

**THE FOUNDRY AT MAYFAIR  
COLLECTION**

11220 BURLEIGH ST  
WAUWATOSA, WI 53222  
Tax Key ID: 296-9992-016

WINGSPAN DEVELOPMENT GROUP  
1001 Feehanville Drive - Mount Prospect, IL 60056  
CITADEL PROPERTY ADVISORS  
100 South Wacker Drive, Suite 950 - Chicago, Illinois 60606

PROJECT NUMBER 223467.00

**PROJECT TEAM  
CONTACTS**

**CIVIL ENGINEER**  
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PINNACLE ENGINEERING GROUP  
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BROOKFIELD, WI 53186  
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**SURVEYOR:**  
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**APPLICANT:**  
MR. JASON MACKLIN  
DIRECTOR OF DEVELOPMENT  
WINGSPAN DEVELOPMENT GROUP  
3880 WEST WHEELHOUSE ROAD  
SUITE B  
MILWAUKEE, WI 53208

ISSUED FOR:

MINOR PUD AMENDMENT 10/09/24

REVISION FOR:

NO. DESCRIPTION DATE

**ONSITE CIVIL ENGINEERING PLANS**

FOR

**THE FOUNDRY AT MAYFAIR COLLECTION**

**11220 BURLEIGH ST**

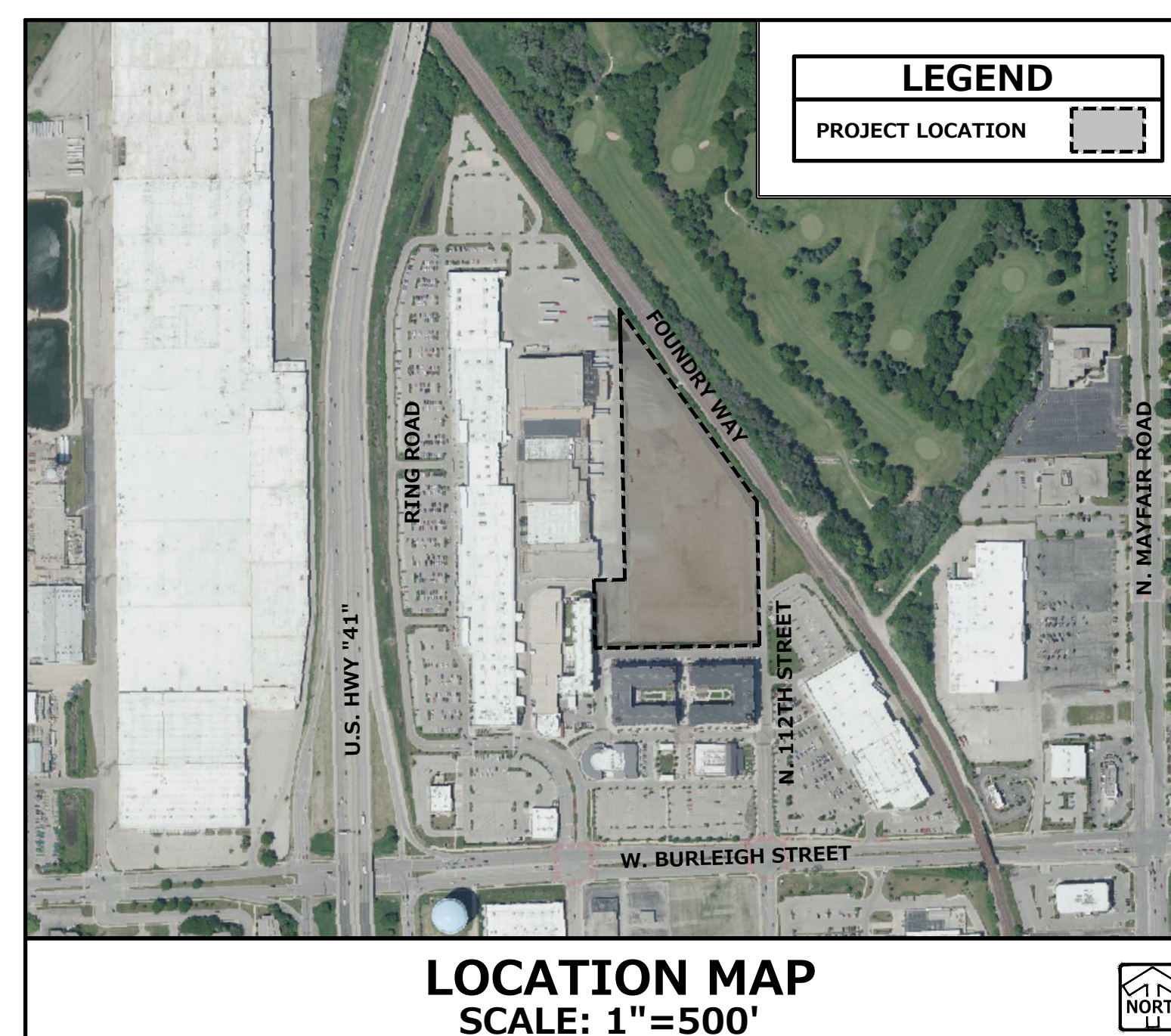
**WAUWATOSA, WI 53222**

PLANS PREPARED  
FOR

**Wingspan Development Group**  
1001 FEEHANVILLE DRIVE  
MOUNT PROSPECT, IL 60056

**Citadel Property Advisors**  
100 SOUTH WACKER DRIVE, SUITE 950  
CHICAGO, IL 60606

LEGEND		
	EXISTING	PROPOSED
SANITARY SEWER MANHOLE	⊙	⊙
STORM SEWER MANHOLE	⊙	⊙
STORM SEWER CATCH BASIN (ROUND CASTING)	⊙	⊙
STORM SEWER CATCH BASIN (RECTANGULAR CASTING)	□	■
PRECAST FLARED END SECTION	△	▶
CONCRETE HEADWALL		┌
VALVE BOX	⊗	⊗
FIRE HYDRANT	⊗	⊗
CLEANOUT	⊗	⊗
SANITARY SEWER	—	—
FORCE MAIN	—	—
STORM SEWER	—	—
DRAIN TILE	—	—
WATER MAIN	—	—
FIRE PROTECTION	—	—
ELECTRICAL CABLE	—	—
OVERHEAD WIRES	—	—
GAS MAIN	—	—
TELEPHONE LINE	—	—
UTILITY CROSSING		⊗
CAUTION EXISTING UTILITIES NEARBY		⊗
GRANULAR TRENCH BACKFILL		▨
LIGHTING	⊗	⊗
ELECTRICAL TRANSFORMER OR PEDESTAL	⊗	⊗
POWER POLE	⊗	⊗
POWER POLE WITH LIGHT	⊗	⊗
GUY WIRE	—	—
STREET SIGN	⊗	⊗
CONTOUR	—	—
SPOT ELEVATION	×	+
WETLANDS	▨	▨
PRIMARY ENVIRONMENTAL CORRIDOR	▨	▨
FLOODWAY	▨	▨
FLOODPLAIN	▨	▨
HIGH WATER LEVEL (HWL)	—	—
NORMAL WATER LEVEL (NWL)	—	—
DIRECTION OF SURFACE FLOW	→	→
DITCH OR SWALE	—	—
DIVERSION SWALE	→	→
OVERFLOW RELIEF ROUTING	→	→
TREE WITH TRUNK SIZE	⊗	⊗
SOIL BORING	⊗	⊗
TOPSOIL PROBE	⊗	⊗
FENCE LINE, TEMPORARY SILT	—	—
FENCE LINE, WIRE	—	—
FENCE LINE, CHAIN LINK OR IRON	—	—
FENCE LINE, WOOD OR PLASTIC	—	—
CONCRETE SIDEWALK	—	—
CURB AND GUTTER	—	—
DEPRESSED CURB	—	—
REVERSE PITCH CURB & GUTTER	—	—
EASEMENT LINE	—	—



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REQUIRED SUBMITTALS FOR APPROVAL	
1. HOT MIX ASPHALT - MIX DESIGN	
2. CONCRETE PAVEMENTS (EXTERIOR) - MIX DESIGN & JOINT PLAN	
3. PAVEMENT STONE BASE COURSE - GRADATION	
4. PIPE BEDDING & TRENCH BACKFILL - GRADATION	
5. MANHOLE BACKFILL - GRADATION	
6. PAVEMENT MARKING PAINT	

REQUIRED SUBMITTALS FOR RECORDS	
1. WATER MAIN PIPES, VALVES, HYDRANTS & FITTINGS	
2. SANITARY SEWER PIPE & FITTINGS	
3. STORM SEWER PIPE, STRUCTURES, & FITTINGS	
4. TRACER WIRE	
5. UNDERGROUND UTILITY LOCATION RECORD DRAWINGS	
6. CHEMICAL SOIL STABILIZATION MIX DESIGN (IF APPLICABLE)	

GENERAL NOTES	
1. THE INTENTION OF THE PLANS AND SPECIFICATIONS IS TO SET FORTH PERFORMANCE AND CONSTRUCTION MATERIAL STANDARDS FOR THE PROPER EXECUTION OF WORK. ALL WORKS CONTAINED WITHIN THE PLANS AND SPECIFICATIONS SHALL BE COMPLETED IN ACCORDANCE WITH ALL REQUIREMENTS FROM LOCAL, STATE, FEDERAL OR OTHER GOVERNING AGENCY'S LAWS, REGULATIONS, JURISDICTIONAL ORDINANCES/CODES/RULES/ETC., AND THE OWNER'S DIRECTION.	PLANS AND SPECIFICATIONS IN ENTIRETY AND CERTIFIES THAT THEIR SUBMITTED BID PROPOSAL CONTAINS PROVISIONS TO COMPLETE THE PROJECT, WITH THE EXCEPTION OF UNFORESSEEN FIELD CONDITIONS ALL APPLICABLE PERMITS HAVE BEEN OBTAINED, AND CONTRACTOR UNDERSTANDS ALL OF THE REQUIREMENTS OF THE PROJECT.
2. A GEOTECHNICAL REPORT HAS BEEN PREPARED FOR THE PROJECT SITE. THE CONTRACTOR IS RESPONSIBLE FOR PERFORMING ANY SOILS INVESTIGATIONS THEY FEEL IS NECESSARY FOR THE PROPER EVALUATION OF THE SITE FOR PURPOSES OF PLANNING, BIDDING, OR CONSTRUCTING THE PROJECT AT NO ADDITIONAL COST TO THE OWNER.	9. SHOULD ANY DISCREPANCIES OR CONFLICTS IN THE PLANS OR SPECIFICATIONS BE DISCOVERED AFTER THE AWARD OF CONTRACT, ENGINEER SHALL BE NOTIFIED IN WRITING IMMEDIATELY AND CONSTRUCTION OF ITEMS AFFECTED BY THE DISCREPANCIES/CONFLICTS SHALL NOT COMMENCE, OR CONTINUE UNTIL A WRITTEN RESPONSE FROM ENGINEER/OWNER IS DISTRIBUTED. IN THE EVENT OF A CONFLICT BETWEEN REFERENCED CODES, STANDARDS, SPECIFICATIONS AND PLANS, THE ONE ESTABLISHING THE MOST STRINGENT REQUIREMENTS SHALL BE FOLLOWED.
3. THE CONTRACTOR IS RESPONSIBLE TO REVIEW AND UNDERSTAND ALL COMPONENTS OF THE PLANS AND SPECIFICATIONS.	10. THE CONTRACTOR SHALL, AS A REIMBURSABLE EXPENSE, OBTAIN ALL NECESSARY PERMITS AND LICENSES TO COMPLETE THE PROJECT, OBTAINING PERMITS, OR DELAYS, IS NOT CAUSE FOR DELAY OF THE CONTRACT OR SCHEDULE. CONTRACTOR SHALL COMPLY WITH ALL PERMIT REQUIREMENTS.
4. THE CONTRACTOR SHALL PROMPTLY REPORT ANY ERRORS OR AMBIGUITIES LEARNED AS PART OF THEIR REVIEW OF PLANS, SPECIFICATIONS, REPORTS AND FIELD INVESTIGATIONS.	11. THE CONTRACTOR SHALL NOTIFY ALL INTERESTED GOVERNING AGENCIES, UTILITY COMPANIES AFFECTED BY THIS CONSTRUCTION PROJECT, AND DIGGERS HOTLINE IN ADVANCE OF CONSTRUCTION TO COMPLY WITH ALL JURISDICTIONAL ORDINANCES/CODES/RULES/ETC., PERMIT STIPULATIONS, AND OTHER APPLICABLE STANDARDS.
5. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE COMPUTATION OF QUANTITIES AND WORK REQUIRED TO COMPLETE THIS PROJECT. THE CONTRACTOR'S BID SHALL BE BASED ON ITS OWN COMPUTATIONS AND IN NO SUCH INSTANCE RELY ON THE ENGINEER'S ESTIMATE.	12. SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE TO INITIATE, INSTITUTE, ENFORCE, MAINTAIN, AND SUPERVISE ALL SAFETY PRECAUTIONS AND JOB SITE SAFETY PROGRAMS IN CONNECTION WITH THE WORK.
6. QUESTIONS/CLARIFICATIONS WILL BE INTERPRETED BY ENGINEER/OWNER PRIOR TO THE AWARD OF CONTRACT. ENGINEER/OWNER WILL SUBMIT OFFICIAL RESPONSES IN WRITING. INTERPRETATIONS PRESENTED IN OFFICIAL RESPONSES SHALL BE BINDING ON ALL PARTIES ASSOCIATED WITH THE CONTRACT. IN NO WAY SHALL WORD-OF-MOUTH DIALOG CONSTITUTE AN OFFICIAL RESPONSE.	13. CONTRACTOR SHALL KEEP THE JOBSITE CLEAN AND ORDERLY AT ALL TIMES. ALL LOCATIONS OF THE SITE SHALL BE KEPT IN A WORKING MANNER SUCH THAT DEBRIS IS REMOVED CONTINUOUSLY AND ALL RESPECTIVE CONTRACTORS OPERATE UNDER GENERAL "GOOD HOUSEKEEPING."
7. PRIOR TO START OF WORK, CONTRACTOR SHALL BE COMPLETELY FAMILIAR WITH ALL CONDITIONS OF THE SITE, AND SHALL ACCOUNT FOR CONDITIONS THAT AFFECT, OR MAY AFFECT CONSTRUCTION INCLUDING, BUT NOT LIMITED TO, LIMITATIONS OF WORK ACCESS, SPACE LIMITATIONS, OVERHEAD OBSTRUCTIONS, TRAFFIC PATTERNS, LOCAL REQUIREMENTS, ADJACENT ACTIVITIES, ETC. FAILURE TO CONSIDER SITE CONDITIONS SHALL NOT BE CAUSE FOR CLAIM OF JOB EXTRAS.	14. THE CONTRACTOR SHALL INDEMNIFY THE OWNER, ENGINEER, AND THEIR AGENTS FROM ALL LIABILITY INVOLVED WITH THE CONSTRUCTION, INSTALLATION, AND TESTING OF THE WORK ON THIS PROJECT.
8. COMMENCEMENT OF CONSTRUCTION SHALL EXPLICITLY CONFIRM THAT THE CONTRACTOR HAS REVIEWED THE	

ABBREVIATIONS			
BL	BASE LINE	MH	MANHOLE
BW	BOTTOM OF WALL	NWL	NORMAL WATER LEVEL
C	LONG CHORD OF CURVE	PC	POINT OF CURVATURE
C & G	CURB AND GUTTER	PT	POINT OF TANGENCY
CB	CATCH BASIN	PVI	POINT OF VERTICAL INTERSECTION
CL	CENTERLINE	R	RADIUS
D	DEGREE OF CURVE	ROW	RIGHT-OF-WAY
EP	EDGE OF PAVEMENT	SAN	SANITARY SEWER
FF	FINISHED FLOOR	ST	STORM SEWER
FG	FINISHED GRADE	T	TANGENCY OF CURVE
FL	FLOW LINE	TB	TOP OF BANK
FP	FLOODPLAIN	TC	TOP OF CURB
FR	FRAME	TF	TOP OF FOUNDATION
FS	FLOODWAY	TP	TOP OF PIPE
HWL	HIGH WATER LEVEL	TS	TOP OF SIDEWALK
INV	INVERT	TW	TOP OF WALL
INL	INLET	WM	WATER MAIN
L	LENGTH OF CURVE	Δ	INTERSECTION ANGLE

**NOT FOR  
CONSTRUCTION**

DRAWN BY MAB

CHECKED BY AEK

COVER SHEET

**DIGGERS HOTLINE**  
Toll Free (800) 242-8511  
Milwaukee Area (414) 250-1101  
Hearing Impaired 1(800) 542-2289  
www.DiggersHotline.com

EXPIRATION DATE: JULY 31, 2024

**PINNACLE ENGINEERING GROUP, LLC - ENGINEER'S LIMITATION**  
PINNACLE ENGINEERING GROUP, LLC AND THEIR CONSULTANTS DO NOT WARRANT OR GUARANTEE THE ACCURACY AND COMPLETENESS OF THE DELIVERABLES HEREIN BEYOND A REASONABLE DILIGENCE. IF ANY MISTAKES, OMISSIONS, OR DISCREPANCIES ARE FOUND TO EXIST WITHIN THE DELIVERABLES, THE ENGINEER SHALL BE PROMPTLY NOTIFIED PRIOR TO BID SO THAT HE MAY HAVE THE OPPORTUNITY TO TAKE WHATEVER STEPS NECESSARY TO RESOLVE THEM. FAILURE TO PROMPTLY NOTIFY THE ENGINEER OF SUCH CONDITIONS SHALL ABSOLVE THE ENGINEER FROM ANY RESPONSIBILITY FOR THE CONSEQUENCES OF SUCH FAILURE. ACTIONS TAKEN WITHOUT THE KNOWLEDGE AND CONSENT TO THE ENGINEER, OR IN CONTRADICTION TO THE ENGINEER'S DELIVERABLES OR RECOMMENDATIONS, SHALL BECOME THE RESPONSIBILITY NOT OF THE ENGINEER BUT OF THE PARTIES RESPONSIBLE FOR TAKING SUCH ACTION.  
FURTHERMORE, PINNACLE ENGINEERING GROUP, LLC IS NOT RESPONSIBLE FOR CONSTRUCTION SAFETY OR THE MEANS AND METHODS OF CONSTRUCTION.

**C0.0**



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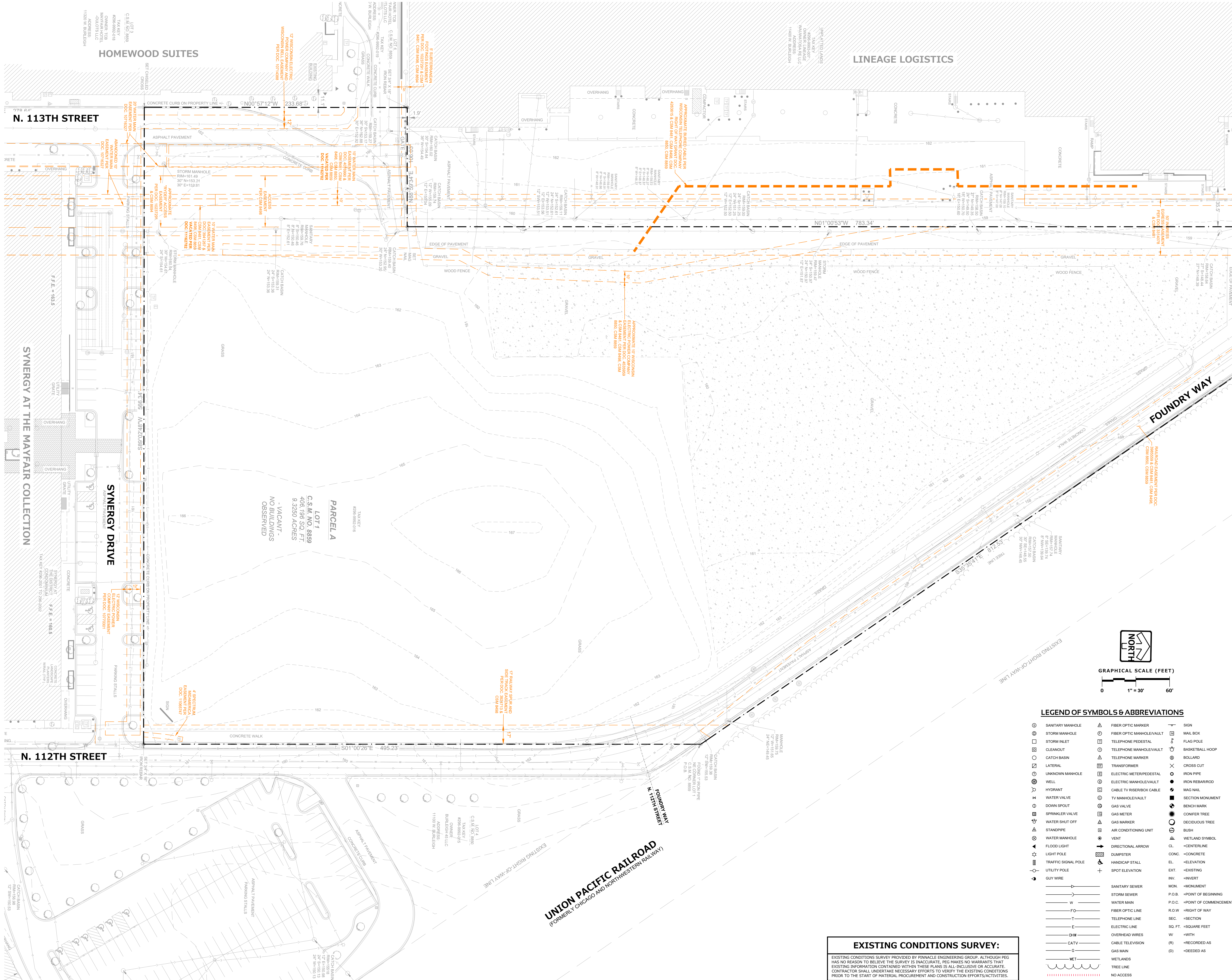
**NOT FOR  
CONSTRUCTION**

DRAWN BY MAB

CHECKED BY AEK

EXISTING CONDITIONS PLAN

**C2.0**



**LEGEND OF SYMBOLS & ABBREVIATIONS**

⊙	SANITARY MANHOLE	△	FIBER OPTIC MARKER	⊞	SIGN
⊙	STORM MANHOLE	⊞	FIBER OPTIC MANHOLE/VAULT	⊞	MAIL BOX
⊞	STORM INLET	⊞	TELEPHONE PEDESTAL	⊞	FLAG POLE
⊞	CLEANOUT	⊞	TELEPHONE MANHOLE/VAULT	⊞	BASKETBALL HOOP
⊞	CATCH BASIN	⊞	TELEPHONE MARKER	⊞	BOLLARD
⊞	LATERAL	⊞	TRANSFORMER	⊞	CROSS CUT
⊞	UNKNOWN MANHOLE	⊞	ELECTRIC METER/PEDESTAL	⊞	IRON PIPE
⊞	WELL	⊞	ELECTRIC MANHOLE/VAULT	⊞	IRON REBAR/ROD
⊞	HYDRANT	⊞	CABLE TV RISER/BOX CABLE	⊞	MAG NAIL
⊞	WATER VALVE	⊞	TV MANHOLE/VAULT	⊞	SECTION MONUMENT
⊞	DOWN SPOUT	⊞	GAS VALVE	⊞	BENCH MARK
⊞	SPRINKLER VALVE	⊞	GAS METER	⊞	CONIFER TREE
⊞	WATER SHUT OFF	⊞	GAS MARKER	⊞	DECIDUOUS TREE
⊞	STANDPIPE	⊞	AIR CONDITIONING UNIT	⊞	BUSH
⊞	WATER MANHOLE	⊞	VENT	⊞	WETLAND SYMBOL
⊞	FLOOD LIGHT	⊞	DIRECTIONAL ARROW	⊞	CL - CENTERLINE
⊞	LIGHT POLE	⊞	DUMPSITE	⊞	CONC - CONCRETE
⊞	TRAFFIC SIGNAL POLE	⊞	HANDICAP STALL	⊞	E - ELEVATION
⊞	UTILITY POLE	⊞	SPOT ELEVATION	⊞	EX - EXISTING
⊞	GUY WIRE	⊞		⊞	INV - INVERT
⊞		⊞	SANITARY SEWER	⊞	MON - MONUMENT
⊞		⊞	STORM SEWER	⊞	P.O.B. - POINT OF BEGINNING
⊞		⊞	WATER MAIN	⊞	P.O.C. - POINT OF COMMENCEMENT
⊞		⊞	FIBER OPTIC LINE	⊞	R.O.W. - RIGHT OF WAY
⊞		⊞	TELEPHONE LINE	⊞	SEC. - SECTION
⊞		⊞	ELECTRIC LINE	⊞	SG. FT. - SQUARE FEET
⊞		⊞	OVERHEAD WIRES	⊞	W - WITH
⊞		⊞	CATV	⊞	(R) - RECORDED AS
⊞		⊞	GAS MAIN	⊞	(D) - DEEDED AS
⊞		⊞	NET		
⊞		⊞	WETLANDS		
⊞		⊞	TREE LINE		
⊞		⊞	NO ACCESS		

**EXISTING CONDITIONS SURVEY:**  
EXISTING CONDITIONS SURVEY PROVIDED BY PINNACLE ENGINEERING GROUP. ALTHOUGH PEG HAS NO REASON TO BELIEVE THE SURVEY IS INACCURATE, PEG MAKES NO WARRANTIES THAT EXISTING INFORMATION CONTAINED WITHIN THESE PLANS IS ALL-INCLUSIVE OR ACCURATE. CONTRACTOR SHALL UNDERTAKE NECESSARY EFFORTS TO VERIFY THE EXISTING CONDITIONS PRIOR TO THE START OF MATERIAL PROCUREMENT AND CONSTRUCTION EFFORTS/ACTIVITIES.

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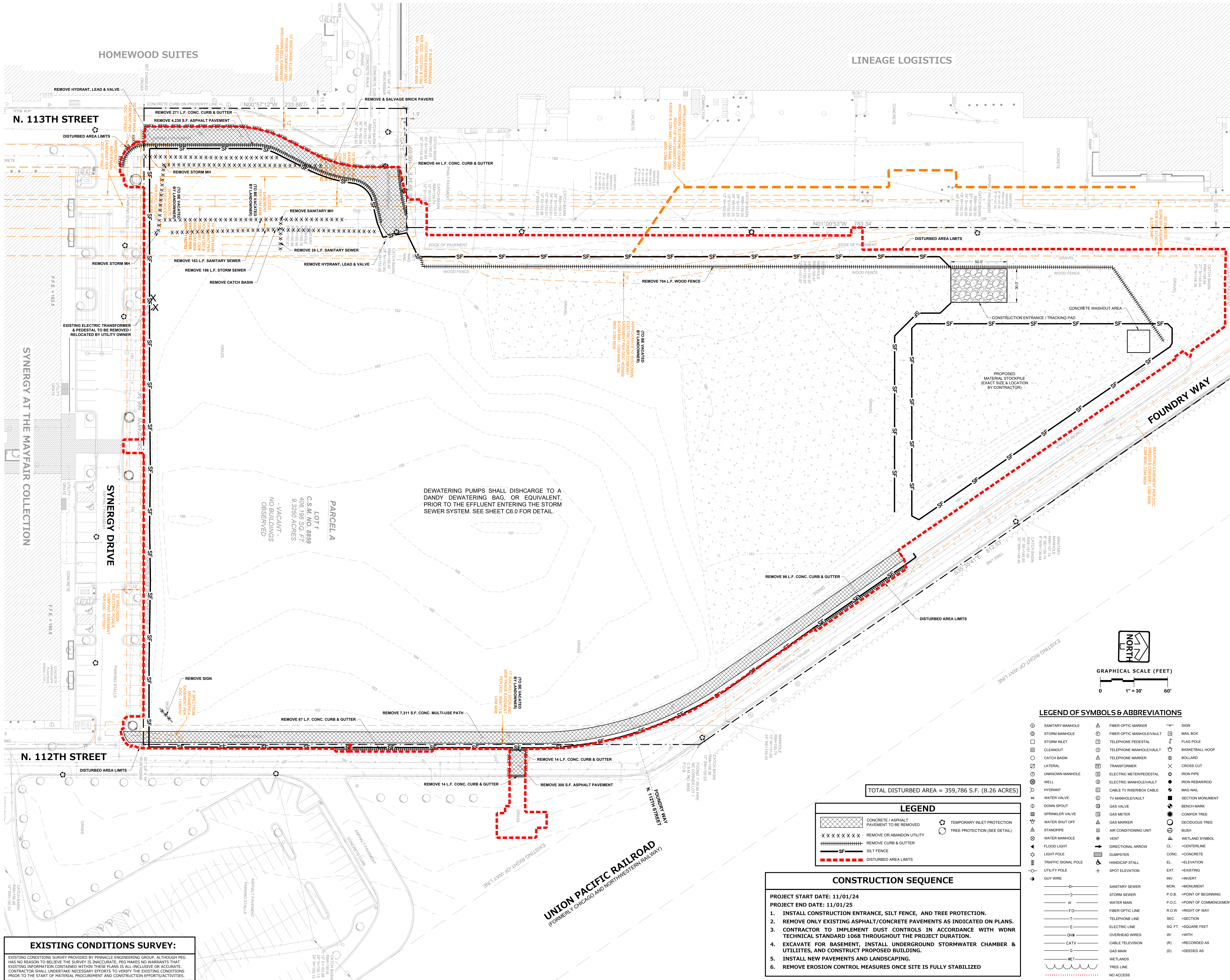
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**NOT FOR  
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DRAWN BY MAB  
CHECKED BY AEK

**DEMOLITION & EROSION  
CONTROL PLAN**

**C2.1**



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**CONSTRUCTION SEQUENCE**  
PROJECT START DATE: 11/01/24  
PROJECT END DATE: 11/01/25  
1. INSTALL CONSTRUCTION ENTRANCE, SILT FENCE, AND TREE PROTECTION.  
2. REMOVE ONLY EXISTING ASPHALT/CONCRETE PAVEMENTS AS INDICATED ON PLANS.  
3. CONTRACTOR TO IMPLEMENT DUST CONTROLS IN ACCORDANCE WITH WDMR TECHNICAL STANDARD 1068 THROUGHOUT THE PROJECT DURATION.  
4. EXCAVATE FOR BASEMENT, INSTALL UNDERGROUND STORMWATER CHAMBER & UTILITIES, AND CONSTRUCT PROPOSED BUILDING.  
5. INSTALL NEW PAVEMENTS AND LANDSCAPING.  
6. REMOVE EROSION CONTROL MEASURES ONCE SITE IS FULLY STABILIZED

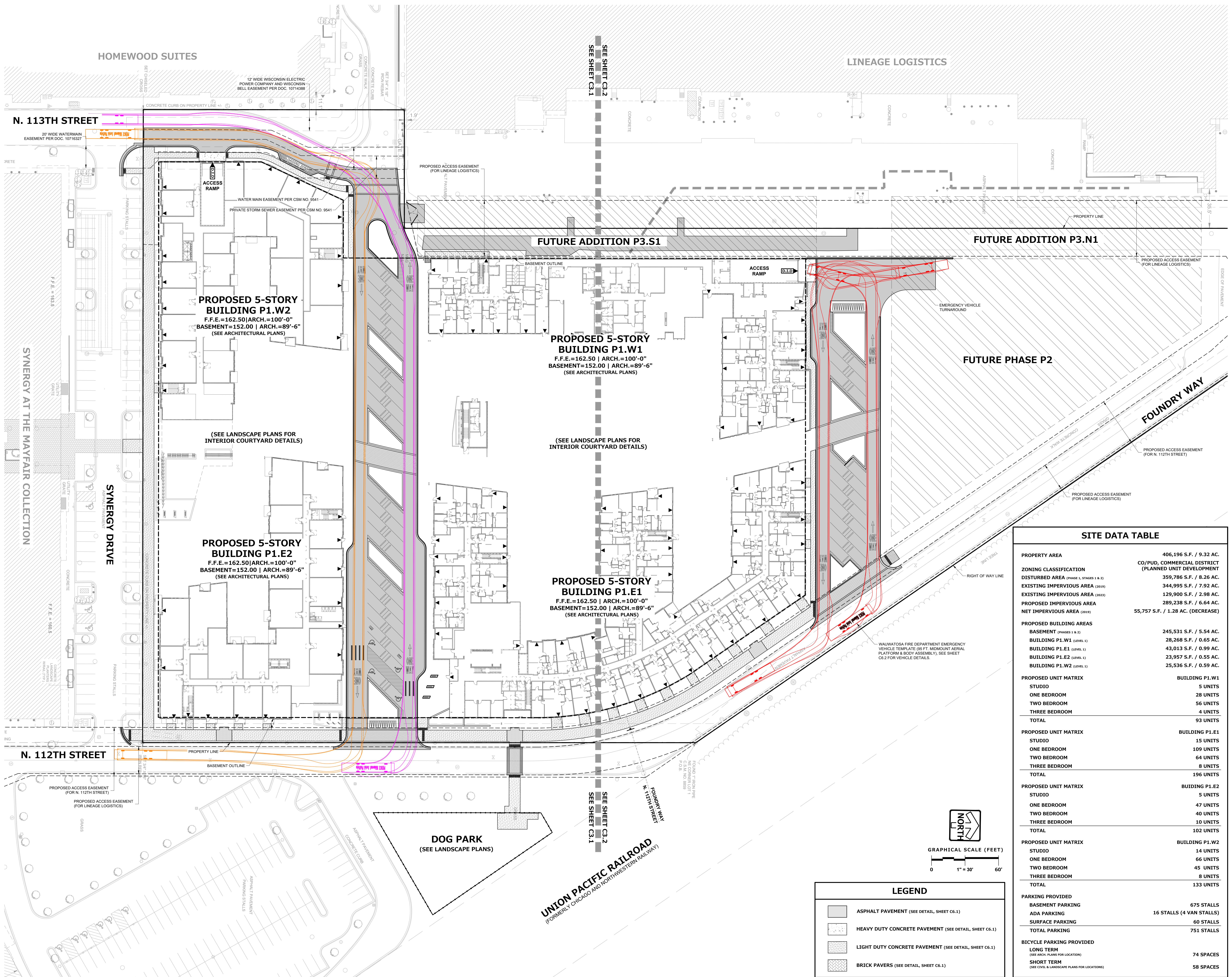
**LEGEND OF SYMBOLS & ABBREVIATIONS**

○	SANITARY MANHOLE	△	FIBER OPTIC MARKER	□	SIGN
⊙	STORM MANHOLE	⊠	FIBER OPTIC MANHOLE/VAULT	⊞	MAIL BOX
⊚	STORM INLET	⊡	TELEPHONE PEDESTAL	⊟	FLAG POLE
⊛	CLEANOUT	⊢	TELEPHONE MANHOLE/VAULT	⊠	BASKETBALL HOOP
⊜	CATCH BASIN	⊣	TELEPHONE MARKER	⊡	BOLLARD
⊝	LATERAL	⊤	TRANSFORMER	⊞	CROSS CUT
⊞	UNKNOWN MANHOLE	⊥	ELECTRIC METER/PEDESTAL	⊚	IRON PIPE
⊟	WELL	⊦	ELECTRIC MANHOLE/VAULT	⊙	IRON REBAR/ROD
⊠	HYDRANT	⊧	CABLE TV RISE/BOX CABLE	⊠	MAG NAIL
⊡	WATER VALVE	⊨	TV MANHOLE/VAULT	⊡	SECTION MONUMENT
⊢	DOWN SPOUT	⊩	GAS VALVE	⊢	BENCH MARK
⊣	SPRINKLER VALVE	⊪	GAS METER	⊣	CONIFER TREE
⊤	WATER SHUT OFF	⊫	GAS MARKER	⊤	DECIDUOUS TREE
⊥	STANDPIPE	⊬	AIR CONDITIONING UNIT	⊥	BUSH
⊦	WATER MANHOLE	⊭	VENT	⊦	WETLAND SYMBOL
⊧	FLOOD LIGHT	⊮	DIRECTIONAL ARROW	⊧	CL - CENTERLINE
⊨	LIGHT POLE	⊯	DUMPSTER	⊨	CONC - CONCRETE
⊩	TRAFFIC SIGNAL POLE	⊰	HANDICAP STALL	⊩	ELEV - ELEVATION
⊪	UTILITY POLE	⊱	SPOT ELEVATION	⊪	EXT - EXISTING
⊫	GUY WIRE	⊲	SANITARY SEWER	⊫	INV - INVERT
⊬	STORM SEWER	⊳	WATER MAIN	⊬	MON - MONUMENT
⊭	FIBER OPTIC LINE	⊴	FIBER OPTIC LINE	⊭	P.O.B. - POINT OF BEGINNING
⊮	TELEPHONE LINE	⊵	TELEPHONE LINE	⊮	P.O.C. - POINT OF COMMENCEMENT
⊯	ELECTRIC LINE	⊶	ELECTRIC LINE	⊯	R.O.W. - RIGHT OF WAY
⊰	OVERHEAD WIRES	⊷	OVERHEAD WIRES	⊰	SEC. - SECTION
⊱	CABLE TELEVISION	⊸	CABLE TELEVISION	⊱	SQ. FT. - SQUARE FEET
⊲	GAS MAIN	⊹	CATCH BASIN	⊲	WG - WITH
⊳	WETLANDS	⊺	CATCH BASIN	⊳	(R) - RECORDED AS
⊴	TREE LINE	⊻	CATCH BASIN	⊴	(D) - DEEDED AS
⊵	NO ACCESS	⊼	CATCH BASIN		

TOTAL DISTURBED AREA = 359,786 S.F. (8.26 ACRES)

**LEGEND**

⊞	CONCRETE / ASPHALT PAVEMENT TO BE REMOVED	⊞	TEMPORARY INLET PROTECTION
XXXXXX	REMOVE OR ABANDON UTILITY	○	TREE PROTECTION (SEE DETAIL)
	REMOVE CURB & GUTTER		
---	SILT FENCE		
---	DISTURBED AREA LIMITS		



SITE DATA TABLE	
PROPERTY AREA	406,196 S.F. / 9.32 AC.
ZONING CLASSIFICATION	CO/PUD, COMMERCIAL DISTRICT (PLANNED UNIT DEVELOPMENT)
DISTURBED AREA (PHASE 1, STAGES 1 & 2)	359,786 S.F. / 8.26 AC.
EXISTING IMPERVIOUS AREA (2019)	344,995 S.F. / 7.92 AC.
EXISTING IMPERVIOUS AREA (2023)	129,900 S.F. / 2.98 AC.
PROPOSED IMPERVIOUS AREA	289,238 S.F. / 6.64 AC.
NET IMPERVIOUS AREA (2019)	55,757 S.F. / 1.28 AC. (DECREASE)
<b>PROPOSED BUILDING AREAS</b>	
BASEMENT (PHASES 1 & 2)	245,531 S.F. / 5.54 AC.
BUILDING P1.W1 (LEVEL 1)	28,268 S.F. / 0.65 AC.
BUILDING P1.E1 (LEVEL 1)	43,013 S.F. / 0.99 AC.
BUILDING P1.E2 (LEVEL 1)	23,957 S.F. / 0.55 AC.
BUILDING P1.W2 (LEVEL 1)	25,536 S.F. / 0.59 AC.
<b>PROPOSED UNIT MATRIX</b>	
<b>BUILDING P1.W1</b>	
STUDIO	5 UNITS
ONE BEDROOM	28 UNITS
TWO BEDROOM	56 UNITS
THREE BEDROOM	4 UNITS
TOTAL	93 UNITS
<b>BUILDING P1.E1</b>	
STUDIO	15 UNITS
ONE BEDROOM	109 UNITS
TWO BEDROOM	64 UNITS
THREE BEDROOM	8 UNITS
TOTAL	196 UNITS
<b>BUILDING P1.E2</b>	
STUDIO	5 UNITS
ONE BEDROOM	47 UNITS
TWO BEDROOM	40 UNITS
THREE BEDROOM	10 UNITS
TOTAL	102 UNITS
<b>BUILDING P1.W2</b>	
STUDIO	14 UNITS
ONE BEDROOM	66 UNITS
TWO BEDROOM	45 UNITS
THREE BEDROOM	8 UNITS
TOTAL	133 UNITS
<b>PARKING PROVIDED</b>	
BASEMENT PARKING	675 STALLS
ADA PARKING	16 STALLS (4 VAN STALLS)
SURFACE PARKING	60 STALLS
TOTAL PARKING	751 STALLS
<b>BICYCLE PARKING PROVIDED</b>	
LONG TERM (SEE ARCH. PLANS FOR LOCATIONS)	74 SPACES
SHORT TERM (SEE CIVIL & LANDSCAPE PLANS FOR LOCATIONS)	58 SPACES

**NOT FOR  
CONSTRUCTION**

**LEGEND**

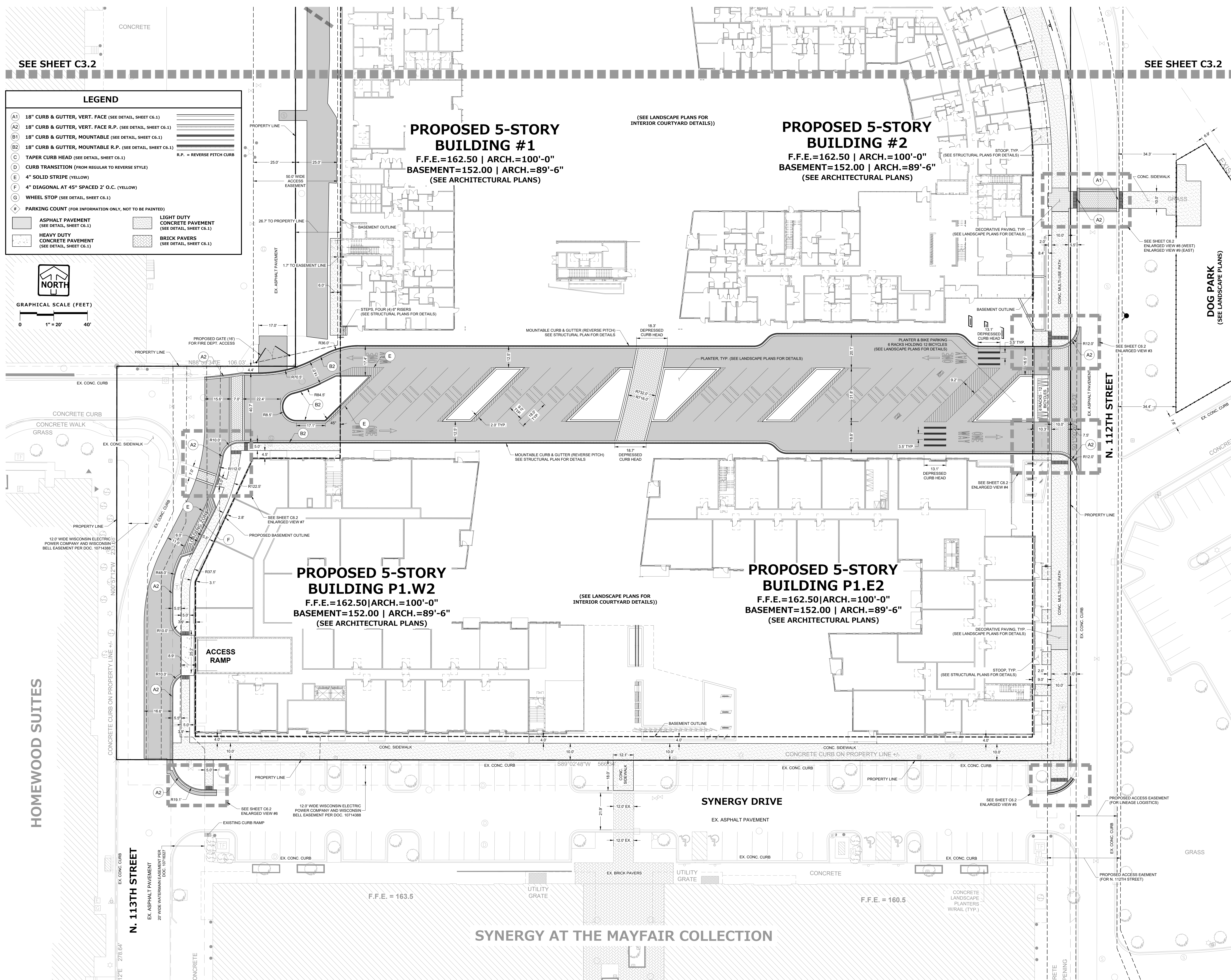
- ASPHALT PAVEMENT (SEE DETAIL, SHEET C6.1)
- HEAVY DUTY CONCRETE PAVEMENT (SEE DETAIL, SHEET C6.1)
- LIGHT DUTY CONCRETE PAVEMENT (SEE DETAIL, SHEET C6.1)
- BRICK PAVERS (SEE DETAIL, SHEET C6.1)

**GRAPHICAL SCALE (FEET)**

0 1" = 30' 60'

**NORTH**

**NOT FOR  
CONSTRUCTION**



SEE SHEET C3.2

SEE SHEET C3.2

**LEGEND**

- A1 18" CURB & GUTTER, VERT. FACE (SEE DETAIL, SHEET C6.1)
- A2 18" CURB & GUTTER, VERT. FACE R.P. (SEE DETAIL, SHEET C6.1)
- B1 18" CURB & GUTTER, MOUNTABLE (SEE DETAIL, SHEET C6.1)
- B2 18" CURB & GUTTER, MOUNTABLE R.P. (SEE DETAIL, SHEET C6.1)
- C TAPER CURB HEAD (SEE DETAIL, SHEET C6.1)
- D CURB TRANSITION (FROM REGULAR TO REVERSE STYLE)
- E 4" SOLID STRIPE (YELLOW)
- F 4" DIAGONAL AT 45° SPACED 2" O.C. (YELLOW)
- G WHEEL STOP (SEE DETAIL, SHEET C6.1)
- H PARKING COUNT (FOR INFORMATION ONLY, NOT TO BE PAINTED)
- I ASPHALT PAVEMENT (SEE DETAIL, SHEET C6.1)
- J LIGHT DUTY CONCRETE PAVEMENT (SEE DETAIL, SHEET C6.1)
- K HEAVY DUTY CONCRETE PAVEMENT (SEE DETAIL, SHEET C6.1)
- L BRICK PAVERS (SEE DETAIL, SHEET C6.1)

R.P. = REVERSE PITCH CURB

**GRAPHICAL SCALE (FEET)**

0 1" = 20' 40'

**NORTH**

HOMWOOD SUITES

N. 113TH STREET  
EX. ASPHALT PAVEMENT  
20' WIDE WATERMAN EASEMENT PER DOC. 10711627

**PROPOSED 5-STORY  
BUILDING #1**  
F.F.E.=162.50 | ARCH.=100'-0"  
BASEMENT=152.00 | ARCH.=89'-6"  
(SEE ARCHITECTURAL PLANS)

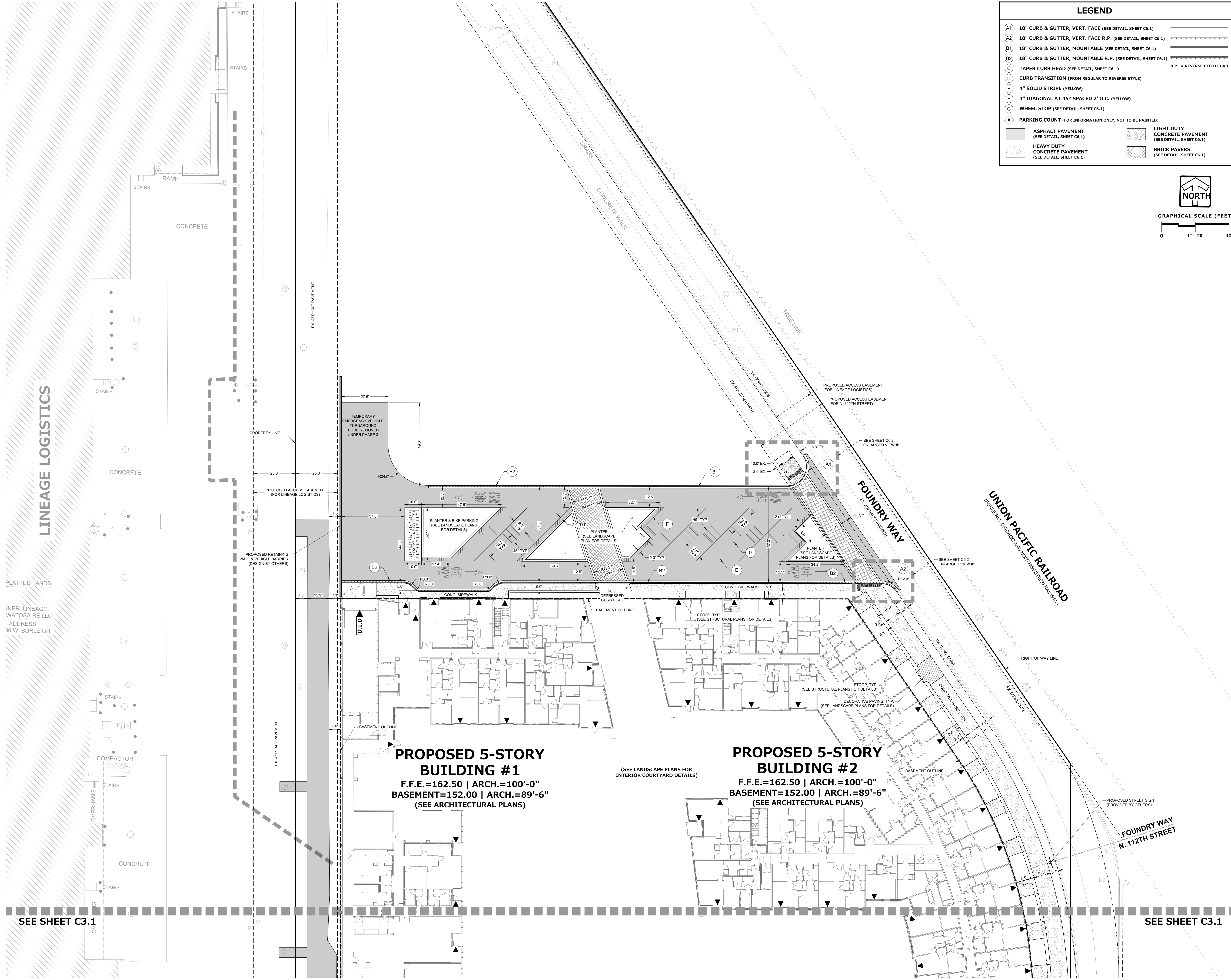
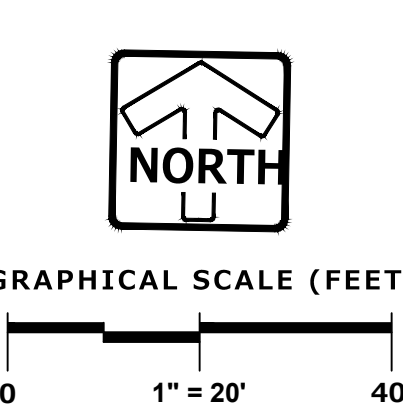
**PROPOSED 5-STORY  
BUILDING #2**  
F.F.E.=162.50 | ARCH.=100'-0"  
BASEMENT=152.00 | ARCH.=89'-6"  
(SEE ARCHITECTURAL PLANS)

**PROPOSED 5-STORY  
BUILDING P1.W2**  
F.F.E.=162.50 | ARCH.=100'-0"  
BASEMENT=152.00 | ARCH.=89'-6"  
(SEE ARCHITECTURAL PLANS)

**PROPOSED 5-STORY  
BUILDING P1.E2**  
F.F.E.=162.50 | ARCH.=100'-0"  
BASEMENT=152.00 | ARCH.=89'-6"  
(SEE ARCHITECTURAL PLANS)

SYNERGY AT THE MAYFAIR COLLECTION

LEGEND	
(A1)	18" CURB & GUTTER, VERT. FACE (SEE DETAIL, SHEET C6.1)
(A2)	18" CURB & GUTTER, VERT. FACE R.P. (SEE DETAIL, SHEET C6.1)
(B1)	18" CURB & GUTTER, MOUNTABLE (SEE DETAIL, SHEET C6.1)
(B2)	18" CURB & GUTTER, MOUNTABLE R.P. (SEE DETAIL, SHEET C6.1)
(C)	TAPER CURB HEAD (SEE DETAIL, SHEET C6.1)
(D)	CURB TRANSITION (FROM REGULAR TO REVERSE STYLE)
(E)	4" SOLID STRIPE (YELLOW)
(F)	4" DIAGONAL AT 45° SPACED 2' O.C. (YELLOW)
(G)	WHEEL STOP (SEE DETAIL, SHEET C6.1)
(H)	PARKING COUNT (FOR INFORMATION ONLY, NOT TO BE PAINTED)
(ASPHALT PAVEMENT)	ASPHALT PAVEMENT (SEE DETAIL, SHEET C6.1)
(CONCRETE PAVEMENT)	CONCRETE PAVEMENT (SEE DETAIL, SHEET C6.1)
(HEAVY DUTY CONCRETE PAVEMENT)	HEAVY DUTY CONCRETE PAVEMENT (SEE DETAIL, SHEET C6.1)
(LIGHT DUTY CONCRETE PAVEMENT)	LIGHT DUTY CONCRETE PAVEMENT (SEE DETAIL, SHEET C6.1)
(BRICK PAVERS)	BRICK PAVERS (SEE DETAIL, SHEET C6.1)



ISSUED FOR:

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REVISION FOR:

NO.	DESCRIPTION	DATE

**NOT FOR  
CONSTRUCTION**

DRAWN BY MAB

CHECKED BY AEK

SITE LAYOUT & PAVING  
PLAN

**THE FOUNDRY AT MAYFAIR COLLECTION**

11220 BURLEIGH ST  
 WAUWATOSA, WI 53222  
 Tax Key ID: 296-9992-016

WINGSPAN DEVELOPMENT GROUP  
 1001 Feehanville Drive - Mount Prospect, IL 60056  
 CITADEL PROPERTY ADVISORS  
 100 South Wacker Drive, Suite 950 - Chicago, Illinois 60606

PROJECT NUMBER 223467.00

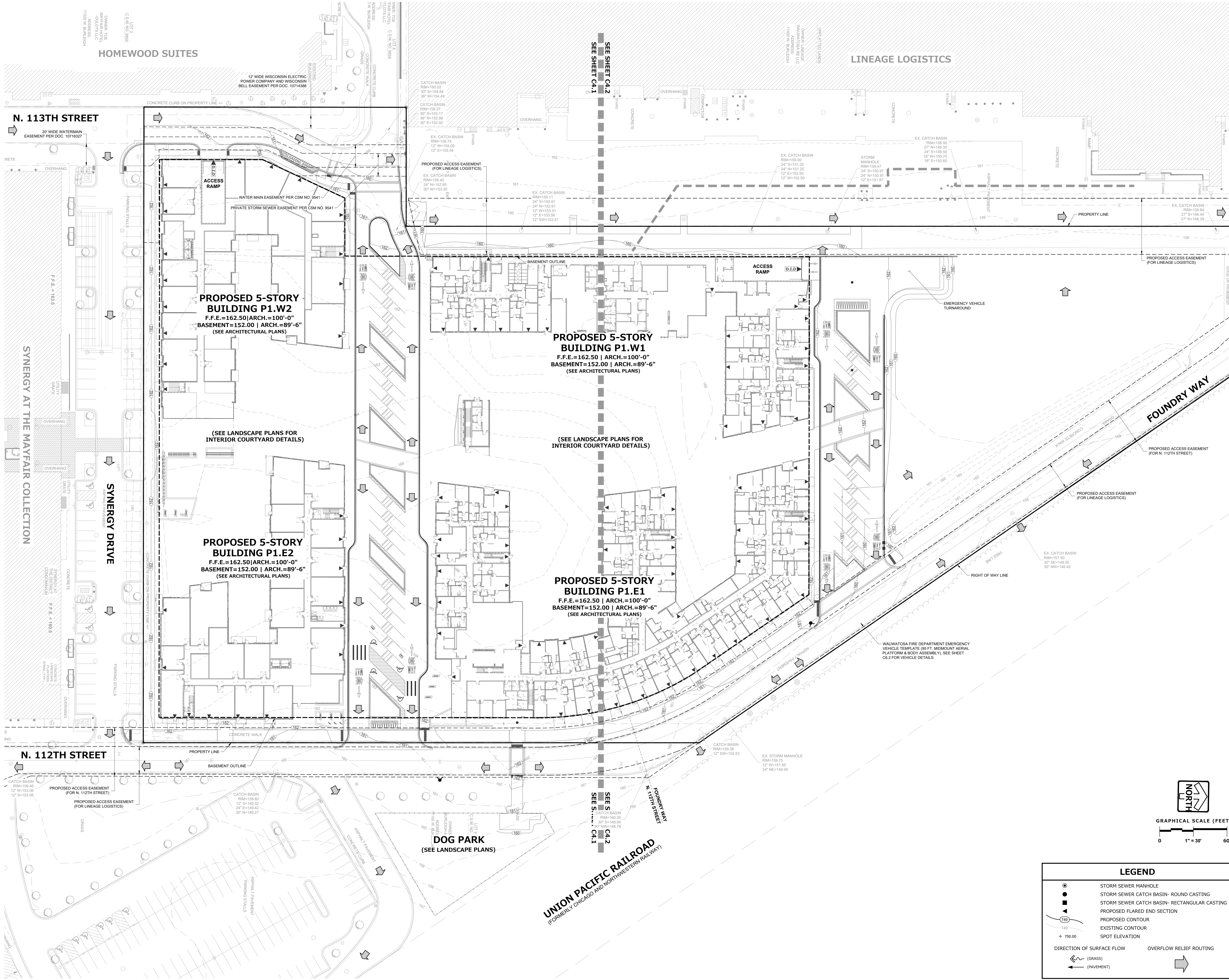
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**NOT FOR CONSTRUCTION**

DRAWN BY MAB  
 CHECKED BY AEK

**SITE GRADING & DRAINAGE PLAN OVERVIEW**

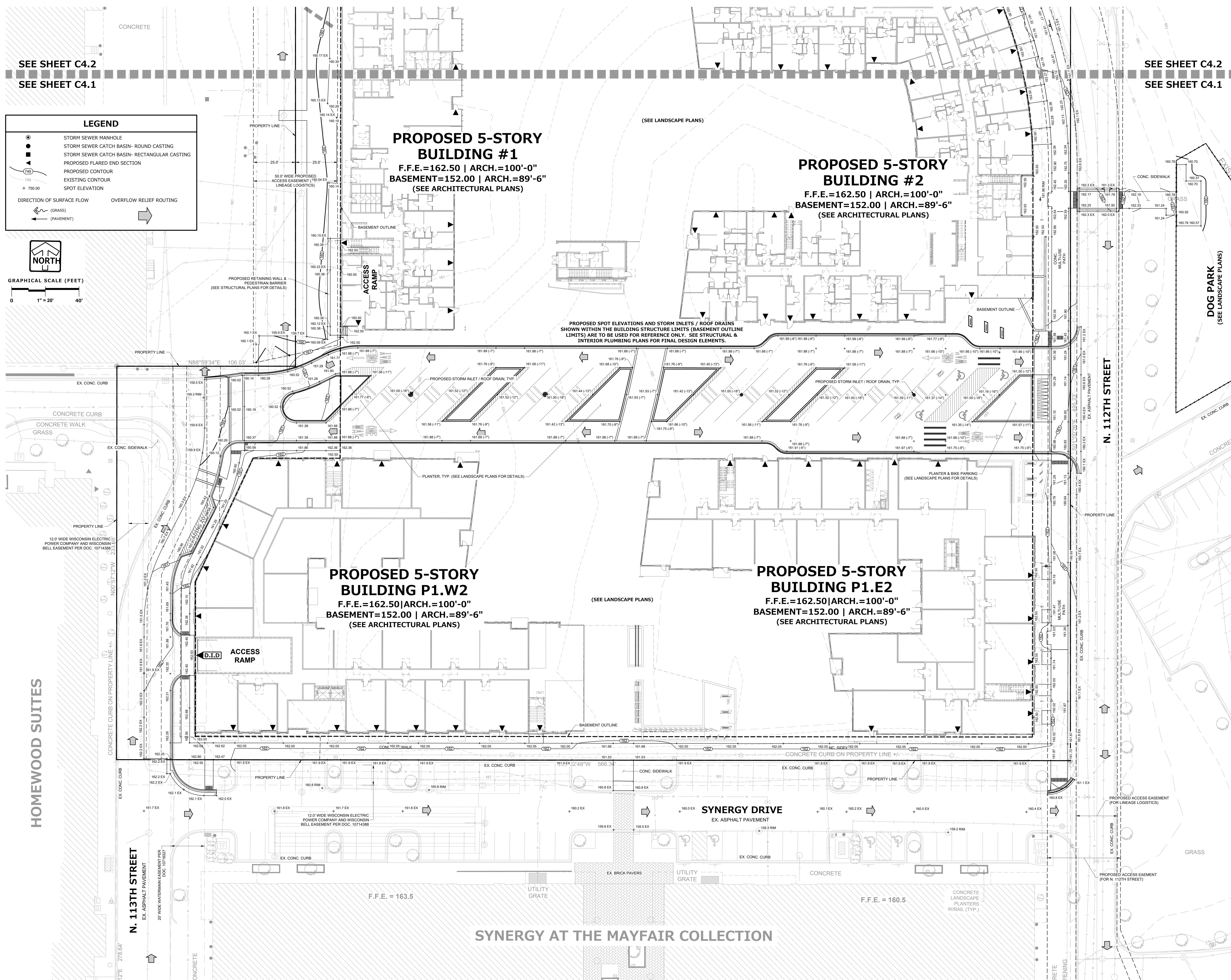


LEGEND	
	STORM SEWER MANHOLE
	STORM SEWER CATCH BASIN- ROUND CASTING
	STORM SEWER CATCH BASIN- RECTANGULAR CASTING
	PROPOSED FLARED END SECTION
	PROPOSED CONTOUR
	EXISTING CONTOUR
	SPOT ELEVATION
	DIRECTION OF SURFACE FLOW
	OVERFLOW RELIEF ROUTING
	(GRASS)
	(PAVEMENT)

**C4.0**



**NOT FOR  
CONSTRUCTION**



SEE SHEET C4.2  
SEE SHEET C4.1

SEE SHEET C4.2  
SEE SHEET C4.1

**LEGEND**

- STORM SEWER MANHOLE
- STORM SEWER CATCH BASIN- ROUND CASTING
- ▣ STORM SEWER CATCH BASIN- RECTANGULAR CASTING
- ▤ PROPOSED FLARED END SECTION
- PROPOSED CONTOUR
- - - EXISTING CONTOUR
- ± 750.00 SPOT ELEVATION
- DIRECTION OF SURFACE FLOW
- OVERFLOW RELIEF ROUTING
- (GRASS)
- (PAVEMENT)

**GRAPHICAL SCALE (FEET)**

0 1" = 20' 40'

**NORTH**

**HOMWOOD SUITES**

**DOG PARK**  
(SEE LANDSCAPE PLANS)

**N. 113TH STREET**  
EX. ASPHALT PAVEMENT  
20' WIDE WATERMAN EASEMENT PER DOC. 1071827  
12" WIDE WISCONSIN ELECTRIC POWER COMPANY AND WISCONSIN BELL EASEMENT PER DOC. 10714388

PROPOSED ACCESS EASEMENT (FOR LINEAGE LOGISTICS)

PROPOSED ACCESS EASEMENT (FOR N. 112TH STREET)

**PROPOSED 5-STORY  
BUILDING #1**  
F.F.E.=162.50 | ARCH.=100'-0"  
BASEMENT=152.00 | ARCH.=89'-6"  
(SEE ARCHITECTURAL PLANS)

**PROPOSED 5-STORY  
BUILDING #2**  
F.F.E.=162.50 | ARCH.=100'-0"  
BASEMENT=152.00 | ARCH.=89'-6"  
(SEE ARCHITECTURAL PLANS)

**PROPOSED 5-STORY  
BUILDING P1.W2**  
F.F.E.=162.50 | ARCH.=100'-0"  
BASEMENT=152.00 | ARCH.=89'-6"  
(SEE ARCHITECTURAL PLANS)

**PROPOSED 5-STORY  
BUILDING P1.E2**  
F.F.E.=162.50 | ARCH.=100'-0"  
BASEMENT=152.00 | ARCH.=89'-6"  
(SEE ARCHITECTURAL PLANS)

**SYNERGY AT THE MAYFAIR COLLECTION**

F.F.E. = 163.5

F.F.E. = 160.5

(SEE LANDSCAPE PLANS)

(SEE LANDSCAPE PLANS)

(SEE LANDSCAPE PLANS)

PROPOSED SPOT ELEVATIONS AND STORM INLETS / ROOF DRAINS SHOWN WITHIN THE BUILDING STRUCTURE LIMITS (BASEMENT OUTLINE LIMITS) ARE TO BE USED FOR REFERENCE ONLY. SEE STRUCTURAL & INTERIOR PLUMBING PLANS FOR FINAL DESIGN ELEMENTS.

PROPOSED RETAINING WALL & PEDESTRIAN BARRIER (SEE STRUCTURAL PLANS FOR DETAILS)

PLANTER, TYP. (SEE LANDSCAPE PLANS FOR DETAILS)

PLANTER & BIKE PARKING (SEE LANDSCAPE PLANS FOR DETAILS)

12" WIDE WISCONSIN ELECTRIC POWER COMPANY AND WISCONSIN BELL EASEMENT PER DOC. 10714388

12" WIDE WISCONSIN ELECTRIC POWER COMPANY AND WISCONSIN BELL EASEMENT PER DOC. 10714388

UTILITY GRATE

UTILITY GRATE

CONCRETE LANDSCAPE PLANTERS WR/AL (TYP.)

CONCRETE

GRASS

CONCRETE

CONCRETE

CONCRETE

CONCRETE

CONCRETE

CONCRETE

CONCRETE

CONCRETE

CONCRETE

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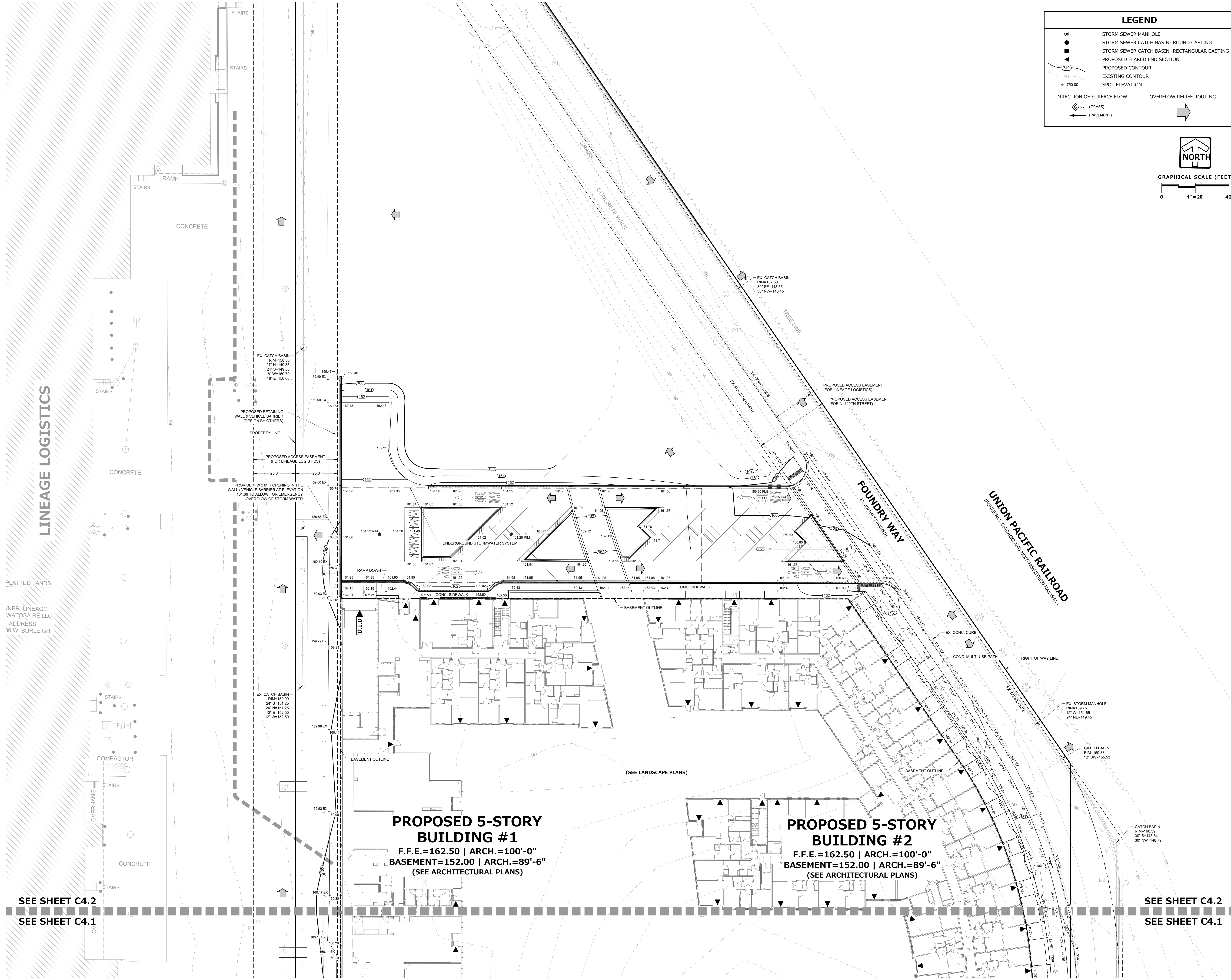
**LEGEND**

- STORM SEWER MANHOLE
- STORM SEWER CATCH BASIN- ROUND CASTING
- ▣ STORM SEWER CATCH BASIN- RECTANGULAR CASTING
- ▭ PROPOSED FLARED END SECTION
- PROPOSED CONTOUR
- - - EXISTING CONTOUR
- + SPOT ELEVATION
- DIRECTION OF SURFACE FLOW
- OVERFLOW RELIEF ROUTING
- (GRASS)
- (PAVEMENT)

**NORTH**

GRAPHICAL SCALE (FEET)

0 1" = 20' 40'



**PROPOSED 5-STORY BUILDING #1**  
 F.F.E.=162.50 | ARCH.=100'-0"  
 BASEMENT=152.00 | ARCH.=89'-6"  
 (SEE ARCHITECTURAL PLANS)

**PROPOSED 5-STORY BUILDING #2**  
 F.F.E.=162.50 | ARCH.=100'-0"  
 BASEMENT=152.00 | ARCH.=89'-6"  
 (SEE ARCHITECTURAL PLANS)

LINEAGE LOGISTICS

PLATTED LANDS  
 OWNER: LINEAGE WATOSA RE LLC  
 ADDRESS:  
 300 W. BURLEIGH

SEE SHEET C4.2  
 SEE SHEET C4.1

SEE SHEET C4.2  
 SEE SHEET C4.1

**NOT FOR CONSTRUCTION**

DRAWN BY MAB

CHECKED BY AEK

SITE GRADING & DRAINAGE PLAN

**C4.2**

**THE FOUNDRY AT MAYFAIR  
COLLECTION**

11220 BURLEIGH ST  
WAUWATOSA, WI 53222  
Tax Key ID: 256-0992-016

WINGSPAN DEVELOPMENT GROUP  
1001 Feehanville Drive - Mount Prospect, IL 60056  
CITADEL PROPERTY ADVISORS  
100 South Wacker Drive, Suite 950 - Chicago, Illinois 60606

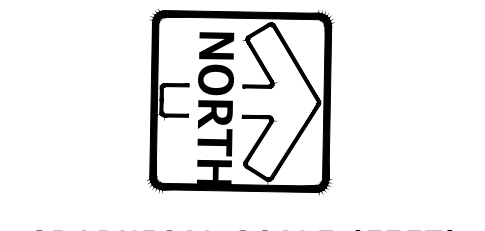
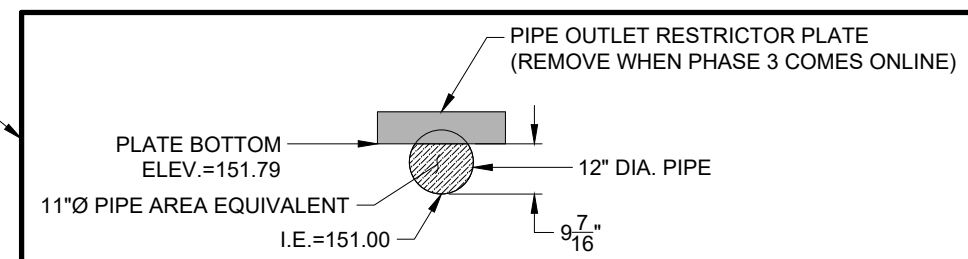
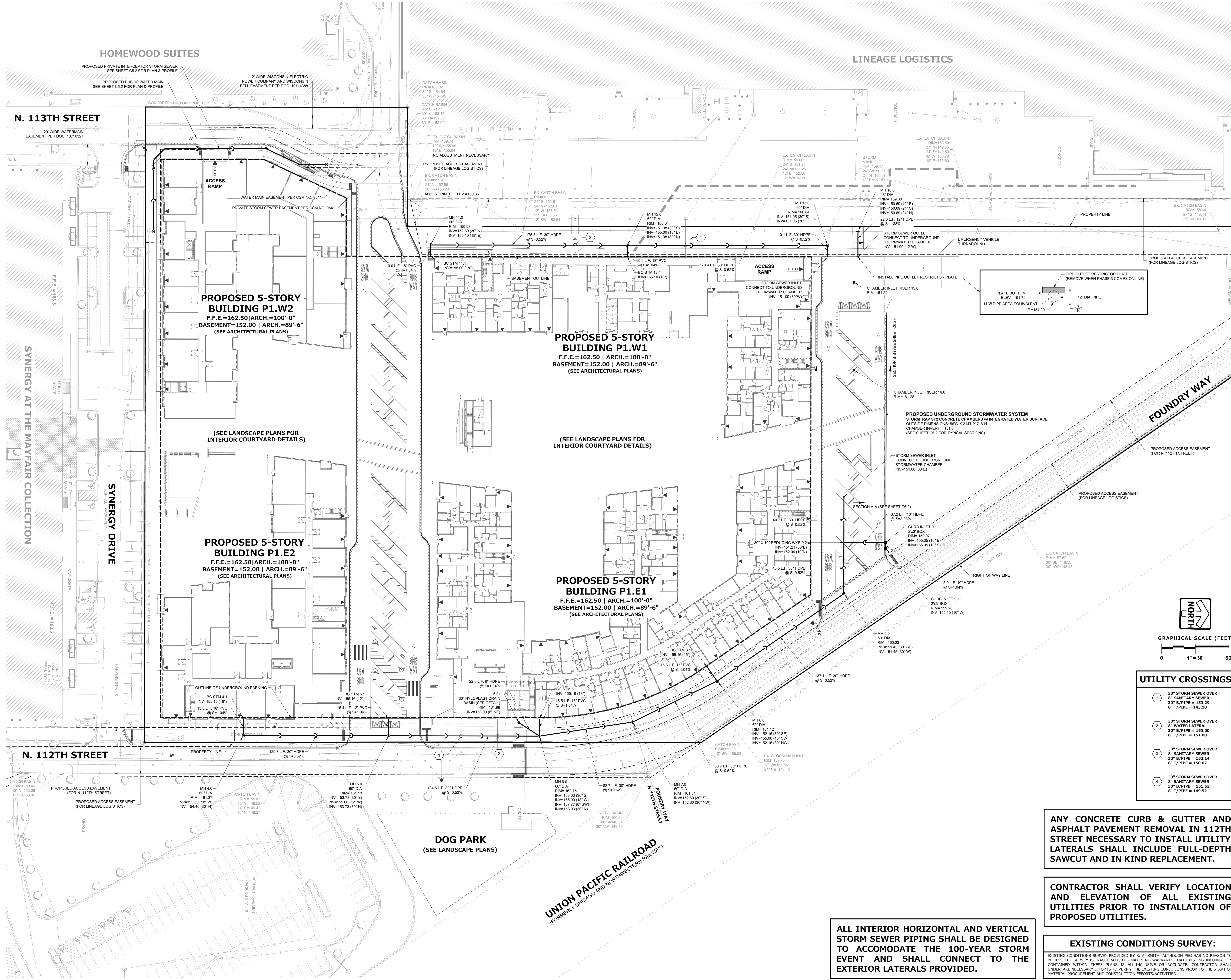
PROJECT NUMBER: 223467.00

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**UTILITY CROSSINGS**

- 1 30" STORM SEWER OVER 8" SANITARY SEWER  
30" B/PIPE = 153.29  
8" T/PIPE = 143.10
- 2 30" STORM SEWER OVER 8" WATER LATERAL  
30" B/PIPE = 153.00  
8" T/PIPE = 151.00
- 3 30" STORM SEWER OVER 8" SANITARY SEWER  
30" B/PIPE = 152.14  
8" T/PIPE = 150.07
- 4 30" STORM SEWER OVER 8" SANITARY SEWER  
30" B/PIPE = 151.63  
8" T/PIPE = 149.52

**ANY CONCRETE CURB & GUTTER AND ASPHALT PAVEMENT REMOVAL IN 112TH STREET NECESSARY TO INSTALL UTILITY LATERALS SHALL INCLUDE FULL-DEPTH SAWCUT AND IN KIND REPLACEMENT.**

**CONTRACTOR SHALL VERIFY LOCATION AND ELEVATION OF ALL EXISTING UTILITIES PRIOR TO INSTALLATION OF PROPOSED UTILITIES.**

**EXISTING CONDITIONS SURVEY:**  
EXISTING CONDITIONS SURVEY PROVIDED BY R. A. SMITH. ALTHOUGH PEG HAS NO REASON TO BELIEVE THE SURVEY IS INACCURATE, PEG MAKES NO WARRANTIES THAT EXISTING INFORMATION CONTAINED WITHIN THESE PLANS IS ALL-INCLUSIVE OR ACCURATE. CONTRACTOR SHALL UNDERTAKE NECESSARY EFFORTS TO VERIFY THE EXISTING CONDITIONS PRIOR TO THE START OF MATERIAL PROCUREMENT AND CONSTRUCTION EFFORTS/ACTIVITIES.

**ALL INTERIOR HORIZONTAL AND VERTICAL STORM SEWER PIPING SHALL BE DESIGNED TO ACCOMMODATE THE 100-YEAR STORM EVENT AND SHALL CONNECT TO THE EXTERIOR LATERALS PROVIDED.**

**NOT FOR  
CONSTRUCTION**

UTILITY PLAN - STORM SEWER

DRAWN BY: MAB

CHECKED BY: AEK

**C5.0**

**THE FOUNDRY AT MAYFAIR  
COLLECTION**

11220 BURLEIGH ST  
WALWATOSA, WI 53222  
Tax Key ID: 296-0992-016

WINGSPAN DEVELOPMENT GROUP  
1001 Feehanville Drive - Mount Prospect, IL 60056  
CITADEL PROPERTY ADVISORS  
100 South Wacker Drive, Suite 950 - Chicago, Illinois 60606

PROJECT NUMBER 223467.00

ISSUED FOR:  
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CONSTRUCTION**

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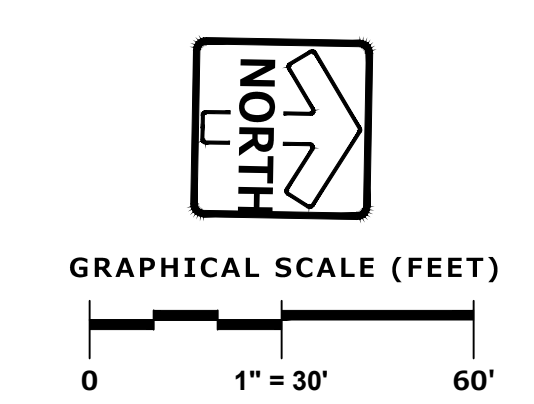
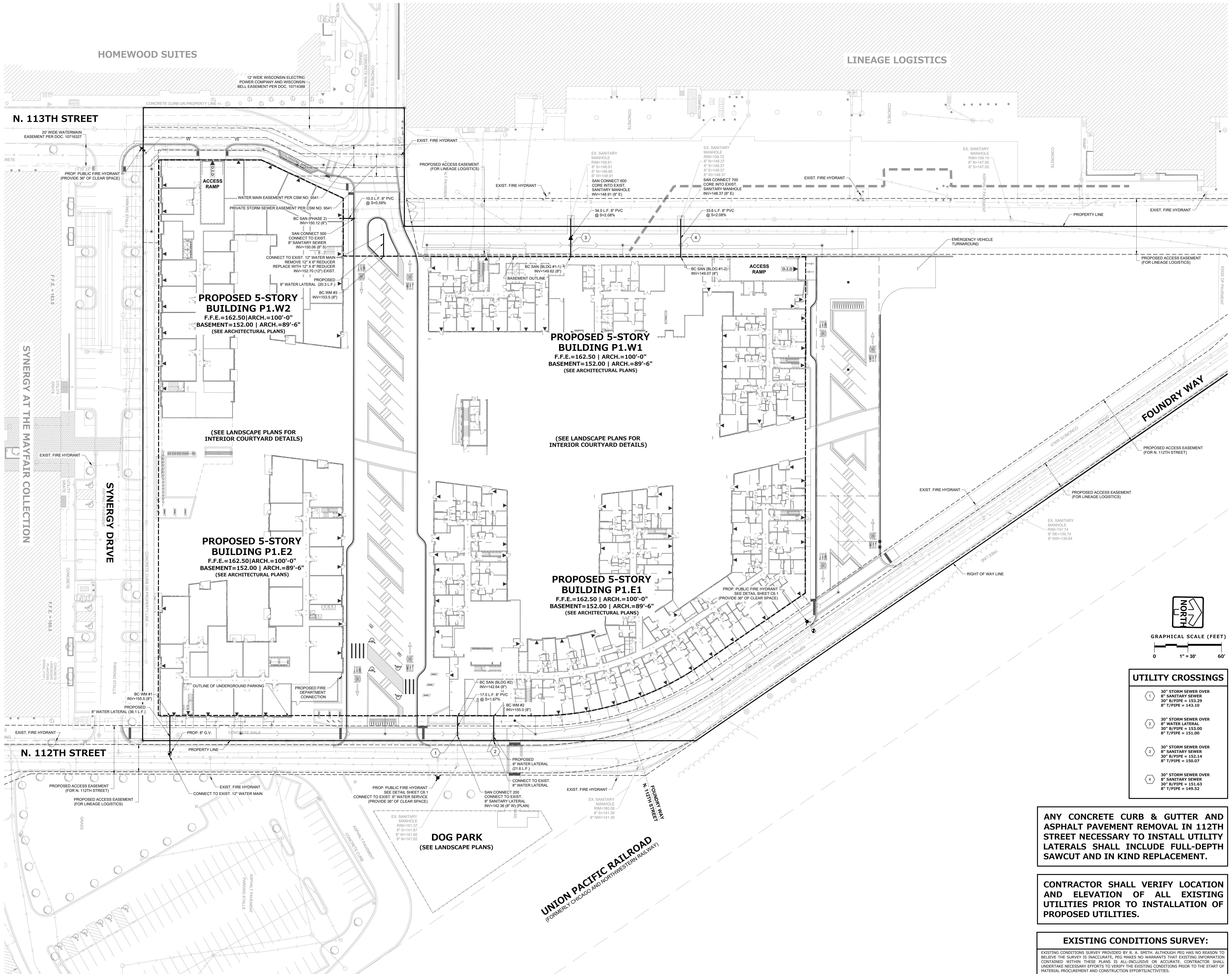
UTILITY PLAN - SANITARY &  
WATER

**ANY CONCRETE CURB & GUTTER AND ASPHALT PAVEMENT REMOVAL IN 112TH STREET NECESSARY TO INSTALL UTILITY LATERALS SHALL INCLUDE FULL-DEPTH SAWCUT AND IN KIND REPLACEMENT.**

**CONTRACTOR SHALL VERIFY LOCATION AND ELEVATION OF ALL EXISTING UTILITIES PRIOR TO INSTALLATION OF PROPOSED UTILITIES.**

**EXISTING CONDITIONS SURVEY:**  
EXISTING CONDITIONS SURVEY PROVIDED BY R. A. SMITH. ALTHOUGH PEG HAS NO REASON TO BELIEVE THE SURVEY IS INACCURATE, PEG MAKES NO WARRANTIES THAT EXISTING INFORMATION CONTAINED WITHIN THESE PLANS IS ALL-INCLUSIVE OR ACCURATE. CONTRACTOR SHALL UNDERTAKE NECESSARY EFFORTS TO VERIFY THE EXISTING CONDITIONS PRIOR TO THE START OF MATERIAL PROCUREMENT AND CONSTRUCTION EFFORTS/ACTIVITIES.

**C5.1**



UTILITY CROSSINGS	
1	30" STORM SEWER OVER 8" SANITARY SEWER 30" B/PIPE = 153.29 8" T/PIPE = 143.10
2	30" STORM SEWER OVER 8" WATER LATERAL 30" B/PIPE = 153.00 8" T/PIPE = 151.00
3	30" STORM SEWER OVER 8" SANITARY SEWER 30" B/PIPE = 152.14 8" T/PIPE = 150.07
4	30" STORM SEWER OVER 8" SANITARY SEWER 30" B/PIPE = 151.63 8" T/PIPE = 149.52

**N. 113TH STREET**

**N. 112TH STREET**

**PROPOSED 5-STORY BUILDING P1.W2**  
F.F.E.=162.50 | ARCH.=100'-0"  
BASEMENT=152.00 | ARCH.=89'-6"  
(SEE ARCHITECTURAL PLANS)

**PROPOSED 5-STORY BUILDING P1.W1**  
F.F.E.=162.50 | ARCH.=100'-0"  
BASEMENT=152.00 | ARCH.=89'-6"  
(SEE ARCHITECTURAL PLANS)

**PROPOSED 5-STORY BUILDING P1.E2**  
F.F.E.=162.50 | ARCH.=100'-0"  
BASEMENT=152.00 | ARCH.=89'-6"  
(SEE ARCHITECTURAL PLANS)

**PROPOSED 5-STORY BUILDING P1.E1**  
F.F.E.=162.50 | ARCH.=100'-0"  
BASEMENT=152.00 | ARCH.=89'-6"  
(SEE ARCHITECTURAL PLANS)

**DOG PARK**  
(SEE LANDSCAPE PLANS)

**UNION PACIFIC RAILROAD**  
FORMERLY CHICAGO AND NORTHWESTERN RAILWAY

**SYNERGY AT THE MAYFAIR COLLECTION**

**SYNERGY DRIVE**

**FOUNDRY WAY**

**N. 112TH STREET**

**FOUNDRY WAY**

## ISSUED FOR:

Minor PUD Amendment 10/09/24

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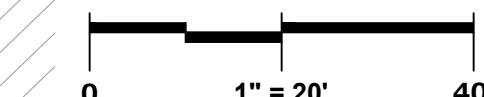
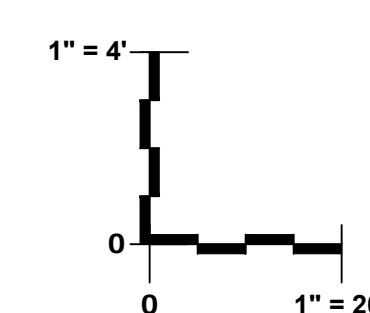
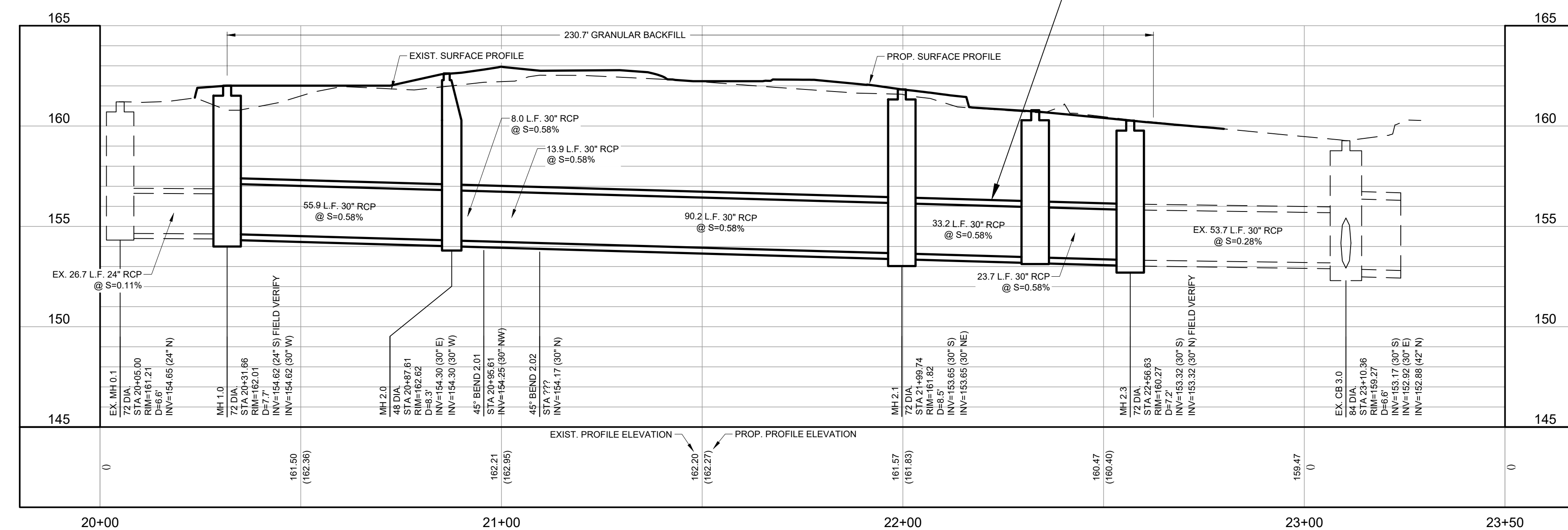
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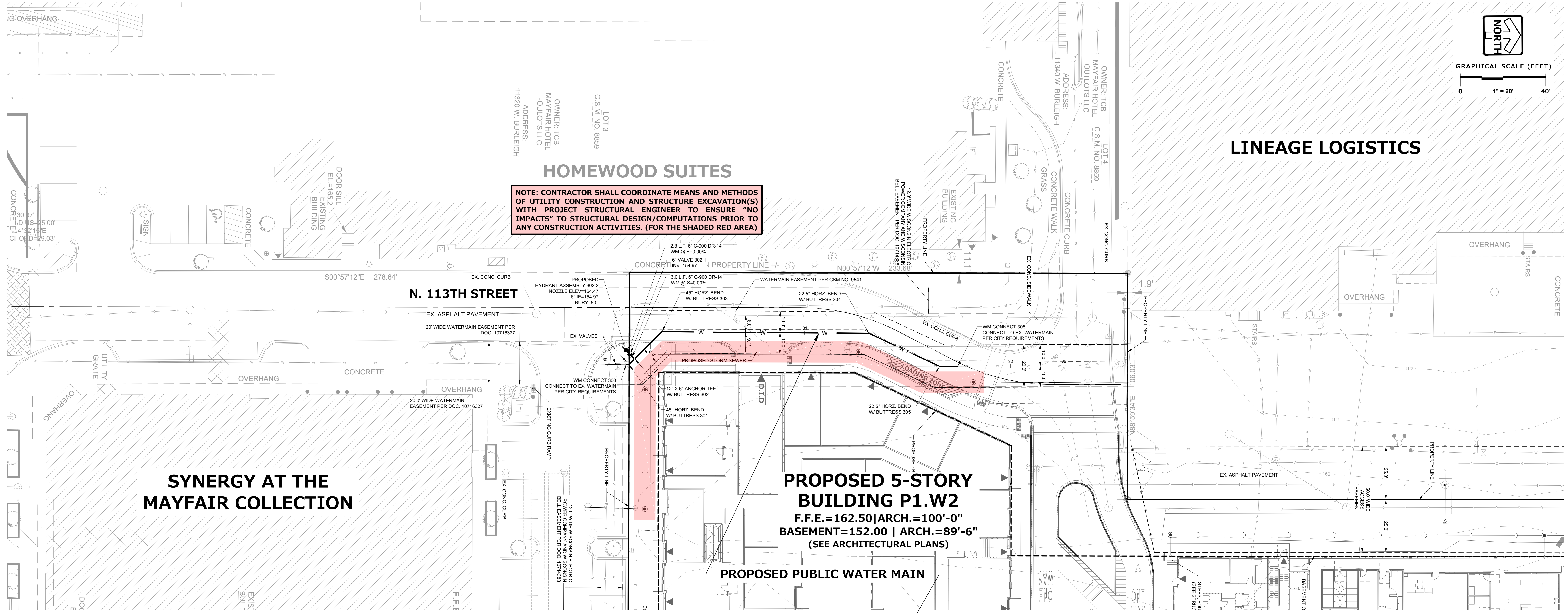
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CHECKED BY: AEK

UTILITY PLAN -  
INTERCEPTOR STORM  
SEWER (N. 113TH STREET)

GRAPHICAL SCALE (FEET)

**LINEAGE LOGISTICS****HOMEWOOD SUITES****NOTE: CONTRACTOR SHALL COORDINATE MEANS AND METHODS  
OF UTILITY CONSTRUCTION AND STRUCTURE EXCAVATION(S)  
WITH PROJECT STRUCTURAL ENGINEER TO ENSURE "NO  
IMPACTS" TO STRUCTURAL DESIGN/COMPUTATIONS PRIOR TO  
ANY CONSTRUCTION ACTIVITIES. (FOR THE SHADED RED AREA)****SYNERGY AT THE  
MAYFAIR COLLECTION****PROPOSED 5-STORY  
BUILDING P1.W2  
F.F.E.=162.50 | ARCH.=100'-0"  
BASEMENT=152.00 | ARCH.=89'-6"  
(SEE ARCHITECTURAL PLANS)****PROPOSED INTERCEPTOR STORM SEWER**

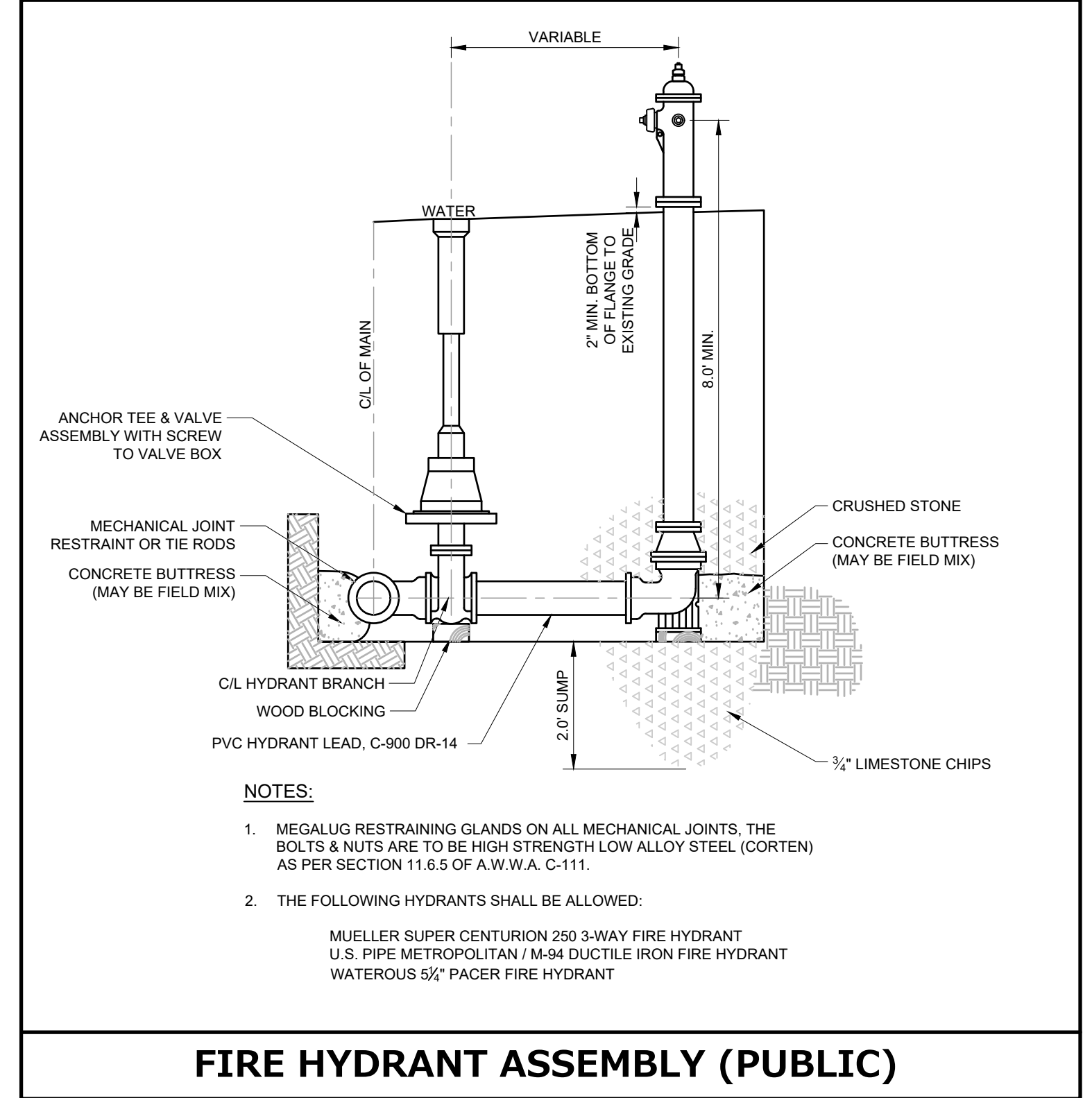
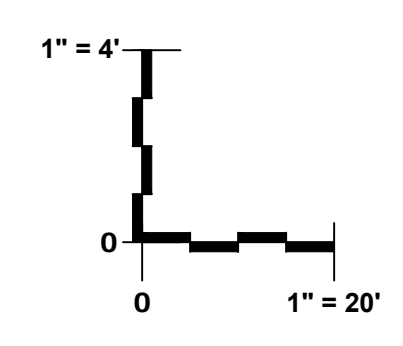
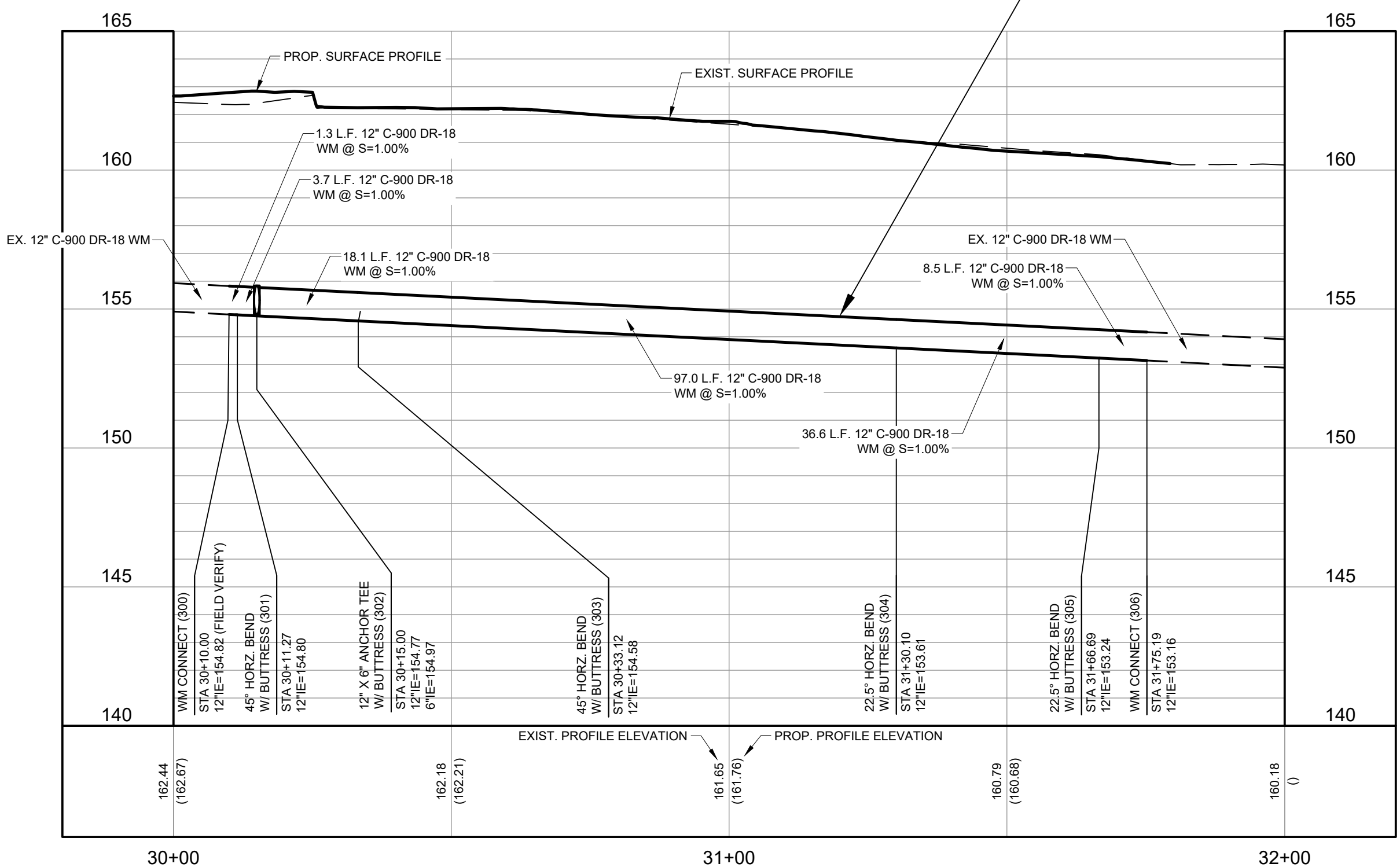


**NOTE: CONTRACTOR SHALL COORDINATE MEANS AND METHODS OF UTILITY CONSTRUCTION AND STRUCTURE EXCAVATION(S) WITH PROJECT STRUCTURAL ENGINEER TO ENSURE "NO IMPACTS" TO STRUCTURAL DESIGN/COMPUTATIONS PRIOR TO ANY CONSTRUCTION ACTIVITIES. (FOR THE SHADED RED AREA)**

**PROPOSED 5-STORY BUILDING P1.W2**  
**F.F.E.=162.50 | ARCH.=100'-0"**  
**BASEMENT=152.00 | ARCH.=89'-6"**  
**(SEE ARCHITECTURAL PLANS)**

**SPECIFICATIONS FOR PUBLIC WATERMAIN UTILITY**

- BEFORE PROCEEDING WITH ANY UTILITY CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE EACH EXISTING LATERAL OR POINT OF CONNECTION AND VERIFY THE LOCATION AND ELEVATION OF ALL UTILITIES. IF ANY EXISTING UTILITIES ARE NOT AS SHOWN ON THE DRAWINGS, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY FOR POSSIBLE REDESIGN.
- EXISTING UTILITIES ARE SHOWN FOR INFORMATIONAL PURPOSES ONLY AND ARE NOT GUARANTEED TO BE ACCURATE OR ALL INCLUSIVE. CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE TYPE, LOCATION, SIZE AND ELEVATION OF UNDERGROUND UTILITIES AS THEY DEEM NECESSARY FOR PROPOSED UTILITY CONNECTIONS AND/OR TO AVOID DAMAGE THERETO. CONTRACTOR SHALL CALL "DIGGER'S HOTLINE" PRIOR TO ANY CONSTRUCTION.
- ALL UTILITY WORK SHALL BE DONE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN (LATEST EDITION AND ADDENDUM) AND ALL STATE AND LOCAL CODES AND SPECIFICATIONS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE WHICH SPECIFICATIONS AND CODES APPLY, AND TO COORDINATE ALL CONSTRUCTION ACTIVITIES WITH THE APPROPRIATE LOCAL AND STATE AUTHORITIES.
- UTILITY CONSTRUCTION AND SPECIFICATIONS SHALL COMPLY WITH THE CITY OF WAUWATOSA SPECIAL PROVISIONS AND WISCONSIN DEPARTMENT OF SAFETY AND PROFESSIONAL SERVICES COMM 82.
- LENGTHS OF PROPOSED UTILITIES ARE TO CENTER OF STRUCTURES OR FITTINGS AND MAY VARY SLIGHTLY FROM PLAN. LENGTHS ARE SHOWN FOR CONTRACTOR CONVENIENCE ONLY. CONTRACTOR IS SOLELY RESPONSIBLE FOR COMPUTATIONS OF MATERIALS REQUIRED TO COMPLETE WORK. LENGTHS SHALL BE FIELD VERIFIED DURING CONSTRUCTION.
- CONTRACTOR SHALL ADJUST AND/OR RECONSTRUCT EXISTING UTILITY COVERS (SUCH AS MANHOLE COVERS, VALVE BOX COVERS, ETC.) TO MATCH FINISHED GRADES OF THE AREAS DISTURBED DURING CONSTRUCTION.
- CONTRACTOR SHALL FIELD VERIFY LOCATIONS, ELEVATIONS, AND SIZES OF PROPOSED UTILITIES AND CHECK ALL UTILITY CROSSINGS FOR CONFLICTS PRIOR TO ATTEMPTING CONNECTIONS AND ANY UTILITY CONSTRUCTION AND NOTIFY THE OWNER OF ANY DISCREPANCIES OR CONFLICTS.
- THE CONTRACTOR SHALL CONTACT THE CITY OF WAUWATOSA PUBLIC WORKS DEPARTMENT 48-HOURS IN ADVANCE OF SANITARY, WATER AND STORM CONNECTIONS TO THE CITY-OWNED SYSTEM TO SCHEDULE INSPECTIONS.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO COORDINATE WITH THE PROPER AUTHORITIES FOR ANY REQUIRED PERMITS, AUTHORIZATIONS, TRAFFIC CONTROL AND ANY PERMIT FEES REQUIRED.
- THE CONTRACTOR IS RESPONSIBLE FOR THE SIZE, TYPE AND NUMBER OF WATER MAIN BENDS, HORIZONTAL AND VERTICAL, REQUIRED TO COMPLETE CONSTRUCTION. COST FOR BENDS, HORIZONTAL AND VERTICAL, SHALL BE INCIDENTAL AND INCLUDED IN THE OVERALL COST OF THE CONTRACT.
- WATER MAIN SPECIFICATIONS:
  - PIPE - WATER MAIN SHALL BE POLYVINYL CHLORIDE (PVC) PIPE MEETING THE REQUIREMENTS OF AWWA STANDARD C-900, CLASS 150, WITH CAST IRON O.D. AND INTEGRAL ELASTOMERIC BELL AND SPIGOT JOINTS. VALVES AND VALVE BOXES - GATE VALVES SHALL BE AWWA GATE VALVES MEETING THE REQUIREMENTS OF AWWA C-900 AND CHAPTER R27.0 OF THE "STANDARD SPECIFICATIONS". GATE VALVES AND VALVE BOXES SHALL CONFORM TO LOCAL PLUMBING ORDINANCES.
  - HYDRANTS - HYDRANTS SHALL CONFORM TO THE SPECIFICATIONS OF THE CITY OF WAUWATOSA AND IN ACCORDANCE WITH FILE NO. 38 OF THE "STANDARD SPECIFICATIONS." THE DISTANCE FROM THE GROUND LINE TO THE CENTERLINE OF THE LOWEST NOZZLE AND THE LOWEST CONNECTION OF THE FIRE DEPARTMENT SHALL BE NO LESS THAN 18-INCHES AND NO GREATER THAN 23-INCHES.
  - BEDDING AND COVER MATERIAL - PIPE BEDDING AND COVER MATERIAL SHALL BE SAND, CRUSHED STONE CHIPS OR CRUSHED STONE SCREENINGS CONFORMING TO CHAPTER 8.43.2 OF THE "STANDARD SPECIFICATIONS".
  - BACKFILL - BACKFILL MATERIAL AND INSTALLATION SHALL BE IN ACCORDANCE WITH CHAPTER 2.6.0 OF THE "STANDARD SPECIFICATIONS". GRAVEL BACKFILL IS REQUIRED IN ALL PAVED AREAS AND TO A POINT 5 FEET BEYOND THE EDGE OF PAVEMENT. TRENCHES RUNNING PARALLEL TO AND LESS THAN 5 FEET FROM THE EDGE OF PAVEMENT SHALL ALSO REQUIRE GRAVEL BACKFILL. LANDSCAPED AREAS MAY BE BACKFILLED WITH EXCAVATED MATERIAL IN CONFORMANCE WITH SECTION 8.43.5 OF THE "STANDARD SPECIFICATIONS".
- WATER MAIN SHALL BE INSULATED WHEREVER THE DEPTH OF COVER IS LESS THAN 6 FEET. INSULATION AND PLACING OF INSULATION SHALL CONFORM TO CHAPTER 4.17.0 "INSULATION" OF THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN 6TH EDITION UPDATED WITH ITS LATEST ADDENDUM (TYP.).
- TRACER WIRE SHALL BE INSTALLED IN ACCORDANCE WITH THE PROVISIONS OF THESE CODE SECTIONS AS PER 182.0715(2R) OF THE STATUTES.
- FULL TIME INSPECTION OF THE PUBLIC WATER MAIN CONSTRUCTION WILL BE REQUIRED PER WDRN REGULATIONS.



ISSUED FOR:

Minor PUD Amendment	10/09/24
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REVISION FOR:

NO.	DESCRIPTION	DATE

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DRAWN BY: MAB  
 CHECKED BY: AEK

UTILITY PLAN - PUBLIC WATER MAIN RELAY (N. 112TH STREET)



**THE FOUNDRY AT MAYFAIR  
COLLECTION**

11220 BURLINGHAM ST  
WAUWATOSA, WI 53222  
Tax Key ID: 256-9992-016

WINGSPAN DEVELOPMENT GROUP  
1001 Feehanville Drive - Mount Prospect, IL 60056  
CITADEL PROPERTY ADVISORS  
100 South Wacker Drive, Suite 950 - Chicago, Illinois 60606

PROJECT NUMBER 223467.00

ISSUED FOR:

Minor PUD Amendment 10/09/24

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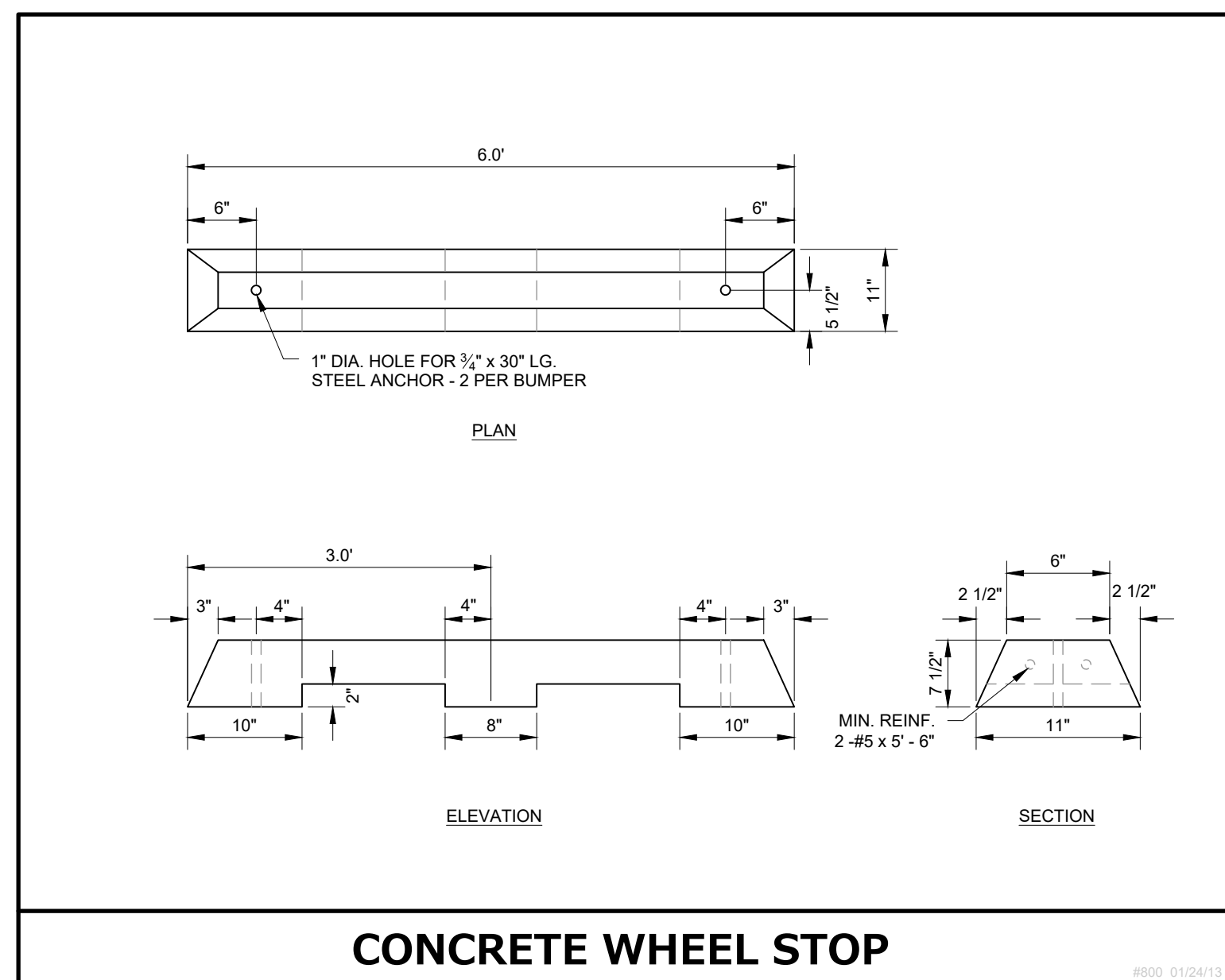
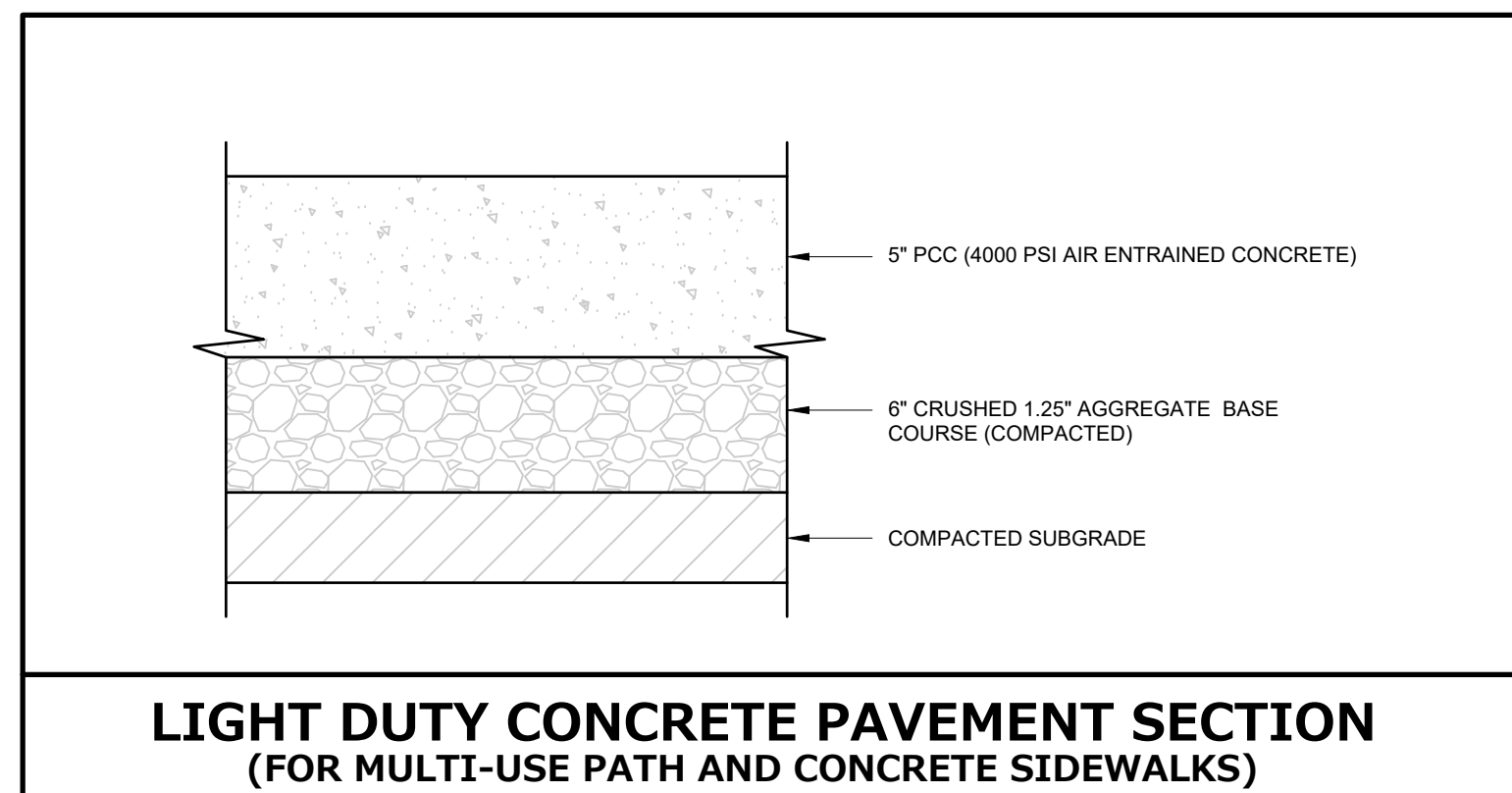
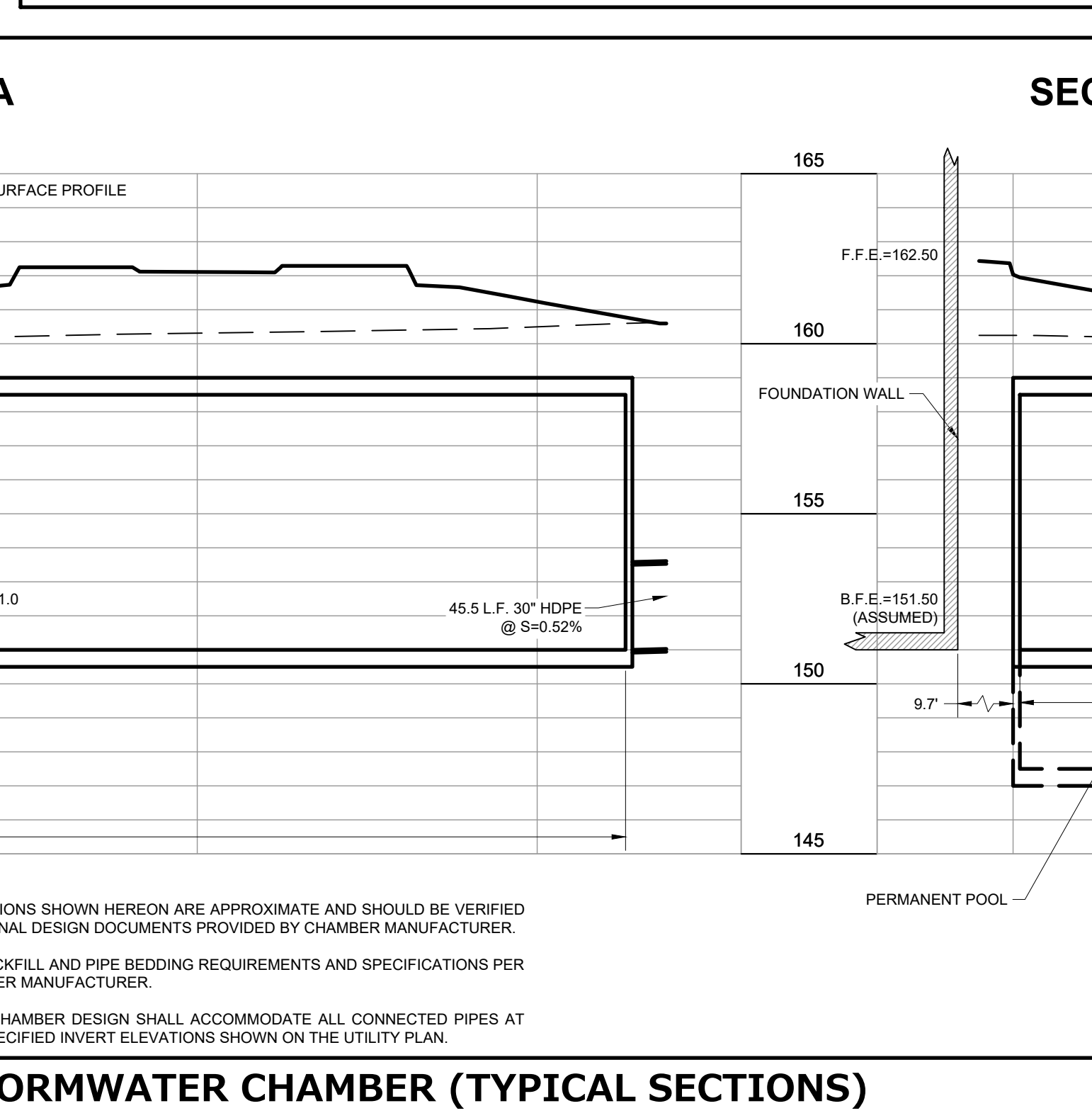
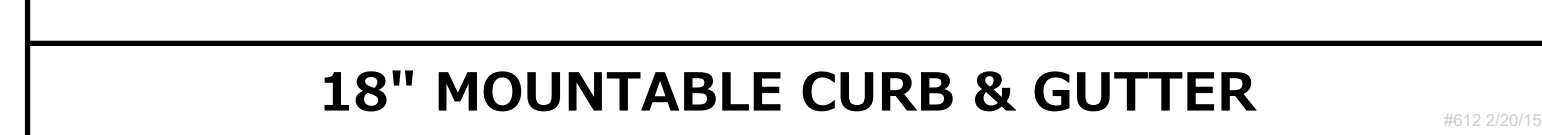
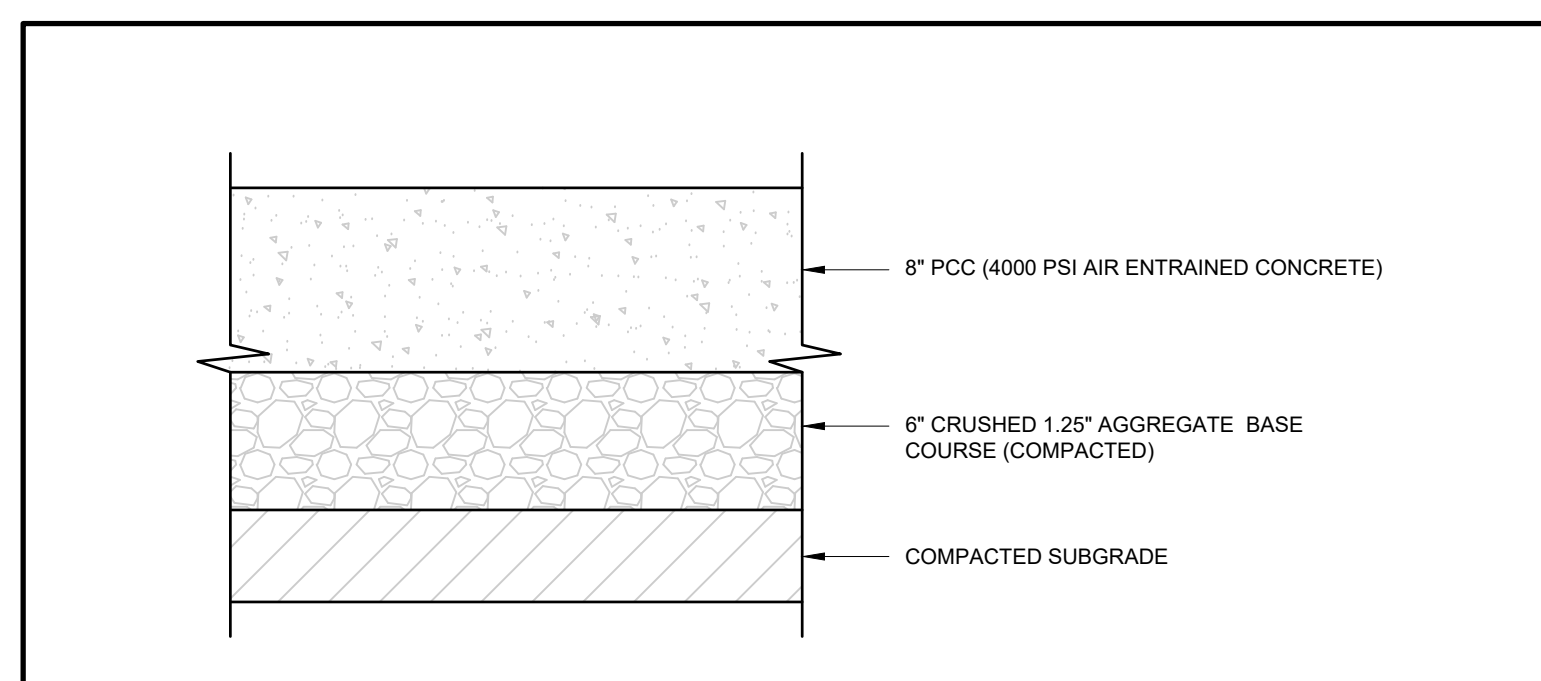
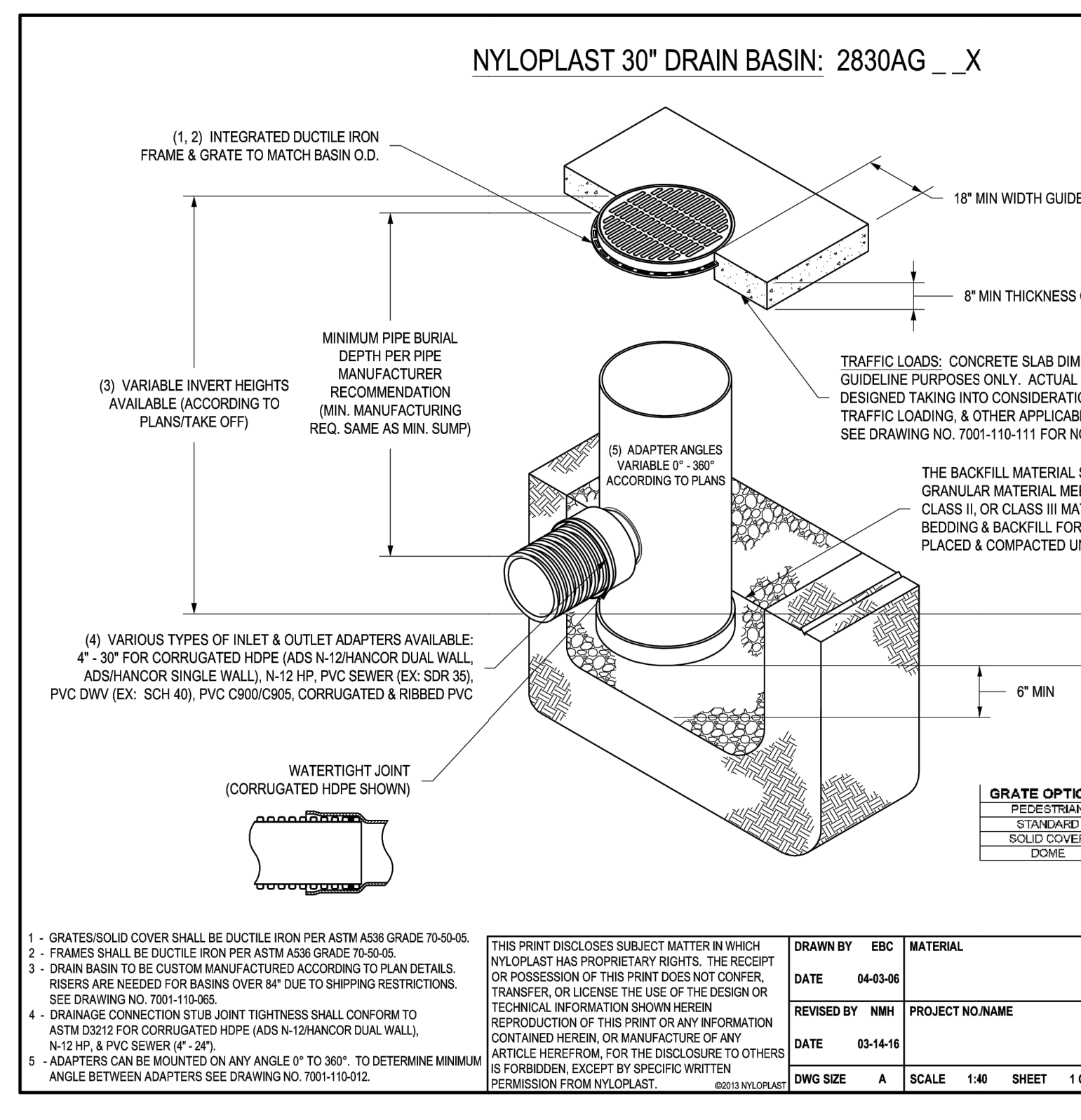
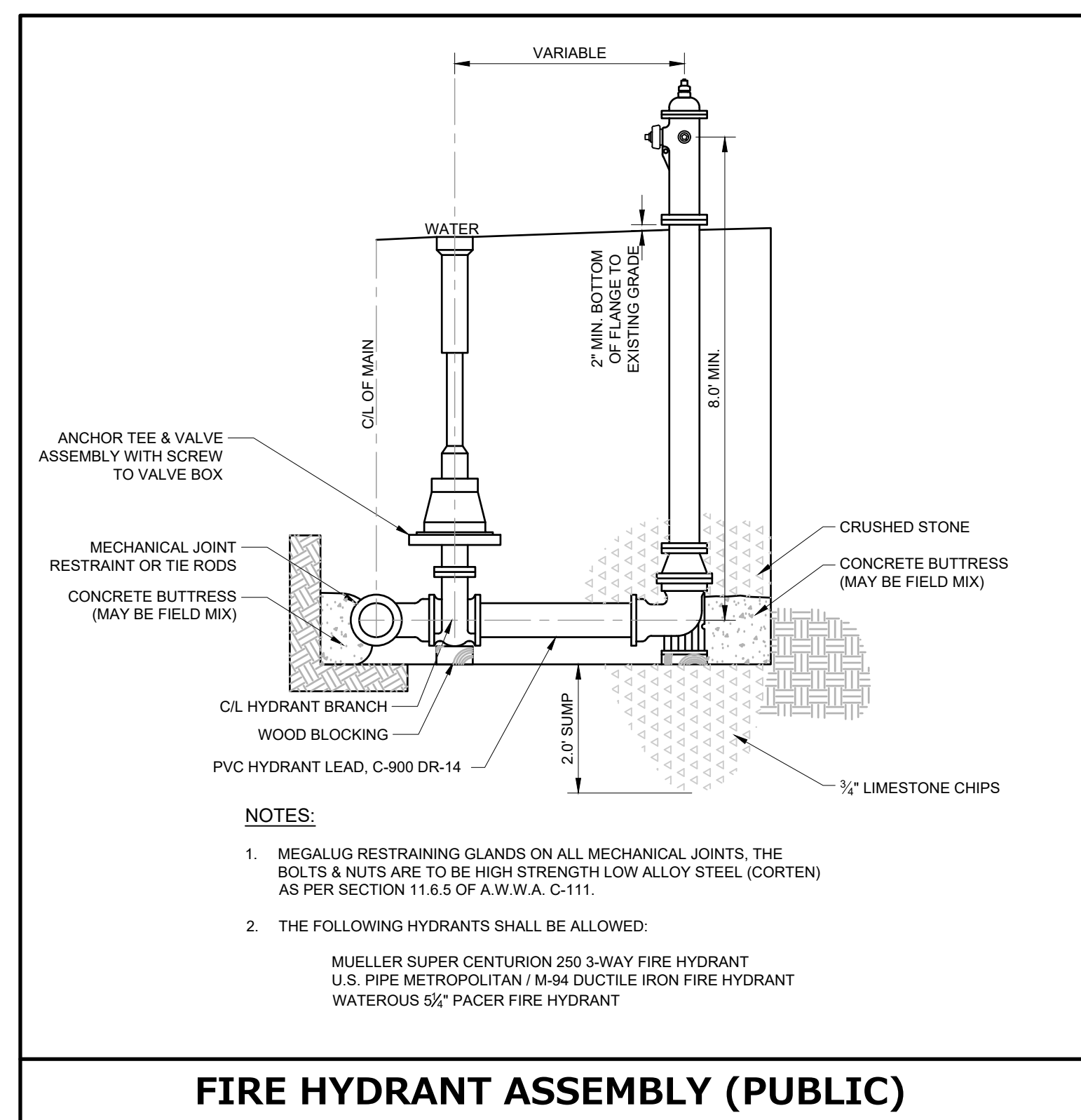
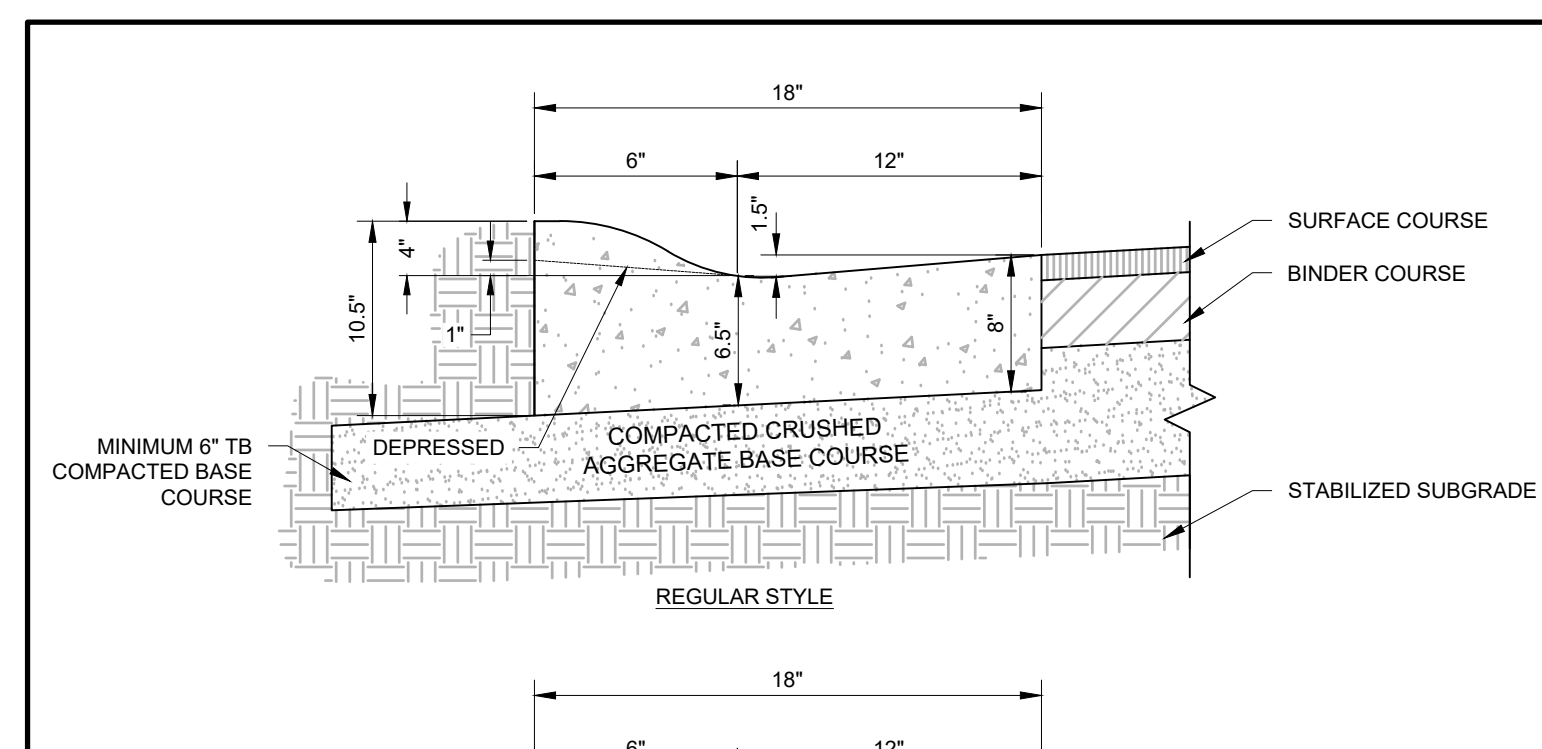
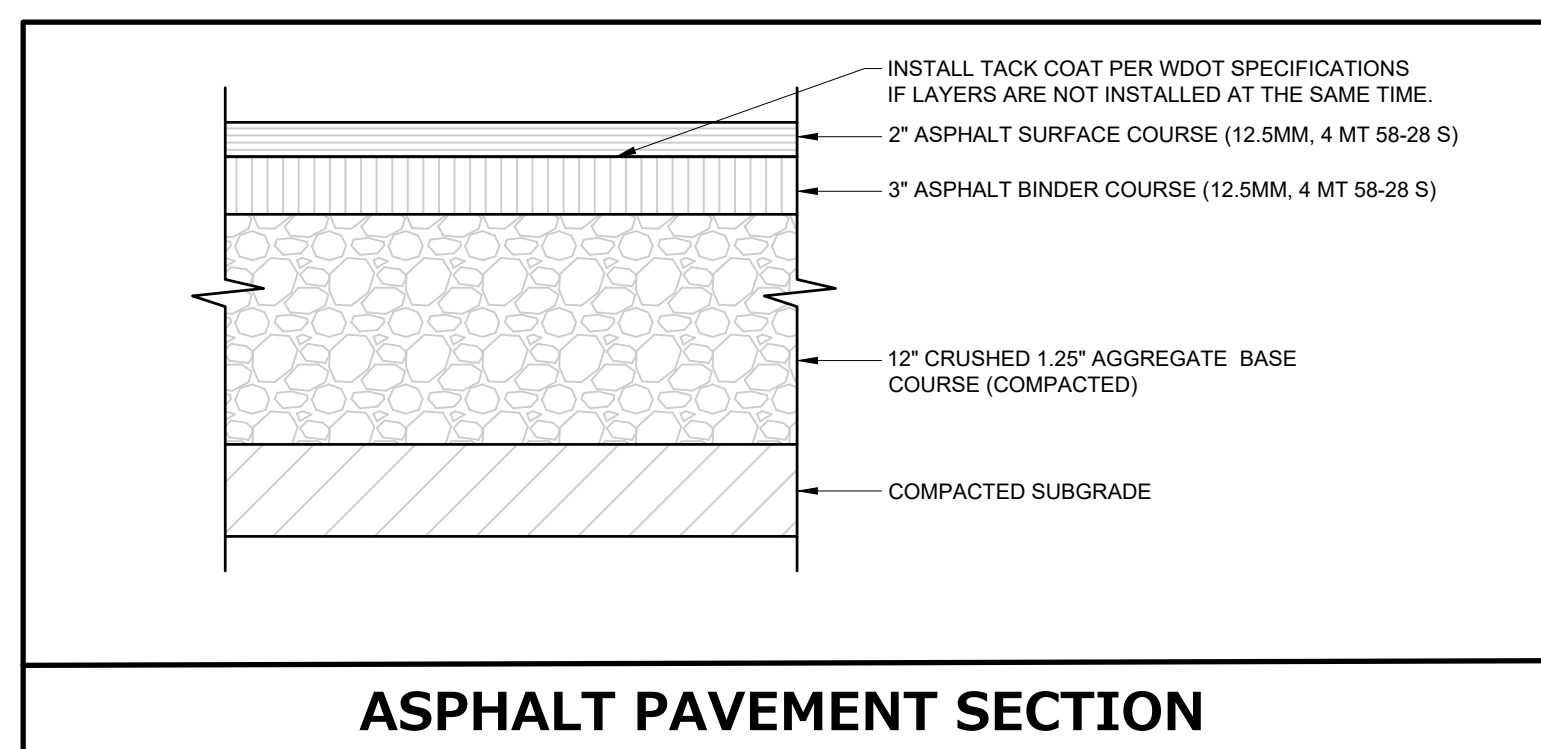
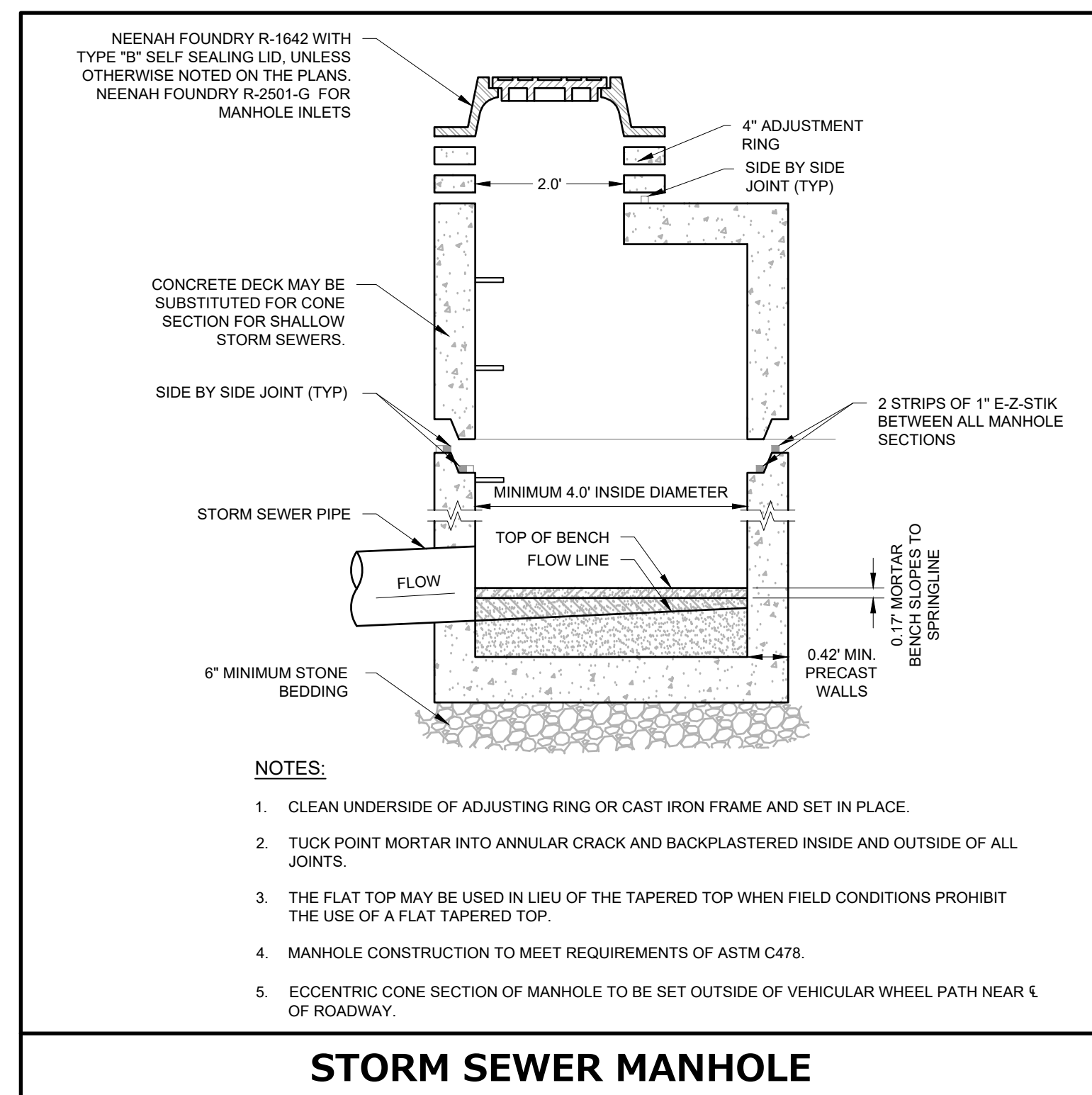
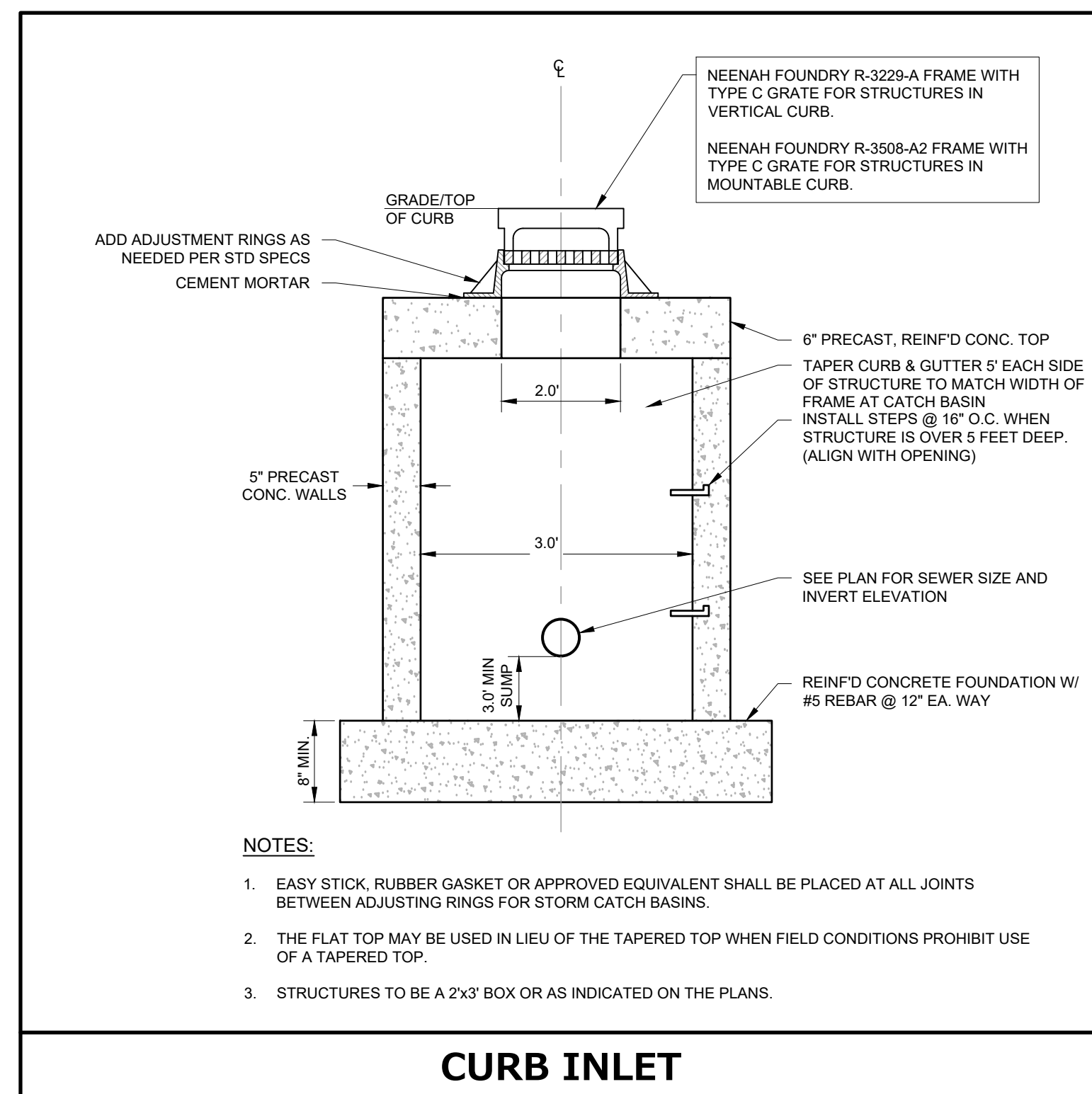
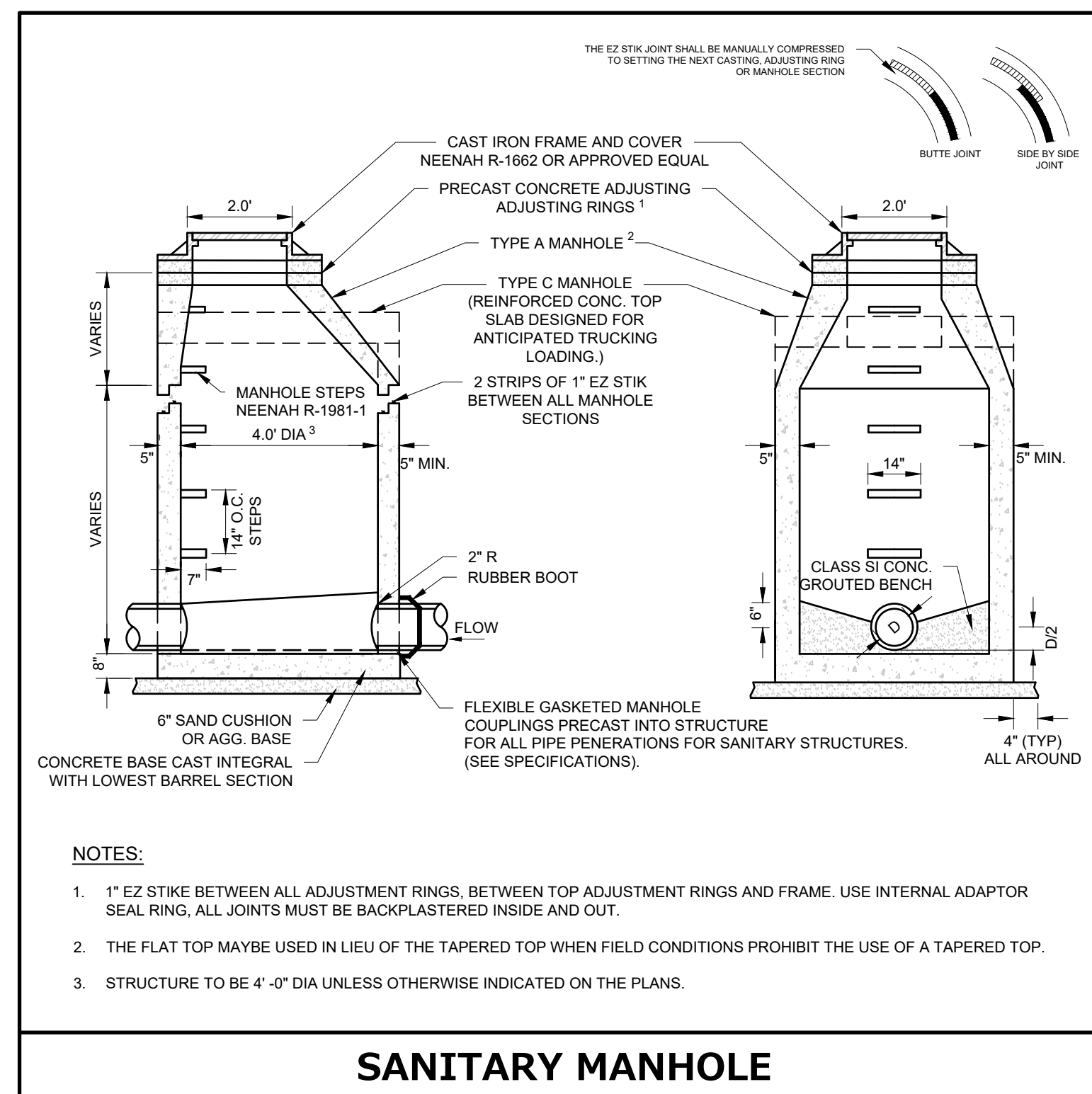
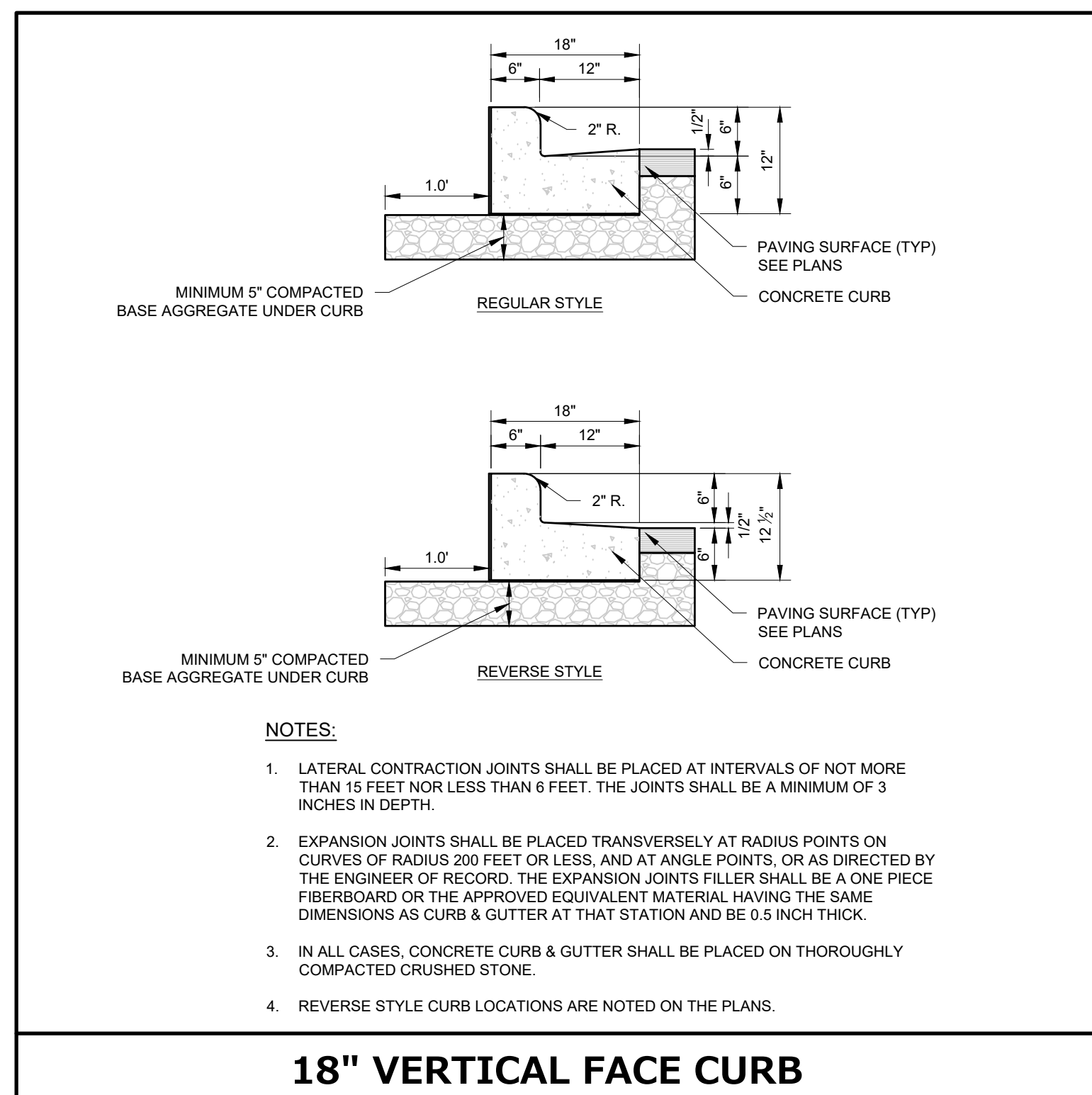
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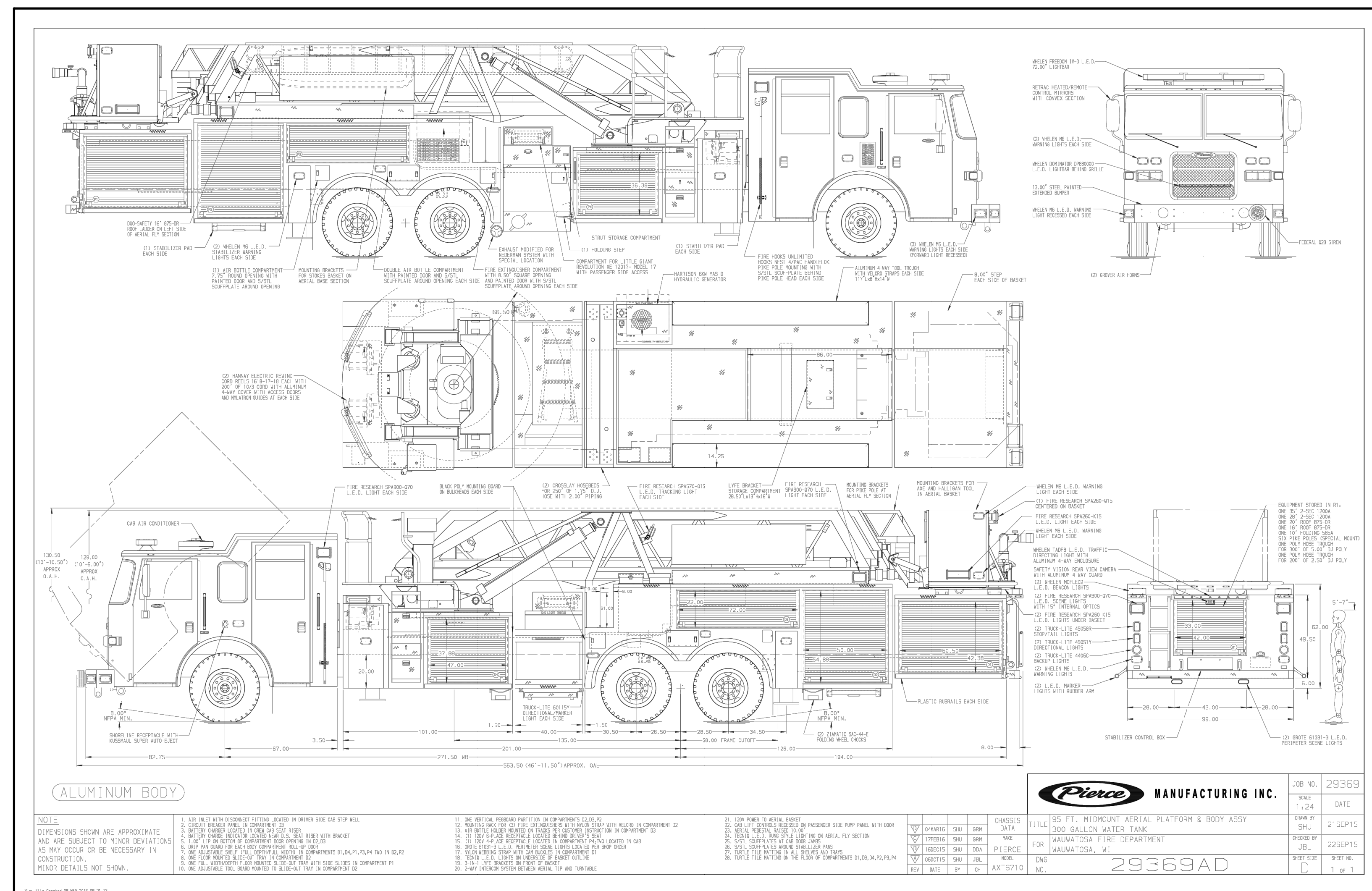
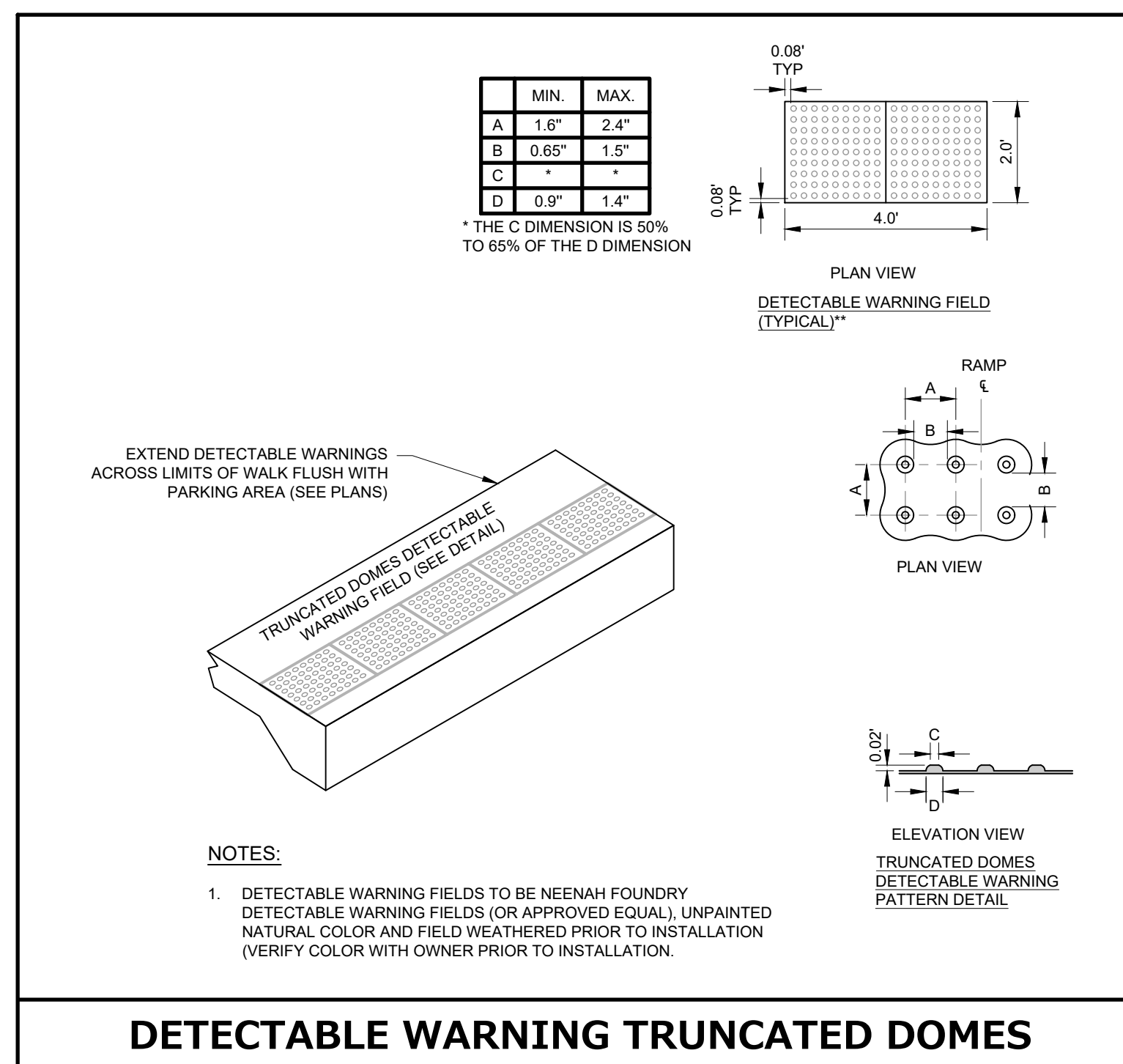
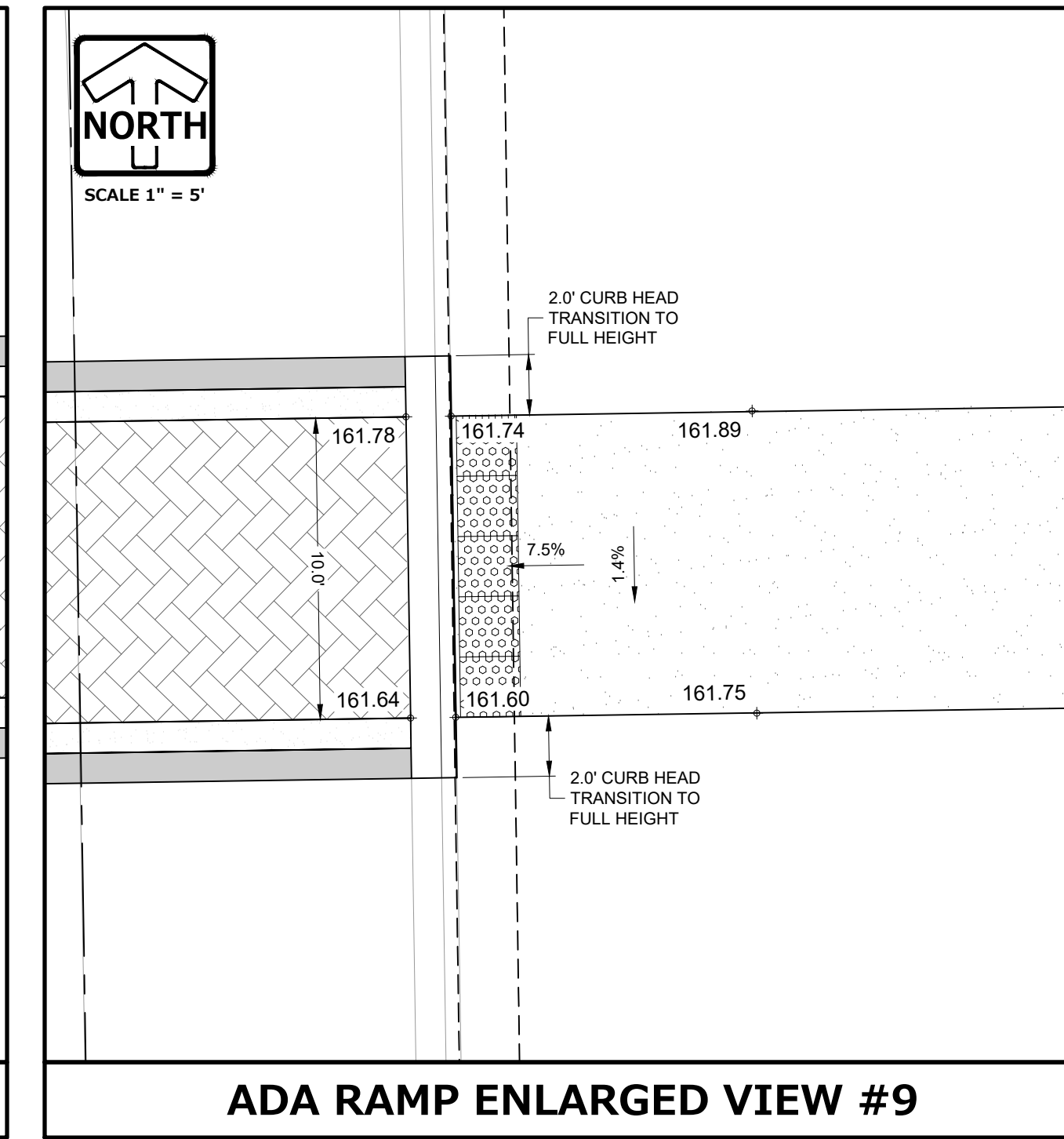
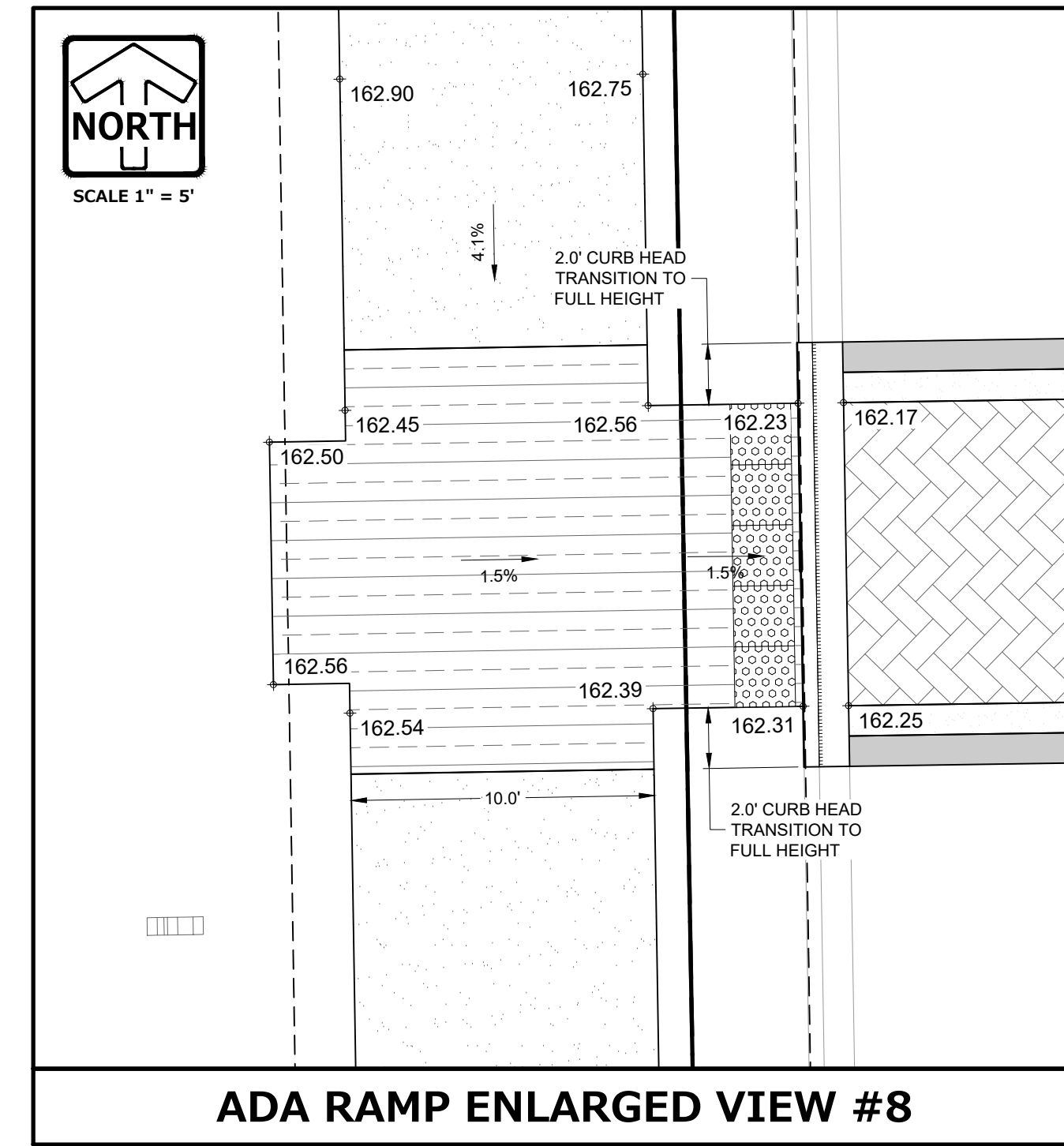
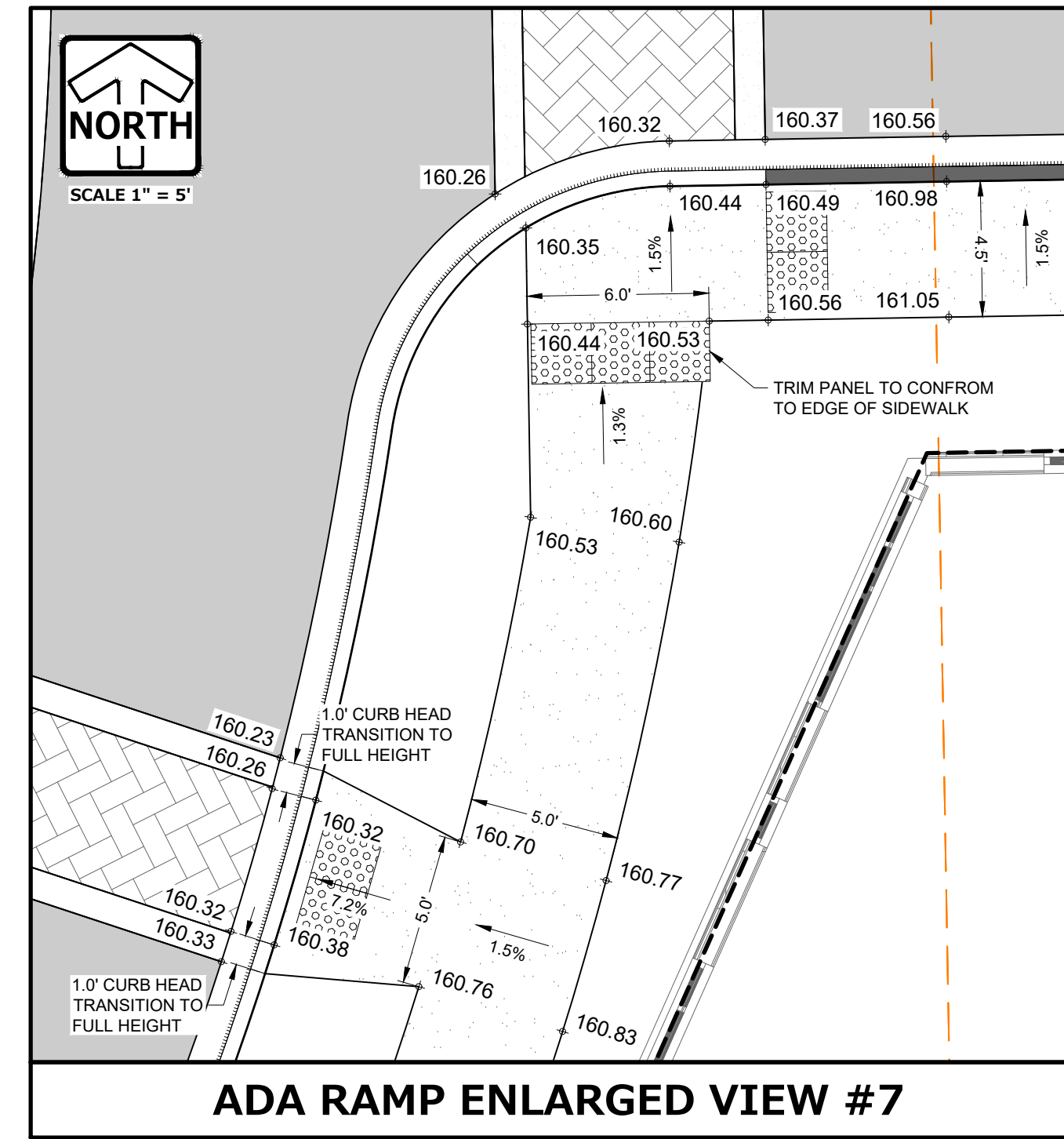
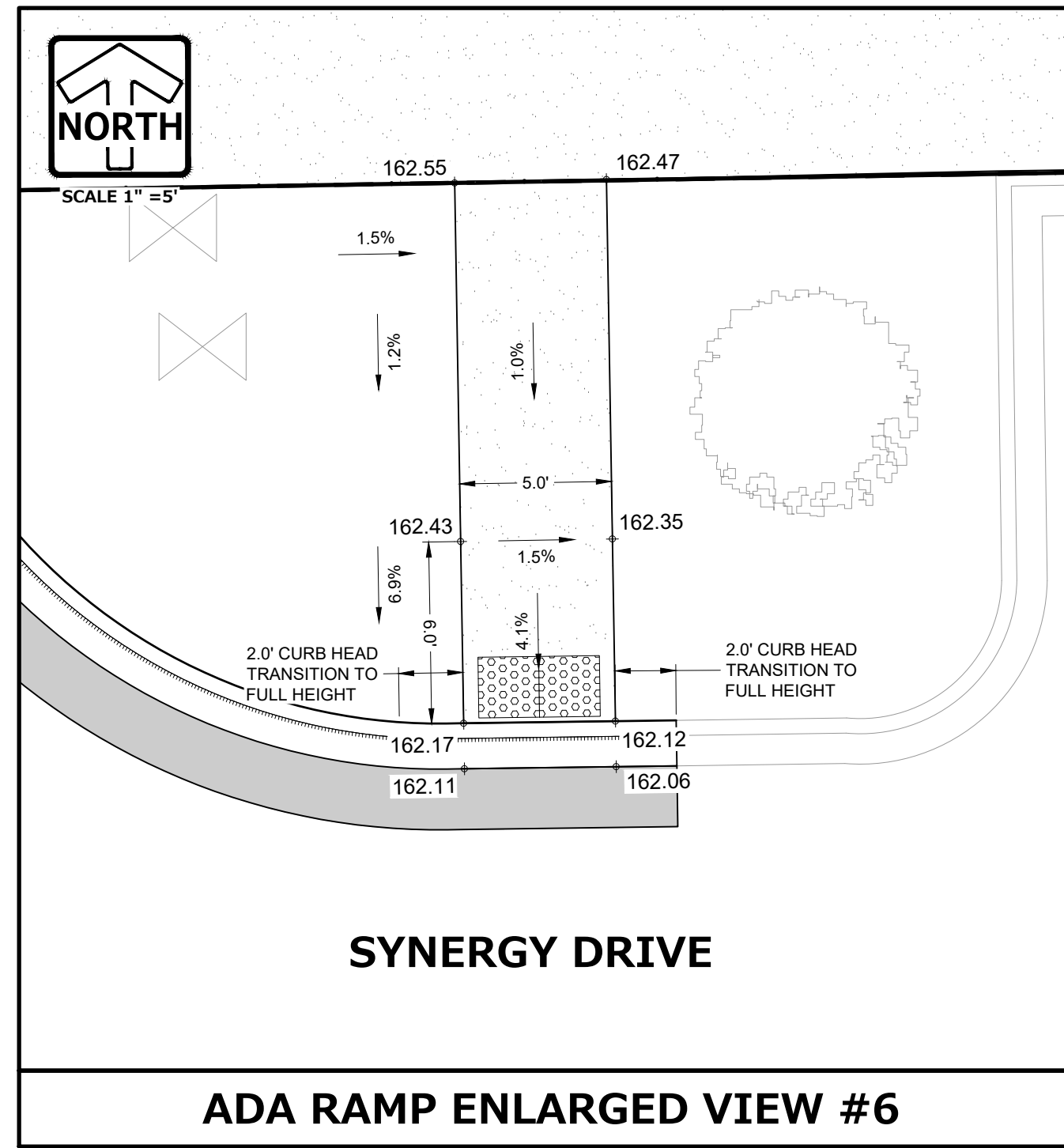
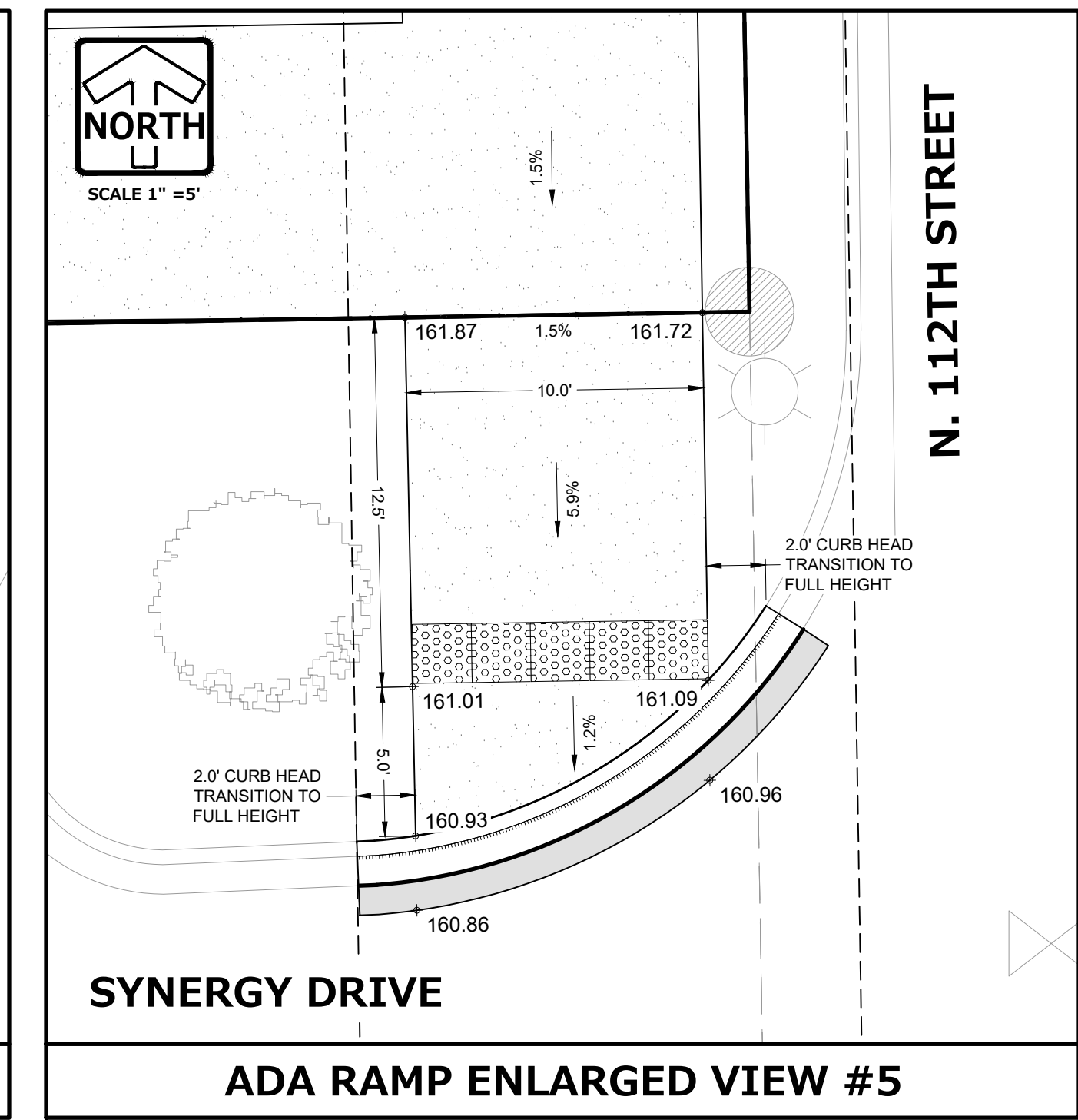
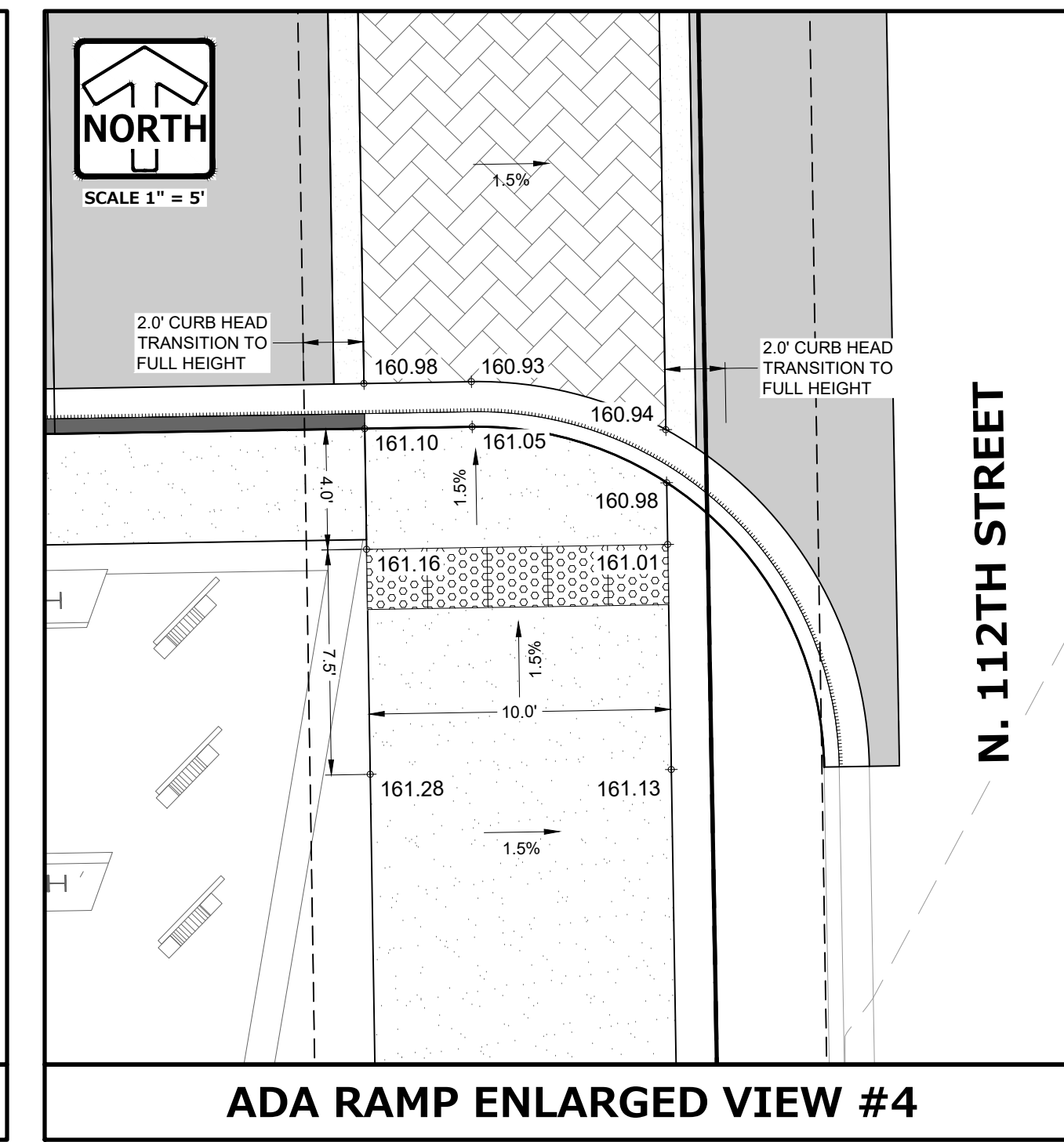
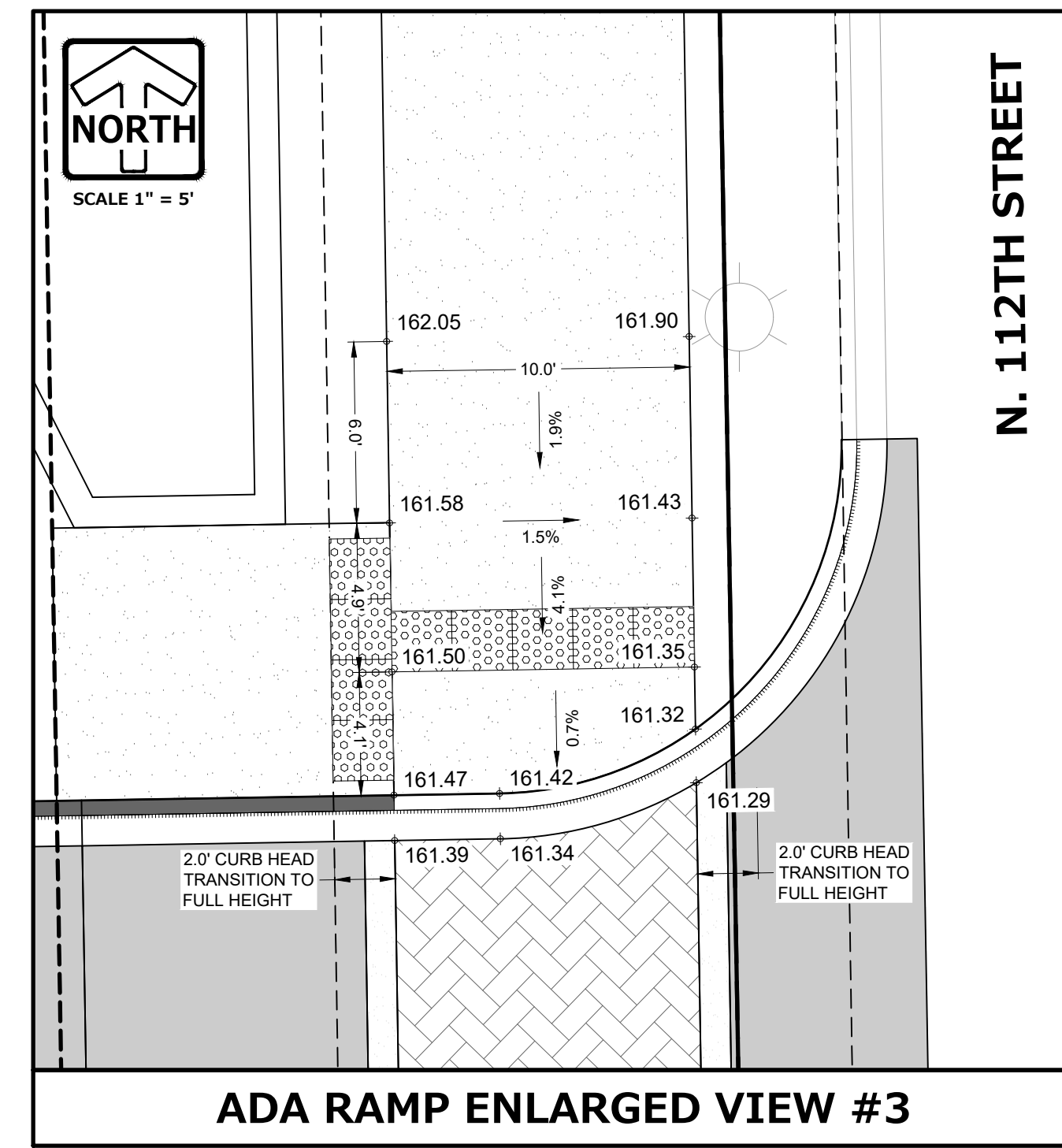
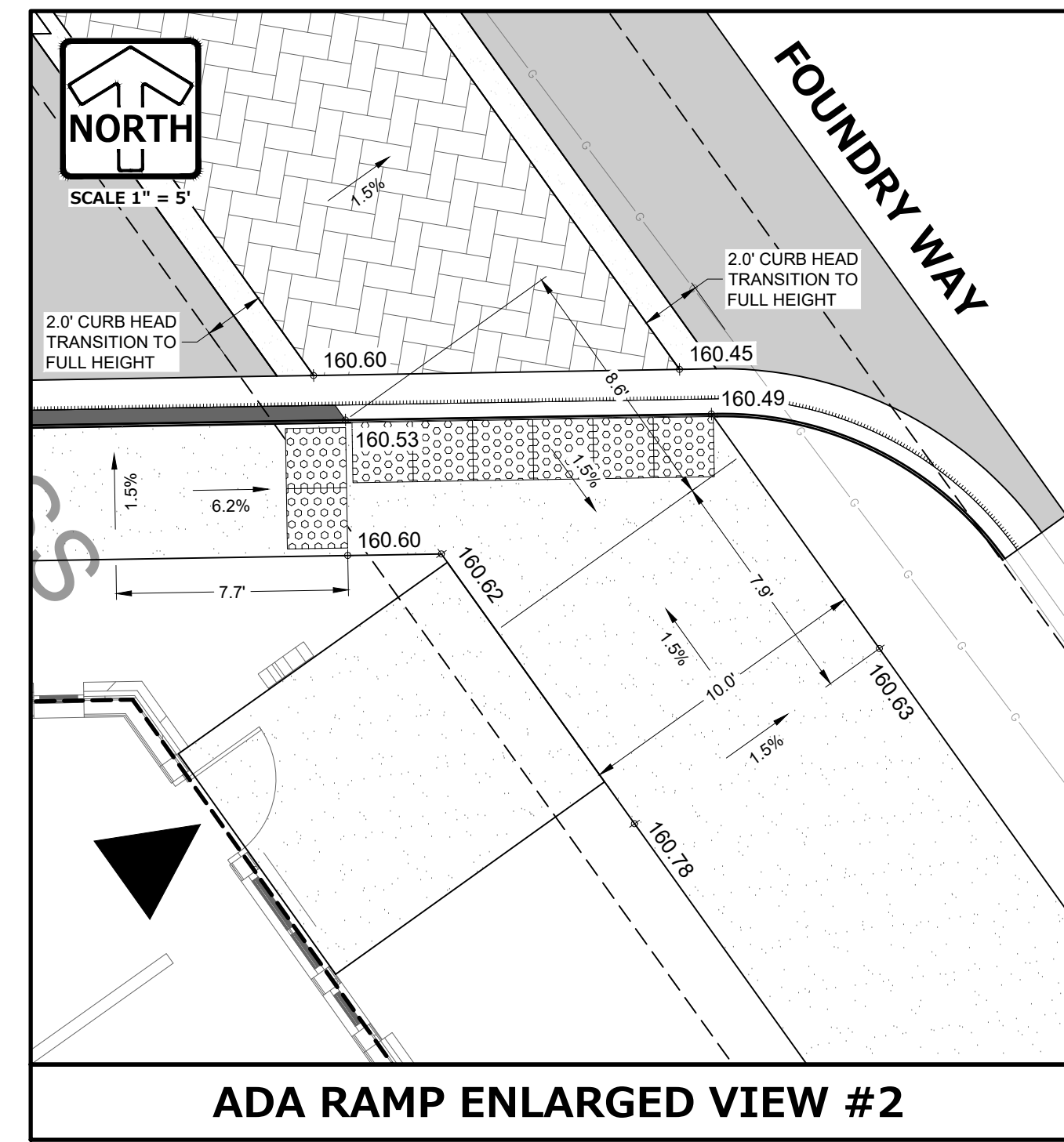
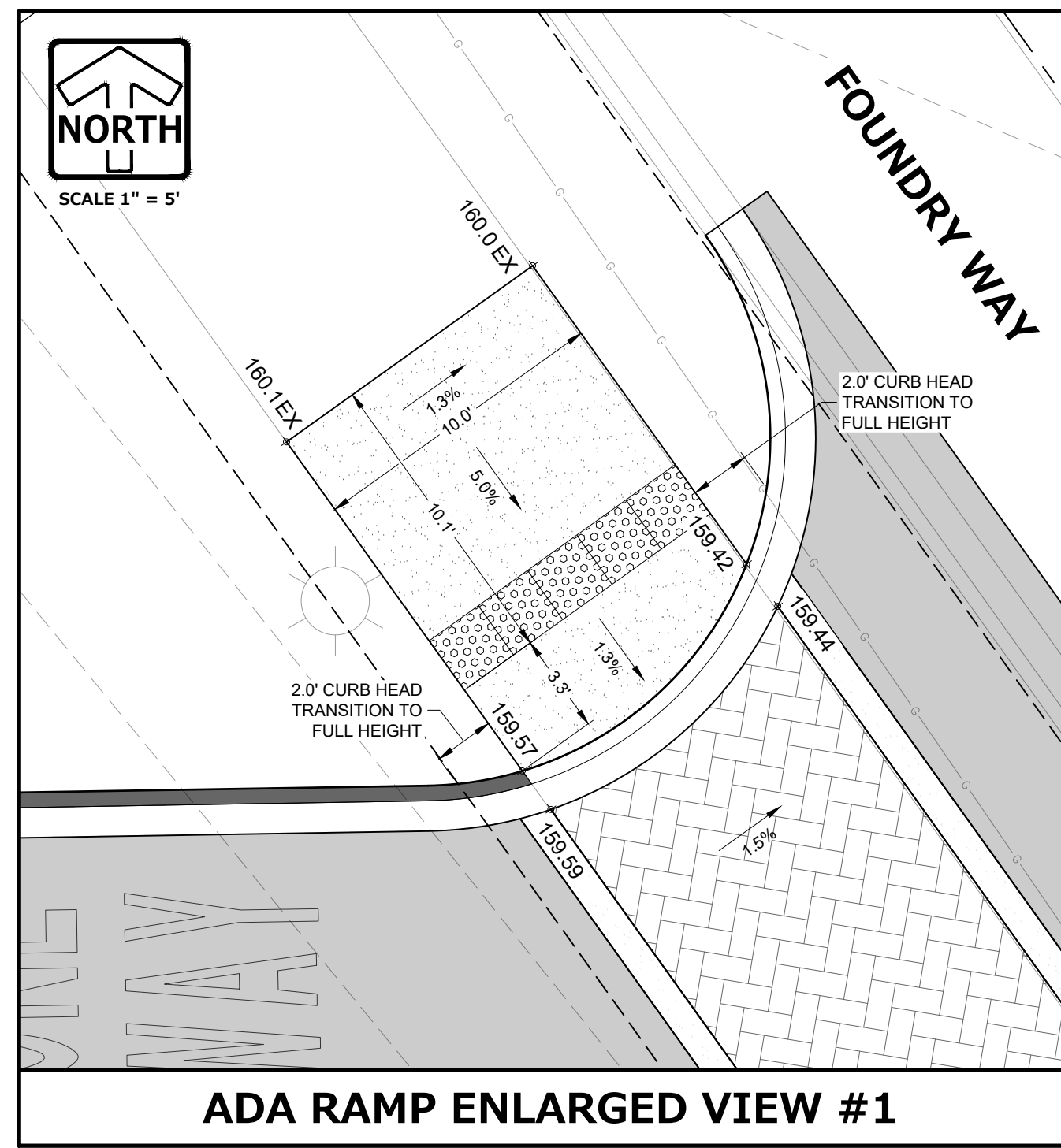
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