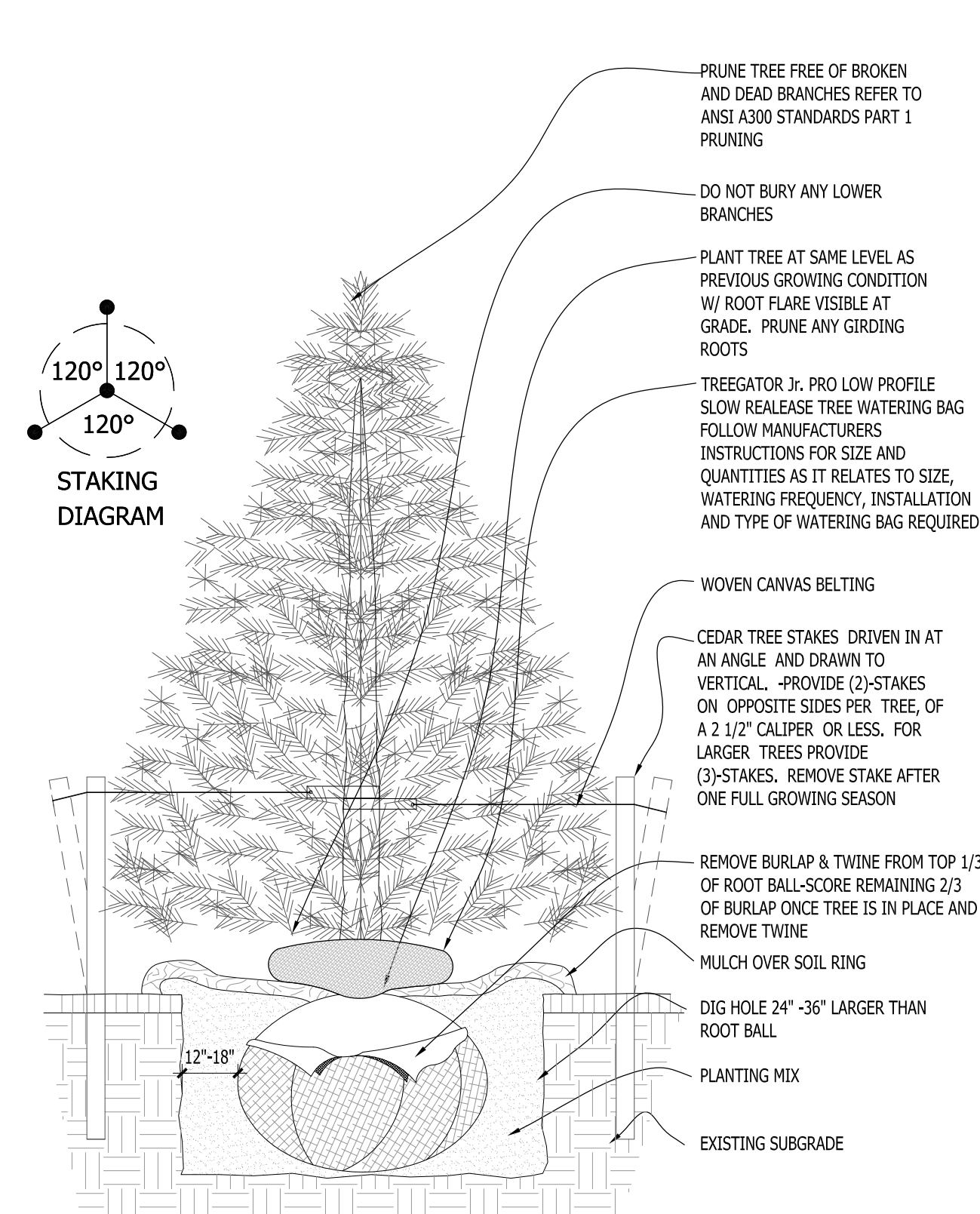
1 DECIDUOUS TREE PLANTING DETAIL

SCALE: NONE



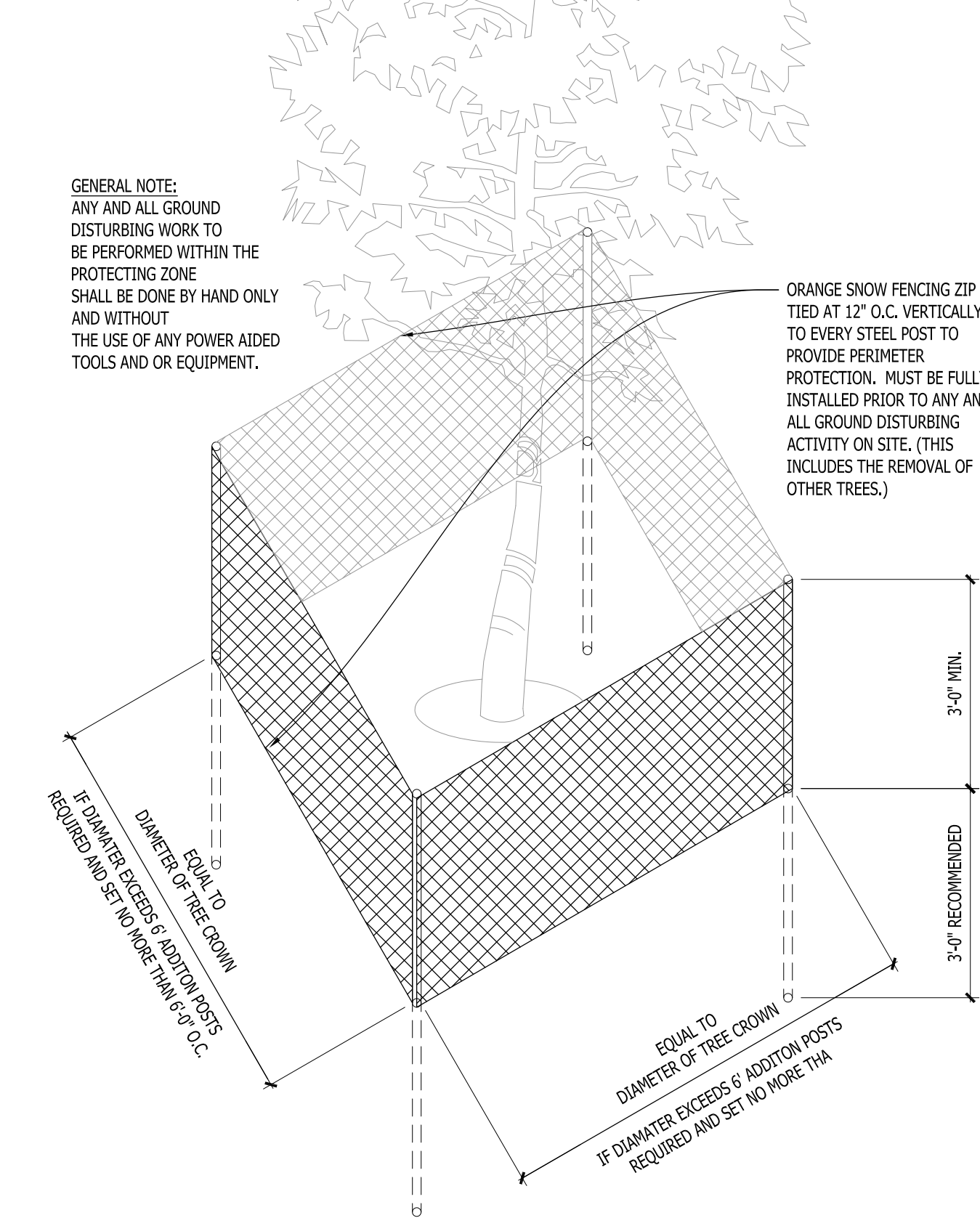
2 DECIDUOUS TREE STAKING
PARKING ISLAND/RESTRICTED AREAS

SCALE: NONE



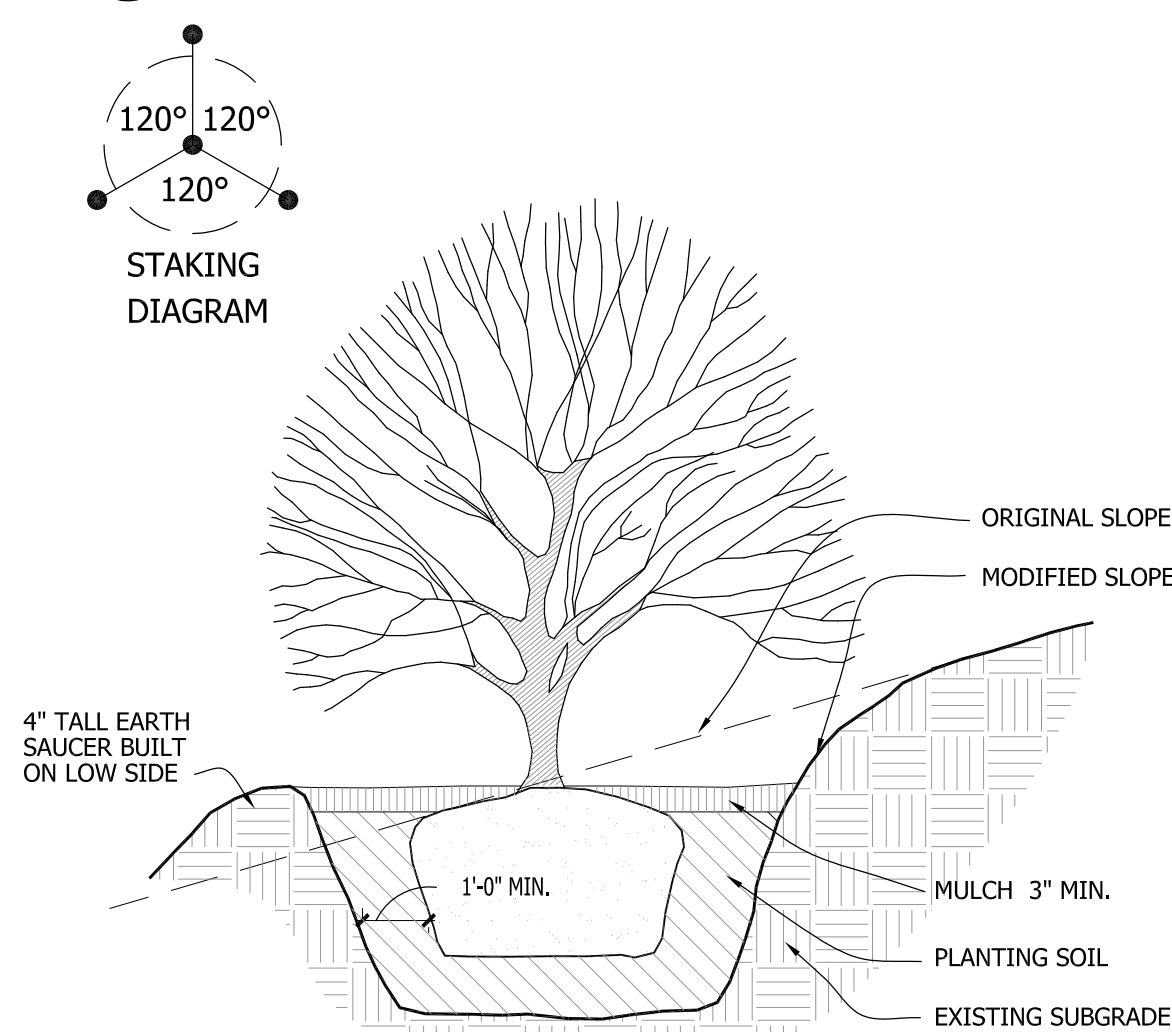
3 CONIFEROUS TREE PLANTING DETAIL

SCALE: NONE



4 EXISTING TREE PROTECTION DETAIL

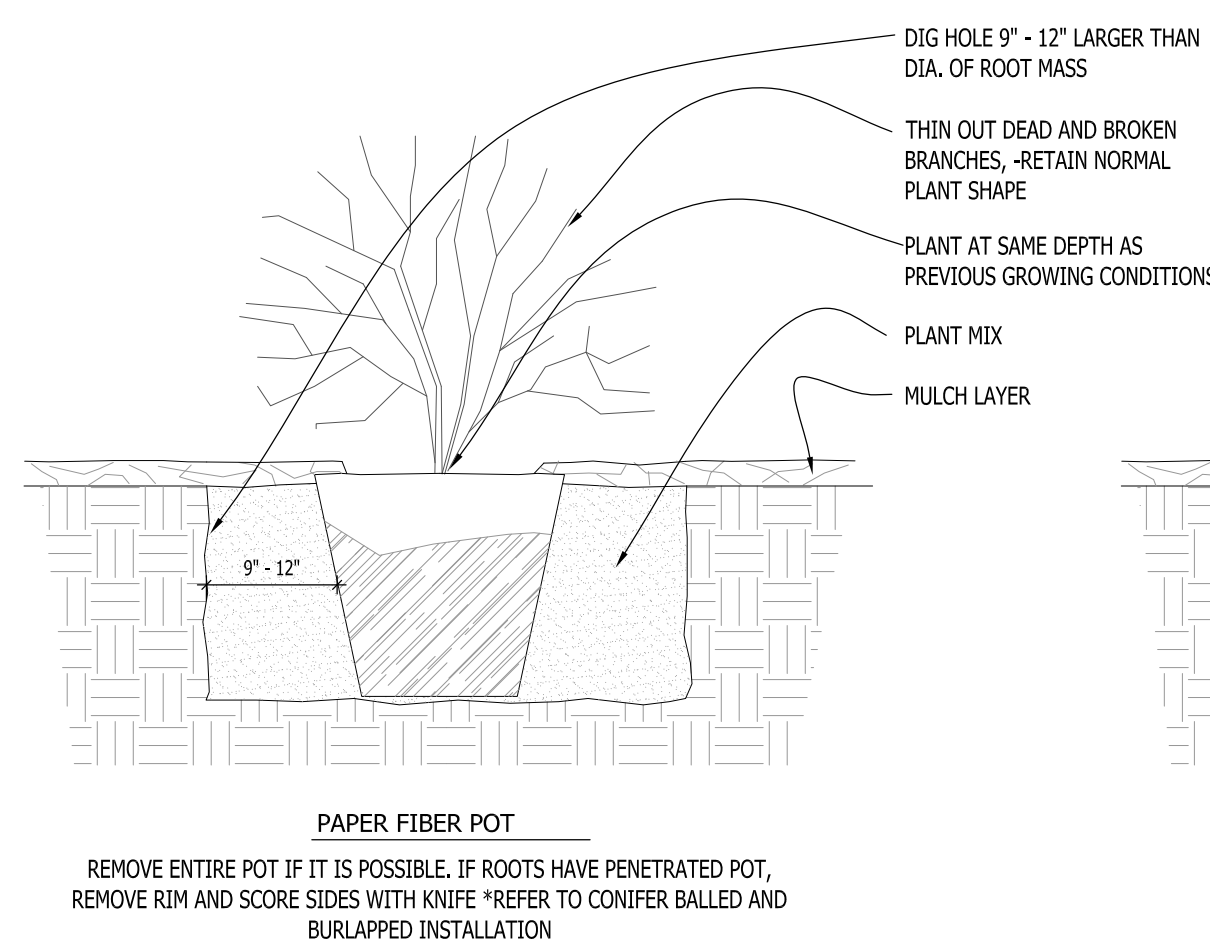
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5 SLOPE PLANTING DETAIL

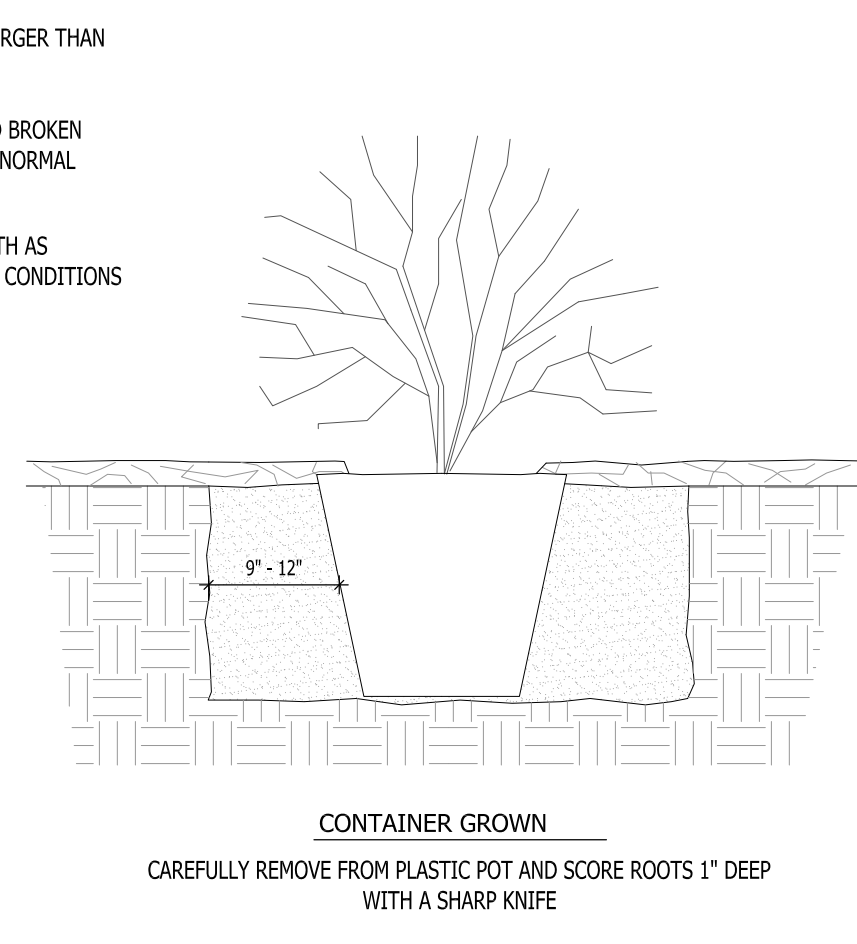
REFER TO TYPICAL DECIDUOUS TREE DETAIL FOR STAKING

SCALE: NONE



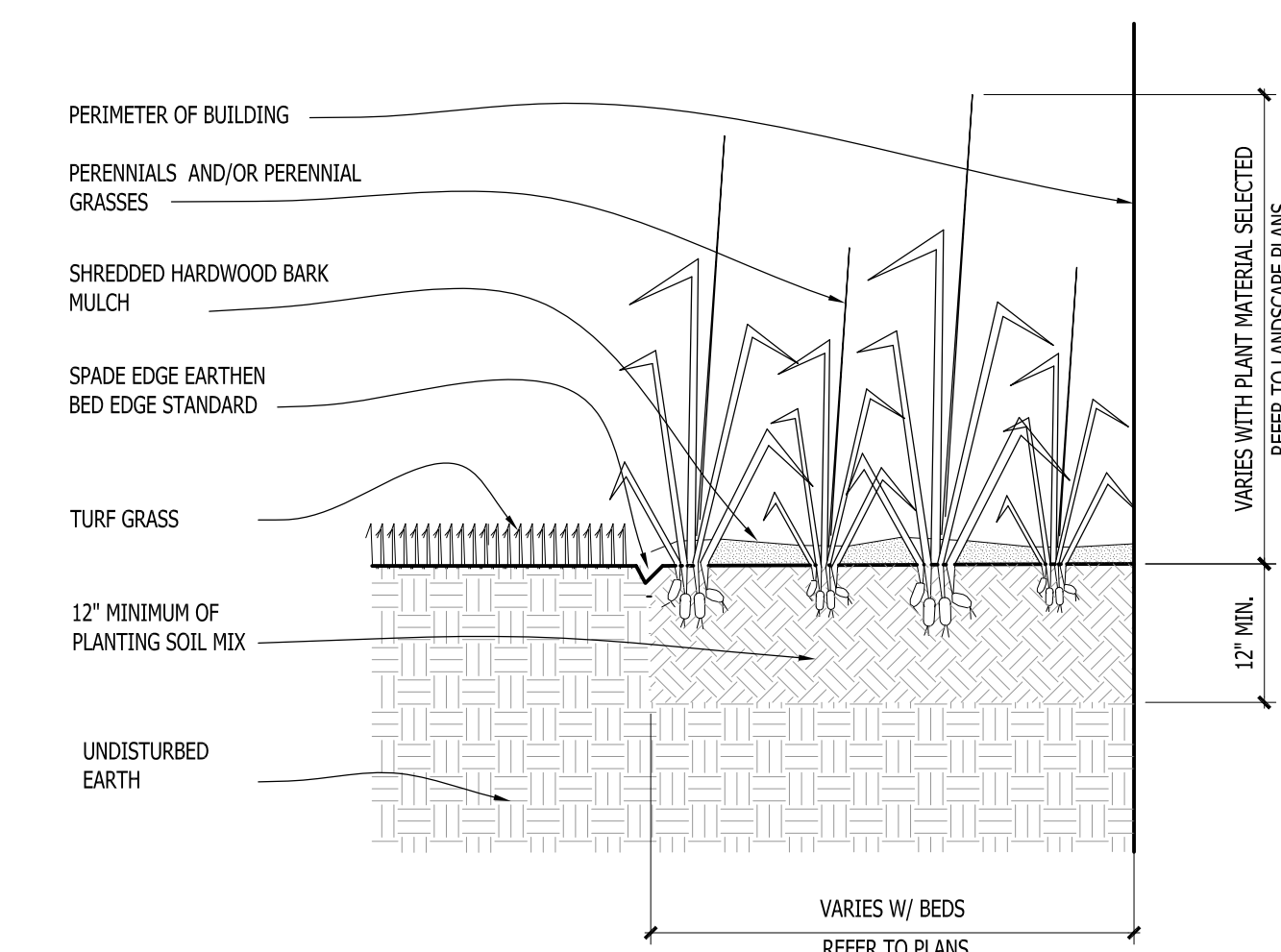
6 DECIDUOUS SHRUB PLANTING DETAIL

SCALE: NONE



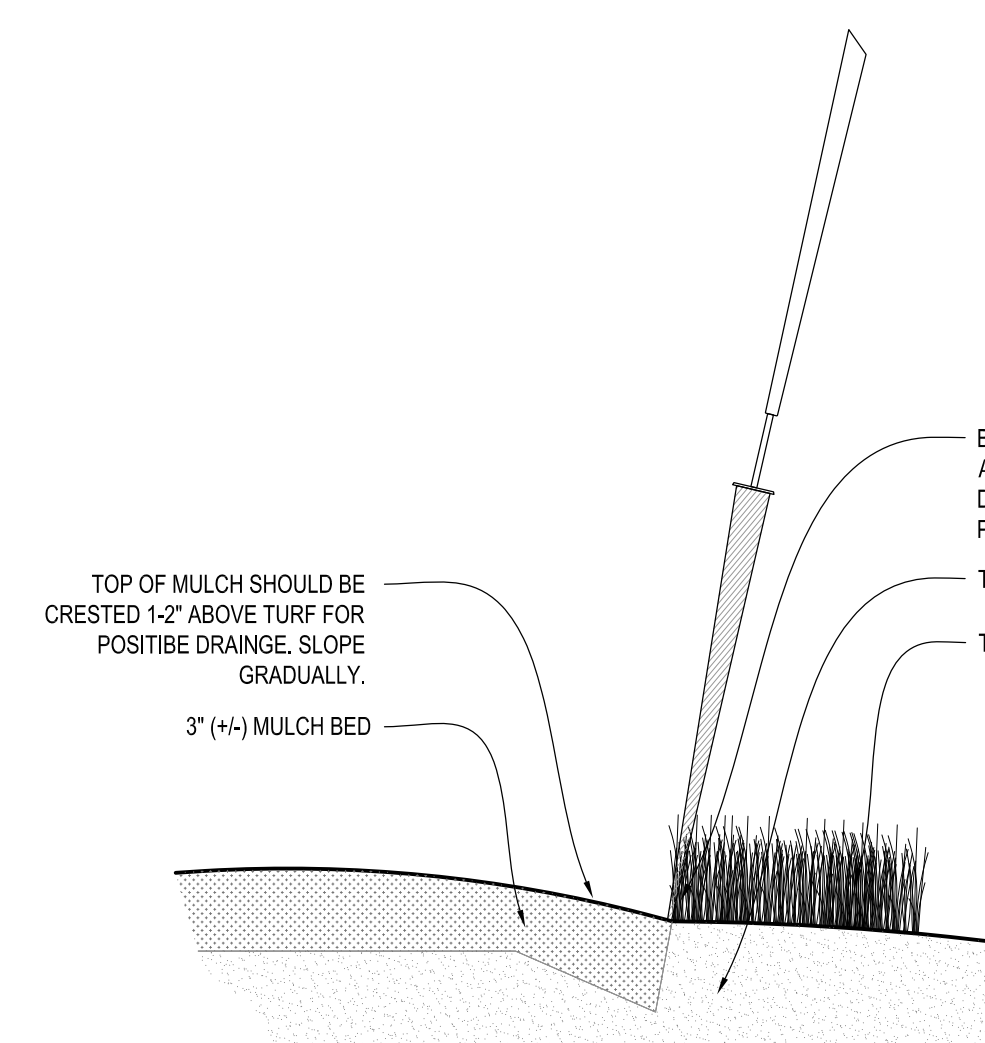
7 CONIFEROUS SHRUB PLANTING DETAIL

SCALE: NONE



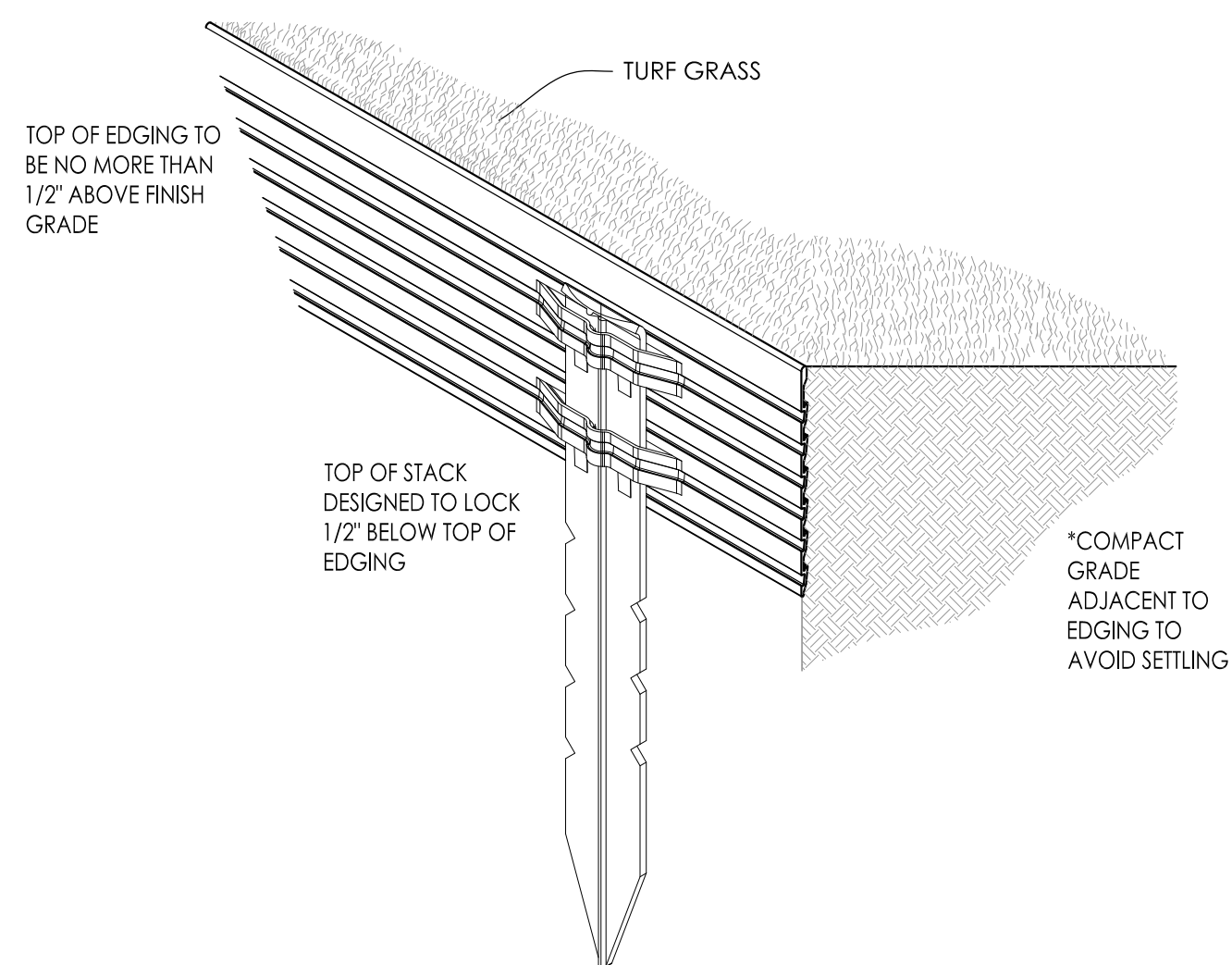
8 PERENNIAL BED PLANTING DETAIL

SCALE: NONE



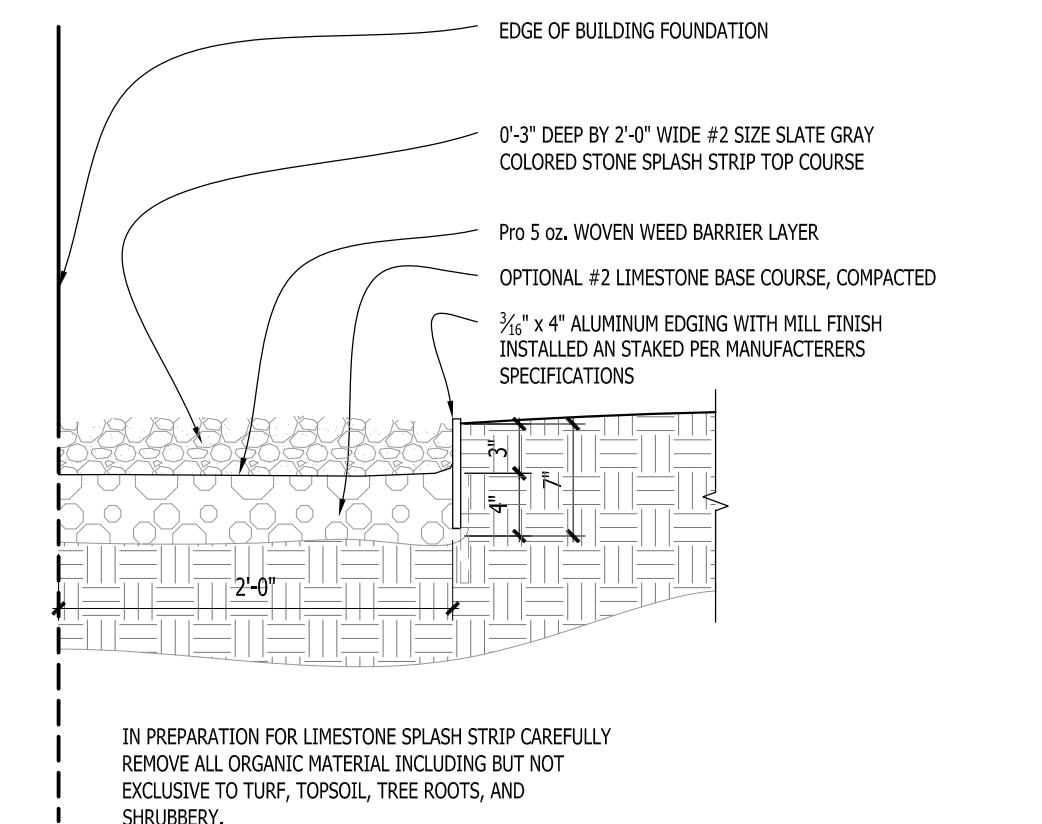
9 SPADE EDGE PLANT BED EDGE DETAIL

SCALE: NONE



10 METAL LANDSCAPE EDGING DETAIL

SCALE: 1/2\"/>



11 COMPACTED GRAVEL SPLASH STRIP

SCALE: 1\"/>

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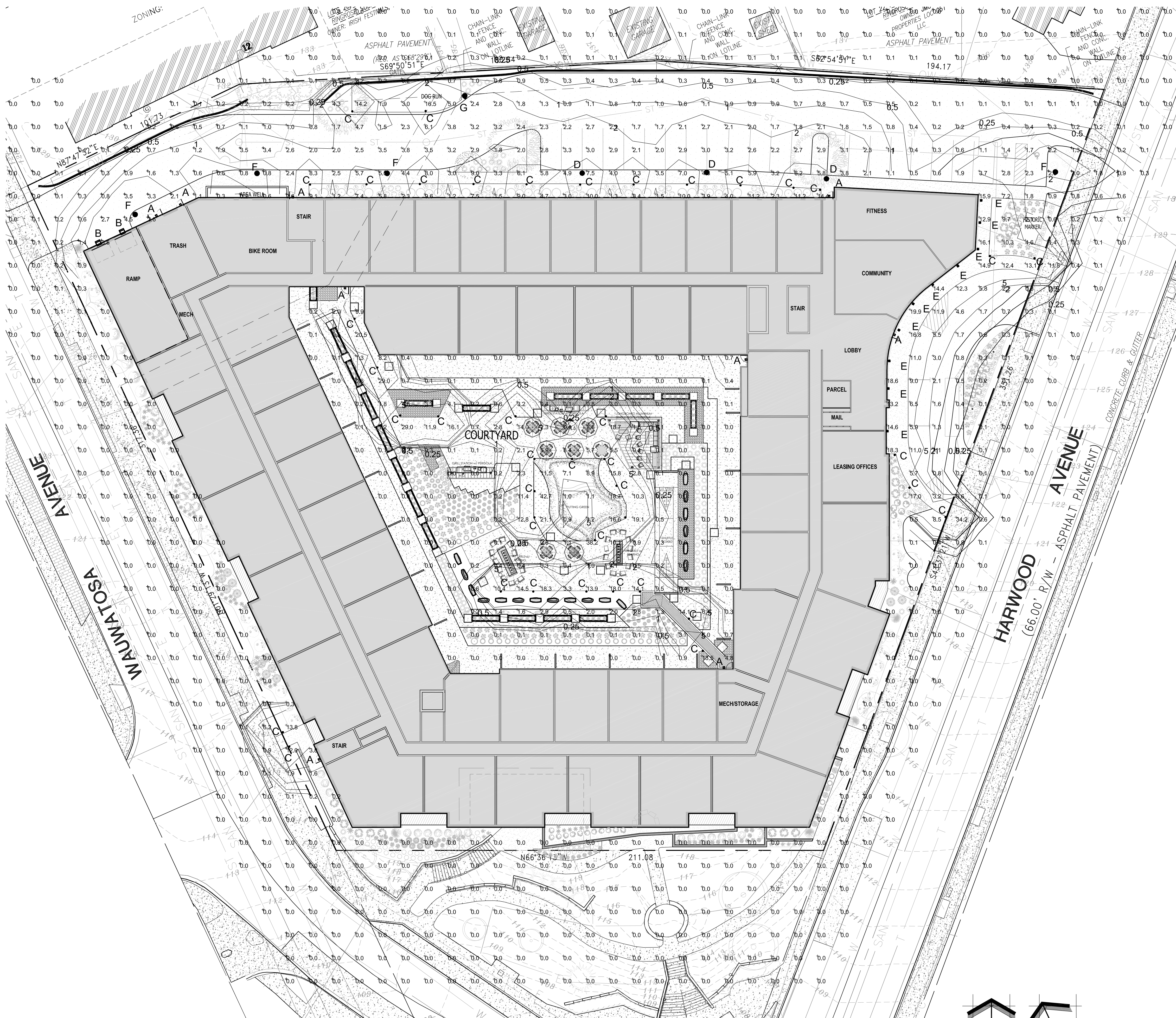
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PROPOSED LANDSCAPE PLAN
PLANTING DETAILS

LSP1.4



1 PROPOSED PHOTOMETRIC LIGHT LEVELS CALCULATIONS PLAN

PHOTOMETRIC PLAN GENERAL NOTES

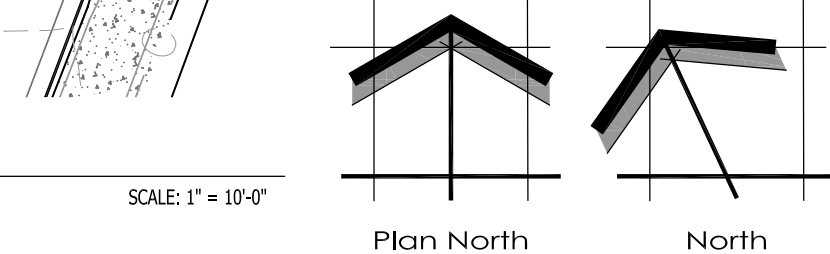
1. BASED ON THE INFORMATION PROVIDED, ALL DIMENSIONS AND LUMINAIRE LOCATIONS SHOWN REPRESENT RECOMMENDED POLE PLACEMENTS AND LUMINAIRE ORIENTATION. THE ENGINEER AND/OR ARCHITECT MUST DETERMINE APPLICABILITY OF THE LAYOUT TO RELEVANT FIELD CONDITIONS.
2. THE DEPICTED ILLUMINATION RESULTS ARE BASED UPON ILLUMINATION MEASUREMENTS AS CALCULATED BY AN INDEPENDENT LABORATORY. LUMINAIRE CHARACTERISTICAL DATA WAS MEASURED UNDER CONTROLLED CONDITIONS IN ACCORDANCE WITH APPROVED ILLUMINATION ENGINEERING SOCIETY METHODS. ACTUAL ON-SITE PERFORMANCE OF ANY MANUFACTURERS LUMINAIRES MAY VARY FROM LABORATORY TEST RESULTS DUE TO VARIATIONS IN ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS, AND OTHER VARIABLE FIELD CONDITIONS.
3. IF EXISTING LUMINAIRES ARE INCLUDED IN THIS REPORT, THEIR ILLUMINATION CHARACTERISTICS ARE BASED UPON A COMBINATION OF CUSTOMERS PROVIDED SPECIFICATIONS & OUR BEST ESTIMATION.
4. ALL EXISTING AND NEW CONCRETE LIGHT POLE BASES ARE TO HAVE ALL FORM MARKS REMOVED, GROUND FLUSH AND THE SURFACE IS TO BE PROPERLY PREPARED TO RECEIVE A HAND TROWELED, MASONRY SKIN COAT OF APPROPRIATE THICKNESS TO ACHIEVE A DURABLE SURFACE AND LONG LASTING AESTHETIC.

EXISTING CONDITIONS GENERAL NOTES

1. INFORMATION PERTAINING TO EXISTING CONDITIONS GIVEN ON THESE ARCHITECTURAL DRAWINGS REPRESENTS TO THE BEST OF OUR KNOWLEDGE THE ACTUAL EXISTING FIELD CONDITIONS. INSITE LANDSCAPE DESIGN, INC. MAKES NO WARRANTY AS TO THEIR ACCURACY. CONTRACTOR TO FIELD VERIFY EXISTING CONDITIONS IMPERATIVE TO THEIR NEW WORK. REPORT ANY DISCREPANCIES BETWEEN THE DRAWINGS AND FIELD CONDITIONS TO THE LANDSCAPE ARCHITECT FOR REVIEW. ANY WORK PERFORMED PRIOR TO RESOLUTION OF DISCREPANCIES BY THE LANDSCAPE ARCHITECT IS SUBJECT TO REMOVAL AND REPLACEMENT AT NO ADDITIONAL COST TO THE CONTRACT.
2. VERIFY LOCATION OF ALL EXISTING UNDERGROUND UTILITIES I.E. WATER, SEWER, ELECTRICAL, TELECOMMUNICATION AND ACCESS PANELS FOR ALL UTILITIES AND ALL ASSOCIATED EQUIPMENT FOR ACCESSIBILITY OF THOSE ITEMS.
3. VERIFY ALL EXISTING CONDITIONS, DIMENSIONS, AND ALIGNMENT OF WALLS, BRING ANY DISCREPANCIES TO THE LANDSCAPE ARCHITECTS ATTENTION PRIOR TO FABRICATION / CONSTRUCTION BEGINS.

LUMINAIRE SCHEDULE

Symbol	Label	Qty	Catalog Number	Description	Lamp	File	Lumens	LLF	Watts
	A	9	WPLED13	WITH DIFFUSE REFLECTOR AND CLEAR FLAT GLASS LENS	LUMINAIRE OUTPUT = 1711 LMS.	Is25613.Jes	Absolute	1.00	14.8
	B	2	WPLED18	WITH DIFFUSE REFLECTOR AND CLEAR FLAT GLASS LENS	LUMINAIRE OUTPUT = 2859 LMS.	Is25618.Jes	Absolute	1.00	21
	C	41	RT4xx-26L40T3-MDL05-CA	RT400 Series Rialta Light Column, Type 3, Clear Acrylic Lens	26 LEDs	RT4xx-26L-40-T3-MDL05-CA.Jes	Absolute	1.00	46.8
	D	3	ML660-16L40T4-MDL018-CA-BLOC	Medium size Milenia Post Top fixture, Clear Acrylic Flat-BLOC, T4	4x per board	ML660-16L40T4-MDL018-CA-BLOC.Jes	Absolute	1.00	78.4
	E	10	ECLS01_ASSM730-120-277V	EVOLVE CANOPY LED SOFFIT - ECLS01	LED	ECLS01_ASSM730-120-277V.Jes	Absolute	1.00	39
	F	4	ML660-12L40T2-MDL008-CA	Medium size Milenia Post Top fixture, Clear Acrylic Flat, T2	4x per board	ML660-12L40T2-MDL008-CA.Jes	Absolute	1.00	26.2
	G	1	ML660-16L40T4-MDL018-CA-BLOC	Medium size Milenia Post Top fixture, Clear Acrylic Flat-BLOC, T4	4x per board	ML660-16L40T4-MDL018-CA-BLOC.Jes	Absolute	1.00	78.4



STATISTICS

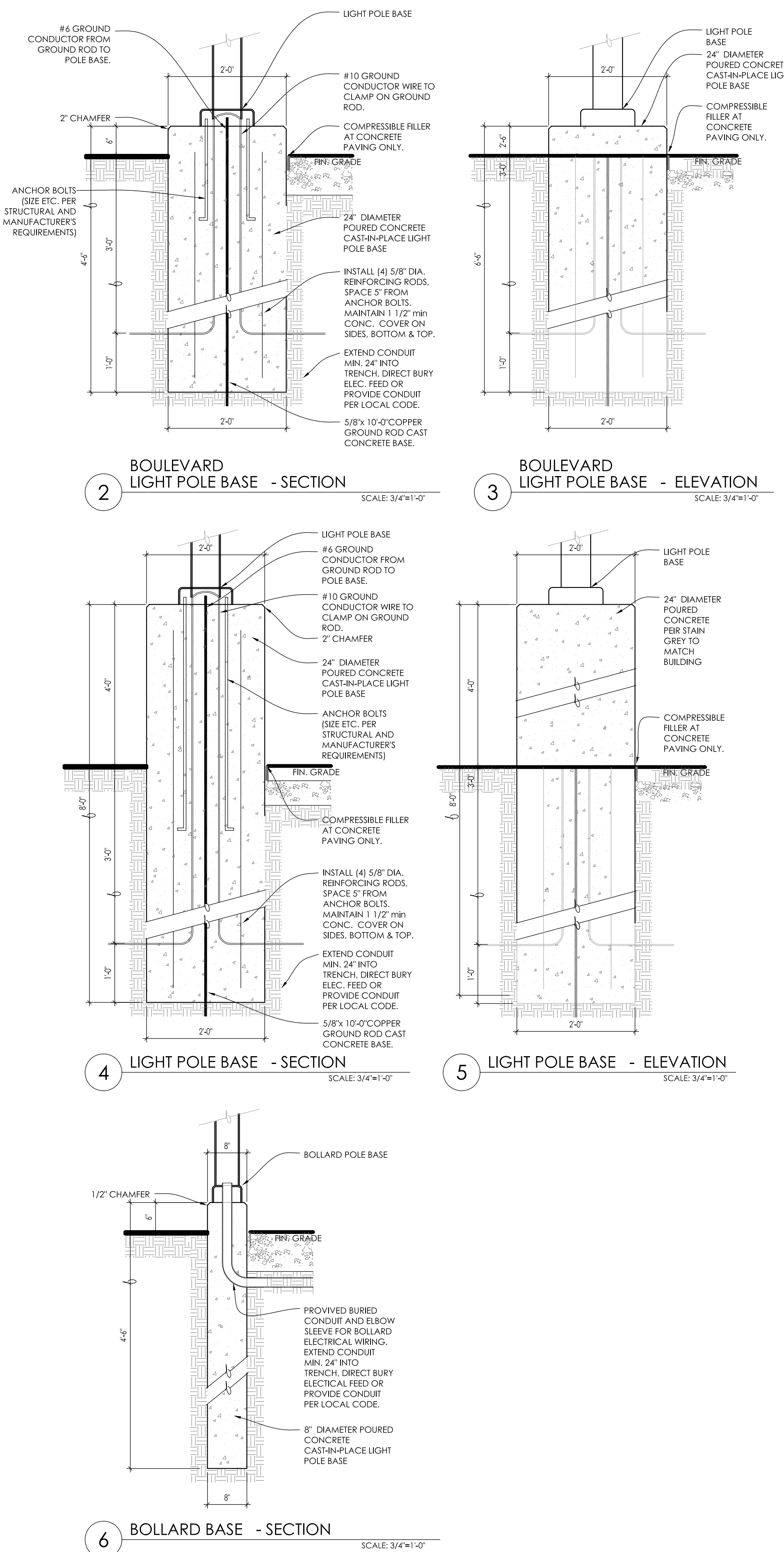
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Calc Zone #1	+	1.8 fc	19.9 fc	0.0 fc	N / A	N / A

LUMINAIRE NOTES

1. FIXTURE "D" (3) NEW MILLENNIA POST TOP ARM MOUNTED POLE FIXTURES (TWIN HEAD AND ARMS) TO BE INSTALLED ON AN NEW 3" x 16'-0" STRAIGHT SMOOTH SQUARE POLE WITH URBAN BRONZE MATTE FINISH (FIELD VERIFY TO MATCH EXISTING CITY FIXTURES). MOUNTED AND INSTALLED ON A NEW 0'-6" POURED CONCRETE LIGHT POLE BASE.
2. FIXTURE "P" (4) NEW MILLENNIA POST TOP MOUNTED POLE FIXTURES (TWIN HEAD AND ARMS) TO BE INSTALLED ON AN NEW 3" x 16'-0" STRAIGHT SMOOTH SQUARE POLE WITH URBAN BRONZE MATTE FINISH (FIELD VERIFY TO MATCH EXISTING CITY FIXTURES). MOUNTED AND INSTALLED ON A NEW 0'-6" POURED CONCRETE LIGHT POLE BASE FOUNDATION.
3. FIXTURE "T" (1) NEW MILLENNIA POST TOP ARM MOUNTED POLE FIXTURES (TWIN HEAD AND ARMS) TO BE INSTALLED ON AN NEW 3" x 16'-0" STRAIGHT SMOOTH SQUARE POLE WITH URBAN BRONZE MATTE FINISH (FIELD VERIFY TO MATCH EXISTING CITY FIXTURES). MOUNTED AND INSTALLED ON A NEW 2'-4" POURED CONCRETE LIGHT POLE BASE FOUNDATION.
4. FIXTURE "C" (41) NEW ARTIFICIAL BOLLARD TO BE MOUNTED AND INSTALLED ON A NEW 0'-6" POURED CONCRETE BOLLARD BASE FOUNDATION.
5. ALL NEW PROPOSED AREA LIGHT POLES SHALL BE LOCATED 3'-0" FROM BACK OF CURB TO THE EDGE (WHERE APPLICABLE) OR FACE OF THE REINFORCED LIGHT POLE BASE UNLESS NOTED OTHERWISE.
6. INSTALLATION CONTRACTOR TO REFER TO ELECTRICAL PLANS FOR CONDUIT ROUTING OF LIGHT POLES AND SIGNAGE LIGHTING CONTROL AND WIRING.
7. CONTRACTOR TO REFER TO REINFORCED LIGHT POLE BASE SECTIONS AND DETAILS FOR FURTHER INFORMATION.
8. ALL NEW CONCRETE LIGHT POLE BASES ARE TO HAVE ALL EXPOSED FORM MARKS REMOVED, GROUND FLUSH AND THE SURFACE IS TO BE PROPERLY PREPARED TO RECEIVE A HAND TROWELED, MASONRY SKIN COAT OF APPROPRIATE THICKNESS TO ACHIEVE A DURABLE SURFACE AND LONG LASTING AESTHETIC.
9. ALL BUILDING MOUNTED LIGHT FIXTURES ARE FOR REFERENCE ONLY AND ARE TO BE COORDINATED WITH THE ARCHITECTURAL ELEVATIONS AND ELECTRICAL DRAWINGS FOR EXACT MOUNTING HEIGHTS, LOCATIONS AND QUANTITIES.

THIS LIGHTING PLAN REPRESENTS ILLUMINATION LEVELS ARE CALCULATED VALUES INCLUDE DIRECT AND INTER-REFLECTED COMPONENTS.

THIS LIGHTING PLAN REPRESENTS ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA TAKEN UNDER CONTROLLED CONDITIONS IN ACCORDANCE WITH THE ILLUMINATING ENGINEERING SOCIETY (IES) APPROVED METHODS. ACTUAL PERFORMANCE OF ANY MANUFACTURERS LUMINAIRES MAY VARY DUE TO CHANGES IN ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS, AND OTHER VARIABLE FIELD CONDITIONS. CALCULATIONS DO NOT INCLUDE OBSTRUCTIONS SUCH AS BUILDINGS CURBS, LANDSCAPING, OR ANY OTHER ARCHITECTURAL ELEMENTS UNLESS NOTED.



PROJECT:
7474 HARWOOD
7474 HARWOOD BLVD
WAUWATOSA, WI 53213

OWNER:
THREE LEAF PARTNERS
504 WEST JUNEAU
MILWAUKEE, WI 53203

ARCHITECT:
KORB + ASSOCIATES
ARCHITECTS
648 N. PLANKINTON AVE,
SUITE 240
MILWAUKEE, WI 53203

CIVIL ENGINEER:
TRIO
4100 N CALHOUN RD
STE 300
BROOKFIELD, WI 53005

LANDSCAPE ARCHITECT:
INSITE LANDSCAPE DESIGN INC.
11525 W NORTH AVE
WAUWATOSA, WI 53226

DATE	REVISION
------	----------

DESIGN REVIEW - NOT FOR CONSTRUCTION

TO OBTAIN LOCATION OF PARTICIPANT'S UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN

DIGGERS HOT LINE

WISCONSIN STATUTE 182.0735 (1974) REQUIRES A MINIMUM OF 3 DAYS NOTICE BEFORE YOU EXCAVATE (NOT INCLUDING SATURDAY, SUNDAY OR LEGAL HOLIDAYS)

UNDERGROUND SEWER AND UTILITY INFORMATION AS SHOWN IS OBTAINED FROM THE RECORDS OF MUNICIPALITY AND LOCAL UTILITY COMPANIES. THE ACCURACY OF WHICH CAN NOT BE GUARANTEED OR CERTIFIED TO. THE LOCATION OF EXISTING UTILITY INSTALLATIONS AS SHOWN ON THIS SURVEY ARE APPROXIMATE. THERE MAY BE OTHER UNDERGROUND UTILITY INSTALLATIONS WITHIN THE PROJECT AREA THAT ARE NOT SHOWN.

TO OBTAIN LOCATION OF PARTICIPANT'S UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN CALL THE MILWAUKEE UTILITY ALERT NETWORK
www.diggershotline.com
(800) 242-6511
OR
811

Know what's below. Call 811 before you dig.

PROJECT NO.	24004.01
SCALE:	1" = 10'-0"
PHASE:	DESIGN REVIEW
BOARD SUBMISSION	
DATE:	4.9.2024

PROPOSED PHOTOMETRIC LIGHT LEVEL CALCULATIONS PLAN, GENERAL NOTES, AND LIGHT FIXTURE TABLE

PHO1.1

EVOLVE

CUSTOMER NAME

PROJECT NAME

DATE

CATALOG NUMBER

TYPE

ECLS Soffit

LED Canopy Light

The Evolve® Canopy LED Soffit (ECLS) offers energy efficiency and quality of light in a sleek low-profile look and style. The ECLS features a diffused aperture which spreads the source lumens for even light distribution and low glare. To be used for sealed dock applications only (enclosed canopy or soffit).

Construction

Housing

Aluminum die cast enclosure

Integral heat sink for maximum heat transfer

Lens

Impact resistant tempered glass

Corrosion resistant polyester powder paint, minimum 2.0 mil thickness

Standard = Black, Dark Bronze Gray, White (RAL & custom colors available)

Weight:

10 lbs (4.5 kg) - 12.5 lbs (5.7 kg)

Lumen Maintenance

Projected Lux per ECLS TM-20-20 at:

LUMEN CODE

DELIVERY

80000hrs

60000hrs

50000hrs

TS

L96

L92

L91

AS

L95

L93

L92

BS

L95

L93

L92

Luminaires Ambient Temperature Factor

AMBIENT FACTOR

ANNUAL FACTOR

AMBIENT FACTOR

ANNUAL FACTOR

10

1.02

30

0.99

20

1.01

40

0.98

25

1.00

50

0.97

Optical System

Lumens:

3400 - 7200

Distribution:

Symmetric Medium

Efficacy:

119 - 138 LPW

CCT:

3000K, 4000K, 5000K

CRI:

>90

Electrical

Input Voltage:

100-277V & 347V

Input Frequency:

50/60Hz

Power Factor:

>90% at rated watts

Total Harmonic Distortion:

<20% at rated watts

Surge Protection:

Standard Surge 6KV/3KA

Warranty

5 Year (Standard)

Current

LED.com

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Page 8 of 7

Rev 06/2020

0UP30A_005

21GE EVOLVE ECLS SERIES CANOPY/SOFFIT LUMINARIES

EVOLVE

ECLS Soffit

LED Canopy Light

The Evolve® Canopy LED Soffit (ECLS) offers energy efficiency and quality of light in a sleek low-profile look and style. The ECLS features a diffused aperture which spreads the source lumens for even light distribution and low glare. To be used for sealed dock applications only (enclosed canopy or soffit).

Ordering Information

ECLS 01

SM

7

PROJ. NO.

REV.

VOLAGE

OPTIC CODE

DISTRIBUTOR

CR. NAME

CCT

REMARKS

CONTROLS

WARRANTY

COLOR

OPTIONS

1. ECLS 01

1. ECLS 01

1. ECLS 01

1. ECLS 01

1. ECLS 01

1. ECLS 01

1. ECLS 01

1. ECLS 01

1. ECLS 01

1. ECLS 01

1. Not Available with Optical Code TS

2. Recommended for installations within 750 feet from coast. Load time varies, check with factory.

3. Recommended for installations within 750 feet from coast. Load time varies, check with factory.

OPTICAL CODE

CCT CODE

5000K

6000K

5000K

100-277V

347-360V

TS

AS

BS

20

40

50

SA

SA

For additional information on ECLS BES files, please click the following link:

ECLS BES Files

Current

LED.com

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Page 8 of 7

Rev 06/2020

0UP30A_005

22EVOLVE ECLS SERIES CANOPY/SOFFIT LUMINARIES

EVOLVE

ECLS Soffit

LED Canopy Light

The Evolve® Canopy LED Soffit (ECLS) offers energy efficiency and quality of light in a sleek low-profile look and style. The ECLS features a diffused aperture which spreads the source lumens for even light distribution and low glare. To be used for sealed dock applications only (enclosed canopy or soffit).

ECLS - Symmetric Medium

7000 lumens, 5000K

ECLS01, ECLS02, ECLS03

1. ECLS 01

1. ECLS 01

1. ECLS 01

1. ECLS 01

1. ECLS 01

1. ECLS 01

1. ECLS 01

1. ECLS 01

1. ECLS 01

1. ECLS 01

1. Not Available with Optical Code TS

2. Recommended for installations within 750 feet from coast. Load time varies, check with factory.

3. Recommended for installations within 750 feet from coast. Load time varies, check with factory.

OPTICAL CODE

CCT CODE

5000K

6000K

5000K

100-277V

347-360V

TS

AS

BS

20

40

50

SA

SA

For additional information on ECLS BES files, please click the following link:

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Page 8 of 7

Rev 06/2020

0UP30A_005

23EVOLVE ECLS SERIES CANOPY/SOFFIT LUMINARIES

WPLED18

RAB

Project

Type

Prepared By

Date

Driver Info

LED Info

Ultra-high efficiency LED 18 Watt wall pack, patent pending thermal management system, 100,000 hour L70 life span, 12 year warranty, no computer warranty.

Color: Bronze

Weight: 5.9 lbs

Technical Specifications

Compliance

UL Listed:

UL Listed:

UL Listed:

UL Listed:

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UL Listed:

UL Listed:

UL Listed:

Color Consistency

Color Stability

Color Uniformity

Color Consistency

Color Stability

Color Uniformity

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Color Stability

Color Uniformity

Color Consistency

Thermal Management

Finish:

Finish:

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Finish:

Headhelp! Tech help line: (888) 723-1000 Email: sales@rablighting.com Website: www.rablighting.com

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Page 1 of 3

24RAB WPLED18 OVERHEAD DOOR WALL PACK

WPLED18

RAB

Project

Type

Prepared By

Date

Driver Info

LED Info

Ultra-high efficiency LED 18 Watt wall pack, patent pending thermal management system, 100,000 hour L70 life span, 12 year warranty, no computer warranty.

Color: Bronze

Weight: 5.9 lbs

Technical Specifications

Compliance

UL Listed:

UL Listed:

UL Listed:

UL Listed:

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UL Listed:

UL Listed:

UL Listed:

Color Consistency

Color Stability

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Color Uniformity

Color Consistency

Thermal Management

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Headhelp! Tech help line: (888) 723-1000 Email: sales@rablighting.com Website: www.rablighting.com

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Page 1 of 3

25RAB WPLED18 OVERHEAD DOOR WALL PACK

WPLED18

RAB

Project

Type

Prepared By

Date

Driver Info

LED Info

Ultra-high efficiency LED 18 Watt wall pack, patent pending thermal management system, 100,000 hour L70 life span, 12 year warranty, no computer warranty.

Color: Bronze

Weight: 5.9 lbs

Technical Specifications

Compliance

UL Listed:

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UL Listed:

UL Listed:

UL Listed:

Color Consistency

Color Stability

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Color Uniformity

Color Consistency

Thermal Management

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Page 1 of 3

26RAB WPLED18 OVERHEAD DOOR WALL PACK

WPLED13

RAB

Project

Type

Prepared By

Date

Driver Info

LED Info

Ultra-high efficiency LED 13 Watt wall pack, patent pending thermal management system, 100,000 hour L70 life span, 12 year warranty, no computer warranty.

Color: Bronze

Weight: 4.4 lbs

Technical Specifications

Compliance

UL Listed:

UL Listed:

UL Listed:

UL Listed:

UL Listed:

UL Listed:

UL Listed:

UL Listed:

UL Listed:

UL Listed:

Color Consistency

Color Stability

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Thermal Management

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27RAB WPLED13 EXIT DOOR WALL PACK

WPLED13

RAB

Project

Type

Prepared By

Date

Driver Info

LED Info

Ultra-high efficiency LED 13 Watt wall pack, patent pending thermal management system, 100,000 hour L70 life span, 12 year warranty, no computer warranty.

Color: Bronze

Weight: 4.4 lbs

Technical Specifications

Compliance

UL Listed:

UL Listed:

UL Listed:

UL Listed:

UL Listed:

UL Listed:

UL Listed:

UL Listed:

UL Listed:

UL Listed:

Color Consistency

Color Stability

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Color Consistency

Thermal Management

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Page 1 of 3

28RAB WPLED13 EXIT DOOR WALL PACK

PROJECT: 7474 HARWOOD BLVD WAUWATOSA, WI 53213

OWNER: THREE LEAF PARTNERS 504 WEST JUNEAU MILWAUKEE, WI 53203

ARCHITECT: KORB + ASSOCIATES ARCHITECTS 648 N. PLANKINTON AVE, SUITE 240 MILWAUKEE, WI 53203

CIVIL ENGINEER: TRIO 4100 N CALHOUN RD STE 300 BROOKFIELD, WI 53005

LANDSCAPE ARCHITECT: INSIDE LANDSCAPE DESIGN INC. 11525 W NORTH AVE WAUWATOSA, WI 53226

DATE: REVISION:

PROJ. NO.: 24004.01

SCALE: 1" = 10'-0"

PHASE: DESIGN REVIEW

BOARD SUBMISSION

DATE: 4.9.2024

PROPOSED BUILDING MOUNTED LIGHT FIXTURES

PHO1.3

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DESIGN REVIEW - NOT FOR CONSTRUCTION

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PROJECT:
7474 HARWOOD
7474 HARWOOD BLVD
WAUWATOSA, WI 53213

OWNER:
THREE LEAF PARTNERS
504 WEST JUNEAU
MILWAUKEE, WI 53203

ARCHITECT:
KORB + ASSOCIATES
ARCHITECTS
648 N. PLANKINTON AVE,
SUITE 240
MILWAUKEE, WI 53203

CIVIL ENGINEER:
TRIO
4100 N CALHOUN RD
STE 300
BROOKFIELD, WI 53005

LANDSCAPE ARCHITECT:
INSITE DESIGN INC.
11525 W NORTH AVE
WAUWATOSA, WI 53226

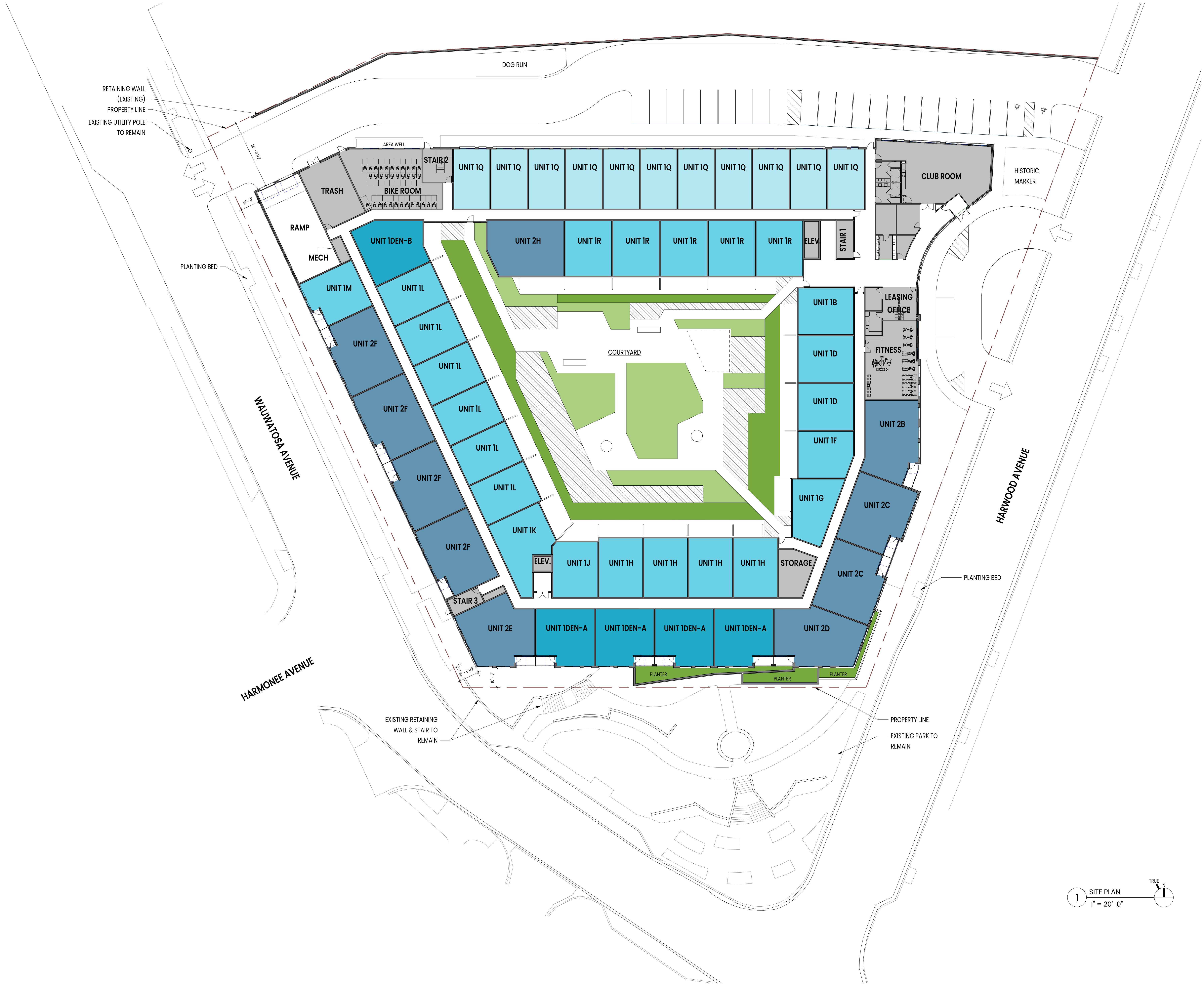
DATE	REVISION
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DESIGN REVIEW - NOT FOR CONSTRUCTION

PROJ. NO.	2400401
SCALE:	1" = 20'-0"
PHASE:	DESIGN REVIEW BOARD SUBMISSION
DATE:	4/9/2024

ARCHITECTURAL SITE PLAN

A1



PROJECT:
7474 HARWOOD
7474 HARWOOD BLVD
WAUWATOSA, WI 53213

OWNER:
THREE LEAF PARTNERS
504 WEST JUNEAU
MILWAUKEE, WI 53203

ARCHITECT:
KORB + ASSOCIATES
ARCHITECTS
648 N. PLANKINTON AVE,
SUITE 240
MILWAUKEE, WI 53203

CIVIL ENGINEER:
TRIO
4100 N CALHOUN RD
STE 300
BROOKFIELD, WI 53005

LANDSCAPE ARCHITECT:
INSITE DESIGN INC.
11525 W NORTH AVE
WAUWATOSA, WI 53226

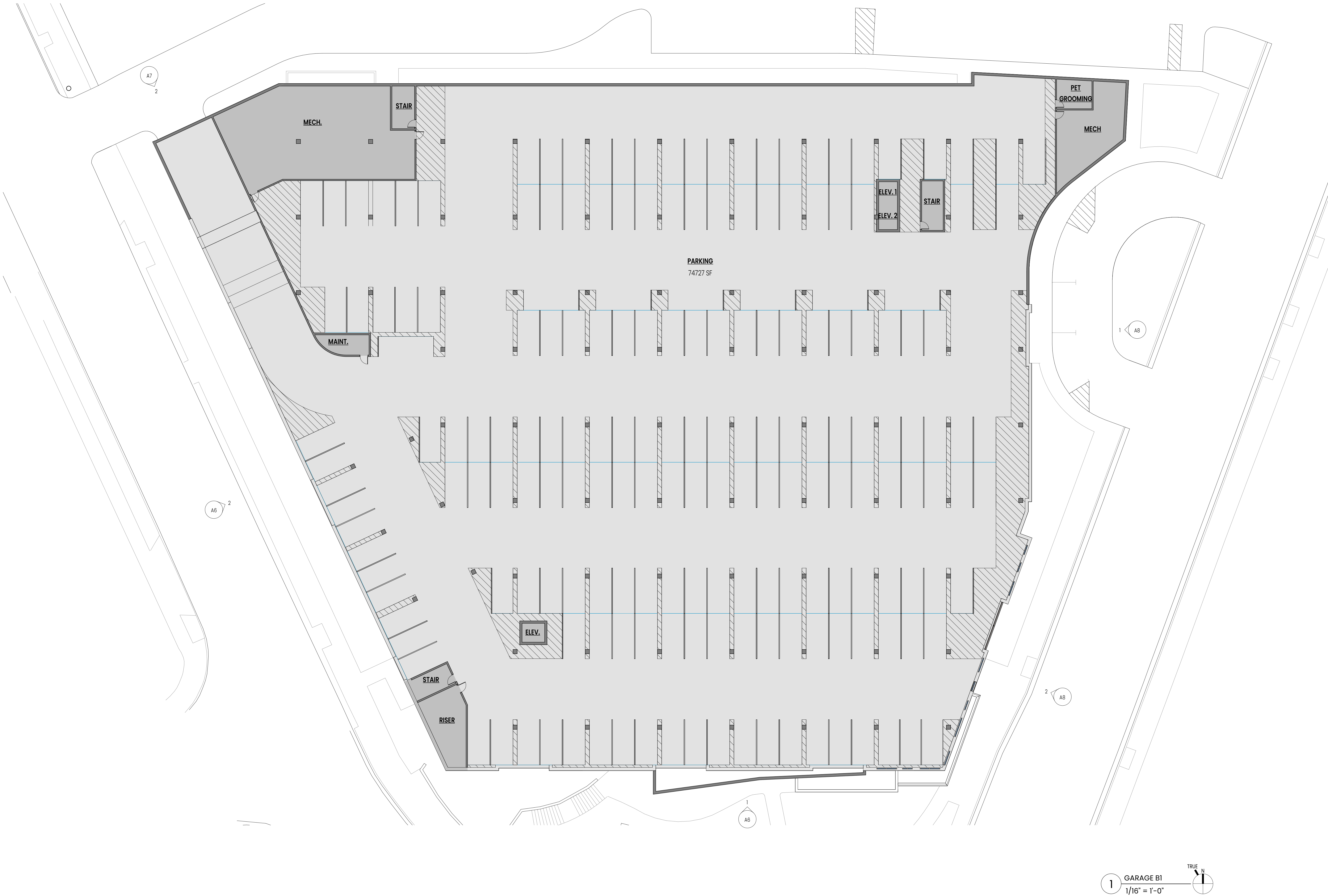
DATE	REVISION
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PROJ. NO.	2400401
SCALE:	1/16" = 1'-0"
PHASE:	DESIGN REVIEW BOARD SUBMISSION
DATE:	4/9/2024

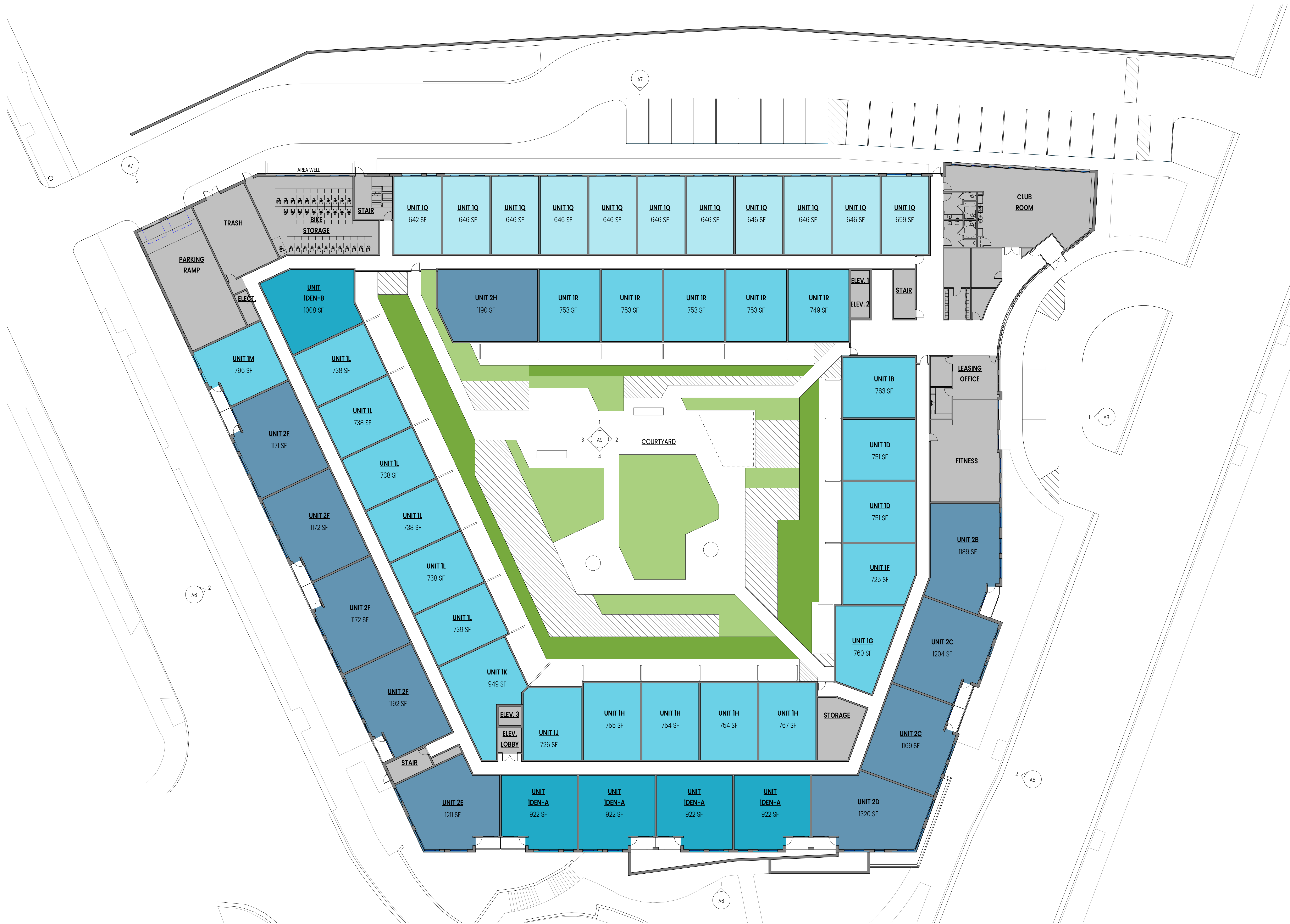
BASEMENT FLOOR PLAN

A2

DESIGN REVIEW - NOT FOR CONSTRUCTION



1 GARAGE B1
1/16" = 1'-0"



1 FIRST FLOOR
1/16" = 1'-0"

PROJECT:
7474 HARWOOD
7474 HARWOOD BLVD
WAUWATOSA, WI 53213

OWNER:
THREE LEAF PARTNERS
504 WEST JUNEAU
MILWAUKEE, WI 53203

ARCHITECT:
KORB + ASSOCIATES
ARCHITECTS
648 N. PLANKINTON AVE,
SUITE 240
MILWAUKEE, WI 53203

CIVIL ENGINEER:
TRIO
4100 N CALHOUN RD
STE 300
BROOKFIELD, WI 53005

LANDSCAPE ARCHITECT:
INSITE DESIGN INC.
11525 W NORTH AVE
WAUWATOSA, WI 53226

DATE	REVISION
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DESIGN REVIEW - NOT FOR CONSTRUCTION

PROJ. NO.	2400401
SCALE:	1/16" = 1'-0"
PHASE:	DESIGN REVIEW BOARD SUBMISSION
DATE:	4/9/2024

FIRST FLOOR PLAN

A3



LANDSCAPE ARCHITECT:
INSITE DESIGN INC.
11525 W NORTH AVE
WAUWATOSA, WI 53226

DATE	REVISION
------	----------

PROJ. NO.:	24004.01
SCALE:	1/16" = 1'-0"
PHASE:	DESIGN REVIEW BOARD SUBMISSION
DATE:	4.9.2024

THIRD FLOOR PLAN

A5



1 THIRD FLOOR
1/16" = 1'-0"



2 WEST ELEVATION
3/32" = 1'-0"



1 SOUTH ELEVATION
3/32" = 1'-0"

PROJECT:
7474 HARWOOD
7474 HARWOOD BLVD
WAUWATOSA, WI 53213

OWNER:
THREE LEAF PARTNERS
504 WEST JUNEAU
MILWAUKEE, WI 53203

ARCHITECT:
KORB + ASSOCIATES
ARCHITECTS
648 N. PLANKINTON AVE,
SUITE 240
MILWAUKEE, WI 53203

CIVIL ENGINEER:
TRIO
4100 N CALHOUN RD
STE 300
BROOKFIELD, WI 53005

LANDSCAPE ARCHITECT:
INSITE DESIGN INC.
11525 W NORTH AVE
WAUWATOSA, WI 53226

DATE	REVISION
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PROJ. NO.	2400401
SCALE:	3/32" = 1'-0"
PHASE:	DESIGN REVIEW BOARD SUBMISSION
DATE:	4/9/2024

ELEVATIONS - SOUTH & WEST

A6



2 NORTHWEST ELEVATION
3/32" = 1'-0"



1 NORTH ELEVATION
3/32" = 1'-0"

PROJECT:
7474 HARWOOD
7474 HARWOOD BLVD
WAUWATOSA, WI 53213

OWNER:
THREE LEAF PARTNERS
504 WEST JUNEAU
MILWAUKEE, WI 53203

ARCHITECT:
KORB + ASSOCIATES
ARCHITECTS
648 N. PLANKINTON AVE,
SUITE 240
MILWAUKEE, WI 53203

CIVIL ENGINEER:
TRIO
4100 N CALHOUN RD
STE 300
BROOKFIELD, WI 53005

LANDSCAPE ARCHITECT:
INSITE DESIGN INC.
11525 W NORTH AVE
WAUWATOSA, WI 53226

DATE	REVISION
------	----------

PROJ. NO.	2400401
SCALE:	3/32" = 1'-0"
PHASE:	DESIGN REVIEW BOARD SUBMISSION
DATE:	4/9/2024

ELEVATIONS - NORTH

A7



2 SOUTHEAST ELEVATION
3/32" = 1'-0"

PROJECT:
7474 HARWOOD
7474 HARWOOD BLVD
WAUWATOSA, WI 53213

OWNER:
THREE LEAF PARTNERS
504 WEST JUNEAU
MILWAUKEE, WI 53203

ARCHITECT:
KORB + ASSOCIATES
ARCHITECTS
648 N. PLANKINTON AVE,
SUITE 240
MILWAUKEE, WI 53203

CIVIL ENGINEER:
TRIO
4100 N CALHOUN RD
STE 300
BROOKFIELD, WI 53005

LANDSCAPE ARCHITECT:
INSITE DESIGN INC.
11525 W NORTH AVE
WAUWATOSA, WI 53226

DATE REVISION



1 EAST ELEVATION
3/32" = 1'-0"

DESIGN REVIEW - NOT FOR CONSTRUCTION

PROJ. NO.	2400401
SCALE:	3/32" = 1'-0"
PHASE:	DESIGN REVIEW BOARD SUBMISSION
DATE:	4.9.2024

ELEVATIONS - EAST

A8



4 INTERIOR COURTYARD ELEVATION - SOUTH
3/32" = 1'-0"



3 INTERIOR COURTYARD ELEVATION - WEST
3/32" = 1'-0"



2 INTERIOR COURTYARD ELEVATION - EAST
3/32" = 1'-0"



1 INTERIOR COURTYARD ELEVATION - NORTH
3/32" = 1'-0"

PROJECT:
7474 HARWOOD
7474 HARWOOD BLVD
WAUWATOSA, WI 53213

OWNER:
THREE LEAF PARTNERS
504 WEST JUNEAU
MILWAUKEE, WI 53203

ARCHITECT:
KORB + ASSOCIATES
ARCHITECTS
648 N. PLANKINTON AVE,
SUITE 240
MILWAUKEE, WI 53203

CIVIL ENGINEER:
TRIO
4100 N CALHOUN RD
STE 300
BROOKFIELD, WI 53005

LANDSCAPE ARCHITECT:
INSITE DESIGN INC.
11525 W NORTH AVE
WAUWATOSA, WI 53226

DATE	REVISION
------	----------

DESIGN REVIEW - NOT FOR CONSTRUCTION

PROJ. NO.	2400401
SCALE:	3/32" = 1'-0"
PHASE:	DESIGN REVIEW BOARD SUBMISSION
DATE:	4.9.2024

ELEVATIONS - COURTYARD

A9

Stefanie Escobedo

From: tclerks
Sent: Tuesday, April 16, 2024 8:19 AM
To: Sara Elmer; Stefanie Escobedo
Cc: Steven Braatz
Subject: FW: [External] St. Bernards replacement

Zach Kessler
Management Analyst/Deputy City Clerk | City of Wauwatosa
7725 W North Ave | Wauwatosa, WI 53213
Desk: (414) 479-8919 | Office: (414) 479-8917 www.wauwatosa.net

-----Original Message-----

From: Sunny Iwanski <arctic_sunny@yahoo.com>
Sent: Monday, April 15, 2024 5:20 PM
To: tclerk <tclerk@wauwatosa.net>
Subject: [External] St. Bernards replacement

The proposed design is hideous and detracts from the charm and character of the village. The design should absolutely not be approved as it is.

When I bring out of town professional visitors to Wauwatosa, the unique charm of the village is often the first thing they notice. How would this building differentiate from any other suburban community in the Milwaukee (or really any midwestern town) area?

Thank you.
Sunny
Sent from my iPad

Stefanie Escobedo

From: Steven Braatz
Sent: Monday, April 15, 2024 4:02 PM
To: Stefanie Escobedo
Cc: Sara Elmer; Zachary Kessler
Subject: FW: [External] St. Bernard's Redev

FYI

Steven A. Braatz, Jr.
City Clerk | City of Wauwatosa
7725 W. North Ave. | Wauwatosa, WI 53213
www.wauwatosa.net
(414) 479-8920

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From: Michael Grimm <michaelg@reputationpartners.com>
Sent: Monday, April 15, 2024 3:44 PM
To: tclerk <tclerk@wauwatosa.net>
Subject: [External] St. Bernard's Redev

Hi—a few comments/questions:

- What is the traffic congestion plans to accommodate this development? The two parking lots behind Draft and Vessel are frequently full for patronizing the Village.
- Are there any alternatives to this project? It seems like there could be a more beneficial development that preserves the existing space/maximizes green space, etc.
- Would recommend a different architect layout of the project if it indeed moves forward—it should resemble the style and architecture of the Tosa Village

Thanks
Michael Grimm
2343 n 68th street
Wauwatosa WI 53213



REPUTATION
PARTNERS
COMMUNICATIONS

Michael Grimm
Senior Vice President

Stefanie Escobedo

From: Zachary Kessler
Sent: Tuesday, April 16, 2024 8:19 AM
To: Sara Elmer; Stefanie Escobedo
Cc: Steven Braatz
Subject: FW: [External] St Bernards re-development comment

Zach Kessler

Management Analyst/Deputy City Clerk | City of Wauwatosa
7725 W North Ave | Wauwatosa, WI 53213
Desk: (414) 479-8919 | Office: (414) 479-8917
www.wauwatosa.net

From: dtranowski@wi.rr.com <dtranowski@wi.rr.com>
Sent: Monday, April 15, 2024 4:50 PM
To: tcclerk <tcclerk@wauwatosa.net>
Subject: [External] St Bernards re-development comment

This appears to be rather dense housing on an already very tight corner for traffic.
Interesting how the illustration shows people walking but, not all their cars.

I live on 74th St by East HS and have serious concerns about the impact of this development on the people of the neighborhood.

Looks like another instance of the developer getting the money while the people get more congestion.

Can we see an *honest* traffic assessment?

Dan Tranowski
1732 N 74th St

Stefanie Escobedo

From: Zachary Kessler
Sent: Monday, April 15, 2024 11:04 AM
To: Sara Elmer; Stefanie Escobedo
Subject: FW: [External] 7474 Harwood Avenue - New Multi-Family 24-0565

Zach Kessler

Management Analyst/Deputy City Clerk | City of Wauwatosa
7725 W North Ave | Wauwatosa, WI 53213
Desk: (414) 479-8919 | Office: (414) 479-8917
www.wauwatosa.net

From: Sam McGovern-Rowen <sam.mcgovernrowen@gmail.com>
Sent: Monday, April 15, 2024 10:57 AM
To: tclerks <tclerks@wauwatosa.net>
Subject: [External] 7474 Harwood Avenue - New Multi-Family 24-0565

I am writing to support Three Leaf Partner's proposed new apartment development in the Village of Tosa. As the parent of a child in the Tosa school district, I understand the ongoing need for Wauwatosa to grow its tax base.

New housing units add value and vitality to the neighborhood as the Village becomes an even more popular destination for young families and professionals. I frequent the Village for restaurants, shops, services, and entertainment and look forward to the growth that a catalytic development like this may spur.

Thank you,
Sam

--

Sam McGovern-Rowen

Stefanie Escobedo

From: Zachary Kessler
Sent: Monday, April 15, 2024 10:55 AM
To: Sara Elmer; Stefanie Escobedo
Subject: FW: [External] St. Bernards Property Development

Zach Kessler

Management Analyst/Deputy City Clerk | City of Wauwatosa
7725 W North Ave | Wauwatosa, WI 53213
Desk: (414) 479-8919 | Office: (414) 479-8917
www.wauwatosa.net

From: Jessica Kolbe <jlschulz2@yahoo.com>
Sent: Monday, April 15, 2024 10:49 AM
To: tclerk <tclerk@wauwatosa.net>
Subject: [External] St. Bernards Property Development

Hello,

Writing as a concerned Tosa Resident regarding the St. Bernards development.

The apartment complex is entirely too large for that space and where are all these residents going to park?

This is a hugely crowded intersection already and with the high school being close in proximity I am hoping you consider mandating a smaller sized development with more architectural characteristics.

Regards,

Jessica and Nathan Kolbe

[Yahoo Mail: Search, Organize, Conquer](#)

Stefanie Escobedo

From: Zachary Kessler
Sent: Monday, April 15, 2024 11:41 AM
To: Sara Elmer; Stefanie Escobedo
Subject: FW: [External] 7474 Harwood Ave Development

Zach Kessler
Management Analyst/Deputy City Clerk | City of Wauwatosa
7725 W North Ave | Wauwatosa, WI 53213
Desk: (414) 479-8919 | Office: (414) 479-8917 www.wauwatosa.net

-----Original Message-----

From: Monica Wehba <mwehba@icloud.com>
Sent: Monday, April 15, 2024 11:38 AM
To: tclerk <tclerk@wauwatosa.net>
Subject: [External] 7474 Harwood Ave Development

Hello,

I'd like to voice my strong opposition to the development of the former Saint Bernards space. I'm all for enhancing the village and bringing in tax dollars but the currently proposed 150+ unit building is not the right move for our community. It will not only add traffic to an already congested area but it will increase pedestrian/biker safety issues, negatively impact air quality, and detract from the beautiful, historic aesthetic of our downtown. Opportunities to enhance and improve our one-of-a-kind downtown space don't come along very often and when they do, they need to be treated with care and respect for the community and future generations as well. A massive, concrete behemoth that looks like the Pentagon is not the way to go. Please do not approve and instead look at options from developers that will honor the current aesthetic of the Village while also enhancing it with added green space, community gathering areas, shops/restaurants for all of us to enjoy.

Thank you,
Monica Bence
8125 Warren Ave
Sent from my iPhone

Stefanie Escobedo

From: Steven Braatz
Sent: Monday, April 15, 2024 9:31 AM
To: Stefanie Escobedo
Cc: Zachary Kessler
Subject: FW: [External] 7474 Harwood Avenue - New Multi-Family 24-0565

FYI

Steven A. Braatz, Jr.
City Clerk | City of Wauwatosa
7725 W. North Ave. | Wauwatosa, WI 53213
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(414) 479-8920

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From: Jon Cappel <jcappel02@gmail.com>
Sent: Monday, April 15, 2024 8:41 AM
To: tclerks <tcclerks@wauwatosa.net>
Subject: [External] 7474 Harwood Avenue - New Multi-Family 24-0565

Good morning,

I am reaching out regarding the topic of 7474 Harwood Ave at the upcoming Design Review Board meeting this week. As a resident of Wauwatosa and active member of the local commercial real estate community, I firmly believe a project like this provides nothing but benefit to the residents and prospective future residents of Wauwatosa.

The ability to create relatively dense housing, with a surplus of parking spaces - can only benefit both residents and businesses of the State St corridor and other local Wauwatosa neighborhoods. In a day and age where most projects require or even demand zoning variances, TIF money, or other assistance from elected leaders - Three Leafs willingness to build within the local rules without asking for major financial assistance is something that should be applauded and not held up by NIMBYism. The short term inconvenience that comes with any construction project should be easily trumped by the long term benefits of 163 units of new high quality housing.

Jon

--

Jon Cappel
607 N 116th St, Wauwatosa WI 53226
815-721-1345

Stefanie Escobedo

From: Paulette Enders
Sent: Monday, April 15, 2024 1:02 PM
To: Stefanie Escobedo
Subject: FW: [External] St.Bernard Property

Paulette Enders, CEcD, EDPF, CNU-A
Development Director
City of Wauwatosa
7725 W. North Avenue
Wauwatosa, WI 53213
414-479-3531 (Direct)
www.wauwatosa.net

From: dafurballs <dafurballs@charter.net>
Sent: Monday, April 15, 2024 11:18 AM
To: Paulette Enders <penders@wauwatosa.net>
Subject: [External] St.Bernard Property

Hi, Paulette,

A blast from the past here. Anyway, I don't live in Tosa, so I know I really have no skin in the game.

But gosh, it would be so refreshing and innovative to see a development whose design elements pick up some architectural features of the Village's older buildings. So many multi-unit buildings these days look so boring, boxy, and unimaginative, with a bump-out here, and a color change there.

I have read of European cities embracing the notion of erecting buildings that complement existing architecture. What a concept!

Carla Ledesma

Sent from my U.S.Cellular© Smartphone

Stefanie Escobedo

From: Steven Braatz
Sent: Monday, April 15, 2024 3:07 PM
To: Stefanie Escobedo
Cc: Sara Elmer; Zachary Kessler
Subject: FW: [External] Comment for 7474 Harwood Ave Design Review Board - OPPOSED

FYI

Steven A. Braatz, Jr.
City Clerk | City of Wauwatosa
7725 W. North Ave. | Wauwatosa, WI 53213
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From: Nathaniel Bauer <nathaniel.j.bauer@gmail.com>
Sent: Monday, April 15, 2024 2:49 PM
To: tclerk <tclerk@wauwatosa.net>
Subject: [External] Comment for 7474 Harwood Ave Design Review Board - OPPOSED

To whom it may concern,

As a long Tosa resident (74th and Garfield) who drives his children through the intersection every day to elementary school, and weekly walks to the village or the farmers market with the family, I HIGHLY encourage the board to oppose this design.

The automobile traffic through that corner and up around Wauwatosa Ave to Harwood is already so congested, that adding 200+ automobiles makes zero sense, and will significantly add to the dangers of the already busy foot traffic from elementary and middle school children, as well as the already limited number of parking spaces.

Please make considered use of this now defunct space, but please don't do it at the detriment of safety and the qualities that make Tosa Village so appealing to it's residents. Especially for an increase in apartments instead of condos.

Thank you for your time and consideration.

Nathaniel Bauer
7428 W. Garfield Ave
Wauwatosa, WI 53213
414.975.3647
nathaniel.j.bauer@gmail.com

Stefanie Escobedo

From: Steven Braatz
Sent: Monday, April 15, 2024 3:07 PM
To: Stefanie Escobedo
Cc: Sara Elmer; Zachary Kessler
Subject: FW: [External] Proposed development- public comment for 4/18/24

FYI

Steven A. Braatz, Jr.
City Clerk | City of Wauwatosa
7725 W. North Ave. | Wauwatosa, WI 53213
www.wauwatosa.net
(414) 479-8920

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ONLINE LICENSES AND PERMITS

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From: Abby Neuberger <abbyjneuberger@gmail.com>
Sent: Monday, April 15, 2024 3:00 PM
To: tclerk <tclerk@wauwatosa.net>
Subject: [External] Proposed development- public comment for 4/18/24

Dear Wauwatosa Design Review Board,

I am writing to share my concerns about the proposed development in the Village at the site of St. Bernard's Catholic Church. I am disappointed the design does not include any elements of the church, either via reusing materials or using the existing structure. I feel the initial comments about "potential to repurpose" do not go far enough to demonstrate how these elements may be used, especially in such a historic area.

I am also disappointed in the overall design. This site is arguably the best spot in Wauwatosa and there is an opportunity for something truly visionary that I believe is missing in this proposal. While the city needs housing, I think there could be more thought put into the design- mixed use, green space, or other.

Thank you for your thorough evaluation of this proposal.

Sincerely,

Abby Neuberger
1821 Alta Vista Ave

Stefanie Escobedo

From: tclerks
Sent: Tuesday, April 16, 2024 8:19 AM
To: Sara Elmer; Stefanie Escobedo
Cc: Steven Braatz
Subject: FW: [External] Proposed use of former St. Bernard space

Zach Kessler
Management Analyst/Deputy City Clerk | City of Wauwatosa
7725 W North Ave | Wauwatosa, WI 53213
Desk: (414) 479-8919 | Office: (414) 479-8917 www.wauwatosa.net

-----Original Message-----

From: Brett Bordini <brett.bordini@gmail.com>
Sent: Monday, April 15, 2024 5:41 PM
To: tclerk <tclerk@wauwatosa.net>
Subject: [External] Proposed use of former St. Bernard space

Hello—

I would like to voice my strong objection to the proposed apartment buildings at the recently-sold St. Bernard church site. The number of units and the number of proposed parking spaces will add an incredible amount of congestion to an already-challenged area of the city. The design aesthetic is incongruent with the historic character of the village. The lack of mixed use/retail space on the ground level decreases the benefits of the space to anyone but residents of the apartments themselves. This is the cornerstone of the village and the space deserves something highlighting the unique character of our city and something that benefits all of our residents and visitors. We have multiple other apartment project proposals in the works throughout the city and this does not seem to be satisfying an unmet need for the city; even if apartments were the ideal use of this space, this proposal is seriously flawed in its narrowed design and use ambitions.

Brett Bordini
Wauwatosa resident

Stefanie Escobedo

From: tclerks
Sent: Tuesday, April 16, 2024 8:19 AM
To: Sara Elmer; Stefanie Escobedo
Cc: Steven Braatz
Subject: FW: [External] 7474 Harwood Ave Feedback

Zach Kessler

Management Analyst/Deputy City Clerk | City of Wauwatosa
7725 W North Ave | Wauwatosa, WI 53213
Desk: (414) 479-8919 | Office: (414) 479-8917
www.wauwatosa.net

From: Erin Walcheske <ebwalcheske@gmail.com>
Sent: Monday, April 15, 2024 6:09 PM
To: tclerk <tclerk@wauwatosa.net>
Subject: [External] 7474 Harwood Ave Feedback

Good afternoon,

I am writing to express my concern with the size and design of the proposed apartment buildings at the current St. Bernard site.

I am not opposed or surprised to see an apartment complex at this site, but I'm really disappointed in the design. I was hoping to see a mixed use development with apartments, businesses, and green space. This is literally in the heart of the village and there are no community gathering options. I would much prefer a design that allows Wauwatosa taxpayers to enjoy this large space in the heart of our community. I would love to see options that allow small businesses to grow and thrive.

I am also extremely concerned about the congestion this building will cause in the village. It is way too large - 200 cars entering and exiting the building all day will cause havoc on Harwood Avenue.

Please encourage the designer to create fewer apartments, more retail or business space, and green space for the entire community to enjoy.

Thank you!
Erin Walcheske
8152 Jackson Park Blvd.

Stefanie Escobedo

From: tclerks
Sent: Tuesday, April 16, 2024 8:19 AM
To: Sara Elmer; Stefanie Escobedo
Cc: Steven Braatz
Subject: FW: [External] 7474 Harwood Avenue Proposal

Zach Kessler
Management Analyst/Deputy City Clerk | City of Wauwatosa
7725 W North Ave | Wauwatosa, WI 53213
Desk: (414) 479-8919 | Office: (414) 479-8917 www.wauwatosa.net

-----Original Message-----

From: Erin Notson <erin.notson@gmail.com>
Sent: Monday, April 15, 2024 8:27 PM
To: tclerk <tclerk@wauwatosa.net>
Cc: Eric Notson <enotson@gmail.com>
Subject: [External] 7474 Harwood Avenue Proposal

To whom it may concern,

As residents of Wauwatosa, we would like to share our thoughts and comments on the proposal to build a single-use apartment complex at 7474 Harwood Avenue.

We fully support adding housing, particularly affordable housing, to our community. All folks deserve the opportunity to live in this incredible community that we call home. However, we feel that the design of the proposed apartments does not align with the aesthetic of the village as it currently exists. The proposed design is very modern, while the village possesses a historic charm that maintains the historic nature of Wauwatosa as a whole. We ask that the appearance of the structure be reconsidered to better align with the historic nature of the village.

Additionally, we wonder if there has been consideration for adding space to the base of the building for retail, much like the apartments on Underwood Avenue. We do not feel that a single-use apartment complex is the best use for the space or the community. Our community is full of incredible small businesses. Providing space for additional small businesses in the village in the form of a multi-use apartment complex, or mixed business/residential development, would only make our community better.

Thank you for your time and consideration.

Sincerely,

Erin and Eric Notson
7939 Warren Avenue

Stefanie Escobedo

From: tclerks
Sent: Tuesday, April 16, 2024 8:19 AM
To: Sara Elmer; Stefanie Escobedo
Cc: Steven Braatz
Subject: FW: [External] 7474 Harwood Proposal Opposition

Zach Kessler

Management Analyst/Deputy City Clerk | City of Wauwatosa
7725 W North Ave | Wauwatosa, WI 53213
Desk: (414) 479-8919 | Office: (414) 479-8917
www.wauwatosa.net

From: Joseph Liedhegner <joseph.e.liedhegner@gmail.com>
Sent: Monday, April 15, 2024 9:30 PM
To: tclerk <tclerk@wauwatosa.net>
Subject: [External] 7474 Harwood Proposal Opposition

I am writing to voice concern regarding the design proposal for the lot at 7474 Harwood. In its historic capacity, the church grounds has served the community in which it resides. The proposed design does not appear to follow in those footsteps, but rather does the opposite.

- 1) I am concerned about traffic flow implications. The parking deck empties onto an already problematic point on Wauwatosa avenue. With normal morning traffic, making a left turn is nearly impossible. As such traffic will adapt to primarily flow to right, northbound, right through morning school foot traffic. If schools are condensed, the traffic around Lincoln is only going to worsen as it is.
- 2) While parking density may technically meet code, without the availability of overnight street parking in Tosa, two car occupancy within the units is nearly out of the question. As such, families are shut out of considering this as a housing option.
- 3) The proposed design utilizes a large enclosed courtyard, robbing the public of access to grounds that have served them when under control of the church.
- 4) The proposed design does not mesh with the village. This is a utilitarian design of large proportions as a backdrop against the more ornate and quaint village structures. It will overly dominate the aesthetic appeal, especially for anyone trying to enjoy root common park.

There has to be a better way to utilize this prime real estate to enhance the experience of Wauwatosa residents while making commercial sense. This proposal does nothing but introduce unnecessary burdens and take away from the charm of our village. Please encourage a complete redesign proposal.

Thank you for your consideration,
Joe Liedhegner
Church Street resident

Stefanie Escobedo

From: Zachary Kessler
Sent: Tuesday, April 16, 2024 10:45 AM
To: Stefanie Escobedo; Sara Elmer
Cc: Steven Braatz
Subject: FW: [External] Comment regarding St. Bernard's development

Zach Kessler

Management Analyst/Deputy City Clerk | City of Wauwatosa
7725 W North Ave | Wauwatosa, WI 53213
Desk: (414) 479-8919 | Office: (414) 479-8917
www.wauwatosa.net

From: Josh Blakely <badgerbucco@gmail.com>
Sent: Tuesday, April 16, 2024 10:13 AM
To: tclerk <tclerk@wauwatosa.net>
Subject: [External] Comment regarding St. Bernard's development

I don't see any mixed use in this building. A development in the village should have a retail/restaurant component to it. Apartment buildings without mixed use can go anywhere and this is incredibly valuable real estate for the city. Locking it up with just apartments is a complete misuse of the property. An apartment building does nothing to draw more residents of Wauwatosa to the village. This is a unique opportunity to continue building out the village in its current mixed-use character.

The development should have retail space along with apartments. There could even be other ideas that have merit to go along with those.

Josh Blakely
6119 W Wisconsin Ave, Wauwatosa, WI 53213

Stefanie Escobedo

From: tclerks
Sent: Tuesday, April 16, 2024 8:20 AM
To: Sara Elmer; Stefanie Escobedo
Cc: Steven Braatz
Subject: FW: [External] New apartment proposal concerns

Zach Kessler
Management Analyst/Deputy City Clerk | City of Wauwatosa
7725 W North Ave | Wauwatosa, WI 53213
Desk: (414) 479-8919 | Office: (414) 479-8917 www.wauwatosa.net

-----Original Message-----

From: Amanda Roof <amanda.roloff@yahoo.com>
Sent: Tuesday, April 16, 2024 7:41 AM
To: tclerk <tclerk@wauwatosa.net>
Subject: [External] New apartment proposal concerns

I am unable to attend the meeting on Thursday evening but would like to submit a comment. Please see below.

My husband grew up in Wauwatosa, and graduated from Tosa East. We have chosen to stay in this community to raise a family, because it was a family oriented community filled with charm, unique architecture, beautiful craftsmanship and prideful owners. Over the years it seems Tosa's priority is not the current members of the community but yet how do we bring MORE people to the community. Tosa is already a bustling city with a lot of traffic. The village is always busy with foot traffic and plenty of cars. Parking is nearly impossible especially on a weekend. This will also increase garbage in the community. Do we need more trash? Absolutely not. Adding a large apartment complex is only going to make the village more congested causing residents who do not live in the village to avoid going to the village. This will hurt small businesses too. Living in Wauwatosa is already expensive and people are leaving the community because priorities do not align. And with recent talks about closing schools it does not make sense to bring more people to the community. This is going to create more problems for Tosa residents. Tosa does not need another apartment complex especially one that doesn't fit the charm of the community. The design of this building is an eye-sore and is not going to fit in. Where is the unique craftsmanship? The beautiful masonry? The gabled roofline? The arched windows? Etc. I understand unique architecture is expensive to build. But squeezing in a building that looks like a giant boxy prison in the village is not the answer. You want to rehab the existing building, great. Look at what Miller Marriot is doing at The School Sisters of Notre Dame building in Elm Grove. The village is only so big and there are so many other areas of the city that could use help. Look at West Tosa. The old Dodge dealership on Burleigh. How long is that lot going to sit there? But yet you're willing to tear down a beautiful church rather than convert it to something the community needs? I think Wauwatosa needs to table this and look at the community as a whole. Focus on your current members of the community and meet their needs before bringing more people to an already congested area. This property does not belong here.

Thank you for your time,
Amanda Harris

Sent from my iPhone

Stefanie Escobedo

From: tclerks
Sent: Tuesday, April 16, 2024 8:20 AM
To: Sara Elmer; Stefanie Escobedo
Cc: Steven Braatz
Subject: FW: [External] St. Bernard's development

Zach Kessler

Management Analyst/Deputy City Clerk | City of Wauwatosa
7725 W North Ave | Wauwatosa, WI 53213
Desk: (414) 479-8919 | Office: (414) 479-8917
www.wauwatosa.net

From: Christine Mann <camann23@gmail.com>
Sent: Tuesday, April 16, 2024 7:41 AM
To: tclerk <tclerk@wauwatosa.net>
Cc: Jason Wilke <jwilke@wauwatosa.net>; Melissa Dolan <mdolan@wauwatosa.net>
Subject: [External] St. Bernard's development

I'm addressing the Design Review Board's Thursday meeting regarding St. Bernard's aka 7474 Harwood Avenue.

I'll admit to not knowing the legal guardrails or parameters within which the DRB and council must act, but as a 57 year resident of the city and a lover of what the Village has evolved to in that time, I urge you to treat this parcel with kid gloves to the extent possible.

As I commented on Tosa Rocks Facebook page, the proposal is not a particularly imaginative (or innovative) design. I think this location deserves a creative solution that adds to the aesthetics and value, in economics and functionality, of the Village.

The proposed design looks more like someone is trying to leverage every last dollar out of the available acreage. It is a hard shift in the character and charm of the Village. Due to the geography and topography, that parcel is a key location. It should be treated as such. Slapping another apartment box there significantly alters the character and doesn't add, but subtracts from the character and charm of the Village. I don't want to see the area "jump the shark" and I think a development of that nature would ultimately damage the desirability of the area.

A former Tosa East classmate of mine pointed out the impact to infrastructure that will come with this. He observed that that corner is unsafe for pedestrians and bicycles...have the infrastructure changes needed been considered?

I am sensitive to the demand for housing and desire to add to the taxbase but I'd rather see a smaller development of townhouse condos to accommodate young families or retirees who want to downsize, and a footprint that complements the Village, rather than looms over it.

I hope to attend the Thursday meeting but submit these comments in advance in the event that I am unable to comment in person.

Respectfully,
Chris Mann

Stefanie Escobedo

From: Zachary Kessler
Sent: Tuesday, April 16, 2024 9:46 AM
To: Sara Elmer; Stefanie Escobedo
Cc: Steven Braatz
Subject: FW: [External] Proposed Development for St. Bernard's Church Site

Zach Kessler

Management Analyst/Deputy City Clerk | City of Wauwatosa
7725 W North Ave | Wauwatosa, WI 53213
Desk: (414) 479-8919 | Office: (414) 479-8917
www.wauwatosa.net

From: Jane Herbert <janeherbert2013@gmail.com>
Sent: Tuesday, April 16, 2024 8:58 AM
To: tcclerk <tcclerk@wauwatosa.net>
Subject: [External] Proposed Development for St. Bernard's Church Site

Hello. We felt compelled to share our thoughts after seeing the proposed development for the site of St. Bernard's Church which the Design Review Board will be discussing at their meeting April 18. We strongly urge the Board to reject the design as unimaginative, not in keeping with the character of a Village as old as Wauwatosa's, not the best use of the prime land that property holds, and honestly, do we really need yet another apartment complex right now, and especially at that site? The intersection of Harwood and Wauwatosa Aves. looms over the Village, acting as a welcome and one of the first things seen when coming from any direction into the Village. Surely another use could be found for such a prominent piece of land? Suggestions would be an event space, similar to the St. James on Wisconsin Ave.; a public market, like the Milwaukee Public Market in the Third Ward; a second fine-dining restaurant to compliment Bartolotta's and help replace the much-missed Firefly; condominiums, as many residents of Wauwatosa would like to stay in the City after down-sizing and not need to go to Elm Grove to find other housing; or perhaps a lovely year-round beer hall, with an outdoor ice rink in the winter and a corn-hole or bocce ball court in the summer? We're sure there are many other potential uses for the land, too. And wouldn't it be wonderful to continue to hear the church bells chime hourly? We hope those are somehow incorporated into any design selected.

Please reconsider allowing apartments to be built. It's our understanding there have been discussions and/or approval for apartments to be built at Mayfair Collection (2 new complexes), Mayfair Mall, the Western Products site by the train tracks, the Firefly building the neighboring houses, behind St. Pius Church, where Swan Interiors was, and the BMO Bank site. Adding 160-plus units and all the cars that come with the residents would be awful for such an already congested intersection. At the very, very least, include retail space in the plans. A bagel shop, breakfast place, children's clothing...

Thank you for listening to and considering our thoughts on this. When reading the comments on social media sites we haven't seen a single person speak in favor of apartments, so we know we're not alone. We look forward to hearing your opinions when the design is presented to the Board Thursday evening.

We'd appreciate an acknowledgement this email was received.

Best-

Jack and Jane Herbert

Stefanie Escobedo

From: Zachary Kessler
Sent: Tuesday, April 16, 2024 9:48 AM
To: Stefanie Escobedo; Sara Elmer
Cc: Steven Braatz
Subject: FW: [External] 7474 Harwood Avenue development

Zach Kessler

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From: James Haberstroh <jim.haberstroh@gmail.com>
Sent: Tuesday, April 16, 2024 9:47 AM
To: tclerk <tclerk@wauwatosa.net>
Subject: [External] 7474 Harwood Avenue development

The proposed development of the St. Bernard's site is totally out of character with the Village area. The development is unimaginative for such a prominent location. It will dominate that portion of the Village from its position on the hill and its mass is totally out of proportion with the surrounding properties. This location demands a building that will be an outstanding asset to Wauwatosa and not just another three story apartment building that looks like every other 3-5 five story apartment building. Wauwatosa deserves better.

Jim Haberstroh
652 N. 78th
Wauwatosa, WI 53213

Stefanie Escobedo

From: tclerks
Sent: Tuesday, April 16, 2024 8:19 AM
To: Stefanie Escobedo; Sara Elmer
Cc: Steven Braatz
Subject: FW: [External] Proposed Harwood development

Zach Kessler
Management Analyst/Deputy City Clerk | City of Wauwatosa
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-----Original Message-----

From: Caitlin prostek <caitlin.prostek@gmail.com>
Sent: Tuesday, April 16, 2024 12:03 AM
To: tclerk <tclerk@wauwatosa.net>
Subject: [External] Proposed Harwood development

To whom it may concern:

I wanted to express my discontent for this proposed apartment complex. There are several reasons why this would not be a good addition to our beautiful city.

- safety
- traffic congestion
- terrible road conditions
- no focus on public transport
- limited parking
- need for AFFORDABLE and senior housing
- need for more than single bedroom units
- loss of Tosa Cares food pantry

I absolutely love Tosa and hope I can raise my kids here. They would go to Tosa East I can't help but think how all of these my factors scare me for their safety and all of the kiddos that will become before them.

There is SO much potential for this space. Maybe a community center, green spaces, outdoor markets, green infrastructure for parking, widen intersection to allow buses to turn safely, create dedicated bike lanes. It would be extremely disappointing to see this proposal go through and will change the landscape of this vibrant part of our city for the worse.

Thank you for your dedication and time, Caitlin Jacobs Wauwatosa Resident, Glenview Heights

Sent from my iPhone

Stefanie Escobedo

From: tclerks
Sent: Tuesday, April 16, 2024 8:19 AM
To: Sara Elmer; Stefanie Escobedo
Cc: Steven Braatz
Subject: FW: [External] St Bernard's proposed development

Zach Kessler
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-----Original Message-----

From: Barb James <bseiler8@hotmail.com>
Sent: Tuesday, April 16, 2024 6:15 AM
To: tclerk <tclerk@wauwatosa.net>
Subject: [External] St Bernard's proposed development

Hello,

I saw the proposed development for the St Bernard's property on Facebook. We can all appreciate that this is the heart of the Village. If the use as apartments can't be reconsidered, please at least revisit the design. It looks as though the only goal is to produce as many units as possible, without any design quality. The chosen developer needs to be accountable for green space and architectural innovation for such a large property in this location. Please don't let them build an eye sore for their profit.

Many thanks for representing these views for our beloved downtown.

Regards,

Barb James
1832 N.81st Street
Wauwatosa, WI

Sent from my iPhone

Stefanie Escobedo

From: tclerks
Sent: Tuesday, April 16, 2024 8:20 AM
To: Sara Elmer; Stefanie Escobedo
Cc: Steven Braatz
Subject: FW: [External] Thursday Meeting - St. Bernards

Zach Kessler

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From: Sarah Pogorzelski <sravelly@gmail.com>
Sent: Tuesday, April 16, 2024 6:34 AM
To: tclerk <tclerk@wauwatosa.net>
Subject: [External] Thursday Meeting - St. Bernards

Hello,

I am unable to attend the meeting on Thursday evening but would like to submit a comment. Please see below.

"My husband and I moved to Tosa in 2018 because it was a family oriented community filled with charm, unique architecture, beautiful craftsmanship and prideful owners. Over the years it seems Tosa's priority is not the current members of the community but yet how do we bring MORE people to the community. Tosa is already a bustling city with a lot of traffic. The village is always busy with foot traffic and plenty of cars. Parking is nearly impossible especially on a weekend. This will also increase garbage in the community. Do we need more trash? Absolutely not. Adding a large apartment complex is only going to make the village more congested causing residents who do not live in the village to avoid going to the village. This will hurt small businesses too. Living in Wauwatosa is already expensive and people are leaving the community because priorities do not align. And with recent talks about closing schools it does not make sense to bring more people to the community. This is going to create more problems for Tosa residents. Tosa does not need another apartment complex especially one that doesn't fit the charm of the community. The design of this building is an eye-sore and is not going to fit in. Where is the unique craftsmanship? The beautiful masonry? The gabled roofline? The arched windows? Etc. I understand unique architecture is expensive to build. But squeezing in a building that looks like a giant boxy prison in the village is not the answer. You want to rehab the existing building, great. Look at what Miller Marriot is doing at The School Sisters of Notre Dame building in Elm Grove. The village is only so big and there are so many other areas of the city that could use help. Look at West Tosa. The old Dodge dealership on Burleigh. How long is that lot going to sit there? But yet you're willing to tear down a beautiful church rather than convert it to something the community needs? I think Wauwatosa needs to table this and look at the community as a whole. Focus on your current members of the community and meet their needs before bringing more people to an already congested area. This property does not belong here."

Thanks,

Sarah Pogorzelski

Stefanie Escobedo

From: tclerks
Sent: Tuesday, April 16, 2024 8:20 AM
To: Sara Elmer; Stefanie Escobedo
Cc: Steven Braatz
Subject: FW: [External] Fugly Downtown Apartment

Zach Kessler
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-----Original Message-----

From: Joe Loduha <joeloduha@gmail.com>
Sent: Tuesday, April 16, 2024 7:02 AM
To: tclerk <tclerk@wauwatosa.net>
Subject: [External] Fugly Downtown Apartment

NOT YOUR FAULT.... I'm sure people are just yelling at the person reading these emails as if YOU are the one personally designing and developing this genital wart of a building. Sorry you have to endure that. Again, not your fault.

BUT.... Just wanted to throw my name in the hopper of people that think Tosa is 'better than this'. As a landlord and 'small scale' developer myself I empathize with the economics of a project like this..... however not downtown Tosa. Sorry developer people, you'll have to either pony up for an architecturally appropriate building that will bolster the Tosa aesthetic..... or go slumlord elsewhere.

Thanks for your consideration,
Joe Loduha
414-689-1185

Sent from my iPhone

Stefanie Escobedo

From: Zachary Kessler
Sent: Tuesday, April 16, 2024 11:15 AM
To: Stefanie Escobedo; Sara Elmer
Cc: Steven Braatz
Subject: FW: [External] Proposed Development of St. Bernard's Site

Zach Kessler

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From: MacKenzie and Cody Connors <macodylee@gmail.com>
Sent: Tuesday, April 16, 2024 11:12 AM
To: tclerk <tclerk@wauwatosa.net>
Subject: [External] Proposed Development of St. Bernard's Site

Design Review Board Members,

We were very sad when we heard the news of the closing of our St. Bernard Parish and then sale of the property. Since we moved to Wauwatosa in 2017 we joined St. Bernard Parish and have had 3 of our children baptized here. We understand the financial logic in the decision, but are still very sad with many family memories here. I do not know why the community was not made aware of the sale and had some input or opportunity to purchase this site for development.

The current design proposed is not acceptable. This is a prime parcel on the hill in Tosa Village that has been used in a community setting for over 100 years. It should at least match the look and feel of the historic Wauwatosa Village and not be more generic apartments.

I hope the Design Review Board strongly challenges the proposed design and suggests a better solution for this parcel. If it is to be apartments - at least add some aspects to benefit the community and have the aesthetics better tie in with the historical nature of Wauwatosa Village. There are so many apartments sites recently developed/ currently being developed in the city of Wauwatosa - why does this prime parcel need to be apartments as well?

Thank you,
Cody Connors
Wauwatosa Resident
Father
Small Business Owner
Former St. Bernard's Parish Member

Stefanie Escobedo

From: tclerks
Sent: Tuesday, April 16, 2024 12:01 PM
To: Stefanie Escobedo; Sara Elmer
Cc: Steven Braatz
Subject: FW: [External] 7474 Harwood Avenue – New Multi-Family 24-0565

Zach Kessler

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From: Timmers, Mike <mike.timmers@krausanderson.com>
Sent: Tuesday, April 16, 2024 11:58 AM
To: tclerks <tclerks@wauwatosa.net>
Subject: [External] 7474 Harwood Avenue – New Multi-Family 24-0565

Good morning,

I wanted to send this email to show my support for the New Multi-Family project which the DRB will be reviewing this Thursday for site of the former St. Bernards Parish. As a resident of Wauwatosa and a Parish Member of Christ King, both for 25 years, I do support this project. This is a great use for the this site. Bringing more residents into the Village will be wonderful for all of the small businesses, bars and restaurants. It is great to see how vibrant and busy the village has become in the time my family has lived in Wauwatosa. There have been so many great additions and changes to the village and this will be one more example of that.

Please feel free to reach out if you have any questions.

Mike Timmers
2565 N. 95th Street
Wauwatosa, WI 53226

Stefanie Escobedo

From: Zachary Kessler
Sent: Tuesday, April 16, 2024 12:00 PM
To: Stefanie Escobedo; Sara Elmer
Cc: Steven Braatz
Subject: FW: [External] 7474 Harwood Ave

Zach Kessler

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From: Elizabeth Liedhegner <esliedhegner@gmail.com>
Sent: Tuesday, April 16, 2024 11:49 AM
To: tclerk <tclerk@wauwatosa.net>
Subject: [External] 7474 Harwood Ave

To whom it may concern,

I am emailing to voice concern over the proposed apartment structure on 7474 Harwood Ave. While I understand the design board has no jurisdiction over who St Bernard's can sell to or how they utilize the property (unfortunately), I think the design board could influence the desired aesthetics of the village and thus this property.

It is unfortunate that St. Bernard's is closing and sold to an apartment developer. It would have been wonderful to see this historic space utilized in a community-favoring manner such as an event space for the many school events that we go out of wauwatosa to attend. The proposed apartment complex that removes all public green space eliminates the ability to have a community centered village. I am sure you have heard concerns over traffic, occupancy, parking etc and all of these are very valid and a great concern of mine as well. What I am hoping to convey is a charge to think about what Tosa Village means to Wauwatosa and how the city/design board foresees this meaning to develop in the future. I can understand a housing shortage and the need for places for people to live. While the proposed building does provide many 1 bedroom units, these are not conducive for families (think 2 cars, 2 kids) and may prohibit retention of these individuals who later become families within Tosa especially if they see no ability to find affordable, family housing within Tosa. I personally know several families who have left Tosa to obtain affordable housing despite really loving the community. Additionally, the proposed design seems to be a cookie-cutter and thoughtless. I own a historic house in Wauwatosa and everything I do to the outside must preserve this historic nature and pass two approval boards. Thus, it seems to me that Wauwatosa is interested in preserving a particular aesthetic. It does not seem that this rigor has been articulated to these designers and thus, one can surmise, is not applied in this situation. The church may not be designated a historic building but it is definitely a pillar for the village and is utilized in promotional materials. I ask you to consider a redesign request to have these developers create something that can fulfill their goals (housing, financial) as well as those of the wauwatosa community (community space, protection of children/pedestrians/ housing for families/aesthetic preservation of a historic village).

Sincerely,

Elizabeth Liedhegner
Church St Homeowner

Stefanie Escobedo

From: Zachary Kessler
Sent: Tuesday, April 16, 2024 12:45 PM
To: Stefanie Escobedo; Sara Elmer
Cc: Steven Braatz
Subject: FW: [External] New apartment development

Zach Kessler

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From: heidi@fendospr.com <heidi@fendospr.com>
Sent: Tuesday, April 16, 2024 12:44 PM
To: tclerk <tclerk@wauwatosa.net>
Subject: [External] New apartment development

I am all for progress in Wauwatosa but I feel this new proposed apartment building for St. Bernard's property is way to large. Traffic is already an issue in downtown Tosa especially at rush hours and parking is also limited. This is not going to help the issue at all. I would like to see it half the proposed size and let's put some green space not only on the inside courtyard but the outside part that the public sees as well.

Heidi Fendos, PR Counsel (She/Her)



Helping clients effectively get their word out.

heidi@fendospr.com
414.778.0766 office
414.403.0744 cell
www.FendosPR.com

Stefanie Escobedo

From: Zachary Kessler
Sent: Tuesday, April 16, 2024 11:43 AM
To: Stefanie Escobedo; Sara Elmer
Cc: Steven Braatz
Subject: FW: [External] Comments for Thursday Design Review Board for 7474 Harwood Ave (St. Bernard's)

Zach Kessler

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From: Heidi Walrath <hktschanz@gmail.com>
Sent: Tuesday, April 16, 2024 11:40 AM
To: tclerk <tclerk@wauwatosa.net>
Subject: [External] Comments for Thursday Design Review Board for 7474 Harwood Ave (St. Bernard's)

Hello,

I am unable to make the meeting in person on Thursday, but I did want to submit my comments.

My husband and I have lived near the Tosa Village since 2020, and we love our community. We love our walks into the village for dinners at some of our fabulous local restaurants and shopping at the small businesses. I initially moved to Wauwatosa as a renter, and while I was drawn to the community, I certainly struggled to find a rental that I thought was nice and modern enough while remaining affordable. Luckily there is a plethora of wonderful duplexes in the community which is where I gained my entrance to Wauwatosa.

So I do have comments/concerns regarding this building design and function.

1. There is not enough public parking in the village that does not cost exorbitant amounts. One issue we've continuously had when inviting friends/family to meet us to enjoy the village is the lack of parking in the area. And the times we have had people try to park in structures, the cost is unbelievable. And the street parking is almost impossible to get during peak dining times or on weekends. This apartment complex would bring in MORE people who will require additional parking (since the parking structure is not offering enough for the total number of beds). **Would the structure have both resident parking and public parking options?**
2. **The design rendering of the building does not appear to be in line with the rest of the Wauwatosa village. In my opinion it looks too modern. Much of the charm of the village is in its historic building architecture.** I did notice the materials includes some cream city brick, but mixed with the gray/cement, it just doesn't appeal to what I like about buildings in the village. I'd probably find more appeal in having a new apartment complex that was more stone/brick facade that looked more similar to either the brick facade of the church that is being replaced or to the other stone buildings in the village.
3. **One missing element I see in the building design is any retail / restaurant space to serve these new residents as well as the community.** With adding this many possible residents to the village, I wonder what effect this will have on existing restaurants and shops in the village. I know the small businesses and restaurants want MORE business, so I see that draw and I support it as I want these businesses to succeed! But I also wonder will we, the

existing community members, be disadvantaged from the influx of new residents (ex: no longer able to walk-in for dining, longer wait times, etc.)?

4. **One retail function we do not have in the village specifically is that of a general / convenience type of small business. Would that be a possible option for this building to offer on it's ground floor for both new residents and the public?**
5. As with many suburbs, getting staff for local bars/restaurants may continue to be a challenge, and with more residents, the existing restaurants, bars, and retail may see increased traffic. **Will they be able to staff up from the community or will this be a burden on the community?**
6. While apartments are great, would a combination of apartments with condos and possibly townhomes offer a better incentive for long-term community members

I love Wauwatosa and I want the community to continue to grow and flourish. But I also want it to expand sustainably and to preserve the aesthetic that we love about the Village. I would prefer to see some modifications to the building's design/architecture to better fit the historical nature of similar buildings in the vicinity, the possible usage of the square footage on the ground floor to accommodate new retail/restaurant space, and also available additional public parking to serve the community.

Thank you,

--

Heidi Walrath

Mobile: 414-218-1414

E-mail: hktschanz@gmail.com

Stefanie Escobedo

From: Zachary Kessler
Sent: Tuesday, April 16, 2024 9:46 AM
To: Stefanie Escobedo; Sara Elmer
Cc: Steven Braatz
Subject: FW: [External] No apartment building at 7474 Harwood Ave

Zach Kessler
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7725 W North Ave | Wauwatosa, WI 53213
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-----Original Message-----

From: Kim Hoffman <kimhoffman1@yahoo.com>
Sent: Tuesday, April 16, 2024 9:16 AM
To: tcclerk@wauwatosa.net
Subject: [External] No apartment building at 7474 Harwood Ave

Please, for the love of all things Tosa, we CANNOT have a multi story apartment building in the HEART of our beloved village.

The current building designs have zero architectural design and will be aesthetically ugly and not inline with our historic downtown. Do we not have any zoning restrictions for our downtown?

Also, if we all have to suffer from congestion and an atrocity of a building, why do we not have CONDOS to accommodate people who would like to downsize and yet stay in their wonderful community of Tosa? Other surrounding communities have condos for those who want to invest in our community but not have the responsibility of owning a home. Why don't we?

When was the last time Toss build CONDOS? Many apartments. Yes. But condos? Will our whole village be simple a collection of apartment buildings with chain restaurants and stores with only a few iconic historic buildings? We can do better!

So much could be done with that space! Townhomes! Or maybe a collection of buildings similar to the ones already downtown with retail on the bottom and living upstairs.

163 units will FLOOD the streets with congestion, making the intersections with Lincoln and East even more dangerous with increased traffic. Also, how will this affect enrollment at the local elementary school?

This will also change the entire vibe of the village. This is such a prominent piece of real estate and whatever is chosen to be built will affect all the residents who live nearby and all who visit the village. More public opinions should be gathered before moving forward with this idea.

We moved to this area for the culture of the Village. Please do not destroy this. And if you absolutely have to build a massive apartment complex, please add some character.

I am opposed to this plan.

Kim Hoffman
1804 n 70
Wauwatosa wi
773-627-9443

Sent from my iPhone

Sara Elmer

From: Stefanie Escobedo
Sent: Wednesday, April 17, 2024 8:07 AM
To: Sara Elmer
Subject: FW: [External] Comments re: 7474 Harwood Ave

From: Zachary Kessler <zkessler@wauwatosa.net>
Sent: Tuesday, April 16, 2024 4:20 PM
To: Stefanie Escobedo <sescobedo@wauwatosa.net>; Sara Elmer <selmer@wauwatosa.net>
Cc: Steven Braatz <sbraatz@wauwatosa.net>
Subject: FW: [External] Comments re: 7474 Harwood Ave

Zach Kessler

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From: Katie <katiweiher@gmail.com>
Sent: Tuesday, April 16, 2024 4:18 PM
To: tclerk <tclerk@wauwatosa.net>
Subject: [External] Comments re: 7474 Harwood Ave

Hello,

I'm a resident of Wauwatosa on 83rd and Jackson Park Blvd. I'm writing with comments regarding the planned development at 7474 Harwood Ave. I understand that an apartment complex is planned for the location.

I support housing development within Tosa, especially multifamily units which are currently missing in our community. However, I would encourage the City to consider condominiums over large rental developments. Homeownership is known to support social and civic engagement. Many people love Tosa for the strong community feeling and condominiums would continue to support this.

Further, the design of this building does not blend with the existing beautiful, unique, and historic architecture of the Village. As the plans are currently drawn, it appears to be an enormous building that does not take into consideration the existing architecture. Quite frankly, it gives off bunker/blockhouse vibes. It will exist in a very prominent Village location and likely impact all future architecture. I ask that the City encourages developments that keep the historic value in Tosa, and especially the Village. I do appreciate that the developer is maintaining the greenspace on the corner of Harwood and Wauwatosa Ave.

I'm also concerned about the increase in vehicle traffic that will come with any large housing complex. This is an expected part of growth and development and I would ask the City to take appropriate and proactive measures to ensure the Village and the surrounding neighborhoods remain pedestrian friendly.

Thank you for considering my comments.

Sara Elmer

From: Zachary Kessler
Sent: Wednesday, April 17, 2024 8:20 AM
To: Stefanie Escobedo; Sara Elmer
Cc: Steven Braatz
Subject: FW: [External] Opposition to 7474 Harwood Development

Zach Kessler

Management Analyst/Deputy City Clerk | City of Wauwatosa
7725 W North Ave | Wauwatosa, WI 53213
Desk: (414) 479-8919 | Office: (414) 479-8917
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From: Melissa K <melissa.smothers@gmail.com>
Sent: Tuesday, April 16, 2024 6:31 PM
To: tclerk <tclerk@wauwatosa.net>
Subject: [External] Opposition to 7474 Harwood Development

Hello, I hope that this letter can be added to the Design Review Meeting materials for the 4/18/24 meeting.

This letter serves to express my deep concern and opposition to the planned apartment complex at the (current) St. Bernard site. The size, scope and design are problematic.

One of the wonderful things about living in Wauwatosa is our village; this locale is often highlighted as a source of pride. Indeed, on our city government website there is a link to the village with a description of it as having "european flair." (see: <https://www.wauwatosavillage.org/>). There is nothing about the existing design that fits within the current aesthetic of the village and I think one that we will regret from a design perspective quickly after its been built (if not already). It is uninspiring, blocky and something you would see in any suburban sprawl.

In addition, the size and scope of the project is too large for the current space. I am concerned about the traffic congestion, parking and increase in vehicles on the roads. A significantly smaller version of this plan with the options of condos would be more fitting. The village is a community space, so using this property for the benefit of residents and including green space is important.

While we do need to increase our tax base, I do not think this aligns with our values. We have approved a plethora of apartment buildings already in Wauwatosa (i.e. most recently Mayfair Mall), do we need more?

Please consider the voices of current residents that are directly impacted by this proposal who live and work within proximity to the village.

Sincerely,
Melissa Smothers, Ph.D.
8022 Stickney Avenue

Sara Elmer

From: Zachary Kessler
Sent: Wednesday, April 17, 2024 8:20 AM
To: Stefanie Escobedo; Sara Elmer
Cc: Steven Braatz
Subject: FW: [External] St Bernard's property

Zach Kessler
Management Analyst/Deputy City Clerk | City of Wauwatosa
7725 W North Ave | Wauwatosa, WI 53213
Desk: (414) 479-8919 | Office: (414) 479-8917 www.wauwatosa.net

-----Original Message-----

From: Diane Dooley <dinahdooley@gmail.com>
Sent: Tuesday, April 16, 2024 7:00 PM
To: tclerk@wauwatosa.net
Subject: [External] St Bernard's property

As a life long resident of Wauwatosa I am very concerned about the proposal to turn the St Bernard's property into apartments. It will ruin the quaint aesthetics of the village. We have enough apartments in the village. Renters do not invest in a community like home owners. If multi family units go there, could you at least consider affordable condominiums? At least they are usually occupied by the owner, and we don't have many in this area. I have spoken to many others with the same concerns as mine- traffic, crime, architecture, crowds, etc. I wish Tosa could go back to the kind of community I lived in 40 years ago.

Sincerely,

James and Margaret Dooley
7825 Stickney Avenue

Sara Elmer

From: Zachary Kessler
Sent: Wednesday, April 17, 2024 8:20 AM
To: Stefanie Escobedo; Sara Elmer
Cc: Steven Braatz
Subject: FW: [External] Proposed development - 7474 Harwood Avenue

Zach Kessler

Management Analyst/Deputy City Clerk | City of Wauwatosa
7725 W North Ave | Wauwatosa, WI 53213
Desk: (414) 479-8919 | Office: (414) 479-8917
www.wauwatosa.net

From: Jenny Sprague <jsprague721@gmail.com>
Sent: Tuesday, April 16, 2024 8:43 PM
To: [tclerk](mailto:tclerk@wauwatosa.net) <tclerk@wauwatosa.net>
Subject: [External] Proposed development - 7474 Harwood Avenue

Hi,
I am submitting comments regarding the proposed development at 7474 Harwood Avenue.

We live only a few blocks from the Village and love to spend time there. I would love to see an aesthetic that better matches the historic village charm.

Thank you,
Jenny Sprague
1705 N. 72nd Street

Attention: City of Wauwatosa Design Review Board
April 17, 2024

Dear City of Wauwatosa,

We are writing in regard to the proposed development at the Wauwatosa Catholic/St. Bernard's parish site in the Wauwatosa village, and particularly to express significant concerns about the design, resident capacity and overall impact on the area. As resident homeowners in the Olde Hillcrest neighborhood since 2012, we have a vested interest in the thoughtful change and development of our neighboring village space. To date, changes have been mostly positive, but the impact of this proposed development in the direct center of the village will be significant. Growth and change is inevitable and there is value to bringing more residents to Wauwatosa, but it is important to introduce change in a way that aligns with the history and integrity of our unique village.

Our specific concerns include:

- **The building design:** The current design of the new apartment building is not only unattractive and a significant departure from the aesthetic of immediately adjacent properties south of it in the village center, but it strikes me more as an office building. I've referred to it as the "Pentagon's residential little sister" - and that is not complimentary.
 - Any proposal in that area should be required to match the aesthetic of the surrounding area
 - Additionally, the design features green space within the center of the building, which creates a prison-type look around the exterior. The current site has open space with grass and a parking lot, but the reality is that the new structure will look like a fortress as you drive around it, with very little green space and no "open air" feeling for passersby.
 - The neighbors directly surrounding the development are being absolutely punished with a forty-foot-tall fortress in their backyard, as close to their property lines as possible.
- **The unit count/potential capacity:** An apartment building of this size will have a dramatic (and negative) impact on the surrounding roads and the crowds in the village. A smaller scaled apartment building would be better suited for this space, as it would continue to allow residential growth without such a dramatic negative impact.
 - The proposal calls for 200 parking spaces. That indicates that most units will be offered one parking spot. With the anticipated cost of these units, it is likely that more than one resident will live in each unit. While there may be some units who don't need cars or only need one, most will require 1-2. With only 200 parking spaces for 163 units, that creates potential for cars without a place to park.
 - This apartment complex will be located directly adjacent to a second proposed development, "Harlow and Hem." Neither location will be "inexpensive"

housing. A few years ago, the Western Building site apartments were abandoned for storage units because “macroeconomic trends may not support more apartments.” Will there be enough demand?

- **Impacts to long term residents and homeowners:** People want to live in Wauwatosa long term. They want to have a true investment in our community.
 - Rentals meet one demand, but not the same demand of people looking for condos, townhomes or single-family homes that are truly affordable for individuals and families.
 - I put an addition on my house and updated the exterior to be more aesthetically pleasing. To do that, I was required to come before the Design Review Board for approval and revisions. I was questioned, critiqued, and made to change small details on a property I own simply because the city said so. The fact that these developers have no such oversight or accountability is a point of failure in Wauwatosa city government. These developers need to be accountable to the residents and the city in the same way we had to be as homeowners investing in our property and neighborhood.
- **Lack of benefit to village visitors/residents:** This massive development in a prime “downtown” location offers no public parking, no first-floor commercial space for shops, restaurants, or child-centric activities and no public green space.
- **Safety issues:** The proposed entrance and exit will lead to Wauwatosa Ave., a highly trafficked road by drivers and pedestrians.
 - Students and teenagers walk to Starbucks, Qdoba and Baskin Robbins.
 - Traffic in and out of the village can be heavy at certain times of the day.
 - Cars heading north on Wauwatosa Ave or northeast to Milwaukee Ave. would encounter several crosswalks with elementary, middle and high school students during morning and afternoon rush times.
 - The proposed traffic flow from Harlow and Hem also uses Wauwatosa Ave., increasing traffic and reducing safety in pedestrian-friendly area with multiple school zones.
- **Potential conflicts with Tosa 2075 Task Force:** As the Task Force makes key recommendations about the future of neighborhood schools, the potential for an influx of students from this development and the adjacent Harlow and Hem apartment complex may create added complexity in a soon-to-be reduced elementary school system.

Thank you for your attention to resident concerns and for sharing in a goal of long-term economic health and overall integrity of the Wauwatosa Village through strategic decision making.

Best,

Laura and Ryan Hanson
1747 N. 73rd Street

Sara Elmer

From: Zachary Kessler
Sent: Wednesday, April 17, 2024 10:00 AM
To: Stefanie Escobedo; Sara Elmer
Cc: Steven Braatz
Subject: FW: [External] St Bernard's Church properly

Zach Kessler
Management Analyst/Deputy City Clerk | City of Wauwatosa
7725 W North Ave | Wauwatosa, WI 53213
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-----Original Message-----

From: Roger Nash <rpnash2@gmail.com>
Sent: Wednesday, April 17, 2024 9:39 AM
To: tcclerk@wauwatosa.net
Subject: [External] St Bernard's Church properly

The plan for this site which was recently submitted is inappropriate. What a tragedy.

This beautiful church is an anchor in the community. Replace it with this ugly mess? What's happening to this community?

We do not need any more apartments since several are planned in Wauwatosa.

Where's our pedestrian - friendly city of green space? It's impossible to cross the streets now. The traffic is terrible.

Thank you.

Judy Nash

Sent from my iPhone

Sara Elmer

From: Zachary Kessler
Sent: Wednesday, April 17, 2024 10:00 AM
To: Stefanie Escobedo; Sara Elmer
Cc: Steven Braatz
Subject: FW: [External] St Bernard Site Development

Zach Kessler

Management Analyst/Deputy City Clerk | City of Wauwatosa
7725 W North Ave | Wauwatosa, WI 53213
Desk: (414) 479-8919 | Office: (414) 479-8917
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From: Tracy Richardson <tracyrichardson914@gmail.com>
Sent: Wednesday, April 17, 2024 9:40 AM
To: tclerk <tclerk@wauwatosa.net>
Subject: [External] St Bernard Site Development

Hello,

I will not be able to make the public hearing about the proposed apartment development in the Tosa Village in the St Bernard site.

I did want to express my concern about traffic flow. Having 163 apartment units brings a lot more people to that area that is already busy and congested. Where is the proposed site for the apartment parking and driveway? I believe any more congestion around Harwood Ave there could be very dangerous. My family already has trouble getting people to stop their vehicles for us to cross at the designated crosswalks in that area. Root Common Park is newly updated and will definitely attract many kids and families. The Village hosts so many wonderful events that are family friendly, and I'm sure that's a prime spot to live in an apartment, but I mostly worry about added congestion and in return the safety of the area after the addition of that many more people who live there.

Thank you for your time and for discussing this with the community.

Tracy Richardson

Sara Elmer

From: Zachary Kessler
Sent: Wednesday, April 17, 2024 10:00 AM
To: Stefanie Escobedo; Sara Elmer
Cc: Steven Braatz
Subject: FW: [External] The Village: St Bernards land

Zach Kessler

Management Analyst/Deputy City Clerk | City of Wauwatosa
7725 W North Ave | Wauwatosa, WI 53213
Desk: (414) 479-8919 | Office: (414) 479-8917
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From: virginia kaperick <viriniakap@hotmail.com>
Sent: Wednesday, April 17, 2024 9:44 AM
To: tclerk <tclerk@wauwatosa.net>
Subject: [External] The Village: St Bernards land

Hello,

I am writing to you as a 12-year parish member of St Bernards and parent of a recent graduate of Wauwatosa Catholic School. The Village was a huge draw when I moved here from Chicago. I wanted that small town, know your neighbors feel. I wanted to not have to drive everywhere to find places to gather and enjoy with family and friends. And it has been great. Please do not let this very important part of the Wauwatosa Village community become condos.

Yes, I definitely agree that there needs to be good apartment and condo options especially for long-time residents who wish to downsize and stay in Wauwatosa, however this cannot be the site. The Village is the best of Wauwatosa and is what draws people to want to come visit, to spend money and live here. We need to expand options to continue to make The Village a destination for all, not just those who want a new apartment there. That space is a prime space and has long been part of many Wauwatosa memories such as Christmas tree lightings, summer music and festivals. This area could be used to expand the Village to incorporate things the village needs, that Wauwatosa residents want and would use. It could become an even more vibrant community place to gather. Lots of other options should be considered such as more family-owned restaurants and businesses, little shops, maybe a community activity center to facilitate people gathering in the village throughout the year, especially in the colder months.

Please consider other options at the council meeting on 4/18/24.

Sincerely
Virginia Kaperick
1715 N 70th St
Wauwatosa, WI

Sara Elmer

From: Zachary Kessler
Sent: Wednesday, April 17, 2024 10:00 AM
To: Stefanie Escobedo; Sara Elmer
Cc: Steven Braatz
Subject: FW: [External] Proposed Development at St. Bernard Site in Village

Zach Kessler

Management Analyst/Deputy City Clerk | City of Wauwatosa
7725 W North Ave | Wauwatosa, WI 53213
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From: Heather Littrell <heather.littrell@icloud.com>
Sent: Wednesday, April 17, 2024 9:52 AM
To: tclerk <tclerk@wauwatosa.net>
Subject: [External] Proposed Development at St. Bernard Site in Village

Good morning,

I am currently resident of the Village of Wauwatosa and grew up west Wauwatosa, frequenting the village and Hoyt park areas every week as a younger child. Seeing the proposed development of a 163 unit apartment building to be built on the corner of what is already a very busy intersection in the village is very disheartening to me.

Though I understand the land has already been sold, how can we approve a building that offers no green space, is an eye sore for passers by, and not to mention the insane increase in traffic we'd see. The village park is meant to be walkable, especially for the kids who walk it every day to and from school. Adding this structure would increase traffic and congestion in an area that, I believe, is already so much more congested than 20 years ago.

Seeing this development happen would take away from the charm and charisma the village has. Which is what draws our visitors. Please don't build an apartment building in our village.

Kind regards,
Heather Littrell

Sara Elmer

From: Zachary Kessler
Sent: Wednesday, April 17, 2024 10:00 AM
To: Stefanie Escobedo; Sara Elmer
Cc: Steven Braatz
Subject: FW: [External] Apartments slotted for St. Bernard

Zach Kessler
Management Analyst/Deputy City Clerk | City of Wauwatosa
7725 W North Ave | Wauwatosa, WI 53213
Desk: (414) 479-8919 | Office: (414) 479-8917 www.wauwatosa.net

-----Original Message-----

From: sue madden <suemadden27@gmail.com>
Sent: Wednesday, April 17, 2024 9:52 AM
To: tclerk <tclerk@wauwatosa.net>
Subject: [External] Apartments slotted for St. Bernard

Hello

I have been a Tosa resident for 44 years . I have seen many nice changes to the area, especially the village. For that reason, I would hate to see the village become more crowded and less attractive. It is also my understanding that only one architect was involved in designing a plan. Why is that? Wouldn't it make sense to get other ideas?

Apartments that are being built are very generic looking and these do as well. I'd like to think that Wauwatosa is not 'generic'. Why take a step backwards?

Also, there is a great need for condos for senior citizens. That has been an issue for a long time and studies have been made to verify this. Why not move in that direction?

I hope this email is shared at the meeting that is being held

Thank you,

Sue Madden
2031 N 84

Sent from my iPad

Sara Elmer

From: Zachary Kessler
Sent: Wednesday, April 17, 2024 10:00 AM
To: Stefanie Escobedo; Sara Elmer
Cc: Steven Braatz
Subject: FW: [External] 7474 Harwood Ave

Zach Kessler

Management Analyst/Deputy City Clerk | City of Wauwatosa
7725 W North Ave | Wauwatosa, WI 53213
Desk: (414) 479-8919 | Office: (414) 479-8917
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From: Molly Grimm <mollydgrimm@gmail.com>
Sent: Wednesday, April 17, 2024 9:56 AM
To: tclerk <tclerk@wauwatosa.net>
Subject: [External] 7474 Harwood Ave

Good Morning,

I cannot attend the meeting this evening, but I would like to express my opinion on the 7474 Harwood Ave project.

Our family chose to move to Wauwatosa in July of 2024 - over Whitefish Bay or Mequon where my husband and I grew up, because it is a family-oriented community filled with charm, we felt welcomed and at home. We loved the walkability, the great schools, and the chance to buy a beautiful historic home. The new apartment building at 7474 Harwood Ave does not reflect the values of the Wauwatosa we moved to less than a year ago.

The lack of focus on the current Wauwatosa community is disheartening.

As others have shared, Wauwatosa is already a bustling city with a lot of traffic. The village is always busy with foot traffic and plenty of cars. Parking is nearly impossible, especially on weekends.

The look of the building lacks any and all character that Wauwatosa is known for. It is a stark contrast to the beautiful historic homes and the quaint beauty of our village. It looks cold, uninviting, and too modern. The harsh lines feel intimidating and too modern for a town that boasts so much beauty. This will be an eyesore welcoming people into our city, they will be met with something that looks like a prison and does not reflect the beauty of our wonderful community.

I am appalled to see the monetary value, put before the needs and wants of those who choose to live here and pay taxes. If anything those living in the apartment will likely be medical personnel - here for a few years and then moving on. It will not provide stabilization and investment into our community with new members but will push those who truly want to be here and raise their families here out.

I am begging you to listen to your community members!

Molly

--

Molly Dixon Grimm

414.429.3535

mollydgrimm@gmail.com

[@mollydixongrimm](#)

[LinkedIn](#)

Sara Elmer

From: Zachary Kessler
Sent: Wednesday, April 17, 2024 10:10 AM
To: Stefanie Escobedo; Sara Elmer
Cc: Steven Braatz
Subject: FW: [External] Proposed development at 7474 Harwood

Zach Kessler
Management Analyst/Deputy City Clerk | City of Wauwatosa
7725 W North Ave | Wauwatosa, WI 53213
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-----Original Message-----

From: Jennah mariani <jennahmariani@gmail.com>
Sent: Wednesday, April 17, 2024 10:09 AM
To: tcclerk@wauwatosa.net
Subject: [External] Proposed development at 7474 Harwood

Hello,

As a community member, I know we would like to see the property used for new businesses, shops and restaurants to enhance the downtown Wauwatosa experience.

Sincerely,
Jennah Mariani

Sara Elmer

From: Zachary Kessler
Sent: Wednesday, April 17, 2024 10:18 AM
To: Stefanie Escobedo; Sara Elmer
Cc: Steven Braatz
Subject: FW: [External] St Bernard development design concerns

Zach Kessler
Management Analyst/Deputy City Clerk | City of Wauwatosa
7725 W North Ave | Wauwatosa, WI 53213
Desk: (414) 479-8919 | Office: (414) 479-8917 www.wauwatosa.net

-----Original Message-----

From: Megan Gleeson <megankgleeson@gmail.com>
Sent: Wednesday, April 17, 2024 10:17 AM
To: tclerk <tclerk@wauwatosa.net>
Subject: [External] St Bernard development design concerns

City of Wauwatosa Officials and Design Review Board members:

The proposed development at the St Bernard site is a disgrace to our historic village.

I understand the demand for apartments and the benefits they will have on village businesses. However, there MUST be some thoughtful design put towards this new development. Please do not allow another generic big-box apartment building to be plopped in the center of our lovely village. It may look okay while it is fresh and new, however in several years it will look cheap and dated. In short order, it will be a blight on our community.

I have lived in Wauwatosa for almost 20 years and I love the way the village has matured and developed. This proposed apartment complex would be a huge set back to the wonderful development in our charming and historic village.

Thank you,
Megan Gleeson

Sara Elmer

From: Zachary Kessler
Sent: Wednesday, April 17, 2024 11:00 AM
To: Stefanie Escobedo; Sara Elmer
Cc: Steven Braatz
Subject: FW: [External] 7474 Harwood Avenue

Zach Kessler

Management Analyst/Deputy City Clerk | City of Wauwatosa
7725 W North Ave | Wauwatosa, WI 53213
Desk: (414) 479-8919 | Office: (414) 479-8917
www.wauwatosa.net

From: Mike Fee <michaelg.fee@gmail.com>
Sent: Wednesday, April 17, 2024 10:44 AM
To: tclerk <tclerk@wauwatosa.net>
Subject: [External] 7474 Harwood Avenue

Hello,

I am writing in opposition to the designs submitted for the redevelopment of St. Bernard's at 7474 Harwood Avenue. My principal objections are twofold:

(1) Size and Mass - the design is inappropriate for the site and location within the village. Sitting high above the village, this project will loom down and dwarf the historical village. Unfavorable comparisons to the pentagon, Fort McHenry and others, in my view, accurately express the effect the project would have.

(2) Single Use - single-use (apartment rentals) is a waste of the opportunity available at such a centralized location. Multi-use, including ownership and rental residential, retail and commercial, would integrate more favorably into the village and provide all residents amenities and opportunities at a location that is so central to the community.

I was very excited when I heard that St. Bernard's would be sold and redeveloped. Not because I was happy that the Diocese decided to close the parish but because of the opportunity for growth, tax revenue and amenities that the location represented. The designs submitted were a tremendous disappointment.

Best,

Mike Fee
8809 Stickney Ave

Sara Elmer

From: Zachary Kessler
Sent: Wednesday, April 17, 2024 11:00 AM
To: Stefanie Escobedo; Sara Elmer
Cc: Steven Braatz
Subject: FW: [External] 7474 Hardwood Ave

Zach Kessler

Management Analyst/Deputy City Clerk | City of Wauwatosa
7725 W North Ave | Wauwatosa, WI 53213
Desk: (414) 479-8919 | Office: (414) 479-8917
www.wauwatosa.net

From: Nicholas Moyer <moyer.n.p@gmail.com>
Sent: Wednesday, April 17, 2024 10:47 AM
To: tclerk <tclerk@wauwatosa.net>
Subject: [External] 7474 Hardwood Ave

Dear Design Review Board,

I am writing to express my strong opposition to the proposed 163 unit apartment complex in the heart of Wauwatosa Village. As a resident deeply invested in the well-being and future of our community, I believe that this area should be preserved as an urban greenspace rather than further congested with additional residential units.

The proposed development not only exacerbates the already heavy congestion in the area but also raises concerns about the significant increase in traffic flow. With over 300 additional cars expected, the safety and convenience of pedestrians, cyclists, and residents alike are at risk.

Moreover, I urge the city to prioritize pedestrian-friendly initiatives and enhance safety measures for pedestrians. Wauwatosa should strive to become a more walkable and livable city, where pedestrians can navigate our streets without fear or inconvenience.

It is disheartening to see the city prioritize the interests of big businesses and real estate developers over the well-being of its residents. The sale of the property to a real estate developer without due consideration for public opinion is a clear indication of the city's failure to uphold its commitment to community engagement and planning.

I implore the city to reconsider its stance and actively involve residents in decisions that shape the future of our beloved village. Let us work together to create a Wauwatosa that embodies the charm and livability of European-inspired villages, where green spaces thrive and pedestrian infrastructure flourishes.

Thank you for considering my concerns. I look forward to seeing a positive outcome that reflects the best interests of our community.

Sincerely,
Nicholas Moyer

Sara Elmer

From: Zachary Kessler
Sent: Wednesday, April 17, 2024 11:00 AM
To: Stefanie Escobedo; Sara Elmer
Cc: Steven Braatz
Subject: FW: [External] Apartment/St. Bernard

Zach Kessler

Management Analyst/Deputy City Clerk | City of Wauwatosa
7725 W North Ave | Wauwatosa, WI 53213
Desk: (414) 479-8919 | Office: (414) 479-8917
www.wauwatosa.net

From: Anne Ward <anneward365@gmail.com>
Sent: Wednesday, April 17, 2024 10:30 AM
To: tclerk <tclerk@wauwatosa.net>
Subject: [External] Apartment/St. Bernard

Attention: City of Wauwatosa Design Review Board
April 17, 2024

Dear City of Wauwatosa,

I am writing in regard to the proposed development at the Wauwatosa Catholic/St. Bernard's parish site in the Wauwatosa village, and particularly to express significant concerns about the design, resident capacity and overall impact on the area. I am writing as an individual with a vested interest in the thoughtful change and development of our neighboring village space. To date, changes have been mostly positive, but the impact of this proposed development in the direct center of the village will be significant. Growth and change is inevitable and there is value to bringing more residents to Wauwatosa, but it is important to introduce change in a way that aligns with the history and integrity of our unique village.

My specific concerns include:

- **The building design:** The current design of the new apartment building is not only unattractive and a significant departure from the aesthetic of immediately adjacent properties south of it in the village center, but it strikes me more as an office building with a fortress-style, closed off look.
 - Any proposal in that area should be required to match the aesthetic of the surrounding area
 - Additionally, the design features green space within the center of the building, which creates a prison-type look around the exterior. The current site has open space with

grass and a parking lot, but the reality is that the new structure will look like a wall as you drive around it, with very little green space and no “open air” feeling for passersby.

- The neighbors directly surrounding the development are being absolutely punished with a forty-foot-tall fortress in their backyard, as close to their property lines as possible.
- **The unit count/potential capacity:** An apartment building of this size will have a dramatic (and negative) impact on the surrounding roads and the crowds in the village. A smaller scaled apartment building would be better suited for this space, as it would continue to allow residential growth without such a dramatic negative impact.
 - The proposal calls for 200 parking spaces. That indicates that most units will be offered one parking spot. With the anticipated cost of these units, it is likely that more than one resident will live in each unit. While there may be some units who don’t need cars or only need one, most will require 1-2. With only 200 parking spaces for 163 units, that creates potential for cars without a place to park.
 - This apartment complex will be located directly adjacent to a second proposed development, “Harlow and Hem.” Neither location will be “inexpensive” housing. A few years ago, the Western Building site apartments were abandoned for storage units because “macroeconomic trends may not support more apartments.” Will there be enough demand?
- **Impacts to long term residents and homeowners:** People want to live in Wauwatosa long term. They want to have a true investment in our community.
 - Rentals meet one demand, but not the same demand of people looking for condos, townhomes or single-family homes that are truly affordable for individuals and families.
 - Individuals who renovate their homes have routinely been required to come before the Design Review Board for approval and revisions. The fact that these developers have no such oversight or accountability is a point of failure in Wauwatosa city government. These developers need to be accountable to the residents and the city in the same way we had to be as homeowners investing in our property and neighborhood.
- **Lack of benefit to village visitors/residents:** This massive development in a prime “downtown” location offers no public parking, no first-floor commercial space for shops, restaurants, or child-centric activities and no public green space.
- **Safety issues:** The proposed entrance and exit will lead to Wauwatosa Ave., a highly trafficked road by drivers and pedestrians.
 - Students and teenagers walk to Starbucks, Qdoba and Baskin Robbins.
 - Traffic in and out of the village can be heavy at certain times of the day.
 - Cars heading north on Wauwatosa Ave or northeast to Milwaukee Ave. would encounter several crosswalks with elementary, middle and high school students during morning and afternoon rush times.
 - The proposed traffic flow from Harlow and Hem also uses Wauwatosa Ave., increasing traffic and reducing safety in pedestrian-friendly area with multiple school zones.
- **Potential conflicts with Tosa 2075 Task Force:** As the Task Force makes key recommendations about the future of neighborhood schools, the potential for an influx of

students from this development and the adjacent Harlow and Hem apartment complex may create added complexity in a soon-to-be reduced elementary school system.

Thank you for your attention to resident concerns and for sharing in a goal of long-term economic health and overall integrity of the Wauwatosa Village through strategic decision making.

Sara Elmer

From: Zachary Kessler
Sent: Wednesday, April 17, 2024 11:00 AM
To: Stefanie Escobedo; Sara Elmer
Cc: Steven Braatz
Subject: FW: [External] public comment on proposed development at St. Barnard site

Zach Kessler

Management Analyst/Deputy City Clerk | City of Wauwatosa
7725 W North Ave | Wauwatosa, WI 53213
Desk: (414) 479-8919 | Office: (414) 479-8917
www.wauwatosa.net

From: Wes Albinger <wesalbingerlwa@gmail.com>
Sent: Wednesday, April 17, 2024 10:44 AM
To: tclerk <tclerk@wauwatosa.net>
Subject: [External] public comment on proposed development at St. Barnard site

Hello

Homeowner and taxpayer from the Glenview Heights neighborhood.

I object to the proposed development at this site. It is out of scale with the neighborhood, and the design is bland even by the standards of large unit developments.

Doubtless the developer has anticipated this objection and is prepared to scale back the development by 5-10%, but this would also still be too large. The development should be scaled back at least 50% and include more varied setback and facades.

Wes Albinger

Sara Elmer

From: Zachary Kessler
Sent: Wednesday, April 17, 2024 1:17 PM
To: Stefanie Escobedo; Sara Elmer
Cc: Steven Braatz
Subject: FW: [External] St. Bernard's site Design Review meeting

Zach Kessler

Management Analyst/Deputy City Clerk | City of Wauwatosa
7725 W North Ave | Wauwatosa, WI 53213
Desk: (414) 479-8919 | Office: (414) 479-8917
www.wauwatosa.net

From: Kathleen Causier <kathy2477@gmail.com>
Sent: Wednesday, April 17, 2024 12:20 PM
To: tclerk <tclerk@wauwatosa.net>
Subject: [External] St. Bernard's site Design Review meeting

To the development team:

While I welcome additional housing being placed on the St. Bernard's site, I find the proposed design to be monolithic, unwelcoming and not in keeping with the charm of the village.

The building is sited on the most prominent site in the city in one of the most walkable neighborhoods of the city, but due to the closed courtyard and the "quiet" entrance it lacks a connection to the park at the corner of Wauwatosa and Harwood Aves and to the neighborhood in general. The closed triangular courtyard and lack of greenspace around the building isolate the tenants from the neighborhood. This does not seem to me to be a welcoming structure; it seems cold and distant and better suited to a generic suburban location.

Time and time again the residents of Wauwatosa have asked for housing options in the form of townhouses and condos. The size of this site suggests that perhaps there are other configurations that should be considered for the site.

This site is within shouting distance of two schools and an easy walk from a third. The apartments are not sized for families. Can some of the space be reconfigured into 3 bedroom apartments?

I urge the Design Review board members to demand more of the developers for this significant site.

To the former owners:

Wauwatosa has been laboring against overwhelming and growing odds to find ways to increase access to affordable housing. It is disappointing and disheartening to realize that this development has not addressed this issue. You will see a financial gain from the sale of the site but it would have been wonderful if your mission would have encouraged you and the developer to think about other housing options than small apartments that do not work for families.

Sara Elmer

From: tclerks
Sent: Wednesday, April 17, 2024 1:17 PM
To: Stefanie Escobedo; Sara Elmer
Cc: Steven Braatz
Subject: FW: [External] St. Bernard's property objection

Zach Kessler
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-----Original Message-----

From: janice dickert <jandickert@icloud.com>
Sent: Wednesday, April 17, 2024 12:22 PM
To: tclerk <tclerk@wauwatosa.net>
Subject: [External] St. Bernard's property objection

Sent from my iPhone Horrible!!!! Tosa doesn't "need" any more multi-family housing units. Esp in this already congested spot. 163 units??? The traffic congestion is already on overload and with 2 schools just a block north of this on Wauwatosa Ave, I can't imagine. Wauwatosa Ave is 2 lanes, Harmonie Ave is 4 lanes over the bridge with a tight turn onto Harwood Ave heading west. Froedert and the Medical College add to the congestion on Watertown Plank Rd. I worked on Mayfair Rd at the Aurora Health clinic and it would take me at least 30 minutes to travel 3.4 miles to my Lefebvre Ave home and that was on a sunny day. In the winter it was 45 minutes or more. My daughter and her family live on Lincoln Pl which a lovely quiet neighborhood and this will change drastically if 163 apartments are placed in this area. I object object object.

Sincerely

Janice M Dickert Schuster

Sara Elmer

From: Zachary Kessler
Sent: Wednesday, April 17, 2024 1:17 PM
To: Stefanie Escobedo; Sara Elmer
Cc: Steven Braatz
Subject: FW: [External] St Bernard's Proposal

Zach Kessler

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From: Maria Mitchell <mariakathleenmitchell@gmail.com>
Sent: Wednesday, April 17, 2024 12:24 PM
To: tclerk <tclerk@wauwatosa.net>
Subject: [External] St Bernard's Proposal

As a life long resident of Wauwatosa and current village resident I want to express my concern that the village does not seem to have any architectural standards and historical society requirements for new construction. Past generations left us beautiful buildings and I am deeply concerned we will quickly lose the charm of the village without architectural standards and protections. New builds should use cohesive materials and styles to maintain the classic charm, look and feel. I am not opposed to more housing in that location but the designs need to be much more beautiful, thoughtful and classical with concern for what we leave to future residents for the next 100+ years. The current proposal is utilitarian, ugly and in no way integrates into the beauty surrounding.

As a Catholic as well, that land of St. Bernard's has been consecrated. Please respectfully consider a performing arts center, park or really thoughtful addition to village life especially as the location is the highest point and center of the village.

This building is the immediate concern but my fears extend to future builds. I would like to see protections and standards put in place that welcome new buildings to the village but that integrate and maintain the same heritage we've been blessed to receive.

Thank you,

Maria Mitchell
Wauwatosa Village resident

Sara Elmer

From: Zachary Kessler
Sent: Wednesday, April 17, 2024 1:17 PM
To: Stefanie Escobedo; Sara Elmer
Cc: Steven Braatz
Subject: FW: [External] 163 apartment building

Zach Kessler
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-----Original Message-----

From: MARIA SANDERS <jacklainie@aol.com>
Sent: Wednesday, April 17, 2024 12:52 PM
To: tclerk@wauwatosa.net
Subject: [External] 163 apartment building

I have lived in Tosa for over 30 years and can't imagine a worse idea than the proposed apartment complex on the current St. Bernards property. I would firmly vote no to any such proposal and would be at the meeting tonight if I was not out of town on business.

Maria Sanders
2451 north 81st street

Sara Elmer

From: Stefanie Escobedo
Sent: Wednesday, April 17, 2024 1:51 PM
To: Sara Elmer
Subject: Open Occupancies

Can you contact the following and setup occupancy inspections?

BC2023-0225
BC2023-0185
BC2023-0242

BC2023-0275
BC2024-0036
BC2023-0264
BC2024-0049
BC2024-0045
BC2024-0063

Thank You,
Stefanie Escobedo
Building & Safety Manager
City of Wauwatosa
Office: 414-479-8913
[Wauwatosa Self Serve Portal: Online Permitting](#)



ONLINE LICENSES AND PERMITS
No more paper. Submit plans from wherever you are.
Access updates and easily communicate with staff.

Sara Elmer

From: Stefanie Escobedo
Sent: Wednesday, April 17, 2024 1:51 PM
To: Sara Elmer
Subject: Open Occupancies

Can you contact the following and setup occupancy inspections?

BC2023-0225

BC2023-0185

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BC2024-0036
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Thank You,
Stefanie Escobedo
Building & Safety Manager
City of Wauwatosa
Office: 414-479-8913

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ONLINE LICENSES AND PERMITS
No more paper. Submit plans from wherever you are.
Access updates and easily communicate with staff.

Sara Elmer

From: Zachary Kessler
Sent: Wednesday, April 17, 2024 2:13 PM
To: Stefanie Escobedo; Sara Elmer
Cc: Steven Braatz
Subject: FW: [External] Design Review Board Comments: 7474 Harwood Avenue

Zach Kessler

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From: Laura Hyland <lan.1067@gmail.com>
Sent: Wednesday, April 17, 2024 2:11 PM
To: tclerk <tclerk@wauwatosa.net>
Subject: [External] Design Review Board Comments: 7474 Harwood Avenue

In response to the proposed development of 7474 Harwood Avenue, I strongly encourage the City to take time to consider the use of the property before approving something that will be with the City for 100+ years. The speed at which this development appears to be moving is very fast. While I do not necessarily take exception to developing apartments, given the location of the property in the heart of the Wauwatosa Village various uses should be considered.

Regards,
Laura Hyland
1738 N 70th St, Wauwatosa, WI 53213

--

Laura Nielsen Hyland

Sara Elmer

From: Zachary Kessler
Sent: Wednesday, April 17, 2024 2:15 PM
To: Stefanie Escobedo; Sara Elmer
Cc: Steven Braatz
Subject: FW: [External] Apts to go in on the St. Bernard's

Zach Kessler
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-----Original Message-----

From: linda.mikkalson@gmail.com <linda.mikkalson@gmail.com>
Sent: Wednesday, April 17, 2024 2:13 PM
To: tclerk <tclerk@wauwatosa.net>
Subject: [External] Apts to go in on the St. Bernard's

To whom it may concern-we are a neighborhood of homes - no more apartments!!! Create parcels for home building or condos or small business development. Enough is enough!!!

Linda Mikkalson
30 yr. Tosa home owner
Sent from my iPhone

Sara Elmer

From: tclerks
Sent: Wednesday, April 17, 2024 2:16 PM
To: Stefanie Escobedo; Sara Elmer
Cc: Steven Braatz
Subject: FW: [External] Apartments

Zach Kessler
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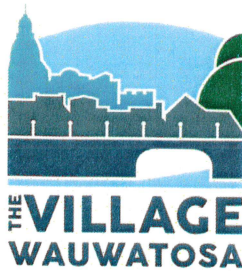
-----Original Message-----

From: Sara Nencka <greebsrdh@hotmail.com>
Sent: Wednesday, April 17, 2024 2:15 PM
To: tclerks <tclerks@wauwatosa.net>
Subject: [External] Apartments

Hi,

Please don't pass the apartment complex that has been designed for the St. Bernard's lot. Wauwatosa doesn't not need anymore apartments and the design the ugly! Traffic is terrible at that intersection and there isn't a need for 200+ more cars from an apartment complex. Plus there used to be only 1 parking space per unit with an additional 23 spots for public parking. That will never work. The apartments need to be scratched and let's build something else for our city. This is the heart of Wauwatosa why do we want another ugly apartment complex?!?!

Sara Nencka
2623 n 90th
Sent from my iPhone



Apr 17, 2024

FROM
Village of Wauwatosa BID
Chris Barlow
Executive Director
7603A State St.
Wauwatosa, WI 53213

ATTN: City of Wauwatosa Design Review Board & City Clerk's office,

This letter is on behalf of The Wauwatosa Village Business Improvement District (BID) Executive Board to express our support for the apartment proposal submitted by Three Leaf Development for the St. Bernard's property in Wauwatosa.

After discussing this proposal with our Board of Directors we arrived at our position due to the cooperation of Three Leaf and their willingness to assist us in the activation of the pocket park adjacent to the property. In general terms, we were encouraged that Three Leaf was open to creating a building that will have a community feel.

Furthermore, we are impressed by Three Leaf Green's track record of responsible development and its dedication to fostering strong relationships with the local business community.

We firmly believe that the proposed apartment complex will serve as a valuable addition to our community, providing economic stimulus, fostering a sense of community, and contributing to the ongoing revitalization of our village. As such, we urge the City of Wauwatosa to support this project and grant the necessary approvals to facilitate its realization.

Thank you for considering our perspective on this matter. Should you require any further information or assistance, please do not hesitate to contact me directly.

Chris Leffler
Village of Wauwatosa BID President

Sara Elmer

From: Zachary Kessler
Sent: Wednesday, April 17, 2024 2:52 PM
To: Stefanie Escobedo; Sara Elmer
Cc: Steven Braatz
Subject: FW: [External] Proposed apartments at St Bernard's

Zach Kessler

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From: Megan Koceja <megan.koceja@gmail.com>
Sent: Wednesday, April 17, 2024 2:29 PM
To: tclerk <tclerk@wauwatosa.net>; Andrew Meindl <ameindl@wauwatosa.net>; James Moldenhauer <jmoldenhauer@wauwatosa.net>
Subject: [External] Proposed apartments at St Bernard's

Hello,

I am emailing to share my thoughts regarding the proposed apartment building at the former St Bernard's location.

I think it's a terrible idea to put a massive apartment complex in this location. Not only are the designs horrible (really, they look appalling), but it doesn't align with the aesthetic or feel of the Village.

If apartments are deemed the end result for this space, then they should be designed in a fashion that matches the look of the village. Cream City brick, or similar. Along the lines of how the Eschweiler buildings were designed with historical context.

Instead though, I'd love for this space to be used for the public. Also, what's going to happen to our holiday celebrations and the city tree lighting?

Some of my suggestions for this space are:

- **a small community center**
 - with conference rooms, a theater, a kitchen, etc
 - residents could request to use spaces as they need
 - an area for local Girl Scouts to use for meeting space or even to have a storage space for community used items (like flags, camping gear, craft supplies, etc - right now, all community used GS items are stored in my basement).
- **green space**
 - either a new park space, or an extension of the Root Commons area
 - a sculpture garden, complete with interspersed pollinator gardens
 - interactive additions for children to play and learn (European cities will place mini trampolines in-ground for people to jump on as they walk through, something that has been shown to improve mental and physical health).

- Enhance the city tree, allowing it to grow, while making the area a place for people to gather during our holiday celebrations.

The Village is an integral part of the Tosa Community's persona. Sticking an apartment complex in the middle of it takes away from the charm, not to mention the increased traffic this will create.

I hate the proposed plans, and I really encourage my city officials to stop this proposal. We need something that is conducive to the lives of the residents that live here. Not someone who is just looking to make money.

Thank you for your time and consideration

Megan Kocaja (also the Wauwatosa area Girl Scout Unit Leader)
775-721-7909

Sara Elmer

From: Zachary Kessler
Sent: Wednesday, April 17, 2024 2:52 PM
To: Stefanie Escobedo; Sara Elmer
Cc: Steven Braatz
Subject: FW: [External] Apartment/St. Bernard

Zach Kessler

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From: Anne Ward <anneward365@gmail.com>
Sent: Wednesday, April 17, 2024 2:42 PM
To: tclerk <tclerk@wauwatosa.net>
Subject: [External] Apartment/St. Bernard

Dear Developers,

Additionally, I wanted to mention that the community would be most grateful if your design considered Tosa residents who love the village for its quaint uniqueness (that draws people from all over the metro Milwaukee area) because of our beautiful old buildings, amazing restaurants, one of a kind shops and thoughtful green space.

I would imagine that many of the residents drawn to live in your building are motivated by these above mentioned factors.

And since your building will bring many more residents - likely people who are single and/or working professionals and like to eat out and shop - having more options in the village would not only be great for all residents in today, but keep your property attractive for future renters.

Please, please consider adding retail/restaurant space to your design. Bring more vibrancy to the village and draw people in with unique options. This moment feels like such an opportunity for the village and it would be such a shame to not invest back into the fun and heart of what makes the Tosa Village so special!

Praying that you will think about this and the residents who would love to see more interest and opportunity come from your build.

Thank you for your consideration,
Anne Ward

Sara Elmer

From: Zachary Kessler
Sent: Wednesday, April 17, 2024 2:53 PM
To: Stefanie Escobedo; Sara Elmer
Cc: Steven Braatz
Subject: FW: [External] Complex at St. Bernard location

Zach Kessler

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www.wauwatosa.net

From: Blake Ward <blake.n.ward@gmail.com>
Sent: Wednesday, April 17, 2024 2:46 PM
To: tclerk <tclerk@wauwatosa.net>
Subject: [External] Complex at St. Bernard location

Dear Developers,

The community would be most grateful if your design considered Tosa residents who love the village for its quaint uniqueness (that draws people from all over the metro Milwaukee area) because of our beautiful old buildings, amazing restaurants, one of a kind shops and thoughtful green space.

I would imagine that many of the residents drawn to live in your building are motivated by these above mentioned factors.

And since your building will bring many more residents - likely people who are single and/or working professionals and like to eat out and shop - having more options in the village would not only be great for all residents in today, but keep your property attractive for future renters.

Please, please consider adding retail/restaurant space to your design. Bring more vibrancy to the village and draw people in with unique options. This moment feels like such an opportunity for the village and it would be such a shame to not invest back into the fun and heart of what makes the Tosa Village so special!

Praying that you will think about this and the residents who would love to see more interest and opportunity come from your build.

Thank you for your consideration,
Blake Ward

Sara Elmer

From: Zachary Kessler
Sent: Wednesday, April 17, 2024 3:04 PM
To: Stefanie Escobedo; Sara Elmer
Cc: Steven Braatz
Subject: FW: [External] St Bernard redevelopment concerns

Zach Kessler
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Desk: (414) 479-8919 | Office: (414) 479-8917 www.wauwatosa.net

-----Original Message-----

From: Molly Mulroy <mollmollm@gmail.com>
Sent: Wednesday, April 17, 2024 3:02 PM
To: tclerk <tclerk@wauwatosa.net>
Subject: [External] St Bernard redevelopment concerns

I am Molly Mulroy, resident of Wauwatosa at 839 N 73rd St. I am writing to voice my concerns about the proposed redevelopment at St Bernard's.

This is a prime piece of real estate that has a significant presence and influence on our village feel and access. To so quickly approve a development like this without a more thorough plan and expectation for urban plan and design is reckless.

First, it has design to add to vibrancy of the village. There it is literally an apartment building with no public access or park space. It also has no commercial space.

Second, the traffic patterns in the village need to be evaluated and addressed. With the current commercial space along with the two currently operating schools, it is difficult to navigate through the village. Tosa Catholic closing helped, but it is still an issue. Adding 163 apartments and associated traffic won't help.

Next, parking continues to be in short supply and this does not help address that problem, while adding volume.

On a related impact, we already have a school population challenge and are looking at closing neighborhood school. Meanwhile the schools that are well attended like Lincoln are the funnel point for these new developments. Homeowners who have put down real roots for their kids are going to be shortchanged.

From a financing perspective, this nor any development in the village should receive TIF funds. There is a strong enough market for there to be profitable as a developer and not saddle real residents with the costs and shortfalls of their lack of tax base.

Lastly, we need a real design review board. Some of the most recent developments that have come before the board have been appalling and not in the best interest of the village. Yet, they have not been DOA, rather residents have had to interject heavily to ensure they were not approved. It suggests that the framework for executing a thoughtful development plan is broken.

I ask that you reject this proposal and instead share the vision for village development for this and other parcels with vibrancy, community engagement and access in mind.

Not related to this project, but another data point on the weak vision and perspective of the design review board is the fact that you just approved a tear down on Warren Ave of a fine and recently remodeled house. You have now opened Pandora's box and will change the tide of Wauwatosa to be the next Chicago-like suburb of buy up and tear downs only to replace with houses that are too big for the lots.

Sara Elmer

From: Zachary Kessler
Sent: Wednesday, April 17, 2024 3:27 PM
To: Stefanie Escobedo; Sara Elmer
Cc: Steven Braatz
Subject: FW: [External] Looks boring

Zach Kessler
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-----Original Message-----

From: sean callahan <sgcallahan@sbcglobal.net>
Sent: Wednesday, April 17, 2024 3:17 PM
To: tclerk <tclerk@wauwatosa.net>
Subject: [External] Looks boring

Dear Wauwatosa Clerk,

I would like to think the City of Wauwatosa, based on the prime location of St. Bernard's Parish, would require a more prestigious, unique, signature-type development.

This apartment development appears rather bland and ordinary, not to mention concerns over more traffic and parking congestion.

Tough to get excited about this project on such short notice and not much creative thought.

Sean Callahan
40-plus Wauwatosa resident

Sent from my iPhone

Sara Elmer

From: Zachary Kessler
Sent: Wednesday, April 17, 2024 3:27 PM
To: Stefanie Escobedo; Sara Elmer
Cc: Steven Braatz
Subject: FW: [External] Looks boring

Zach Kessler
Management Analyst/Deputy City Clerk | City of Wauwatosa
7725 W North Ave | Wauwatosa, WI 53213
Desk: (414) 479-8919 | Office: (414) 479-8917 www.wauwatosa.net

-----Original Message-----

From: sean callahan <sgcallahan@sbcglobal.net>
Sent: Wednesday, April 17, 2024 3:17 PM
To: tclerk <tclerk@wauwatosa.net>
Subject: [External] Looks boring

Dear Wauwatosa Clerk,

I would like to think the City of Wauwatosa, based on the prime location of St. Bernard's Parish, would require a more prestigious, unique, signature-type development.

This apartment development appears rather bland and ordinary, not to mention concerns over more traffic and parking congestion.

Tough to get excited about this project on such short notice and not much creative thought.

Sean Callahan
40-plus Wauwatosa resident

Sent from my iPhone

Sara Elmer

From: Zachary Kessler
Sent: Wednesday, April 17, 2024 3:27 PM
To: Stefanie Escobedo; Sara Elmer
Cc: Steven Braatz
Subject: FW: [External] prison block in downtown Tosa

Zach Kessler
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7725 W North Ave | Wauwatosa, WI 53213
Desk: (414) 479-8919 | Office: (414) 479-8917 www.wauwatosa.net

-----Original Message-----

From: Deb OConnorCallahan <docallahan@sbcglobal.net>
Sent: Wednesday, April 17, 2024 3:24 PM
To: tcclerk@wauwatosa.net
Subject: [External] prison block in downtown Tosa

Greetings Town Clerk,

I am out of town and unable to attend the public meeting on the awful project planned for the Tosa Village. I have had three houses all within a mile of the Village; my kids were baptized at St. Bernard's Church and attending CCD there. Although enrollment and attendance down, there is a community bond and the church is a cornerstone to the Village. We do not need to allow a development that takes up every inch of Tosa's key landmark. I hope design review board can force some sort of scale back and historic marker designation as well of course to a design that looks quaint not prison like.

Thank you for your consideration.

~Deb O'Connor-Callahan

Sara Elmer

From: Zachary Kessler
Sent: Wednesday, April 17, 2024 3:47 PM
To: Stefanie Escobedo; Sara Elmer
Cc: Steven Braatz
Subject: FW: [External] Former St Bernard's site proposed structure

Zach Kessler

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www.wauwatosa.net

From: Dana M <danasmccormick@gmail.com>
Sent: Wednesday, April 17, 2024 3:31 PM
To: tclerk <tclerk@wauwatosa.net>
Subject: [External] Former St Bernard's site proposed structure

Hello,

I am writing with some questions regarding this proposal:

what does a traffic study indicate about safety and congestion in the streets around the proposed construction and during construction?

what tools does the city have to negotiate for community space to be included?

(how) can the city request that the design be more aesthetically in line with the area?

what environmental impact, particularly on the sewers, will that many residential units have and what measures can the city and developer take to mitigate negative environmental impact?

what could be done differently to bring affordable housing for families with school age children into the city?

Without compelling answers for all these questions, I would ask my council member to oppose.

Thanks,
Dana McCormick
1734 N 69

--
Dana McCormick
she/her

Sara Elmer

From: Zachary Kessler
Sent: Thursday, April 18, 2024 8:22 AM
To: Stefanie Escobedo; Sara Elmer
Cc: Steven Braatz
Subject: FW: [External] New Apartment Proposal @ 7474 Harwood

Zach Kessler

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From: bjaworski <bjaworski@shorewest.com>
Sent: Wednesday, April 17, 2024 11:45 PM
To: tclerk <tclerk@wauwatosa.net>
Subject: [External] New Apartment Proposal @ 7474 Harwood

April 18, 2024

Re: New Apartment Proposal @ 7474 Harwood

Dear Wauwatosa Design Review Board Members,

I am writing to express my strong opposition to the proposed apartment building project at 7474 Harwood. I believe it is crucial to voice concerns regarding developments that could significantly impact the character and well-being of our municipality.

First and foremost, the proposed location of the apartment building is of great concern. Situated at a prominent site leading into our village, this project has the potential to serve as a visual representation of our community to both residents and visitors alike. Therefore, it is imperative that any development on such a site reflect the aesthetics of our village.

Unfortunately, the design of the proposed apartment building falls short in this regard. The monolithic design, combined with its sprawling nature that reaches to the boundaries of the lot, is deeply troubling. Rather than enhancing the beauty and charm of our village, such a structure would detract from it.

Moreover, the inclusion of a courtyard within the confines of the building only exacerbates these concerns. Rather than fostering a sense of openness and community, as courtyards ideally should, it further contributes to the feeling of being closed in and isolated from the rest of the community.

In addition to aesthetic considerations, there are practical issues at stake. Increased traffic resulting from the construction of such a large apartment diminish the quality of life for current

residents. The parking also does not seem adequate for the number of units and their guests, adding further strain to the area.

Alternative designs that are more in line with the character of our village should be explored and a final design that enhances the area should be required.

Thank you for considering my views on this matter.

Sincerely,

Beth Jaworski

--

FOR AWARD-WINNING RESULTS AND SERVICE,
WORK WITH THE BEST!

BETH JAWORSKI
ABR, CHMS, CNE, CRS, GREEN, GRI

414.520.8555
bjaworski@shorewest.com
BethJaworski.com

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Sara Elmer

From: Zachary Kessler
Sent: Thursday, April 18, 2024 8:22 AM
To: Stefanie Escobedo; Sara Elmer
Cc: Steven Braatz
Subject: FW: [External] Attention: City of Wauwatosa Design Review Board - St Bernard Replacement

Zach Kessler

Management Analyst/Deputy City Clerk | City of Wauwatosa
7725 W North Ave | Wauwatosa, WI 53213
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From: Kristin R <riojaskm@gmail.com>
Sent: Wednesday, April 17, 2024 10:48 PM
To: tclerk <tclerk@wauwatosa.net>
Subject: [External] Attention: City of Wauwatosa Design Review Board - St Bernard Replacement

April 17, 2024

Dear City of Wauwatosa,

I am writing in regard to the proposed development at the Wauwatosa Catholic/St. Bernard's parish site in the Wauwatosa village, and particularly to express significant concerns about the design, resident capacity and overall impact on the area. I am writing as an individual with a vested interest in the thoughtful change and development of our neighboring village space. To date, changes have been mostly positive, but the impact of this proposed development in the direct center of the village will be significant. Growth and change is inevitable and there is value to bringing more residents to Wauwatosa, but it is important to introduce change in a way that aligns with the history and integrity of our unique village.

My specific concerns include:

- **The building design:** The current design of the new apartment building is not only unattractive and a significant departure from the aesthetic of immediately adjacent properties south of it in the village center, but it strikes me more as an office building with a fortress-style, closed off look.
 - Any proposal in that area should be required to match the aesthetic of the surrounding area
 - Additionally, the design features green space within the center of the building, which creates a prison-type look around the exterior. The current site has open space with grass and a parking lot, but the reality is that the new structure will look like a wall as you drive around it, with very little green space and no "open air" feeling for passersby.
 - The neighbors directly surrounding the development are being absolutely punished with a forty-foot-tall fortress in their backyard, as close to their property lines as possible.
- **The unit count/potential capacity:** An apartment building of this size will have a dramatic (and negative) impact on the surrounding roads and the crowds in the village. A smaller scaled apartment

building would be better suited for this space, as it would continue to allow residential growth without such a dramatic negative impact.

- The proposal calls for 200 parking spaces. That indicates that most units will be offered one parking spot. With the anticipated cost of these units, it is likely that more than one resident will live in each unit. While there may be some units who don't need cars or only need one, most will require 1-2. With only 200 parking spaces for 163 units, that creates potential for cars without a place to park.
- This apartment complex will be located directly adjacent to a second proposed development, "Harlow and Hem." Neither location will be "inexpensive" housing. A few years ago, the Western Building site apartments were abandoned for storage units because "macroeconomic trends may not support more apartments." Will there be enough demand?
- **Impacts to long term residents and homeowners:** People want to live in Wauwatosa long term. They want to have a true investment in our community.
 - Rentals meet one demand, but not the same demand of people looking for condos, townhomes or single-family homes that are truly affordable for individuals and families.
 - Individuals who renovate their homes have routinely been required to come before the Design Review Board for approval and revisions. The fact that these developers have no such oversight or accountability is a point of failure in Wauwatosa city government. These developers need to be accountable to the residents and the city in the same way we had to be as homeowners investing in our property and neighborhood.
- **Lack of benefit to village visitors/residents:** This massive development in a prime "downtown" location offers no public parking, no first-floor commercial space for shops, restaurants, or child-centric activities and no public green space.
- **Safety issues:** The proposed entrance and exit will lead to Wauwatosa Ave., a highly trafficked road by drivers and pedestrians.
 - Students and teenagers walk to Starbucks, Qdoba and Baskin Robbins.
 - Traffic in and out of the village can be heavy at certain times of the day.
 - Cars heading north on Wauwatosa Ave or northeast to Milwaukee Ave. would encounter several crosswalks with elementary, middle and high school students during morning and afternoon rush times.
 - The proposed traffic flow from Harlow and Hem also uses Wauwatosa Ave., increasing traffic and reducing safety in pedestrian-friendly area with multiple school zones.
- **Potential conflicts with Tosa 2075 Task Force:** As the Task Force makes key recommendations about the future of neighborhood schools, the potential for an influx of students from this development and the adjacent Harlow and Hem apartment complex may create added complexity in a soon-to-be reduced elementary school system.

What would it take to offer a community space instead (theater, public market, community green space instead? We love the Wauwatosa Village, but the Village is missing a centralized gathering space, especially that's family friendly, even in the winter.

Thank you for your attention to resident concerns and for sharing in a goal of long-term economic health and overall integrity of the Wauwatosa Village through strategic decision making.

Sara Elmer

From: Zachary Kessler
Sent: Thursday, April 18, 2024 8:23 AM
To: Stefanie Escobedo; Sara Elmer
Cc: Steven Braatz
Subject: FW: [External] 7474 Harwood Development

Zach Kessler

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From: Theresa Islo <islo.kalsch@gmail.com>
Sent: Wednesday, April 17, 2024 10:39 PM
To: tclerk <tclerk@wauwatosa.net>
Subject: [External] 7474 Harwood Development

Hello,

I have a few questions and am hoping for more details about the proposed development at the current site of St. Bernard Parish. I live on Lincoln Place, directly north of the property.

1. Height of the proposed apartments - how will it compare to the height of the current building (gymnasium and school) along the alley behind Lincoln Place?
2. What kind of parking is planned for the development and how will tenants access it?
3. What can we, as neighbors, expect during demolition and construction? I'm thinking of things like construction traffic from personnel and equipment, impact on water pressure, potential power interruptions, etc.
4. How long is the project expected to take?
5. What types of units will be included in the development; i.e., will it include affordable housing?
6. How will the development integrate with or impact Pocket Park that was renovated as part of recent Village updates?
7. Who will manage the development once it is completed?
8. I'm also wondering about the Mandel Group's Harlow and Hem proposal for the Blanchard Street parking lots. Is that still expected to move forward and if so, would the City allow the 2 projects to overlap?

I look forward to learning more about the plans tomorrow evening.

Thank you,
Theresa Islo
414.378.6909
7430 Lincoln Place
islo.kalsch@gmail.com

Sara Elmer

From: Zachary Kessler
Sent: Thursday, April 18, 2024 8:23 AM
To: Stefanie Escobedo; Sara Elmer
Cc: Steven Braatz
Subject: FW: [External] St. Bernard Site

Zach Kessler
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-----Original Message-----

From: Virginia Peckenpaugh <vppattern@gmail.com>
Sent: Wednesday, April 17, 2024 10:12 PM
To: tclerk@wauwatosa.net
Subject: [External] St. Bernard Site

Hello and I hope this email finds you well.

I am a resident of Wauwatosa, born and raised. I've lived here for 35 years, and now reside on the east side close to the Village. When I heard that there might be a very large apartment building built on the site of St. Bernard, my heart dropped as I can only imagine how much this plan can negatively affect our beloved Village we all love.

The Village of Wauwatosa is a special place. Tosa Fest was just named the best of the burbs festival- small businesses thrive here, and the restaurants draw people from all over Milwaukee County. The apartments that are already established add just the right touch of residency, as parking is scarce and traffic bottlenecks in the area.

Adding a massive, and I do say, an eye-sore to this part of Wauwatosa is just wrong. The community needs more space for small businesses, especially in the heart of the Village. Being a small business owner myself, I wish there were more affordable business spaces to rent, especially as a resident of the city. Even a brewery could be an awesome opportunity!

Please, re-consider this building plan. There are better ways to use this space!

Thank you,
Virginia Peckenpaugh

Sara Elmer

From: Zachary Kessler
Sent: Thursday, April 18, 2024 8:23 AM
To: Stefanie Escobedo; Sara Elmer
Cc: Steven Braatz
Subject: FW: [External] 4/18 Design Review Board Meeting Comments

Zach Kessler

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From: Michelle Fetherston <mich7782@gmail.com>
Sent: Wednesday, April 17, 2024 9:55 PM
To: tclerk <tclerk@wauwatosa.net>
Subject: [External] 4/18 Design Review Board Meeting Comments

Regarding the proposed development at 7474 Harwood Ave. being discussed tomorrow, I had a chance to review the agenda packet documentation and wanted to submit my comments.

First, I think it's excellent that there is a proposal to convert this space to housing, since we know that Wauwatosa has a housing shortage. I am not sure if this falls outside the scope of the Design Review Board's decision, but I do think it's important to understand what data was used to determine the size and makeup of the units, and why apartments versus, say, condos for Tosa homeowners who might be looking to downsize. Who is the target audience for these units, and will they be priced so that target audience can actually afford the rent?

I do think the design itself make some effort to align to the character of the neighborhood, but still leans too far into the modern touches and comes off as more generic suburban (which Tosa is not, and that is one of the great things about it). It is possible the rendering doesn't do the proposed color choices and materials proper justice, but as a point of reference I think the Lincoln Elementary School addition is a great example of blending modern touches with fitting in seamlessly with the neighborhood, and I'd like to see an approach more like that in the design and color choices.

Finally, I appreciate that the developers have incorporated more than adequate parking, so I hope "more parking" doesn't become part of the discussion. There is plenty of parking in the village, and if we go too far prioritizing parking over people we lose the density, walkability, and charm that people like about that area in the first place.

Thank you for your time, and I'm exciting to see how this re-envisioning of the St. Bernard property moves forward!

--

~Michelle Fetherston
2544 N. 89th St.
Wauwatosa, WI 53226
mich7782@gmail.com
[linkedin.com/in/mafphd](https://www.linkedin.com/in/mafphd)

Sara Elmer

From: Zachary Kessler
Sent: Thursday, April 18, 2024 8:23 AM
To: Stefanie Escobedo; Sara Elmer
Cc: Steven Braatz
Subject: FW: [External] Proposed development at 7474 Harwood Avenue (St. Bernard's) concerns.

Zach Kessler

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From: Susan Austin <susan.austin.email@gmail.com>
Sent: Wednesday, April 17, 2024 9:02 PM
To: Dennis McBride <dmcbride@wauwatosa.net>
Subject: [External] Proposed development at 7474 Harwood Avenue (St. Bernard's) concerns.

Dear reader,

I write to you today to discuss the St. Bernard's development project.

The rapid pace of development in our Village of Wauwatosa has raised my family's concerns regarding the impact of the quality of life for us and all of Wauwatosa.

Wauwatosa has become the **workhorse** of the housing crisis and Wauwatosa has done the work to help alleviate it. We are now at a point where the continued high density development of Wauwatosa is affecting everything that made Wauwatosa great (the charm, walkability, the quiet, the natural landscape, and the grassroots/bootstrap vibe).

I feel we're at the point of overdevelopment.

Wauwatosa used to be known as the "City of Homes" now it's turning into an over congested, transient city that strains our already limited resources while increasing our environmental impact.

With each development that is added to Wauwatosa I feel we are inevitably going to crowd out affordably priced housing, and drive out long-time residents, families, smaller businesses, and perpetuate the problem of urban sprawl.

I think the proposed project on the St. Bernards site will increase Wauwatosa's carbon footprint, and impact our energy sources. In the morning you can feel the temperature change (heat) in the Village already, and that's just after the morning rush.

The introduction of more apartments to the Village of Wauwatosa is just exacerbating an already stressed community. In his mayoral debate the mayor spoke to the question of if he had \$500,000 dollars, what would he do with the funds to help the citizens of Wauwatosa?...He mentioned he would use it toward mental health programs and resources. Does

building a high density apartment building in the heart of downtown help with our citizens feeling less or **more** stressed with traffic, social isolation, noise pollution, and the reduction of a sense of community belonging?

I've read the comments on social media.... our citizens are passionate about these decisions and need relief. Even our neighboring communities and cities are concerned.

St. Bernards is my parish and my family has had roots in this town for over 100 years, I want to raise my family here, but the place I call home is now unrecognizable.... the street traffic, the drug presence in our schools, the amount of high density housing... is that "progressive" living? Wauwatosa is burned out and needs to prioritize the needs of its existing population for today and in the future.

If the parish has to go (and I wish it didn't)...can we think of an alternative to what is to be built there?

There was talk about moving and remodeling the library... could we move it there to this space? In exchange could the developer look at modernizing the City Hall?

I was recently in Door County and saw the new library they built... "a place to read, create, and celebrate." It has open spaces at the top where additional funds could be generated to not only make it self-sufficient, but be a place where residents, lectures, music, business meetings, and visitors feel welcome.

Here is what Door County has done with their library: Donald and Carol Kress Pavilion www.kresspavilion.org

The Village needs a flagship and a place of celebration....not overpopulation.

A legacy ... not a land grab.

S.A.

Sara Elmer

From: Zachary Kessler
Sent: Thursday, April 18, 2024 8:23 AM
To: Stefanie Escobedo; Sara Elmer
Cc: Steven Braatz
Subject: FW: [External] 7474 Harwood Ave

Zach Kessler
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-----Original Message-----

From: Schaefer Family <schaeferfam2015@gmail.com>
Sent: Wednesday, April 17, 2024 9:02 PM
To: tcclerk@wauwatosa.net
Subject: [External] 7474 Harwood Ave

Hello,

Our family wanted to send a message in advance of the meeting of the Design Review Board regarding the apartment complex proposed for St. Bernard Parish.

We wanted to express our disappointment not only in the proposed design, but also proposed use of the property. This feels like a missed opportunity for our community to honor and repurpose an existing structure. If that is not a possibility then a mixed use space feels more appropriate for what our community currently needs. We understand the need for additional housing but feel a mixed use space should be considered if possible. From a design standpoint the proposed design is incredibly soulless and generic. Prioritizing likely cheaper building costs and profit maximization. None of this reflects Wauwatosa's values.

We recently purchased our own piece of Wauwatosa history and moved our young family into 8000 Milwaukee Avenue, just steps from the village. We love this city, its history and its values.

Please do not allow profit-focused interests to devalue our community.

Thank you,
The Schaefer Family

Sent from my iPhone

Sara Elmer

From: Zachary Kessler
Sent: Thursday, April 18, 2024 8:23 AM
To: Stefanie Escobedo; Sara Elmer
Cc: Steven Braatz
Subject: FW: [External] 7474 Harwood - Design Review Board Public Comment

Zach Kessler

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From: Erica Koehn Samz <samz.eric@gmail.com>
Sent: Wednesday, April 17, 2024 8:05 PM
To: tcclerk <tcclerk@wauwatosa.net>
Subject: [External] 7474 Harwood - Design Review Board Public Comment

Design Review Board -

I am writing to provide comment on the proposed development of the former St. Bernard's site in the Wauwatosa village. I am a resident of east Wauwatosa in the Lowell Damon Woods neighborhood. My feedback centers on the fact that this development should be held to the absolute highest design standards in Wauwatosa. It is not only central to the Wauwatosa Village, it is quite literally at the top of the hill so no matter what building is placed here, it will have an outsized impact on the feel of the village. My desire is for this to have a positive impact that adds to the village's look and feel.

The proposed design is utilitarian and screams we are trying to maximize revenue and minimize costs. From the # of units squeezed in, to the (lack of) exterior design. Not only will it not provide any benefit to the existing community due to no mixed-use/retail space, but it will also insulate itself by towering 4 stories over the adjacent sidewalks and putting nearly all of the green space inside for residents only. Given it is my understanding that this and many of the other issues I see with this development (like parking, traffic implications, affordability) are likely not within the purview of the design board, I will not further address those. However, I do recommend the design board request the following changes: 1. The exterior design should match the architectural design of the central village in both design and materials, 2. More greenspace to be added around the perimeter of the building along Wauwatosa Ave and Harwood Ave or, even better, all greenspace to be around the building instead of inside the building.

For years, Tosa residents, like myself, have had to go before the design review board to make seemingly nonsense and costly changes to home additions to "protect the character" of the Wauwatosa community. Although I believe this residential requirement has relaxed over the years, this commercial development should be held to the highest of design standards and be required to fully blend in with the architecture of the central village, not a "modern" design. If the developer is willing to meet the Wauwatosa Village design standards, then I would welcome the additional housing in our community.

--
Erica Koehn Samz

Sara Elmer

From: Zachary Kessler
Sent: Thursday, April 18, 2024 8:23 AM
To: Stefanie Escobedo; Sara Elmer
Cc: Steven Braatz
Subject: FW: [External] ATTN city of Wauwatosa design review board

Zach Kessler

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From: Keely Dooley <dooleynk@gmail.com>
Sent: Wednesday, April 17, 2024 8:04 PM
To: tclerk <tclerk@wauwatosa.net>
Subject: [External] ATTN city of Wauwatosa design review board

Attention: City of Wauwatosa Design Review Board

Dear City of Wauwatosa,

My husband and I moved to Wauwatosa in 2019 because of the community, village charm, and schools. We now have 3 young children, 1 that will be starting at Washington Elementary in the fall. With the recent 2075 task force and now the new apartment proposal to say I'm worried is an understatement! I have listed many points and talked with many community members that all have had similar concerns. I ask that you please take all these things into consideration, for our village so it can stay a village where people want to visit and feel safely doing so.

I am writing in regard to the proposed development at the Wauwatosa Catholic/St. Bernard's parish site in the Wauwatosa village, and particularly to express significant concerns about the design, resident capacity and overall impact on the area. I am writing as an individual with a vested interest in the thoughtful change and development of our neighboring village space. To date, changes have been mostly positive, but the impact of this proposed development in the direct center of the village will be significant. Growth and change is inevitable and there is value to bringing more residents to Wauwatosa, but it is important to introduce change in a way that aligns with the history and integrity of our unique village.

My specific concerns include:

- **The building design:** The current design of the new apartment building is not only unattractive and a significant departure from the aesthetic of immediately adjacent

properties south of it in the village center, but it strikes me more as an office building with a fortress-style, closed off look.

- Any proposal in that area should be required to match the aesthetic of the surrounding area
- Additionally, the design features green space within the center of the building, which creates a prison-type look around the exterior. The current site has open space with grass and a parking lot, but the reality is that the new structure will look like a wall as you drive around it, with very little green space and no “open air” feeling for passersby.
 - Many people gather at the steps and the lawn by the church and we even do the annual “village tree lighting” there every Christmas. By adding this pentagon looking building you will be taking away from many traditions of the community.
- The neighbors directly surrounding the development are being absolutely punished with a forty-foot-tall fortress in their backyard, as close to their property lines as possible.

- **The unit count/potential capacity:** An apartment building of this size will have a dramatic (and negative) impact on the surrounding roads and the crowds in the village. A smaller scaled apartment building would be better suited for this space, as it would continue to allow residential growth without such a dramatic negative impact.
 - The proposal calls for 200 parking spaces. That indicates that most units will be offered one parking spot. With the anticipated cost of these units, it is likely that more than one resident will live in each unit. While there may be some units who don’t need cars or only need one, most will require 1-2. With only 200 parking spaces for 163 units, that creates potential for cars without a place to park.
 - This apartment complex will be located directly adjacent to a second proposed development, “Harlow and Hem.” Neither location will be “inexpensive” housing. A few years ago, the Western Building site apartments were abandoned for storage units because “macroeconomic trends may not support more apartments.” Will there be enough demand?

- **Impacts to long term residents and homeowners:** People want to live in Wauwatosa long term. They want to have a true investment in our community.
 - Rentals meet one demand, but not the same demand of people looking for condos, townhomes or single-family homes that are truly affordable for individuals and families.
 - Individuals who renovate their homes have routinely been required to come before the Design Review Board for approval and revisions. The fact that these developers have no such oversight or accountability is a point of failure in Wauwatosa city government. These developers need to be accountable to the residents and the city in the same way we had to be as homeowners investing in our property and neighborhood.

- **Lack of benefit to village visitors/residents:** This massive development in a prime “downtown” location offers no public parking, no first-floor commercial space for shops, restaurants, or child-centric activities and no public green space.

□ **Safety issues:** The proposed entrance and exit will lead to Wauwatosa Ave., a highly trafficked road by drivers and pedestrians.

- Students and teenagers walk to Starbucks, Qdoba and Baskin Robbins.
- Traffic in and out of the village can be heavy at certain times of the day.
- Cars heading north on Wauwatosa Ave or northeast to Milwaukee Ave. would encounter several crosswalks with elementary, middle and high school students during morning and afternoon rush times.
- The proposed traffic flow from Harlow and Hem also uses Wauwatosa Ave., increasing traffic and reducing safety in pedestrian-friendly area with multiple school zones.
 - Vehicles already are not stopping for pedestrians in the village because there are no signs or lights for pedestrians to cross safely. How is adding at least 200 more vehicles going to affect the traffic flow and safety of our pedestrians and children?

□ **Potential conflicts with Tosa 2075 Task Force:** As the Task Force makes key recommendations about the future of neighborhood schools, the potential for an influx of students from this development and the adjacent Harlow and Hem apartment complex may create added complexity in a soon-to-be reduced elementary school system.

Thank you for your attention to resident concerns and for sharing in a goal of long-term economic health and overall integrity of the Wauwatosa Village through strategic decision making.

-The Dooley's on N 67th st.

Sara Elmer

From: Zachary Kessler
Sent: Thursday, April 18, 2024 8:23 AM
To: Stefanie Escobedo; Sara Elmer
Cc: Steven Braatz
Subject: FW: [External] Attn: City of Wauwatosa Design Review Board

Zach Kessler

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From: Jennifer Neideen <jeneideen@yahoo.com>
Sent: Wednesday, April 17, 2024 7:35 PM
To: tclerk <tclerk@wauwatosa.net>
Subject: [External] Attn: City of Wauwatosa Design Review Board

Dear City of Wauwatosa and Design Review Board,

We have owned a home in the Olde Hillcrest neighborhood of Wauwatosa since 2003 and have witnessed many changes to the Village and other nearby areas over the years. Much of the change has been positive, with many wonderful business and green space additions. The growth and change has, for the most part, been thoughtful and in keeping with the character and charm that draws so many to the Village area. However, today we are writing to voice concerns regarding the development currently proposed for the site of St. Bernard's parish.

This new structure will be part of the Village area of our city for many years to come, and the process to approve it should not be rushed. We urge you to take a pause and allow time for more feedback from community members who all have a vested interest in the future of our city. The news of the sale of this property and plans for its development have come in rapid succession, and there is a feeling that an attempt is being made to quickly push the plans through without considering the community members who call this area of the city home.

We think most would agree that the current design of the proposed building does not fit with the aesthetic of the surrounding area. The potential capacity of the development is also concerning. This "corner" is already highly trafficked, and it can feel treacherous attempting to cross Wauwatosa Avenue heading to and from the Village shops and restaurants. We recently witnessed a child nearly struck by a vehicle that was cutting around another car allowing the child to traverse the crosswalk. We fear that an addition of 163+ residents on this site will increase traffic to an the extent that it is no longer safe for people to travel by foot in that area.

Please encourage the developer to revise their plans so that an addition at this site will add value to our community, not just the developer pocketbook.

Thank you for your consideration.

Jennifer and Todd Neideen

Sara Elmer

From: Zachary Kessler
Sent: Thursday, April 18, 2024 8:23 AM
To: Stefanie Escobedo; Sara Elmer
Cc: Steven Braatz
Subject: FW: [External] Proposed apartments at St. Bernard's Parish site

Zach Kessler

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From: Jim and Mary Kubicek <jimmarykubicek@gmail.com>
Sent: Wednesday, April 17, 2024 7:02 PM
To: Mary Kubicek <marykubicek88@gmail.com>; tclerk <tclerk@wauwatosa.net>
Subject: [External] Proposed apartments at St. Bernard's Parish site

Dear City of Wauwatosa,

We writing in regard to the proposed development of St. Bernard's parish site in the Wauwatosa village. We have significant concerns about the design, scope of project and overall impact on the area. We are long term residents with a vested interest in the thoughtful change and development of our neighboring village space. To date, changes have been mostly positive, but the impact of this proposed development in the direct center of the village will be significant. Growth and change is inevitable and there is value to bringing more residents to Wauwatosa, but it is important to introduce change in a way that aligns with the history and integrity of our unique village.

Our concerns include:

DESIGN

- We wish the current design of the new apartment building would match the aesthetic of adjacent properties south of it in the village center, like the Bartolotta and Noodles buildings. Any proposal in that area should be required to match the aesthetic of the surrounding area. Just as private residents must submit plans to a design review board, so should these developers.
- We are glad for the plan for green space within the center of the building, however it creates a prison-type look around the exterior. The current site has open space with grass, plants and a parking lot, but the new structure will look like a high wall.
- An apartment building of this size will have a dramatic (and negative) impact on the surrounding roads and the crowds in the village. A smaller scaled apartment building would be better suited for this space, as it would continue to allow residential growth without such a dramatic negative impact.
- This apartment complex will be located directly adjacent to a second proposed development, "Harlow and Hem." Neither location will be "inexpensive" housing. A few years ago, the Western Building site apartments were abandoned for storage units because "macroeconomic trends may not support more apartments."

- People want to live in Wauwatosa long term. They want to have a true investment in our community. We need more condos, townhomes or single-family homes that are truly affordable for individuals and families.
- Individuals who renovate their homes have routinely been required to come before the Design Review Board for approval and revisions. The fact that these developers have no such oversight or accountability is a point of failure in Wauwatosa city government. These developers need to be accountable to the residents and the city in the same way we had to be as homeowners investing in our property and neighborhood.

EFFECT ON RESIDENTS WHO FREQUENT THE VILLAGE AREA:

- This massive development in a prime “downtown” location offers no public parking, no first-floor commercial space for shops, restaurants, or child-centric activities and no public green space.
- The proposed entrance and exit will lead to Wauwatosa Ave., a highly trafficked road by drivers and pedestrians.

Thank you for your attention and consideration to our concerns. We love the idea of new projects and growth that includes consideration for safety in our currently highly walkable area as well as parking, while providing for community needs (how about condos?) that will also keep the charm of Wauwatosa in regard to aesthetics and long-term economic health.

Sincerely,

Jim and Mary Kubicek

Sara Elmer

From: Zachary Kessler
Sent: Thursday, April 18, 2024 8:23 AM
To: Stefanie Escobedo; Sara Elmer
Cc: Steven Braatz
Subject: FW: [External] Proposed building

Zach Kessler
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-----Original Message-----

From: Mike Rakowiecki <bigrako@gmail.com>
Sent: Wednesday, April 17, 2024 6:44 PM
To: tclerk@wauwatosa.net
Subject: [External] Proposed building

When I was a child I would come to Tosa to visit my aunt and uncle. Back then we had to drive over what's now the pedestrian bridge the village. Now as a home owner of the same house I would visit I am more than upset what our leadership has done to the village.

I have watched the wonderful small town feeling disappear. The restaurants are great and give us a vibrant feel but the buildings are horrible. They have an institutional feel to them. Traffic is worse every year and I fear for the safety of walkers and people on bikes.

With each modern building you take away from our village. With each building you take away from the people that purchased homes and their right to live what they thought would be a wonderful dream.

As leaders you are expected to make choices that are in the best interest of our city and the village this proposed property where Tosa Catholic is located is nothing short of poor leadership if you cave to the developer. We don't need 163 more apartments.

Enjoy the day
Mike Rakowiecki

Sara Elmer

From: Zachary Kessler
Sent: Thursday, April 18, 2024 8:24 AM
To: Stefanie Escobedo; Sara Elmer
Cc: Steven Braatz
Subject: FW: [External] Condo Plan for Tosa Village

Zach Kessler
Management Analyst/Deputy City Clerk | City of Wauwatosa
7725 W North Ave | Wauwatosa, WI 53213
Desk: (414) 479-8919 | Office: (414) 479-8917 www.wauwatosa.net

-----Original Message-----

From: M Picard <tuquederouge@aol.com>
Sent: Wednesday, April 17, 2024 6:23 PM
To: tclerk <tclerk@wauwatosa.net>
Subject: [External] Condo Plan for Tosa Village

I am adamantly opposed to using land for condos or apartments - go back to the drawing board, please. Seems every time we turn around there is another huge apartment building. So sad to see how things are going in Wauwatosa.

Sent from my iPad

Sara Elmer

From: Zachary Kessler
Sent: Thursday, April 18, 2024 8:24 AM
To: Stefanie Escobedo; Sara Elmer
Cc: Steven Braatz
Subject: FW: [External] St Bernard's Development Site

Zach Kessler

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From: Ursula Twombly <ursula.twombly@gmail.com>
Sent: Wednesday, April 17, 2024 6:07 PM
To: tclerk <tclerk@wauwatosa.net>
Subject: [External] St Bernard's Development Site

Dear Council Members and Development Staff

The City of Wauwatosa in its Strategic Plan, in its current Comprehensive Plan and hopefully its future Comprehensive Plan continues to support affordable housing and endorse Missing Middle housing typologies. Yet no actions have or are being taken to actually promote these ideas to developers. For years, the community has asked for smaller, Missing Middle type housing options and housing that is attainable to Wauwatosa residents. These ideas are enshrined in the current Comprehensive Plan, the Housing Study and the Tosa for All Initiatives and numerous other statements and initiatives. It's time for the development department and elected officials to deliver on the promises made to its citizens. We, the residents, demand that the City deliver more desirable developments especially on a site as important as this one.

The proposed, self-contained housing block closes itself off from the community, becoming a fortress on the hill instead of a welcoming addition to the village. A re-envisioned development with 2 or 3 separate buildings with interconnecting public spaces through the site would be more in keeping with the village character. The proposed Hem and Harlow developed just south of this site presented a wonderful option of connectivity and integration of public spaces with a private development.

Our planning department and elected officials need to be much more creative and demanding in order to achieve these community goals. Instead of business as usual, the city could allow the developer to reduce parking requirements reducing both cost and space. The city could incentivize the development to provide Missing Middle housing options or affordable units in exchange for an additional story of height. This site with its public transportation access and walkability is like few others and should support housing for people with disabilities, including ID/D.

Please don't let this development move forward without some serious intervention and modifications to meet our community's goals to become a community of more than apartment blocks and single family housing, a community with housing options for all of our residents.

Thank you

Ursula Twombly, FAIA Member Emeritus
414-303-4423

Sara Elmer

From: Zachary Kessler
Sent: Thursday, April 18, 2024 8:24 AM
To: Stefanie Escobedo; Sara Elmer
Cc: Steven Braatz
Subject: FW: [External] Apartment development at St. Bernard's site

Zach Kessler

Management Analyst/Deputy City Clerk | City of Wauwatosa
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From: Kristie Weiner <kristieweiner@gmail.com>
Sent: Wednesday, April 17, 2024 5:52 PM
To: tclerk <tclerk@wauwatosa.net>
Subject: [External] Apartment development at St. Bernard's site

The current request to build these apartments are not going to work. Too many apartments and not enough parking spaces. It's already a busy area and it's an impossible place to get in and out of now. If it has to be apartments it needs to be affordable apartments with smaller number of apartments and more parking. I already avoid coming down to the village do to the congestion in the area.

It would be nice to see it used for more retail and green space.

Kristin Weiner
Wauwatosa Resident

Sara Elmer

From: Zachary Kessler
Sent: Thursday, April 18, 2024 8:24 AM
To: Stefanie Escobedo; Sara Elmer
Cc: Steven Braatz
Subject: FW: [External] Development project proposal at 7474 Harwood Ave

Zach Kessler

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From: Missy Heck <heckmissy@gmail.com>
Sent: Wednesday, April 17, 2024 5:43 PM
To: tclerk <tclerk@wauwatosa.net>
Subject: [External] Development project proposal at 7474 Harwood Ave

Attention: City of Wauwatosa Design Review Board
April 17, 2024

Dear City of Wauwatosa,

I am writing to express my concerns regarding the proposed development project at 7474 Harwood Ave (St. Bernard's).

As a 32-year old Wauwatosa native and current resident, it is my civic responsibility to voice my opposition to this initiative. Proceeding with this development project will have catastrophic and detrimental effects on our community.

The building design: The apartment complex would negatively alter the character and atmosphere of the neighborhood. It is out of sync with the existing architectural and environmental aesthetics of downtown Wauwatosa. The village of Wauwatosa prides itself on its unique charm and European village-esque aesthetic. This apartment complex does not achieve these design standards, and instead will only further contribute to the mass-produced, characterless aesthetic that has plagued other cities and communities.

Size/Capacity: While growth is inevitable, a complex this size in the heart of the village is not a value add to the community and city of Wauwatosa. This area of Tosa is already at the brink of capacity, and the complex will only negatively impact the area. The area does not have the infrastructure to add an additional 163 apartments and all of the consequences that come with this addition (cars, noise, pollution, etc). Such changes will diminish the quality of life for current residents and detract from the charm that initially drew many of us to live here.

Safety/Traffic: 163 apartments will thus result in 163+ cars added to an area that already features heavy and frustrating congestion and traffic. Safety is a major concern for the schools/pedestrians surrounding the area. The village prides itself in catering towards pedestrians and its walkability. The extra cars this will bring to the area is a disgrace.

For a city that prides itself on serving its population and residents, this complex goes directly against these values. The community of Wauwatosa would benefit from a greenspace, a park or a rec center; an additional that adds to the quality of life of its residents, and brings together the people of this vibrant city. This is the heart of Wauwatosa and decision such as this should not be taken lightly.

I was born and raised in Wauwatosa, and I now currently work for Molson Coors in the Miller Valley. I attended Wauwatosa East High School. I moved away from Wauwatosa for 10 years, only to return back because of the local charm, walkability and the importance and value the city places on community and its residents. Wauwatosa has had a lot of great improvements in the past decade. However, this development project will not be one of them.

Thank you for your time and attention.

Best regards,

Missy Heck

Sara Elmer

From: Zachary Kessler
Sent: Thursday, April 18, 2024 8:24 AM
To: Stefanie Escobedo; Sara Elmer
Cc: Steven Braatz
Subject: FW: [External] St. Bernard site

Zach Kessler

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From: Mark Bialzik <mark.bialzik@gmail.com>
Sent: Wednesday, April 17, 2024 5:22 PM
To: tclerk <tclerk@wauwatosa.net>
Subject: [External] St. Bernard site

My wife and I support the plan for the site if the (likely significant) tax revenue lowers our tax rate.

Mark and Geri Bialzik
8131 Milwaukee Ave.
Wauwatosa, WI
53213

Sara Elmer

From: Zachary Kessler
Sent: Thursday, April 18, 2024 8:24 AM
To: Stefanie Escobedo; Sara Elmer
Cc: Steven Braatz
Subject: FW: [External] Proposed land use-St Bernard location, Wauwatosa Village

Zach Kessler

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7725 W North Ave | Wauwatosa, WI 53213
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From: Mary Ochowicz <meos54@aol.com>
Sent: Wednesday, April 17, 2024 5:16 PM
To: tclerk <tclerk@wauwatosa.net>
Subject: [External] Proposed land use-St Bernard location, Wauwatosa Village

To whom it may concern...besides myself

Please DO NOT use the land located where St Bernard presently stands for another apartment complex. That property is in the HEART of the Village. The land should be used for additional restaurants, retail and GREEN SPACE, not more living space. My husband and I are Village residents along with our daughter, her husband and our grandson. While we're grateful to have Hart Park and all that it offers, the Village is lacking as I mentioned above. We need another place to gather other than the tiny patch of grass across from YoMama. PLEASE use the property to enhance our Village, not overpopulate it with high priced rentals and unwanted congestion.

Mary & Gene Sczesny

Sara Elmer

From: Zachary Kessler
Sent: Thursday, April 18, 2024 8:24 AM
To: Stefanie Escobedo; Sara Elmer
Cc: Steven Braatz
Subject: FW: [External] Building at St Bernard's

Zach Kessler
Management Analyst/Deputy City Clerk | City of Wauwatosa
7725 W North Ave | Wauwatosa, WI 53213
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-----Original Message-----

From: Margaret Powell <mpowell0727@gmail.com>
Sent: Wednesday, April 17, 2024 5:15 PM
To: tclerk@wauwatosa.net
Cc: Mario Powell <mrpneo@gmail.com>
Subject: [External] Building at St Bernard's

Hello -

I am a 20 year resident of Wauwatosa. I love my community.... Its charm, its culture, its parks and its welcoming personality. A large part of the fabric of our community is our history, often reflected in its unique architecture.

Therefore, I am terribly disappointed in the preliminary plan for the St Bernard's site. Not only does it lack design ingenuity, but it is also an eyesore in an area with a wealth of architectural detail.

Moreover, I find it hard to believe FAMILIES will be interested in investing in an overpriced rental opportunity - thereby, supposedly, indirectly supporting our schools.

I kindly implore our decision makers to look at other alternatives to what is currently proposed and really consider what is BEST for the longevity of our lovely Wauwatosa.

Humbly,
Margaret Powell
6170 Washington Cir, Wauwatosa

Sent from my iPhone

Sara Elmer

From: Zachary Kessler
Sent: Thursday, April 18, 2024 8:24 AM
To: Stefanie Escobedo; Sara Elmer
Cc: Steven Braatz
Subject: FW: [External] Apt proposal

Zach Kessler

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From: Amy Erickson <amyerickson77@gmail.com>
Sent: Wednesday, April 17, 2024 5:12 PM
To: tclerk <tclerk@wauwatosa.net>
Subject: [External] Apt proposal

I really hope that the city listens to the people who live and pay taxes here in Tosa and reconsiders the current apt plans for the space where Saint B's currently stands. We love how walkable our village area is. We love that our students from East and Lincoln can walk with their friends to local businesses. There are so many other things you could do with that space. With 160+ apts parking and driving in that area will be a nightmare. Any search on social media will show you that no one in this community supports this plan. I hope you're listening.

--

Amy Erickson (She/Her)

Sara Elmer

From: Zachary Kessler
Sent: Thursday, April 18, 2024 8:25 AM
To: Stefanie Escobedo; Sara Elmer
Cc: Steven Braatz
Subject: FW: [External] Comment on 7474

Zach Kessler

Management Analyst/Deputy City Clerk | City of Wauwatosa
7725 W North Ave | Wauwatosa, WI 53213
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www.wauwatosa.net

From: Andy Blackburn <blackburn.andy@gmail.com>
Sent: Wednesday, April 17, 2024 4:58 PM
To: [tcclerk](mailto:tcclerk@wauwatosa.net) <tcclerk@wauwatosa.net>
Subject: [External] Comment on 7474

I would have thought that the availability to redevelop such a prominent piece of real estate would have been an ideal opportunity to do something creative and inspiring, not just another cookie cutter apartment building.

--

Andy Blackburn

Sara Elmer

From: Zachary Kessler
Sent: Thursday, April 18, 2024 8:25 AM
To: Stefanie Escobedo; Sara Elmer
Cc: Steven Braatz
Subject: FW: [External] St. Bernard's Property

Zach Kessler
Management Analyst/Deputy City Clerk | City of Wauwatosa
7725 W North Ave | Wauwatosa, WI 53213
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-----Original Message-----

From: Jessica Thorson <thorson.jess09@yahoo.com>
Sent: Wednesday, April 17, 2024 4:55 PM
To: tclerk@wauwatosa.net
Subject: [External] St. Bernard's Property

Good evening,

I am writing in response to the proposed development at the current St. Bernard's property. As a Wauwatosa resident who frequents the Tosa frequently, I find the current proposal rather disappointing.

I would love for the review board to consider not only apartments, but a way to include retail and restaurants to continue to make the village a destination spot for visitors, but also a place where locals of all ages can shop, dine, and gather as a community. Further, I sincerely hope the board considers a structure that matches the historical look and feel of the rest of the buildings in the village.

Lastly, let's take this opportunity to create a more green community - include trees, shrubs, flowers as part of the new design, even solar panels!

My family and I LOVE Wauwatosa - hopefully we can create a plan that truly captures the beauty, historical context, and thriving energy of the Tosa village in its proposals for this property.

Thank you for your time and consideration.

Jessica Thorson

Sent from my iPhone

Sara Elmer

From: Zachary Kessler
Sent: Thursday, April 18, 2024 8:25 AM
To: Stefanie Escobedo; Sara Elmer
Cc: Steven Braatz
Subject: FW: [External] St. Bernard's Property, 7474 Harwood Avenue

Zach Kessler

Management Analyst/Deputy City Clerk | City of Wauwatosa
7725 W North Ave | Wauwatosa, WI 53213
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From: Maureen Millmann <maureen.millmann@gmail.com>
Sent: Thursday, April 18, 2024 8:21 AM
To: tclerk <tclerk@wauwatosa.net>
Subject: [External] St. Bernard's Property, 7474 Harwood Avenue

Please accept my comments on the proposed development at 7474 Harwood / St. Bernard's property.

St. Bernard's church and school have been a part of the Village for a long time. It is sad to see it close, and we need to be respectful of the members who are losing a place that has been a very important part of their lives. There is a lot of history in the property and buildings. Approvals by the City of Wauwatosa for it to be sold and developed into ANOTHER apartment complex should not be done so swiftly. The proposed design does not contribute to the charm of the Village. Another apartment complex contributes to the traffic and congestion in the Village. The speed at which this proposal to demolish the existing and develop the property is disturbing. This property is at the heart of the Village community and there needs to be thoughtful review and consideration of all the possibilities.

I hope that the City of Wauwatosa takes some time and a step back to consider a possible repurposing of the existing buildings on the St. Bernard's property. During a recent trip to Italy, we visited many buildings that used to be churches that have been repurposed as performance spaces, meeting spaces and art galleries. The St. Bernard's gym could be used for public recreation activities. Obviously, these things take money and responsible parties to take this on. Groups that can do this and support it need time to do that. I ask that the City of Wauwatosa slow down and consider preserving the past, and envisioning what the future of the Village should be.

The Tosa Food Pantry is an important part of the community that is currently housed in St. Bernard's. They will most likely find a home somewhere else on the east side of Tosa, but the location in Village is on a bus route, currently has use of a parking lot and it would be great if it could be included and welcomed more fully by the Wauwatosa Community as part of future development.

Thank you,
Maureen Millmann
1839 N 69th St, Wauwatosa, WI 53213

Sara Elmer

From: Zachary Kessler
Sent: Thursday, April 18, 2024 8:26 AM
To: Stefanie Escobedo; Sara Elmer
Cc: Steven Braatz
Subject: FW: [External] village project - St. Bernards

Zach Kessler

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7725 W North Ave | Wauwatosa, WI 53213
Desk: (414) 479-8919 | Office: (414) 479-8917
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From: Joy Burkholder <joyburkholder@yahoo.com>
Sent: Wednesday, April 17, 2024 8:16 PM
To: tclerks <tclerks@wauwatosa.net>
Subject: [External] village project - St. Bernards

To Whom It May Concern - I am a Tosa resident of over 15 years. I love the thoughtful planning in our wonderful Village that has brought great restaurants and mixed-use spaces during that time. However, I cannot support the current proposal for the apartments where the St. Bernard church is today.

In their current state the apartments do not keep to the character of the Village - there's no charm, there's no place for outside gathering, there are no shops. It's just plopping cookie-cutter apartments in the middle of a historic village.

The zoning for the space says that the site is "primarily intended to accommodate and promote neighborhood and community serving business and commercial (i.e., retail, service, office) uses... and mixed-use development and small-scale neighborhood serving retail and service uses in pedestrian-oriented storefront buildings."

This project doesn't attempt to meet the purposes of the zoning district - unlike other recent mixed-use projects in the village (like State Street Station).

(2) No public parking, which other recent developments have added to the village.

(3) Massive congestion at these intersections already- hard to see how this doesn't exacerbate the public safety issues that already exist in this area for pedestrians, bicyclists and motorists.

(4) It's institutional design (flat roof, massing, no variation in window lines).

I am not opposed to apartments but the development needs to better incorporate other aspects of design and use for the public.

Thanks for considering.
Joy Burkholder Meier

Sara Elmer

From: Zachary Kessler
Sent: Thursday, April 18, 2024 8:30 AM
To: Stefanie Escobedo; Sara Elmer
Cc: Steven Braatz
Subject: FW: [External] Re: village project - St. Bernards

Zach Kessler

Management Analyst/Deputy City Clerk | City of Wauwatosa
7725 W North Ave | Wauwatosa, WI 53213
Desk: (414) 479-8919 | Office: (414) 479-8917
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From: Joy Burkholder <joyburkholder@yahoo.com>
Sent: Wednesday, April 17, 2024 9:22 PM
To: tclerks <tclerks@wauwatosa.net>
Subject: [External] Re: village project - St. Bernards

Apologies for multiple emails - but I wanted to share one more piece of feedback.

The Harlow/Hen project materials talked about street activation, designs to evoke a sense of buildings built over time, with layered architecture and building that reinforces the public space infrastructure around the Village Center. They also talked about weaving the historical framework in place and embracing future goals of the village through architecture, inclusion and creativity with a focus on public parks, green space and pedestrian interaction to further activate the area. The St Bernard design does not seem to give voice to any of these worthy considerations.

I respectfully request that the Village not accept what has been proposed and indicates that the developer will have to revisit plans which align with the City Zoning, architectural goals/standards and finds a way to activate this space to integrate the public and new businesses instead of just dumping a bunch of apartments into the middle of the Village.

Thanks again for letting me voice my opinion.

Joy Burkholder Meier

On Wednesday, April 17, 2024 at 08:15:51 PM CDT, Joy Burkholder <joyburkholder@yahoo.com> wrote:

To Whom It May Concern - I am a Tosa resident of over 15 years. I love the thoughtful planning in our wonderful Village that has brought great restaurants and mixed-use spaces during that time. However, I cannot support the current proposal for the apartments where the St. Bernard church is today.

In their current state the apartments do not keep to the character of the Village - there's no charm, there's no place for outside gathering, there are no shops. It's just plopping cookie-cutter apartments in the middle of a historic village.

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This project doesn't attempt to meet the purposes of the zoning district - unlike other recent mixed-use projects in the village (like State Street Station).

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(4) It's institutional design (flat roof, massing, no variation in window lines).

I am not opposed to apartments but the development needs to better incorporate other aspects of design and use for the public.

Thanks for considering.

Joy Burkholder Meier

Sara Elmer

From: Zachary Kessler
Sent: Thursday, April 18, 2024 8:30 AM
To: Stefanie Escobedo; Sara Elmer
Cc: Steven Braatz
Subject: FW: [External] St Bernard's site development - Three Leaf

Zach Kessler

Management Analyst/Deputy City Clerk | City of Wauwatosa
7725 W North Ave | Wauwatosa, WI 53213
Desk: (414) 479-8919 | Office: (414) 479-8917
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From: Steve Gorzek <sgorzek@sbcglobal.net>
Sent: Wednesday, April 17, 2024 9:31 PM
To: tcclerks@wauwatosa.net
Subject: [External] St Bernard's site development - Three Leaf

Dear Design Board Review members,

As a long time, Wauwatosa resident homeowner, the purpose of my message is to convey full support for the 163 unit apartment project being reviewed by you this Thursday evening.

Since I'm unable to attend the meeting, following are some of my observations and input for your consideration:

- High integrity and past success of Three Leaf Development who sincerely listens to stakeholders while reasonably working to meet the community needs and desires (note: I am not related to, nor benefit from, Three Leaf or this development in any way),
- Visually appealing design and color scheme consistent with surrounding community and prior similar developments,
- Minimized outdoor parking which should not distract from surrounding neighborhood parking or infringe on nearby business parking for patrons,
- Positive contribution to our tax base – no City assistance,
- Highly probable, positive contribution to our community and Wauwatosa businesses.

Thank you for your consideration of my comments and the important role you play in contributing to Wauwatosa being a highly desirable community for individuals, families and supporting businesses.

Steve Gorzek
8043 W. Wisconsin Avenue
414-313-4877

Sent from my iPhone

Sara Elmer

From: Zachary Kessler
Sent: Thursday, April 18, 2024 8:59 AM
To: Stefanie Escobedo; Sara Elmer
Cc: Steven Braatz
Subject: FW: [External] Deny St Bernards parish apartment proposal

Zach Kessler

Management Analyst/Deputy City Clerk | City of Wauwatosa
7725 W North Ave | Wauwatosa, WI 53213
Desk: (414) 479-8919 | Office: (414) 479-8917
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From: Michael Schultz <michael.schultz.email@gmail.com>
Sent: Thursday, April 18, 2024 8:56 AM
To: tclerk <tclerk@wauwatosa.net>; Dennis McBride <dmcbride@wauwatosa.net>; Margaret Arney <marney@wauwatosa.net>; Brad Foley <bfoley@wauwatosa.net>
Subject: [External] Deny St Bernards parish apartment proposal

Hello:

I'm writing today to express my concern and disapproval for the apartment development proposed for the St Bernard's parish site.

As many have noted on social media, adding a large scale, volume housing right in the heart of the village is a shortsighted, inappropriate development for that site. Considering the additional traffic burden, congestion in the village, Apartments in Tosa over the last decade have become an "invasive species" to our community. Tosa has done its part for the "housing crisis" with the addition of apartments on Watertown Plank Rd., all down State St, North Avenue, Mayfair Road and the proposed development at Mayfair Mall at the former Boston Store site. To paraphrase one particularly disturbing media article: "If you want to live in a cheap, overcrowded city, move to West Allis or Wauwatosa; if you want to live in a city where people aspire to live, move to Brookfield."

When I moved to Tosa 10 years ago, many of my friends and co-workers mentioned their regard for Wauwatosa, and what a great place it is to raise a family, enjoy an evening out at many of the nice restaurants, or enjoy the unique shops in the village. Now they ask, "What the hell is going on over there?" Subsequently, apartments have been encroaching closer to the village, until now, a huge development right on one of the best pieces of land in the village (not to mention the one proposed across the street). Considering a housing market correction in the future, what is to become of the thousands of apartments in Wauwatosa? Vacancies? rent and property value reductions? Once the renters leave, it leaves the homeowners holding the "bag." Wauwatosa needs to remain a place people aspire and work toward living in; not an "open door" to the highest paying apartment developer.

I'm tired of seeing my community sell out our Tosa land. Approval of this development needs to be denied! or is this a bait and switch design? While we realize St Bernard's Parish can privately sell their land to whomever; I propose the City of Wauwatosa look toward acquiring the land and repurposing that landmark property at the top of Harwood Ave as the site that the community can collectively enjoy.

Thank you,

Sara Elmer

From: Zachary Kessler
Sent: Thursday, April 18, 2024 8:30 AM
To: Stefanie Escobedo; Sara Elmer
Cc: Steven Braatz
Subject: FW: [External] St Bernard's site development - Three Leaf

Zach Kessler

Management Analyst/Deputy City Clerk | City of Wauwatosa
7725 W North Ave | Wauwatosa, WI 53213
Desk: (414) 479-8919 | Office: (414) 479-8917
www.wauwatosa.net

From: Steve Gorzek <sgorzek@sbcglobal.net>
Sent: Wednesday, April 17, 2024 9:31 PM
To: tcclerks@wauwatosa.net
Subject: [External] St Bernard's site development - Three Leaf

Dear Design Board Review members,

As a long time, Wauwatosa resident homeowner, the purpose of my message is to convey full support for the 163 unit apartment project being reviewed by you this Thursday evening.

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- Visually appealing design and color scheme consistent with surrounding community and prior similar developments,
- Minimized outdoor parking which should not distract from surrounding neighborhood parking or infringe on nearby business parking for patrons,
- Positive contribution to our tax base – no City assistance,
- Highly probable, positive contribution to our community and Wauwatosa businesses.

Thank you for your consideration of my comments and the important role you play in contributing to Wauwatosa being a highly desirable community for individuals, families and supporting businesses.

Steve Gorzek
8043 W. Wisconsin Avenue
414-313-4877

Sent from my iPhone

Sara Elmer

From: Zachary Kessler
Sent: Thursday, April 18, 2024 8:59 AM
To: Stefanie Escobedo; Sara Elmer
Cc: Steven Braatz
Subject: FW: [External] Proposed Three Leaf Project on St. Bernard's Site

Zach Kessler

Management Analyst/Deputy City Clerk | City of Wauwatosa
7725 W North Ave | Wauwatosa, WI 53213
Desk: (414) 479-8919 | Office: (414) 479-8917
www.wauwatosa.net

From: Catherine Pickart <c.pickart@me.com>
Sent: Thursday, April 18, 2024 8:36 AM
To: tclerks <tclerks@wauwatosa.net>
Subject: [External] Proposed Three Leaf Project on St. Bernard's Site

Good morning.

We are writing in support of the proposed Three Leafs project at the St. Bernard's site.

For background purposes, we are longtime residents of Wauwatosa, having raised our family of 5 children for the last 25 years in our house on 91st & Wright. Before that, Joe lived in Wauwatosa for the first half of his life @ 90th & Stickney Avenue, before we headed to Pewaukee while Katie was pursuing her doctorate at UW. As a youth, Joe held several different jobs throughout Wauwatosa, including paperboy, Wauwatosa Recreation Dept. summer playground leader; WCD youth baseball coach at Hart Park, stocker at Furniture Clearance Center (which is now Anytime Fitness) and several other jobs. Joe's brother and sister worked at John's Sandwich Shop for years. Both Joe and Katie attended McKinley for kindergarten and Joe attended Christ King for grade school. Thereafter, he played summer baseball for Wauwatosa East High School and still counts as dear friends many of his former teammates. We regularly attend Mass at St. Bernards and Christ King. Joe served as trustee at CK and we served as co-leaders for its most recent capital campaign. In short, we absolutely love Wauwatosa and are sensitive to its history and hopeful for a bright future.

We are heartbroken that St. Bernards is closing as a parish. St. Bernards consists of fabulous, hard-working, joyful parishioners, who have contributed to the Wauwatosa Community in so many invaluable ways. However, as our demographics evolve (i.e., fewer kids attending Catholic schools and fewer Catholics regularly attending and contributing to parish life), there **will be** additional parish closures throughout Wisconsin and the United States. Our grief for the loss of the parish should not stand in the way of a project that will add to the City's tax base and will allow for additional living options for people who wish to live in this great city. Wauwatosa needs to embrace the future if it is to thrive. Please approve this project.

Thank you.

Joe Pickart and Katie Daily Pickart, PhD.
2518 N. 91st St.
Wauwatosa, WI 53226

Sara Elmer

From: Zachary Kessler
Sent: Thursday, April 18, 2024 10:31 AM
To: Stefanie Escobedo; Sara Elmer
Cc: Steven Braatz
Subject: FW: [External] 7474 Harwood Avenue - New Multi-Family, Public Comment

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From: Kathleen Hassing <krhassing@gmail.com>
Sent: Thursday, April 18, 2024 9:49 AM
To: tcclerk <tcclerk@wauwatosa.net>
Subject: [External] 7474 Harwood Avenue - New Multi-Family, Public Comment

Hello,

The apartments are fine.
The City needs housing.
Sometimes change happens, and that's OK.

If traffic is truly a concern and not just a way to prevent development, then the City should eliminate the onerous and expensive minimum parking requirements.

Thanks,
Katie Hassing

Sara Elmer

From: Zachary Kessler
Sent: Thursday, April 18, 2024 10:31 AM
To: Stefanie Escobedo; Sara Elmer
Cc: Steven Braatz
Subject: FW: [External] Letter to Design Review Board - Please Distribute
Attachments: Design Review Board letter 7474 Harwood Place 041724 Final.docx

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From: Ann Heidkamp <heidkama.ah@gmail.com>
Sent: Thursday, April 18, 2024 10:15 AM
To: tclerk <tclerk@wauwatosa.net>
Subject: [External] Letter to Design Review Board - Please Distribute

Please send the attached letter from the Wauwatosa Joint Housing Coalition to members of the Design Review Board and add it to the agenda packet
Thank you.

To: Wauwatosa Design Review Board Members
City of Wauwatosa

April 18, 2024

Re: New Housing Proposal at 7474 Harwood Avenue (file 24-0565)

Dear Board Members,

The Wauwatosa Joint Housing Coalition* is deeply concerned about the design, siting, and landscaping of Three Leaf Partners development proposal at the St Bernard site, 7474 Harwood Avenue in the Village.

This is a prominent site on a hill overlooking the village at the intersection of two major streets. Whatever is built on this site will serve as a visible gateway to the village from all directions. The city recently invested millions of dollars to make the village a welcoming and inclusive center for business, residents of Wauwatosa, and the broader community. Development on this site should complement these objectives for the village.

The Housing Coalition welcomes housing on this site. However, as proposed, this project does not realize the full potential of this site as an important part of the village. A premier developable site of this size within the village area is a rare opportunity and it is critical that the city and developer get it right.

Our objections to the design include:

- This monolithic structure is at variance from all other village structures.

- This structure completely consumes the boundaries of the site with little or no features or landscaping to soften its presence. We've heard the design described as a prison and as the impenetrable pentagon.
- This interior courtyard design isolates the building residents from the village and life of the city.
- The exterior architecture of the building and landscaping features do nothing to make community residents feel welcome - unlike nearly all the other buildings in the area.
- Initial findings from the city's Comprehensive Plan study currently underway list a goal for housing:
 - Provide a variety of housing styles and densities that acknowledge the existing character of neighborhoods and supports the community's residents to all stages of life, maintaining and expanding the city's reputation as an attractive place to live.

The Housing Coalition knows that current city zoning and ordinances allow for the type of development currently proposed. But the Design Review Board approval process allows the city to engage in creative discussions with the developer for a win-win solution.

The Housing Coalition urges the Board to reject the design as presented and to begin a broader discussion about appropriate housing type and design for this premier site and for the Wauwatosa community.

In addition to the city's current Comprehensive Plan study, the 2022 Housing Needs Assessment, the 2023 Community Health Improvement Plan, and the 2023 Age Friendly Community Action Plan all document the city's need for more affordable housing (over 25% of current residents are "housing cost burdened") and for missing middle and other types of housing options to meet needs of residents and those who want to live in Wauwatosa. Citizen input on numerous recent city surveys list housing affordability as a high concern and laments the development of more "luxury" housing. The city council has recognized this research and citizen input by setting goals for increased affordable housing. The Joint Housing Coalition exists to support these goals and works to make them happen.

We appeal to Three Leaf Partners, city officials, and staff to work together using all the recent studies documenting housing needs in Wauwatosa and with citizen input, to ensure that this important site meets the needs of all stakeholders in an attractive and welcoming environment.

*The Wauwatosa Joint Housing Coalition works to increase affordable, accessible, equitable and sustainable housing in Wauwatosa. Our group consists of the Wauwatosa citizen Commissions for Seniors, Equity and Inclusion, Persons with Disabilities, and Sustainability, and the Tosa Together community organization working for equity and inclusion.

Sincerely,

For the Joint Housing Coalition:

- Ann Heidkamp, Tosa Together, 2330 N. Swan Blvd, Wauwatosa, WI 53226
- Ursula Twombly, Tosa Together, 11617 West Meinecke Ave, Wauwatosa, WI 53226
- Dain Maddox, Wauwatosa Senior Commission, 105 N. 88th St, Wauwatosa, WI 53226
- Kathy Causier, Wauwatosa Senior Commission 8213 Aberdeen Court, Wauwatosa, WI 53213
- Mary Walz-Chojnacki, Wauwatosa Commission for Persons with Disabilities 8007 Portland Ave, Wauwatosa, WI 53213
- Rosemary Fox, Wauwatosa Equity and Inclusion Commission 2020 N. Wauwatosa Ave, Wauwatosa, WI 53213

- Rob Zimmerman, Wauwatosa Sustainability Committee 2565 N. 83rd St Wauwatosa, WI 53213

CC: Mayor, Common Council Members, City Administrator, Development Dept Director

To: Wauwatosa Design Review Board Members
City of Wauwatosa

April 18, 2024

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CC: Mayor, Common Council Members, City Administrator, Development Dept Director

Sara Elmer

From: Zachary Kessler
Sent: Thursday, April 18, 2024 10:36 AM
To: Stefanie Escobedo; Sara Elmer
Cc: Steven Braatz
Subject: FW: [External] Opposition Three Leaf Apartments

Zach Kessler

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From: kari blankenheim <kblankenheim@hotmail.com>
Sent: Thursday, April 18, 2024 10:35 AM
To: tclerk <tclerk@wauwatosa.net>
Subject: [External] Opposition Three Leaf Apartments

I am voicing my concerns on this.
No green space
No mixed usage
Traffic is already compromised here
Proximity to schools and safety for the kids because of this
Parking
Architecture does not mesh with our city

Tosa deserves better
Thank you

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