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8. COMMENCEMENT OF CONSTRUCTION SHALL EXPLICITLY CONFIRM THAT THE CONTRACTOR HAS REVIEWED THE

ONSITE CIVIL ENGINEERING PLANS

FOR

THE FOUNDRY AT MAYFAIR COLLECTION **11220 BURLEIGH ST**

WAUWATOSA, WI 53222

PLANS PREPARED FOR Wingspan Development Group **1001 FEEHANVILLE DRIVE** MOUNT PROSPECT, IL 60056

Citadel Property Advisors 100 SOUTH WACKER DRIVE, SUITE 950 CHICAGO, IL 60606



GENERAL NOTES

THE INTENTION OF THE PLANS AND SPECIFICATIONS IS TO SET FORTH PERFORMANCE AND CONSTRUCTION MATERIAL STANDARDS FOR THE PROPER EXECUTION OF WORK. ALL WORKS CONTAINED WITHIN THE PLANS AND SPECIFICATIONS SHALL BE COMPLETED IN ACCORDANCE WITH ALL REQUIREMENTS FROM LOCAL, STATE, FEDERAL OR OTHER GOVERNING AGENCY'S LAWS, REGULATIONS, JURISDICTIONAL ORDINANCES/CODES/RULES/ETC., AND THE OWNER'S DIRECTION. 2. A GEOTECHNICAL REPORT HAS BEEN PREPARED FOR THE PROJECT SITE. THE CONTRACTOR IS RESPONSIBLE FOR PERFORMING ANY SOILS INVESTIGATIONS THEY FEEL IS NECESSARY FOR THE PROPER EVALUATION OF THE SITE FOR PURPOSES OF PLANNING, BIDDING, OR CONSTRUCTING THE PROJECT AT NO ADDITIONAL COST TO THE OWNER. 3. THE CONTRACTOR IS RESPONSIBLE TO REVIEW AND UNDERSTAND ALL COMPONENTS OF THE PLANS AND SPECIFICATIONS. 4. THE CONTRACTOR SHALL PROMPTLY REPORT ANY ERRORS OR AMBIGUITIES LEARNED AS PART OF THEIR REVIEW OF PLANS, SPECIFICATIONS, REPORTS AND FIELD INVESTIGATIONS. 5. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE COMPUTATION OF QUANTITIES AND WORK REQUIRED TO COMPLETE THIS PROJECT. THE CONTRACTOR'S BID SHALL BE BASED ON ITS OWN COMPUTATIONS AND IN NO SUCH INSTANCE RELY ON THE ENGINEER'S ESTIMATE.

6. QUESTIONS/CLARIFICATIONS WILL BE INTERPRETED BY ENGINEER/OWNER PRIOR TO THE AWARD OF CONTRACT. ENGINEER/OWNER WILL SUBMIT OFFICIAL RESPONSES IN WRITING. INTERPRETATIONS PRESENTED IN OFFICIAL RESPONSES SHALL BE BINDING ON ALL PARTIES ASSOCIATED WITH THE CONTRACT. IN NO WAY SHALL WORD-OF-MOUTH DIALOG CONSTITUTE AN OFFICIAL RESPONSE.

PRIOR TO START OF WORK, CONTRACTOR SHALL BE COMPLETELY FAMILIAR WITH ALL CONDITIONS OF THE SITE, AND SHALL ACCOUNT FOR CONDITIONS THAT AFFECT. OR MAY AFFECT CONSTRUCTION INCLUDING, BUT NOT LIMITED TO, LIMITATIONS OF WORK ACCESS, SPACE LIMITATIONS, OVERHEAD OBSTRUCTIONS, TRAFFIC PATTERNS, LOCAL REQUIREMENTS, ADJACENT ACTIVITIES, ETC. FAILURE TO CONSIDER SITE CONDITIONS SHALL NOT BE CAUSE FOR CLAIM OF JOB EXTRAS.

PLANS AND SPECIFICATIONS IN ENTIRETY AND CERTIFIES THAT THEIR SUBMITTED BID PROPOSAL CONTAINS PROVISIONS TO COMPLETE THE PROJECT, WITH THE EXCEPTION OF UNFORESEEN FIELD CONDITIONS; ALL APPLICABLE PERMITS HAVE BEEN OBTAINED; AND CONTRACTOR UNDERSTANDS ALL OF THE REQUIREMENTS OF THE PROJECT

9. SHOULD ANY DISCREPANCIES OR CONFLICTS IN THE PLANS OR SPECIFICATIONS BE DISCOVERED AFTER THE AWARD OF CONTRACT, ENGINEER SHALL BE NOTIFIED IN WRITING IMMEDIATELY AND CONSTRUCTION OF ITEMS AFFECTED BY THE DISCREPANCIES/CONFLICTS SHALL NOT COMMENCE, OR CONTINUE, UNTIL A WRITTEN RESPONSE FROM ENGINEER/OWNER IS DISTRIBUTED. IN THE EVENT OF A CONFLICT BETWEEN REFERENCED CODES. STANDARDS, SPECIFICATIONS AND PLANS, THE ONE ESTABLISHING THE MOST STRINGENT REQUIREMENTS SHALL BE FOLLOWED.

10. THE CONTRACTOR SHALL, AS A REIMBURSABLE EXPENSE, OBTAIN ALL NECESSARY PERMITS AND LICENSES TO COMPLETE THE PROJECT. OBTAINING PERMITS, OR DELAYS, IS NOT CAUSE FOR DELAY OF THE CONTRACT OR SCHEDULE CONTRACTOR SHALL COMPLY WITH ALL PERMIT REQUIREMENTS 11. THE CONTRACTOR SHALL NOTIFY ALL INTERESTED GOVERNING AGENCIES, UTILITY COMPANIES AFFECTED BY THIS CONSTRUCTION PROJECT, AND DIGGER'S HOTLINE IN ADVANCE OF CONSTRUCTION TO COMPLY WITH ALL

JURISDICTIONAL ORDINANCES/CODES/RULES/ETC., PERMIT STIPULATIONS, AND OTHER APPLICABLE STANDARDS. 12. SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE TO INITIATE, INSTITUTE, ENFORCE, MAINTAIN, AND SUPERVISE ALL SAFETY PRECAUTIONS AND JOB SITE SAFETY PROGRAMS IN CONNECTION WITH THE WORK.

13. CONTRACTOR SHALL KEEP THE JOBSITE CLEAN AND ORDERLY AT ALL TIMES. ALL LOCATIONS OF THE SITE SHALL BE KEPT IN A WORKING MANNER SUCH THAT DEBRIS IS REMOVED CONTINUOUSLY AND ALL RESPECTIVE CONTRACTORS OPERATE UNDER GENERAL "GOOD HOUSEKEEPING."

14. THE CONTRACTOR SHALL INDEMNIFY THE OWNER, ENGINEER, AND THEIR AGENTS FROM ALL LIABILITY INVOLVED WITH THE CONSTRUCTION, INSTALLATION, AND TESTING OF THE WORK ON THIS PROJECT.

PROJECT TEAM CONTACTS

CIVIL ENGINEER

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SURVEYOR:

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APPLICANT: MR. JASON MACKLIN

DIRECTOR OF DEVELOPMENT WINGSPAN DEVELOPMENT GROUP 3880 WEST WHEELHOUSE ROAD SUITE B MILWAUKEE, WI 53208

INDEX OF SHEETS

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- C1.0 NOTE & SPECIFICATIONS
- **C2.0 EXISTING CONDITIONS PLAN**
- C2.1 DEMOLITION & EROSION CONTROL PLAN
- C3.0 SITE LAYOUT & PAVING PLAN OVERVIEW
- C3.1 SITE LAYOUT & PAVING PLAN
- C3.2 SITE LAYOUT & PAVING PLAN
- C4.0 SITE GRADING & DRAINAGE PLAN OVERVIEW
- C4.1 SITE GRADING & DRAINAGE PLAN
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- C5.0 UTILITY PLAN STORM SEWER C5.1 - UTILITY PLAN - SANITARY & WATER
- C5.2 UTILITY PLAN INTERCEPTOR STORM SEWER (N. 113TH STREET)
- C5.3 UTILITY PLAN PUBLIC WATER MAIN RELAY (N. 112TH STREET)
- C6.0 CONSTRUCTION DETAILS
- C6.1 CONSTRUCTION DETAILS
- C6.2 CONSTRUCTION DETAILS

REQUIRED SUBMITTALS FOR APPROVAL

- 1. HOT MIX ASPHALT- MIX DESIGN
- 2. CONCRETE PAVEMENTS (EXTERIOR) MIX DESIGN & JOINT PLAN
- 3. PAVEMENT STONE BASE COURSE GRADATION
- 4. PIPE BEDDING & TRENCH BACKFILL GRADATION
- 5. MANHOLE BACKFILL GRADATION
- 6. PAVEMENT MARKING PAINT

REQUIRED SUBMITTALS FOR RECORDS

- 1. WATER MAIN PIPES, VALVES, HYDRANTS & FITTINGS
- 2. SANITARY SEWER PIPE & FITTINGS
- 3. STORM SEWER PIPE, STRUCTURES, & FITTINGS
- 4. TRACER WIRE
- 5. UNDERGROUND UTILITY LOCATION RECORD DRAWINGS
- 6. CHEMICAL SOIL STABILIZATION MIX DESIGN (IF APPLICABLE)



ACTIONS TAKEN WITHOUT THE KNOWLEDGE AND CONSENT TO THE ENGINEER, OR IN CONTRADICTION TO THE

BUT OF THE PARTIES RESPONSIBLE FOR TAKING SUCH ACTION.

MEANS AND METHODS OF CONSTRUCTION.

ENGINEER'S DELIVERABLES OR RECOMMENDATIONS, SHALL BECOME THE RESPONSIBILITY NOT OF THE ENGINEER

FURTHERMORE, PINNACLE ENGINEERING GROUP, LLC IS NOT RESPONSIBLE FOR CONSTRUCTION SAFETY OR THE



MILWAUKEE | MADISON | TUCSON | CHICAGO



WINGSPAN DEVELPMENT GROUP 1001 Feehanville Drive - Mount Prospect, IL 60056 CITADEL PROPERTY ADVISORS 100 South Wacker Drive, Suite 950 - Chicago, Illinois 60606

PROJECT NUMBER

223467.00

ISSUED FOR:

MINOR PUD AMENDMENT

REVISION FOR: NO. DESCRIPTION 10/09/24

DATE



DRAWN BY CHECKED BY

MAB AEK

COVER SHEET



GENERAL SPECIFICATIONS FOR CONSTRUCTION ACTIVITIES

- 1. THE PROPOSED IMPROVEMENTS SHALL BE CONSTRUCTED ACCORDING TO THE WISCONSIN D.O.T. STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, LATEST EDITION, THE STANDARD SPECIFICATIONS FOR SEWER & WATER IN WISCONSIN, AND WISCONSIN ADMINISTRATIVE CODE, SPS 360, 382-383, AND THE LOCAL ORDINANCES AND SPECIFICATIONS.
- 2. THE CONTRACTOR SHALL OBTAIN ALL PERMITS REQUIRED FOR EXECUTION OF THE WORK. THE CONTRACTOR SHALL CONDUCT HIS WORK ACCORDING TO THE REQUIREMENTS OF THE PERMITS.
- 3. THE CONTRACTOR SHALL NOTIFY THE OWNER AND THE MUNICIPALITY FORTY-EIGHT (48) HOURS PRIOR TO THE START OF CONSTRUCTION.
- 4. THE MUNICIPALITY SHALL HAVE THE RIGHT TO INSPECT, APPROVE, AND REJECT THE CONSTRUCTION OF THE PUBLIC PORTIONS OF THE WORK. THE OWNER SHALL HAVE THE RIGHT TO INSPECT, APPROVE, AND REJECT THE CONSTRUCTION OF ALL PRIVATE PORTIONS OF THE WORK.
- 5. THE CONTRACTOR SHALL INDEMNIFY THE OWNER, THE ENGINEER, AND THE MUNICIPALITY, THEIR AGENTS, ETC, FROM ALL LIABILITY INVOLVED WITH THE CONSTRUCTION, INSTALLATION, AND TESTING OF THE WORK ON THIS PROJECT. 6. SITE SAFETY SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- 7. THE CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING ALL UTILITY INFORMATION SHOWN ON THE PLANS PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL CALL DIGGER'S HOTLINE AT 1-800-242-8511 TO NOTIFY THE UTILITIES OF HIS INTENTIONS. AND TO REQUEST FIELD STAKING OF EXISTING UTILITIES
- 8. SILT FENCE AND OTHER EROSION CONTROL FACILITIES MUST BE INSTALLED PRIOR TO CONSTRUCTION OR ANY OTHER LAND DISTURBING ACTIVITY. FOLLOW THE SEQUENCE OF CONSTRUCTION ON THE EROSION CONTROL PLAN FOR MORE DETAILS. INSPECTIONS SHALL BE MADE WEEKLY OR AFTER EVERY RAINFALL OF 0.5" OR MORE. REPAIRS SHALL BE MADE IMMEDIATELY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING ALL EROSION CONTROL FACILITIES ONCE THE THREAT OF EROSION HAS PASSED WITH THE APPROVAL OF THE GOVERNING AGENCY.
- 9. ANY ADJACENT PROPERTIES OR ROAD RIGHT-OF-WAYS WHICH ARE DAMAGED DURING CONSTRUCTION MUST BE RESTORED BY THE CONTRACTOR. 10. TRASH AND DEBRIS SHALL BE NOT BE ALLOWED TO ACCUMULATE ON THIS SITE
- AND THE SITE SHALL BE CLEAN UPON COMPLETION OF WORK. 11. THE OWNER SHALL HAVE THE RIGHT TO HAVE ALL MATERIALS USED IN CONSTRUCTION TESTED FOR COMPLIANCE WITH THESE SPECIFICATIONS.

CITY OF WAUWATOSA STANDARD EROSION CONTROL NOTES

- 1. SITE DEWATERING. WATER PUMPED FROM THE SITE SHALL BE TREATED BY SEDIMENT BASINS OR OTHER APPROPRIATE BEST MANAGEMENT PRACTICES SPECIFIED IN THE WISCONSIN CONSTRUCTION SITE BEST MANAGEMENT PRACTICES (BMP) HANDBOOK. WATER MAY NOT BE DISCHARGED IN A MANNER THAT CAUSES EROSION OF THE SITE, ADJACENT SITES, OR RECEIVING CHANNELS.
- 2. WASTE AND MATERIAL DISPOSAL. ALL WASTE AND UNUSED BUILDING MATERIALS (INCLUDING GARBAGE, DEBRIS, CLEANING WASTES, WASTEWATER, TOXIC MATERIALS, OR HAZARDOUS MATERIALS) SHALL BE PROPERLY DISPOSED AND NOT ALLOWED TO BE CARRIED OFF-SITE BY RUNOFF OR WIND.
- 3. TRACKING. EACH SITE SHALL HAVE GRAVELED ROADS, ACCESS DRIVES AND PARKING AREAS OF SUFFICIENT WIDTH AND LENGTH TO PREVENT SEDIMENT FROM BEING TRACKED ONTO PUBLIC OR PRIVATE ROADWAYS. ANY SEDIMENT REACHING A PUBLIC OR PRIVATE ROAD SHALL BE REMOVED BY STREET CLEANING, TO THE SATISFACTION OF THE CITY, BEFORE THE END OF EACH WORKDAY. FLUSHING MAY NOT BE USED UNLESS SEDIMENT WILL BE CONTROLLED BY A SEDIMENT BASIN OR OTHER APPROPRIATE BEST MANAGEMENT PRACTICE SPECIFIED IN THE BMP HANDBOOK.
- 4. SEDIMENT CLEANUP. ALL OFF-SITE SEDIMENT DEPOSITS OCCURRING AS A RESULT OF A STORM EVENT SHALL BE CLEANED UP BY THE END OF THE NEXT WORK DAY, ALL OTHER OFF-SITE SEDIMENT DEPOSITS OCCURRING AS A RESULT OF CONSTRUCTION ACTIVITIES SHALL BE CLEANED UP BY THE END OF THE WORK
- 5. ALL ACTIVITIES ON THE SITE SHALL BE CONDUCTED IN A LOGICAL SEQUENCE TO MINIMIZE THE AREA OF BARE SOIL EXPOSED AT ANY ONE TIME.
- 6. ALL DISTURBED GROUND LEFT INACTIVE FOR SEVEN OR MORE DAYS SHALL BE STABILIZED BY TEMPORARY OR PERMANENT SEEDING. TEMPORARY OR PERMANENT SEEDING AND MULCHING, SODDING, COVERING WITH TARPS, OR EQUIVALENT BEST MANAGEMENT PRACTICES. IF TEMPORARY SEEDING IS USED, A PERMANENT COVER SHALL ALSO BE REQUIRED AS PART OF THE FINAL SITE STABILIZATION. SEEDING OR SODDING SHALL BE REQUIRED AS PART OF THE FINAL SITE STABILIZATION.
- 7. SOIL OR DIRT STORAGE PILES SHALL BE LOCATED A MINIMUM OF TWENTY-FIVE FEET FROM ANY DOWNSLOPE ROAD, LAKE, STREAM, WETLAND, OR DRAINAGE CHANNEL. STRAW BALE OR FILTER FABRIC FENCES SHALL BE PLACED ON THE DOWN SLOPE SIDE OF THE PILES. IF REMAINING FOR MORE THAN SEVEN DAYS, PILES SHALL BE STABILIZED BY MULCHING, VEGETATIVE COVER, TARPS OR OTHER MEANS.
- 8. WHEN THE DISTURBED AREA HAS BEEN STABILIZED BY PERMANENT VEGETATION OR OTHER MEANS, TEMPORARY BEST MANAGEMENT PRACTICES SUCH AS FILTER FABRIC FENCES, STRAW BALES, SEDIMENT AND SEDIMENT TRAPS SHALL BE REMOVED.
- 9. NOTIFY THE CITY ENGINEERING DEPARTMENT (479-8934) WITHIN TWO WORKING DAYS OF COMMENCING ANY LAND DEVELOPMENT OR LAND DISTURBING ACTIVITY.
- 10. NOTIFY THE CITY OF COMPLETION OF ANY BEST MANAGEMENT PRACTICES WITHIN THE NEXT WORKING DAY AFTER THEIR INSTALLATION.
- 11. OBTAIN PERMISSION IN WRITING FROM THE CITY OF WAUWATOSA ENGINEERING DEPARTMENT PRIOR TO MODIFYING THE EROSION CONTROL PLAN. 12. REPAIR ANY SILTATION OR EROSION DAMAGE TO ADJOINING SURFACES AND
- DRAINAGE WAYS RESULTING FROM LAND DEVELOPMENT OR LAND DISTURBING ACTIVITIES. 13. INSPECT THE BEST MANAGEMENT PRACTICES AFTER EACH RAIN OF 0.5 INCH OR
- MORE AND AT LEAST ONCE EACH WEEK AND MAKE NEEDED REPAIRS. 14. KEEP A COPY OF THE EROSION CONTROL PLAN ON THE SITE.

SPECIFICATIONS FOR GRADING & EROSION CONTROL

- 1. THE CONTRACTOR SHALL ASSUME SOLE RESPONSIBILITY FOR THE COMPUTATIONS OF ALL GRADING AND FOR ACTUAL LAND BALANCE, INCLUDING UTILITY TRENCH SPOIL. THE CONTRACTOR SHALL IMPORT OR EXPORT MATERIAL AS NECESSARY TO COMPLETE THE PROJECT. CONTRACTOR SHALL NOTIFY OWNER OF THE NEED TO IMPORT OR HAUL OFF SOIL. ON-SITE LOCATIONS SUITABLE FOR BORROW OR FILL MAY BE PRESENT. COORDINATE WITH OWNER.
- 3. SPOT ELEVATIONS REPRESENT THE GRADE ALONG THE CURB FLANGE UNLESS
- OTHERWISE NOTED. 4. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING SOIL CONDITIONS PRIOR TO
- COMMENCEMENT OF CONSTRUCTION. A GEOTECHNICAL REPORT IS AVAILABLE FROM THE OWNER. 5. SITE SHALL BE CLEARED TO THE LIMITS SHOWN ON THE PLANS. REMOVE
- VEGETATION FROM THE SITE. BURNING IS NOT PERMITTED. PROTECT TREES AND OTHER FEATURES FROM DAMAGE WITH FENCING. STOCKPILES SHALL NOT BE LOCATED CLOSER THAN 25' TO A DRAINAGE STRUCTURE OR FEATURE AND SHALL BE SURROUNDED WITH SILT FENCE.
- 6. THE GEOTECHNICAL ENGINEER IS RESPONSIBLE FOR VERIFYING COMPACTION AND FILL PLACEMENT IN THE FIELD. THE GEOTECHNICAL ENGINEER MAY SUPERCEDE THESE SPECIFICATIONS IF THERE IS GOOD CAUSE TO DO SO. AN EXPLANATION MUST BE SUBMITTED TO THE ENGINEER IN WITTING BEFORE ANY DEVIATIONS ARE MADE.
- 7. IF NO GEOTECHNICAL RECOMMENDATION IS AVAILABLE, THEN THE FOLLOWING SPECIFICATIONS SHALL APPLY. ALL FILL SHALL BE CONSIDERED STRUCTURAL FILL AND SHALL BE PLACED IN
- ACCORDANCE WITH THE FOLLOWING: THE COMPACTED FILL SUBGRADE SHALL CONSIST OF AND SHALL BE UNDERLAIN BY SUITABLE BEARING MATERIALS, FREE OF ALL ORGANIC, FROZEN OR OTHER DELETERIOUS MATERIAL AND INSPECTED AND APPROVED BY THE RESIDENT GEOTECHNICAL ENGINEER.
- PREPARATION OF THE SUBGRADE, AFTER STRIPPING, SHALL CONSIST OF PROOF-ROLLING TO DETECT UNSTABLE AREAS THAT MIGHT BE UNDERCUT, AND COMPACTING THE SCARIFIED SURFACE TO THE SAME MINIMUM DENSITY INDICATED BELOW.
- THE COMPACTED FILL MATERIALS SHALL BE FREE OF ANY DELETERIOUS, ORGANIC OR FROZEN MATTER AND SHALL HAVE A MAXIMUM LIQUID LIMIT (ASTM-D-423) AND PLASTICITY INDEX (ASTM D-424) IF 30 AND 10 RESPECTFULLY, UNLESS SPECIFICALLY TESTED AND FOUND TO HAVE LOW EXPANSIVE PROPERTIES AND APPROVED BY AN EXPERIENCED SOILS ENGINEER.
- THE TOP TWELVE (12") INCHES OF COMPACTED FILL SHOULD HAVE A MAXIMUM THREE (3") INCH PARTICLE DIAMETER AND ALL UNDERLYING COMPACTED FILL A MAXIMUM SIX (6") INCH PARTICLE DIAMETER UNLESS SPECIFICALLY APPROVED BY AN EXPERIENCED SOILS ENGINEER.
- ALL FILL MATERIAL MUST BE TESTED AND APPROVED UNDER THE DIRECTION AND SUPERVISION OF AN EXPERIENCED SOILS ENGINEER PRIOR TO PLACEMENT, IF THE FILL IS TO PROVIDE NON-FROST SUSCEPTIBLE CHARACTERISTICS, IT MUST BE CLASSIFIED AS A CLEAN GW, GP, SW, OR SP PER UNITED SOIL CLASSIFICATION SYSTEM (ASTM D-2487).
- FOR STRUCTURAL FILL THE DENSITY OF THE STRUCTURAL COMPACTED FILL AND SCARIFIED SUBGRADE AND GRADES SHALL NOT BE LESS THAN 95 PERCENT OF THE MAXIMUM DRY DENSITY AS DETERMINED BY THE STANDARD PROCTOR (ASTM D-698) WITH THE EXCEPTION TO THE TOP 12 INCHES OF PAVEMENT SUBGRADE WHICH SHALL A MINIMUM IN-SITU DENSITY OF 100 PERCENT OF THE MAXIMUM DRY DENSITY, OR 5 PERCENT HIGHER THAN UNDERLYING FILL MATERIALS.
- THE MOISTURE CONTENT OF COHESIVE SOIL SHALL NOT VARY BY MORE THAN -1 TO +3 PERCENT AND GRANULAR SOIL ±3 PERCENT OF OPTIMUM WHEN PLACED AND COMPACTED OR RECOMPACTED. UNLESS SPECIFICALLY APPROVED BY THE SOILS ENGINEER TAKING INTO CONSIDERATION THE TYPE OF MATERIALS AND COMPACTION EQUIPMENT BEING USED.
- EQUIPMENT SPECIFICALLY DESIGNED FOR SOIL COMPACTION. BULLDOZERS OR SIMILAR TRACKED VEHICLES ARE TYPICALLY NOT SUITABLE FOR COMPACTION.
- MATERIAL THAT IS TOO WET TO PERMIT PROPER COMPACTION MAY BE SPREAD ON THE FILL AND PERMITTED TO DRY. DISCING, HARROWING OR PULVERIZING MAY BE NECESSARY TO REDUCE THE MOISTURE CONTENT TO A SATISFACTORY VALUE, AFTER WHICH IT SHALL BE COMPACTED. THE FINISHED SUBGRADE AREAS OF THE SITE SHALL BE COMPACTED TO 100 PERCENT OF THE STANDARD PROCTOR (ASTM D-398) MAXIMUM DENSITY.
- NO FILL SHALL BE PLACED ON A WET OR SOFT SUBGRADE. THE SUBGRADE SHALL BE PROOF-ROLLED AND INSPECTED BY THE GEOTECHNICAL ENGINEER BEFORE ANY MATERIAL IS PLACED.
- 6. SUBGRADE TOLERANCES ARE +/-1" FOR LANDSCAPE AREAS AND +/- ½" FOR ALL PAVEMENT AND BUILDING AREAS.
- VEGETATION. ROCKS OVER 2" DIAMETER AND SHALL NOT BE EXCESSIVELY CLAYEY IN NATURE. NO CLUMPS LARGER THAN 4" ARE ACCEPTABLE. TOPSOIL MAY BE AMENDED AS NEEDED WITH SAND OR COMPOST TO BE LOOSE WHEN SPREAD.
- 8. THE CONTRACTOR SHALL MAINTAIN SITE DRAINAGE THROUGHOUT CONSTRUCTION. THIS MAY INCLUDE THE EXCAVATION OF TEMPORARY DITCHES OR PUMPING TO ALLEVIATE WATER PONDING. ANY DEWATERING SHALL NOT GO DIRECTLY TO STREAMS, CREEKS, WETLANDS OR OTHER ENVIRONMENTALLY SENSITIVE AREAS WITHOUT BEING TREATED FIRST. A DIRT BAG OR OTHER DEWATERING TREATMENT DEVICE MAY BE USED TO CAPTURE SEDIMENT FROM THE PUMPED WATER.
- 9. CONTRACTOR IS ADVISED THAT ALL MUD AND DEBRIS MUST NOT BE DEPOSITED ONTO THE ADJACENT ROADWAYS PER THE REQUIREMENT OF THE MUNICIPALITY OR OTHER APPROPRIATE GOVERNMENT AGENCIES. IN THE EVENT THIS OCCURS. THE ROADWAYS SHALL BE POWER SWEPT IMMEDIATELY AND ALL SEDIMENT REMOVED FROM DOWNSTREAM FACILITIES.
- 10. SURVEY BENCHMARKS AND MAPPING HAS BEEN PROVIDED BY PINNACLE ENGINEERING GROUP, IN NO WAY DOES PEG WARRANT THE BASEMAP IS ALL INCLUSIVE OR REPRESENTATIVE OF ACTUAL CONDITIONS. CONTRACTOR SHALL PROVIDE CHECKS AS NECESSARY TO VERIFY THE BASEMAP CONTENT AND ACCURACY.

THE COMPACTION EQUIPMENT SHOULD CONSIST OF SUITABLE MECHANICAL

7. TOPSOIL SHALL BE FREE OF DELETERIOUS MATERIALS, ROOTS, OLD

SPECIFICATIONS FOR UTILITIES

- 1. BEFORE PROCEEDING WITH ANY UTILITY CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE EACH EXISTING LATERAL OR POINT OF CONNECTION AND VERIFY THE LOCATION AND ELEVATION OF ALL UTILITIES. IF ANY EXISTING UTILITIES ARE NOT AS SHOWN ON THE DRAWINGS, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY FOR POSSIBLE REDESIGN.
- 2. EXISTING UTILITIES ARE SHOWN FOR INFORMATIONAL PURPOSES ONLY AND ARE NOT GUARANTEED TO BE ACCURATE OR ALL INCLUSIVE. CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE TYPE, LOCATION, SIZE AND ELEVATION OF UNDERGROUND UTILITIES AS THEY DEEM NECESSARY FOR PROPOSED UTILITY CONNECTIONS AND/OR TO AVOID DAMAGE THERETO. CONTRACTOR SHALL CALL "DIGGER'S HOTLINE" PRIOR TO ANY CONSTRUCTION.
- 3. ALL UTILITY WORK SHALL BE DONE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN (LATEST EDITION AND ADDENDUM) AND ALL STATE AND LOCAL CODES AND SPECIFICATIONS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE WHICH SPECIFICATIONS AND CODES APPLY, AND TO COORDINATE ALL CONSTRUCTION ACTIVITIES WITH THE APPROPRIATE LOCAL AND STATE AUTHORITIES.
- 4. UTILITY CONSTRUCTION AND SPECIFICATIONS SHALL COMPLY WITH THE CITY OF WAUWATOSA SPECIAL PROVISIONS AND WISCONSIN DEPARTMENT OF SAFETY AND PROFESSIONAL SERVICES COMM 82.
- 5. LENGTHS OF PROPOSED UTILITIES ARE TO CENTER OF STRUCTURES OR FITTINGS AND MAY VARY SLIGHTLY FROM PLAN. LENGTHS ARE SHOWN FOR CONTRACTOR CONVENIENCE ONLY. CONTRACTOR IS SOLELY RESPONSIBLE FOR COMPUTATIONS OF MATERIALS REQUIRED TO COMPLETE WORK. LENGTHS SHALL BE FIELD VERIFIED DURING CONSTRUCTION.
- 6. CONTRACTOR SHALL ADJUST AND/OR RECONSTRUCT EXISTING UTILITY COVERS (SUCH AS MANHOLE COVERS, VALVE BOX COVERS, ETC.) TO MATCH FINISHED GRADES OF THE AREAS DISTURBED DURING CONSTRUCTION.
- 7. CONTRACTOR SHALL FIELD VERIFY LOCATIONS, ELEVATIONS, AND SIZES OF PROPOSED UTILITIES AND CHECK ALL UTILITY CROSSINGS FOR CONFLICTS PRIOR TO ATTEMPTING CONNECTIONS AND BEGINNING UTILITY CONSTRUCTION AND NOTIFY THE OWNER OF ANY DISCREPANCIES OR CONFLICTS.
- 8. THE CONTRACTOR SHALL CONTACT THE CITY OF WAUWATOSA PUBLIC WORKS DEPARTMENT 48-HOURS IN ADVANCE OF SANITARY, WATER AND STORM CONNECTIONS TO THE CITY-OWNED SYSTEM TO SCHEDULE INSPECTIONS.
- 9. IT IS THE CONTRACTOR'S RESPONSIBILITY TO COORDINATE WITH THE PROPER AUTHORITIES FOR ANY REQUIRED PERMITS, AUTHORIZATIONS, TRAFFIC CONTROL AND ANY PERMIT FEES REQUIRED.
- 10. FIELD TILE CONNECTION ALL FIELD TILE ENCOUNTERED DURING CONSTRUCTION SHALL BE INCLUDED IN THE UNIT PRICE(S) FOR STORM SEWER. TILE LINES CROSSED BY THE TRENCH SHALL BE REPLACED WITH THE SAME MATERIAL AS THE STORM SEWER.
- 11. THE CONTRACTOR IS RESPONSIBLE FOR THE SIZE, TYPE AND NUMBER OF WATER MAIN BENDS, HORIZONTAL AND VERTICAL, REQUIRED TO COMPLETE CONSTRUCTION. COST FOR BENDS, HORIZONTAL AND VERTICAL, SHALL BE INCIDENTAL AND INCLUDED IN THE OVERALL COST OF THE CONTRACT.
- 12. STORM SEWER SPECIFICATIONS -

HIGH DENSITY DUAL-WALL POLYETHYLENE N-12 CORRUGATED PIPE (HDPE) SHALL BE AS MANUFACTURED BY ADS OR EQUAL WITH WATER TIGHT JOINTS, AND SHALL MEET THE REQUIREMENTS OF AASHTO DESIGNATION M-294 TYPE "S". OR POLYVINYL CHLORIDE (PVC) - CLASS PS46 MEETING AASHTO M278, AS NOTED. IF HDPE PIPE IS USED FOR POND OUTFALLS, A MINIMUM OF THREE (3) SECTIONS (2 STRAPS) SHALL BE STRAPPED TOGETHER.

INLETS/CATCH BASINS - INLETS/CATCH BASINS SHALL BE CONSTRUCTED IN ACCORDANCE WITH FILE NO. 25 OF THE "STANDARD SPECIFICATIONS" WITH A 1'-8" X 2'-6" MAXIMUM OPENING. FRAME & GRATE SHALL BE NEENAH R-2501 WITH TYPE G GRATE, OR EQUAL. CURB FRAME & GRATE SHALL BE NEENAH R-3229-A, OR EQUAL. THE SUMP DEPTH (VERTICAL DISTANCE FROM THE BASE OF THE STRUCTURE TO OUTFALL INVERT OF THE PIPE) SHALL BE 18" MIN. STRUCTURE SHOP DRAWINGS SHALL BE SUBMITTED TO PINNACLE ENGINEERING GROUP FOR REVIEW AND APPROVAL PRIOR TO MANUFACTURING AND INSTALLATION.

BACKFILL AND BEDDING - STORM SEWER SHALL BE CONSTRUCTED WITH GRAVEL BACKFILL AND CLASS "B" BEDDING IN ALL PAVED AREAS AND TO A POINT 5 FEET BEYOND THE EDGE OF PAVEMENT. TRENCHES RUNNING PARALLEL TO AND LESS THAN 5 FEET FROM THE EDGE OF PAVEMENT SHALL ALSO REQUIRE GRAVEL BACKFILL. LANDSCAPED AREAS MAY BE BACKFILLED WITH EXCAVATED MATERIAL IN CONFORMANCE WITH SECTION 8.43.5 OF THE "STANDARD SPECIFICATIONS".

MANHOLE FRAMES AND COVERS - MANHOLE FRAMES AND COVERS SHALL BE NEENAH R-1642 WITH TYPE "B" SELF SEALING LIDS, NON-ROCKING OR EQUAL .

IF HDPE PIPE IS USED FOR POND OUTFALLS. A MINIMUM OF THREE (3) SECTIONS (2 STRAPS) SHALL BE STRAPPED TOGETHER.

16. WATER MAIN SPECIFICATIONS -PIPE - WATER MAIN SHALL BE POLYVINYL CHLORIDE (PVC) PIPE MEETING THE REQUIREMENTS OF AWWA STANDARD C-900, CLASS 150, DR-18, WITH CAST IRON O.D. AND INTEGRAL ELASTOMERIC BELL AND SPIGOT JOINTS. VALVES AND VALVE BOXES - GATE VALVES SHALL BE AWWA GATE VALVES MEETING THE REQUIREMENTS OF AWWA C-500 AND CHAPTER 8.27.0 OF THE "STANDARD SPECIFICATIONS". GATE VALVES AND VALVE BOXES SHALL CONFORM TO LOCAL

PLUMBING ORDINANCES.

HYDRANTS - HYDRANTS SHALL CONFORM TO THE SPECIFICATIONS OF THE CITY OF WAUWATOSA AND IN ACCORDANCE WITH FILE NO. 38 OF THE "STANDARD SPECIFICATIONS." THE DISTANCE FROM THE GROUND LINE TO THE CENTERLINE OF THE LOWEST NOZZLE AND THE LOWEST CONNECTION OF THE FIRE DEPARTMENT SHALL BE NO LESS THAN 18-INCHES AND NO GREATER THAN 23-INCHES.

BEDDING AND COVER MATERIAL - PIPE BEDDING AND COVER MATERIAL SHALL BE SAND, CRUSHED STONE CHIPS OR CRUSHED STONE SCREENINGS CONFORMING TO CHAPTER 8.43.2 OF THE "STANDARD SPECIFICATIONS".

BACKFILL - BACKFILL MATERIAL AND INSTALLATION SHALL BE IN ACCORDANCE WITH CHAPTER 2.6.0 OF THE "STANDARD SPECIFICATIONS". GRAVEL BACKFILL IS REQUIRED IN ALL PAVED AREAS AND TO A POINT 5 FEET BEYOND THE EDGE OF PAVEMENT. TRENCHES RUNNING PARALLEL TO AND LESS THAN 5 FEET FROM THE EDGE OF PAVEMENT SHALL ALSO REQUIRE GRAVEL BACKFILL. LANDSCAPED AREAS MAY BE BACKFILLED WITH EXCAVATED MATERIAL IN CONFORMANCE WITH SECTION 8.43.5 OF THE "STANDARD SPECIFICATIONS".

17. SANITARY SEWER SPECIFICATIONS -PIPE - SANITARY SEWER PIPE MATERIAL SHALL BE POLYVINYL CHLORIDE (PVC) MEETING REQUIREMENTS OF ASTM D 3034, SDR-35, WITH INTEGRAL BELL TYPE FLEXIBLE ELASTOMERIC JOINTS, MEETING THE REQUIREMENTS OF ASTM D-3212.

BEDDING AND COVER MATERIAL - BEDDING AND COVER MATERIAL SHALL CONFORM TO THE APPROPRIATE SECTIONS OF THE "STANDARD SPECIFICATION" WITH THE FOLLOWING MODIFICATION: "COVER MATERIAL SHALL BE THE SAME AS USED FOR BEDDING AND SHALL CONFORM TO SECTION 8.43.2 (A). BEDDING AND COVER MATERIAL SHALL BE PLACED IN A MINIMUM OF THREE SEPARATE LIFTS. OR AS REQUIRED TO INSURE ADEQUATE COMPACTING OF THESE MATERIALS, WITH ONE LIFT OF BEDDING MATERIAL ENDING AT OR NEAR THE SPRINGLINE OF THE PIPE. THE CONTRACTOR SHALL TAKE CARE TO COMPLETELY WORK BEDDING MATERIAL UNDER THE HAUNCH OF THE PIPE TO PROVIDE ADEQUATE SIDE SUPPORT."

BACKFILL - BACKFILL MATERIAL AND INSTALLATION SHALL BE IN ACCORDANCE CHAPTER 2.6.0 OF THE "STANDARD SPECIFICATIONS." GRAVEL BACKFILL IS REQUIRED IN ALL PAVED AREAS AND TO A POINT 5 FEET BEYOND THE EDGE OF PAVEMENT. TRENCHES RUNNING PARALLEL TO AND LESS THAN 5 FEET FROM THE EDGE OF PAVEMENT SHALL ALSO REQUIRE GRAVEL BACKFILL. LANDSCAPED AREAS MAY BE BACKFILLED WITH EXCAVATED MATERIAL IN CONFORMANCE WITH SECTION 8.43.5 OF THE "STANDARD SPECIFICATIONS."

MANHOLES - MANHOLES SHALL BE CONSTRUCTED IN ACCORDANCE WITH FILE NOS. 12, 13 AND 15 OF THE "STANDARD SPECIFICATIONS" AND ALL SPECIAL PROVISIONS OF THE CITY OF WAUWATOSA. STRUCTURE SHOP DRAWINGS SHALL BE SUBMITTED TO PINNACLE ENGINEERING GROUP FOR REVIEW AND APPROVAL PRIOR TO MANUFACTURING AND INSTALLATION.

MANHOLE FRAMES AND COVERS - MANHOLE FRAMES AND COVERS SHALL BE NEENAH R-1642 WITH TYPE "B" SELF SEALING LIDS, NON-ROCKING OR EQUAL

- 18. WATER MAIN AND SANITARY SEWER SHALL BE INSULATED WHEREVER THE DEPTH OF COVER IS LESS THAN 6 FEET. INSULATION AND PLACING OF INSULATION SHALL CONFORM TO CHAPTER 4.17.0 "INSULATION" OF THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN 6TH EDITION UPDATED WITH ITS LATEST ADDENDUM (TYP.).
- 19. TRACER WIRE SHALL BE INSTALLED IN ACCORDANCE WITH THE PROVISIONS OF THESE CODE SECTIONS AS PER 182.0715(2R) OF THE STATUTES. THE TRACER WIRE FOR THE SANITARY SEWER LATERAL SHALL BE CONTINUOUS AND SHALL BE EXTENDED ABOVE GRADE VIA A 4-INCH PVC PIPE WITH SCREW-ON CAP ADJACENT TO THE PROPOSED TERMINATION POINT OF THE LATERAL FOR THE PROPOSED BUILDING.
- 20. FULL TIME INSPECTION OF THE PUBLIC WATER MAIN CONSTRUCTION WILL BE REQUIRED PER WDNR REGULATIONS.

21. SEE UTILITY PLANS AND CONSTRUCTION DETAILS FOR ADDITIONAL INFORMATION.

SPECIFICATIONS FOR PAVING

- 1. AGGREGATES USED IN THE CRUSHED STONE BASE SHALL CONFORM TO THE GRADATION REQUIREMENTS SECTIONS 301.2 AND 305.2.2 OF THE STANDARD SPECIFICATIONS. THICKNESS SHALL BE PER THE DETAIL ON THE PLANS. BASE SHALL BE 1 ¹/₄" INCH DIAMETER LIMESTONE TRAFFIC BOND AGGREGATE BASE COURSE UNLESS NOTED OTHERWISE. SUBSTITUTION AND/OR RECYCLED MATERIALS MAY BE ALLOWED WITH APPROVAL FROM THE OWNER.
- SUBGRADE SHALL BE PROOFROLLED AND APPROVED BY A GEOTECHNICAL ENGINEER PRIOR TO PLACEMENT OF STONE BASE. EXCAVATE UNSUITABLE AREAS AND REPLACE WITH BREAKER RUN STONE AND RECOMPACT. REFER TO THE GEOTECHNICAL REPORT FOR ADDITIONAL SPECIFICATIONS.
- 3. EXISTING PAVEMENT SHALL BE SAWCUT IN NEAT STRAIGHT LINES TO FULL DEPTH AT ANY POINT WHERE EXISTING PAVEMENT IS REMOVED. CURB AND WALK SHALL BE REMOVED TO THE NEAREST JOINT. REMOVED PAVEMENT SHALL BE REPLACED WITH THE SAME SECTION AS EXISTING. MUNICIPAL STANDARDS MAY REQUIRE ADDITIONAL WORK.
- 4. CONCRETE FOR CURB, DRIVEWAY, WALKS AND NON-FLOOR SLABS SHALL CONFORM TO SECTION 415 OF THE STANDARD SPECIFICATIONS, GRADE A, ASTM C-94, 6 BAG MIX, WITH A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 3,500 PSI. JOINTING SHALL BE PER SECTION 415.3.7, 602.3.2.5, AND 601.3.4-5, OF THE STANDARD SPECIFICATIONS.
- 5. CONSTRUCTION JOINTS SHALL BE SPACED NOT FURTHER THAN 10' FOR PAVEMENT, 10' FOR SIDEWALKS (OR THE WIDTH OF THE WALK), AND 15' FOR CURB. EXPANSION JOINTS SHALL BE SPACED NO FURTHER THAN 50' FOR PAVEMENT, 300' FOR CURB, AND 100' FOR WALKS.
- CONCRETE SHALL BE FINISHED PER SECTION 415.3.8 WITH A MEDIUM BROOM TEXTURE. A CURING MEMBRANE IN CONFORMANCE WITH SECTION 415.3.12 IS REQUIRED.
- ALL DIMENSIONS ARE FACE OF CURB TO FACE OF CURB, BUILDING FOUNDATION. OR PROPERTY LINE UNLESS NOTED OTHERWISE. ALL UTILITY DIMENSIONS ARE TO OUTSIDE OF PIPE OR CENTER OF STRUCTURE UNLESS OTHERWISE NOTED. ALL PAVING DIMENSIONS ARE TO FACE OF CURB OR TO EDGE OF PAVEMENT: EXCEPT FOR THE SETBACK FROM PARKING LOTS, MANEUVERING LANES AND FIRE ACCESS LANES, WHERE THE SETBACK IS MEASURED FROM THE BACK OF CURB TO THE PROPERTY LINE.
- 8. ALL RADII ARE MEASURED TO FACE OF CURB UNLESS NOTED OTHERWISE
- 9. CONTRACTOR SHALL CONSULT STRIPING COLOR WITH OWNER PRIOR TO CONSTRUCTION. 10. PROVIDE CONTRACTOR GRADE ACRYLIC, STRIPING PAINT FOR NEW ASPHALT OR
- COATED ASPHALT. APPLY MARKING PAINT AT A RATE OF ONE (1) GALLON PER THREE TO FOUR HUNDRED (300-400) LINEAL FEET OF FOUR (4) INCH WIDE STRIPES OR TO MANUFACTURER'S SPECIFICATION, WHICHEVER IS GREATER.
- 11. THOROUGHLY CLEAN SURFACES FREE OF DIRT, SAND, GRAVEL, OIL AND OTHER FOREIGN MATTER. CONTRACTOR RESPONSIBLE TO INSPECT EXISTING PAVEMENT SURFACES FOR CONDITIONS AND DEFECTS THAT WILL ADVERSELY AFFECT QUALITY OF WORK, AND WHICH CANNOT BE PUT INTO AN ACCEPTABLE CONDITION THROUGH NORMAL PREPARATORY WORK AS SPECIFIED.
- 12. DO NOT PLACE MARKING OVER UNSOUND PAVEMENTS. IF THESE CONDITIONS EXIST, NOTIFY OWNER. STARTING INSTALLATION CONSTITUTES CONTRACTOR'S ACCEPTANCE OF SURFACE AS SUITABLE FOR INSTALLATION.
- 13. LAYOUT MARKINGS USING GUIDE LINES, TEMPLATES AND FORMS. STENCILS AND TEMPLATES SHALL BE PROFESSIONALLY MADE TO INDUSTRY STANDARDS. "FREE HAND" PAINTING OF ARROWS, SYMBOLS, OR WORDING SHALL NOT BE ALLOWED. APPLY STRIPES STRAIGHT AND EVEN.
- 14. PROTECT ADJACENT CURBS, WALKS, FENCES, AND OTHER ITEMS FROM RECEIVING PAINT.
- 15. BARRICADE MARKED AREAS DURING INSTALLATION AND UNTIL THE MARKING PAINT IS DRIED AND READY FOR TRAFFIC. 16. ASPHALTIC CONCRETE PAVING SPECIFICATIONS-

CODES AND STANDARDS: THE PLACING, CONSTRUCTION AND COMPOSITION OF THE ASPHALTIC BASE COURSE AND ASPHALTIC CONCRETE SURFACING SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF SECTIONS 450, 455, 460 AND 465 OF THE STATE OF WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, EDITION OF 2005. HEREAFTER, THIS PUBLICATION WILL BE REFERRED TO AS THE STATE HIGHWAY SPECIFICATIONS.

WEATHER LIMITATIONS: APPLY TACK COATS WHEN AMBIENT TEMPERATURE IS ABOVE 50° F (10° C) AND WHEN TEMPERATURE HAS NOT BEEN BELOW 35° F (1° C) FOR 12 HOURS IMMEDIATELY PRIOR TO APPLICATION. DO NOT APPLY WHEN BASE IS WET OR CONTAINS EXCESS OF MOISTURE, CONSTRUCT ASPHALTIC CONCRETE SURFACE COURSE WHEN ATMOSPHERIC TEMPERATURE IS ABOVE 40° (4°C) AND WHEN BASE IS DRY AND WHEN WEATHER IS NOT RAINY. BASE COURSE MAY BE PLACED WHEN AIR TEMPERATURE IS ABOVE 30° F (-1° C).

GRADE CONTROL: ESTABLISH AND MAINTAIN REQUIRED LINES AND ELEVATIONS FOR EACH COURSE DURING CONSTRUCTION.

CRUSHED AGGREGATE BASE COURSE: THE TOP LAYER OF BASE COURSE SHALL CONFORM TO SECTIONS 301 AND 305, STATE HIGHWAY SPECIFICATIONS.

BINDER COURSE AGGREGATE: THE AGGREGATE FOR THE BINDER COURSE HALL CONFORM TO SECTIONS 460.2.7 AND 315, STATE HIGHWAY SPECIFICATIONS.

SURFACE COURSE AGGREGATE: THE AGGREGATE FOR THE SURFACE COURSE SHALL CONFORM TO SECTIONS 460.2.7 AND 465, STATE HIGHWAY SPECIFICATIONS.

ASPHALTIC MATERIALS: THE ASPHALTIC MATERIALS SHALL CONFORM TO SECTION 455 AND 460, STATE HIGHWAY SPECIFICATIONS.

SURFACE PREPARATION: NOTIFY CONTRACTOR OF UNSATISFACTORY CONDITIONS. DO NOT BEGIN PAVING WORK UNTIL DEFICIENT SUBBASE AREAS HAVE BEEN CORRECTED AND ARE READY TO RECEIVE PAVING.



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WINGSPAN DEVELPMENT GROUP 1001 Feehanville Drive - Mount Prospect, IL 60056 CITADEL PROPERTY ADVISORS 100 South Wacker Drive, Suite 950 - Chicago, Illinois 60606

PROJECT NUMBER

223467.00

ISSUED FOR:

Minor PUD Amendment

REVISION FOR: NO. DESCRIPTION

DATE

10/09/24



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NOTE & SPECIFICATIONS









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EXISTING CONDITIONS PLAN

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DEMOLITION & EROSION CONTROL PLAN









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SITE LAYOUT & PAVING PLAN OVERVIEW





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SITE LAYOUT & PAVING PLAN

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SITE GRADING & DRAINAGE PLAN OVERVIEW

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SITE GRADING & DRAINAGE PLAN

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UTILITY PLAN - STORM SEWER

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UTILITY PLAN - SANITARY & WATER

UTILITY PLAN -INTERCEPTOR STORM SEWER (N. 113TH STREET)

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Engberg Anderson ARCHITECTS

- PIPE WATER MAIN SHALL BE POLYVINYL CHLORIDE (PVC) PIPE MEETING THE REQUIREMENTS OF AWWA STANDARD C-900, CLASS 150, DR-18, WITH CAST IRON O.D. AND INTEGRAL ELASTOMERIC BELL AND SPIGOT JOINTS. VALVES AND VALVE BOXES -GATE VALVES SHALL BE AWWA GATE VALVES MEETING THE REQUIREMENTS OF AWWA C-500 AND CHAPTER 8.27.0 OF THE "STANDARD SPECIFICATIONS". GATE VALVES AND VALVE BOXES SHALL CONFORM TO LOCAL PLUMBING ORDINANCES.
- HYDRANTS HYDRANTS SHALL CONFORM TO THE SPECIFICATIONS OF THE CITY OF WAUWATOSA AND IN ACCORDANCE WITH FILE NO. 38 OF THE "STANDARD SPECIFICATIONS." THE DISTANCE FROM THE GROUND LINE TO THE CENTERLINE OF THE LOWEST NOZZLE AND THE LOWEST CONNECTION OF THE FIRE DEPARTMENT SHALL BE NO LESS THAN 18-INCHES AND NO GREATER THAN 23-INCHES.
- BEDDING AND COVER MATERIAL PIPE BEDDING AND COVER MATERIAL SHALL BE SAND, CRUSHED STONE CHIPS OR CRUSHED STONE SCREENINGS CONFORMING TO CHAPTER 8.43.2 OF THE "STANDARD SPECIFICATIONS".
- BACKFILL BACKFILL MATERIAL AND INSTALLATION SHALL BE IN ACCORDANCE WITH CHAPTER 2.6.0 OF THE "STANDARD SPECIFICATIONS". GRAVEL BACKFILL IS REQUIRED IN ALL PAVED AREAS AND TO A POINT 5 FEET BEYOND THE EDGE OF PAVEMENT. TRENCHES RUNNING PARALLEL TO AND LESS THAN 5 FEET FROM THE EDGE OF PAVEMENT SHALL ALSO REQUIRE GRAVEL BACKFILL. LANDSCAPED AREAS MAY BE BACKFILLED WITH EXCAVATED MATERIAL IN CONFORMANCE WITH SECTION 8.43.5 OF THE "STANDARD SPECIFICATIONS".
- 12. WATER MAIN SHALL BE INSULATED WHEREVER THE DEPTH OF COVER IS LESS THAN 6 FEET. INSULATION AND PLACING OF INSULATION SHALL CONFORM TO CHAPTER 4.17.0 "INSULATION" OF THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN 6TH EDITION UPDATED WITH ITS LATEST ADDENDUM (TYP.).
- 13. TRACER WIRE SHALL BE INSTALLED IN ACCORDANCE WITH THE PROVISIONS OF THESE CODE SECTIONS AS PER 182.0715(2R) OF THE STATUTES.
- 14. FULL TIME INSPECTION OF THE PUBLIC WATER MAIN CONSTRUCTION WILL BE REQUIRED PER WDNR REGULATIONS.

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UTILITY PLAN - PUBLIC WATER MAIN RELAY (N. 112TH STREET)

1.0 POTENTIAL POLLUTANT SOURCES

GIVEN THE PROPOSED ACTIVITY ON THE PROJECT SITE, THE PRIMARY POTENTIAL POLLUTANT SOURCE ASSOCIATED WITH THIS CONSTRUCTION PROJECT IS SOIL EROSION AND TRANSPORTATION: REFER TO SECTION 4 OF THIS PLAN, ADDITIONAL POTENTIAL SOURCES OF POLLUTION MAY INCLUDE: FUEL TANKS, WASTE CONTAINERS, OIL OR OTHER PETROLEUM PRODUCTS, DETERGENTS, PAINTS, CONSTRUCTION DEBRIS, SANITARY STATIONS, FERTILIZERS, AND DUST; REFER TO SECTION 5 OF THIS PLAN.

2.0 EROSION AND SEDIMENT CONTROL IMPLEMENTATION

THE FOLLOWING ARE DESCRIPTIONS OF THE EROSION AND SEDIMENT CONTROL PRACTICES THAT SHALL BE IMPLEMENTED DURING CONSTRUCTION OF THIS PROJECT. IN ADDITION TO THESE MEASURES, CONTRACTOR SHALL DISTURB ONLY AREAS NECESSARY TO COMPLETE THE CONSTRUCTION PROJECT. ALL PRACTICES SHALL BE CONDUCTED IN ACCORDANCE WITH THE BEST MANAGEMENT PRACTICES (BMP).

2.1 CONSTRUCTION AND EROSION CONTROL SEQUENCING

CONSTRUCTION SEQUENCING WILL BE UTILIZED AS A MEANS OF CONTROLLING EROSION AND LIMITING SEDIMENT TRANSPORT. SEQUENCING AS LISTED BELOW IS GENERAL IN NATURE AND MAY VARY DEPENDING ON WEATHER CONDITIONS AND/OR PHASING OF CONSTRUCTION. THE CONTRACTOR SHALL SUBMIT A DETAILED SITE SEQUENCING PLAN TO OWNER FOR APPROVAL AT LEAST 5 BUSINESS DAYS PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES. CONTRACTOR MAY MODIFY SEQUENCING AFTER ITEM 6 AS NEEDED TO COMPLETE CONSTRUCTION ONLY IF EROSION CONTROLS ARE MAINTAINED IN ACCORDANCE WITH THE CONSTRUCTION SITE EROSION AND SEDIMENT CONTROL REQUIREMENTS.

- 1. INSTALL TEMPORARY CONSTRUCTION ENTRANCES, INLET PROTECTION ON EXISTING STORM SEWER AND CULVERT INLET LOCATIONS, AND PERIMETER SILT FENCING.
- 2. INSTALL SILT FENCING ALONG THE PERIMETER OF PROPOSED TOPSOIL STOCKPILE LOCATIONS. THE FIRST TOPSOIL DEPOSITED WITHIN THE STOCKPILE LIMITS SHALL BE PLACED TO CREATE TEMPORARY BERMING ALONG THE SILT FENCE TO PREVENT DIRECT STORMWATER RUNOFF AGAINST SILT FENCING. CONTRACTOR SHALL LIMIT LAND DISTURBING ACTIVITIES ASSOCIATED WITH TEMPORARY BERMING TO A MINIMUM.
- 3. STRIP TOPSOIL WITHIN THE LIMITS OF THE SEDIMENT TRAPS THAT WILL BE USED FOR TEMPORARY SEDIMENT CONTROL. STRIPPED TOPSOIL SHALL BE PLACED TO CONSTRUCT DIVERSION BERMING OR PLACED WITHIN THE STOCKPILE LIMITS
- 4. STRIP TOPSOIL ALONG THE REMAINDER OF DIVERSION BERMING AND IMMEDIATELY PLACE TOPSOIL TO CREATE THE BERMING. MASS TOPSOIL STRIPPING SHALL NOT OCCUR UNTIL ALL DOWNSTREAM SEDIMENT CONTROLS ARE IN PLACE. 5. CONDUCT ROUGH GRADING OPERATIONS AND UTILITY PIPING INSTALLATION. DRAIN TILE SHALL NOT BE INSTALLED UNTIL UPLAND AREAS
- CONTRIBUTING STORMWATER RUNOFF ARE STABILIZED. DITCH CHECKS SHALL BE INSTALLED WITHIN DRAINAGE DITCHES IMMEDIATELY FOLLOWING CREATION OF DITCHES AND INLET PROTECTION SHALL BE INSTALLED TO PROTECT ANY STORM SEWER OR CULVERTS THAT WILL FUNCTION DURING CONSTRUCTION.
- 6. FINE GRADE SUB-GRADE SOILS WITHIN PAVEMENT AND BUILDING LIMITS. PLACE STONE BASE MATERIAL AS SOON AS POSSIBLE FOLLOWING COMPLETION OF FINE GRADING EFFORTS.
- 7. FINE GRADE REMAINING DISTURBED AREAS. PLACE SALVAGED TOPSOIL, EROSION BLANKETS/MATTING, AND SEED/MULCH AS SOON AS POSSIBLE FOLLOWING COMPLETION OF FINE GRADING EFFORTS.
- 8. EROSION CONTROLS SHALL NOT BE REMOVED UNTIL SITE IS FULLY STABILIZED OR 70% VEGETATIVE COVER IS ESTABLISHED. CONTRACTOR IS RESPONSIBLE FOR REMOVAL OF SILT FENCE, TEMPORARY FENCING/PRETECTION, DITCH CHECKS, AND OTHER TEMPORARY CONTROLS, AND RESTORATION PRACTICES AS NECESSARY, TO THE SATISFACTION OF THE OWNER.

2.2 STABILIZATION PRACTICES

THE DATES WHEN MAJOR GRADING ACTIVITIES OCCUR, WHEN CONSTRUCTION ACTIVITIES TEMPORARILY OR PERMANENTLY CEASE ON A PORTION OF THE SITE, AND WHEN STABILIZATION MEASURES ARE INITIATED, SHALL BE RECORDED ON THE STABILIZATION SCHEDULE FOR MAJOR GRADING ACTIVITIES. STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED. NO MORE THAN SEVEN (7) DAYS SHALL PASS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS PERMANENTLY CEASED UNLESS:

THE INITIATION OF STABILIZATION MEASURES BY THE SEVENTH (7) DAY AFTER CONSTRUCTION ACTIVITY TEMPORARILY OR PERMANENTLY CEASE IS PRECLUDED BY SNOW COVER. IN THAT EVENT, STABILIZATION MEASURE SHALL BE INITIATED AS SOON AS PRACTICABLE.

CONSTRUCTION ACTIVITY WILL RESUME ON A PORTION OF THE SITE WITHIN FOURTEEN (14) DAYS FROM WHEN ACTIVITIES CEASED, (I.E. THE TOTAL TIME PERIOD THAT THE CONSTRUCTION ACTIVITY IS TEMPORARILY CEASED IS LESS THAN FOURTEEN (14) DAYS). IN THAT EVENT, STABILIZATION MEASURES DO NOT HAVE TO BE INITIATED ON THAT PORTION OF THE SITE BY THE SEVENTH (7) DAY AFTER CONSTRUCTION ACTIVITY HAS TEMPORARILY CEASED. SEE THE SOIL PROTECTION CHART PRESENTED IN THE CONSTRUCTION DOCUMENTS FOR RATES OF PERMANENT AND TEMPORARY VEGETATION.

STABILIZATION MEASURES SHALL BE DETERMINED BASED ON SITE CONDITIONS AT THE TIME CONSTRUCTION ACTIVITY HAS CEASED, INCLUDING BUT NOT LIMITED TO WEATHER CONDITIONS AND LENGTH OF TIME MEASURE MUST BE EFFECTIVE. THE FOLLOWING ARE ACCEPTABLE STABILIZATION MEASURES.

PERMANENT SEEDING; IN ACCORDANCE WITH APPROVED LANDSCAPING PLAN TEMPORARY SEEDING MAY CONSIST OF SPRING OATS (100LBS/ACRE) AND/OR WHEAT OR CEREAL RYE (150LBS/ACRE) HYDRO-MULCHING WITH A TACKIFIER

GEOTEXTILE EROSION MATTING SODDING

2.3 STRUCTURAL PRACTICES

THE FOLLOWING ARE DESCRIPTIONS OF STRUCTURAL PRACTICES TO BE IMPLEMENTED TO DIVERT FLOWS FROM EXPOSED SOILS, STORE FLOWS, OR OTHERWISE LIMIT THE DISCHARGE OF POLLUTANTS FROM EXPOSED AREAS OF THE SITE INCLUDING THE PROPOSED AND EXISTING WETLAND AREAS. SUCH PRACTICES COULD INCLUDE SILT FENCE, PROTECTION FENCE, CONSTRUCTION ENTRANCE, DITCH CHECK, EROSION CONTROL MATTING, DIVERSION BERM/SWALE, SEDIMENT TRAP, LEVEL SPREADER, INLET PROTECTION, OUTLET PROTECTION, AND TEMPORARY OR PERMANENT SEDIMENT BASIN. THE FOLLOWING STRUCTURAL PRACTICES ARE TO BE UTILIZED DURING THIS PROJECT.

SILT FENCE SHALL BE PLACED DOWN SLOPE OF DISTURBED AREAS OF THE CONSTRUCTION SITE AND AROUND THE PERIMETER OF THE TOPSOIL STOCKPILE. THIS INCLUDES PROTECTION OF EXISTING WETLAND AREAS TO BE MAINTAINED. SILT FENCE MAY ALSO BE USED AS A TEMPORARY CONTROL DEVICE WHERE SEDIMENTATION RUNOFF IS DISCOVERED.

CONSTRUCTION ENTRANCE SHALL BE INSTALLED TO REDUCE SOIL EROSION POLLUTANTS FROM LEAVING THE SITE DURING CONSTRUCTION ACTIVITIES. IF THE CRUSHED STONE DOES NOT ADEQUATELY REMOVE MUD FROM VEHICLE TIRES, THEY SHALL BE HOSED OFF BEFORE ENTERING A PAVED ROADWAY. ANY SOIL DEPOSITED ON THE PUBLIC PAVED ROAD WAY SHALL BE REMOVED IMMEDIATELY.

<u>DITCH CHECK (STRAW BALES)</u> SHALL BE INSTALLED IN DRAINAGE CHANNELS AS NEEDED.

EROSION CONTROL MATTING SHALL BE PLACED ON AREAS OR EMBANKMENTS HAVING SLOPES GREATER THAN OR EQUAL TO 3H:1V, BEFORE VEGETATION IS ESTABLISHED.

DIVERSION BERM/SWALE SHALL BE CONSTRUCTED TO DIVERT RUNOFF AROUND THE SITE AND TO DIVERT RUNOFF FROM THE DISTURBED AREA TO A

SEDIMENT TRAP OR OTHER CONTROL. BERMS/SWALES SHALL BE STABILIZED WITH EQUIPMENT TRACKING AND TEMPORARY SEEDING. SEDIMENT TRAPS/BASIN SHALL BE CONSTRUCTED TO COLLECT RUNOFF AND RUNOFF FROM SITE DIVERSION BERMS/SWALES.

INLET PROTECTION SHALL BE INSTALLED AT STORMWATER DRAINAGE INLETS TO REDUCE SEDIMENT WITHIN STORM SEWER CONVEYANCE

OUTLET SCOUR PROTECTION SHALL BE INSTALLED AT STORMWATER DRAINAGE OUTLETS TO DIFFUSE FLOWS.

3.0 ADDITIONAL PRACTICES

ADDITIONAL POLLUTANT CONTROL MEASURES TO BE IMPLEMENTED DURING CONSTRUCTION ACTIVITIES SHALL INCLUDE, BUT NOT BE LIMITED TO THE FOLLOWING.

CONSTRUCTION WASTE SHALL BE PROPERLY DISPOSED OF. THIS INCLUDES ALL CONSTRUCTION SITE WASTE MATERIAL, SANITARY WASTE, AND WASTE FROM VEHICLE TRACKING OF SEDIMENTS. THE CONTRACTOR SHALL ENSURE THAT NO MATERIAL WASTES OR UNUSED BUILDING MATERIALS SHALL BE BURIED, DUMPED, BURNED, OR DISCHARGED TO THE WATERS OF THE STATE. VEHICLES HAULING MATERIAL AWAY FROM THE SITE SHALL BE COVERED WITH A TARPAULIN TO PREVENT BLOWING DEBRIS.

DUST CONTROL SHALL BE ACCOMPLISHED BY ONE OR MORE OF THE FOLLOWING METHODS:

COVERING 30% OR MORE OF THE SOIL SURFACE WITH A NON-ERODIBLE MATERIAL

ROUGHENING (EQUIPMENT TRACKING) THE SOIL TO PRODUCE RIDGES PERPENDICULAR TO THE PREVAILING WIND. RIDGES SHALL BE AT LEAST SIX (6) INCHES IN HEIGHT.

ONE-HALF THE ABOVE GROUND HEIGHT OF THE FENCE.

FREQUENT WATERING OF EXCAVATION AND FILL AREAS.

PROVIDING GRAVEL OR PAVING AT ENTRANCE/EXIT DRIVES, PARKING AREAS AND TRANSIT PATHS.

STREET SWEEPING SHALL BE PERFORMED TO IMMEDIATELY REMOVE ANY SEDIMENT TRACKED ON PAVEMENTS.

4.0 EROSION AND SEDIMENT STRUCTURAL PRACTICE MAINTENANCE

THE FOLLOWING MAINTENANCE PRACTICES SHALL BE USED TO MAINTAIN, IN GOOD AND EFFECTIVE OPERATING CONDITIONS, VEGETATION, EROSION AND SEDIMENT CONTROL MEASURES, AND OTHER PROTECTIVE MEASURES IDENTIFIED IN THIS PLAN. UPON IDENTIFICATION, DEFICIENCIES IN STORMWATER CONTROLS SHALL BE ADDRESSED IMMEDIATELY. THE MAINTENANCE PROCEDURES FOR THIS DEVELOPMENT SHALL INCLUDE, BUT NOT BE LIMITED TO THE BELOW.

SILT FENCE - REPAIR OR REPLACE ANY DAMAGED FILTER FABRIC AND/OR STAKES. REMOVE ACCUMULATED SEDIMENT WHEN IT HAS REACHED

<u>CONSTRUCTION ENTRANCE</u> - AS NEEDED, ADD STONE TO MAINTAIN CONSTRUCTION ENTRANCE DIMENSIONS AND EFFECTIVENESS.

DITCH CHECK (STRAW BALES) - RE-SECURE STAKES; ADJUST OR REPOSITION BALES TO ADDRESS PROPER FLOW OF STORMWATER; AND REMOVE ACCUMULATED SEDIMENT WHEN IT HAS REACHED ONE-HALF THE HEIGHT OF THE BALE.

EROSION CONTROL MATTING - REPAIR MATTING IMMEDIATELY IF INSPECTION REVEALS BREACHED OR FAILED CONDITIONS. REPAIR AND RE-GRADE SOIL WHERE CHANNELIZATION HAS OCCURRED.

<u>DIVERSION BERM/SWALE</u> - REPLACE OR RE-COMPACT THE CONSTRUCTION MATERIALS AS NECESSARY.

SEDIMENT TRAP - REMOVE AND DISPOSE OF THE ACCUMULATED SEDIMENT WHEN IT HAS REACHED THE SEDIMENT STORAGE ELEVATION. INLET PROTECTION - CLEAN, REPAIR OR REPLACE FILTER FABRIC AND/OR STONE WHEN CONTROL MEASURE IS CLOGGED. INLET FILTER BAGS SHALL

BE REPLACED ONCE ONE-HALF FULL OF SEDIMENT. OUTLET PROTECTION - CLEAN, REPAIR OR REPLACE FILTER FABRIC, TURF REINFORCEMENT MATTING AND/OR STONE WHEN CONTROL MEASURE IS

ONE-HALF FULL OF SEDIMENT. SEDIMENT BASIN - AT THE END OF CONSTRUCTION, CONTRACTOR SHALL REMOVE AND DISPOSE OF THE ACCUMULATED SEDIMENT AND RESTORE BASIN AREA TO INTENDED POST-CONSTRUCTION DESIGN GRADES.

5.0 INSPECTION

INSPECTIONS SHALL BE COMPLETED WITHIN TWENTY-FOUR (24) HOURS OF THE END OF A RAINFALL EVENT THAT IS ONE-HALF INCH OR GREATER OR EQUIVALENT SNOWFALL, OR AT A MINIMUM ONCE EVERY SEVEN (7) CALENDAR DAYS. INSPECTIONS SHALL BE UNDERTAKEN BY QUALIFIED PERSONNEL PROVIDED BY THE CONTRACTOR, AND SHALL INCLUDE: DISTURBED AREAS OF THE CONSTRUCTION SITE THAT HAVE NOT BEEN FINALLY STABILIZED. STRUCTURAL CONTROL MEASURES, AND LOCATIONS WHERE VEHICLES ENTER OR EXIT THE SITE. A STORMWATER POLLUTION PREVENTION PLAN INSPECTION REPORT SHALL BE COMPLETED AND ADDED TO THE SWPPP. RAINFALL SHALL BE RECORDED ON THE SWPPP RAINFALL LOG. CONTRACTOR SHALL IMMEDIATELY ARRANGE FOR REPAIR OR REPLACEMENT OF ANY DAMAGED OR DEFICIENT CONTROL MEASURES OBSERVED DURING THE INSPECTION.

QUALIFIED PERSONNEL MEANS A PERSON KNOWLEDGEABLE IN THE PRINCIPLES AND PRACTICES OF EROSION AND SEDIMENT CONTROL MEASURES, SUCH AS A LICENSED PROFESSIONAL ENGINEER, A CERTIFIED PROFESSIONAL IN EROSION AND SEDIMENT CONTROL, A CERTIFIED EROSION SEDIMENT OR STORMWATER INSPECTOR, OR OTHER TRAINED INDIVIDUAL.

6.0 SPILL PREVENTION

6.1 GENERAL MATERIAL MANAGEMENT PRACTICES

1. CONTRACTOR SHALL STORE ONLY ENOUGH PRODUCTS REQUIRED TO COMPLETE THIS PROJECT. 2. ALL MATERIAL SHALL BE STORED IN A NEAT, ORDERLY MANNER IN THEIR ORIGINAL CONTAINERS CONTAINING MANUFACTURER'S LABEL. 3. MANUFACTURERS' RECOMMENDATIONS FOR PROPER USE AND DISPOSAL SHALL BE FOLLOWED. 4. MATERIALS REQUIRED TO HAVE A MATERIAL SAFETY DATA SHEET (MSDS) SHALL HAVE A COPY STORED IN THE PROJECT'S MSDS DATABASE.

6.2 SPILL CONTROL PRACTICES

GENERAL INFORMATION:

THIS STORMWATER POLLUTION PREVENTION PLAN (SWPPP) HAS BEEN DEVELOPED TO FULFILL ONE OF THE REQUIREMENTS OF THE GENERAL ENVIRONMENTAL PROTECTION AGENCY (EPA) NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM (WISCONSIN POLLUTION DISCHARGE ELIMINATION SYSTEM "WPDES" PERMIT NO. WI-S067831-4) FOR THE DISCHARGE OF STORMWATER ASSOCIATED WITH CONSTRUCTION PROJECTS DISTURBING ONE ACRE OR MORE. THE OWNER AND CONTRACTORS SHALL COMPLY WITH ALL REQUIREMENTS OF THE WPDES FOR ALL SUCH CONSTRUCTION PROJECTS. THE STORMWATER DISCHARGES ASSOCIATED WITH THE CONSTRUCTION ACTIVITY FROM THIS SITE ARE SUBJECT TO THE CONDITIONS AND REQUIREMENTS OF THE PERMITS

SWPPP AVAILABILITY:

STABILIZATION. **KEEPING PLANS CURRENT**

THE CONTRACTOR SHALL AMEND THE PLAN WHENEVER THERE IS A CHANGE IN DESIGN CONSTRUCTION OPERATION OR MAINTENANCE WHICH HAS A SIGNIFICANT EFFECT ON THE POTENTIAL FOR THE DISCHARGE OF POLLUTANTS TO THE WATERS OF THE STATE AND WHICH HAS NOT OTHERWISE BEEN ADDRESSED IN THE PLAN OR IF THE PLAN PROVES TO BE INEFFECTIVE IN ELIMINATING OR SIGNIFICANTLY CONTROLLING POLLUTANTS IN STORMWATER DISCHARGES ASSOCIATED WITH CONSTRUCTION SITE ACTIVITY. IN ADDITION, THE THE PLAN SHALL BE AMENDED TO IDENTIFY ANY NEW CONTRACTOR AND/OR SUBCONTRACTOR THAT WILL IMPLEMENT A MEASURE OF THE PLAN. AMENDMENTS TO THE PLAN MAY BE REQUIRED BY THE MUNICIPALITY, OWNER, OR OTHER REVIEWING AGENCY. COPIES OF THE AMENDMENTS SHALL BE KEPT ONSITE AS PART OF THE SWPPP.

RETENTION OF RECORDS:

THE OWNER SHALL RETAIN COPIES OF THIS AND ALL REPORTS AND NOTICES REQUIRED BY THIS PERMIT, AND RECORDS OF ALL DATA USED TO COMPLETE THE NOTICE OF INTENT TO BE COVERED BY THIS PERMIT, FOR A PERIOD OF AT LEAST THREE YEARS FROM THE DATE PERMIT COVERAGE EXPIRES OR IS TERMINATED. THIS PERIOD MAY BE EXTENDED BY THE REQUEST OF THE AGENCY AT ANY TIME. IN ADDITION, THE OWNER SHALL RETAIN A COPY OF THE PLAN REQUIRED BY THIS PERMIT AT THE CONSTRUCTION SITE FROM THE DATE OF PROJECT INITIATION TO THE DATE OF FINAL STABILIZATION. A NOTICE OF INTENT (NOI) APPLICATION MUST BE COMPLETED AND INCORPORATED INTO THE SWPPP.

CONTROL MEASURE GROUP	CONTROL MEASURE	CONTROL MEASURE CHARACTERISTICS
VEGETATIVE	TEMPORARY SEEDING	PROVIDES QUICK TEMPORARY COVER TO CONTROL EROSION WHEN PERMANENT SEEDING IS NOT DESIRED OR TIME OF YEAR IS INAPPROPRIATE.
COVER	PERMANENT SEEDING	PROVIDES PERMANENT VEGETATIVE COVER TO CONTROL EROSION, FILTERS SEDIMENT FROM WATER. MAY BE PART OF FINAL LANDSCAPE PLAN.
NON VEGETATIVE	AGGREGATE COVER	PROVIDES TEMPORARY COVER ON ROADS AND PARKING LOTS AND AREAS WHERE VEGETATION CANNOT BE ESTABLISHED. PREVENTS MUD FROM BEING PICKED UP AND TRANSPORTED OFF-SITE.
SOIL COVER	PAVING	PROVIDES PERMANENT COVER ON PARKING LOTS AND ROADS OR OTHER AREAS WHERE VEGETATION CANNOT BE ESTABLISHED.
DIVERSIONS	DIVERSION BERM / SWALE	DIVERTS RUNOFF TO A SEDIMENT TRAP OR OTHER CONTROL.
ENCLOSED DRAINAGE	STORM SEWER	CONVEYS SEDIMENT LADEN WATER TO A SEDIMENT BASIN.
OUTLETS	APRON ENDWALL OR RIPRAP	PROTECTS DOWNSTREAM CHANNEL FROM HIGH VELOCITY OF FLOW DISCHARGING FROM STRUCTURE.
SEDIMENT BASINS	TEMPORARY SEDIMENT TRAP	CONSTRUCTED TO REMOVE SILTATION FROM RUNOFF FROM SITE DIVERSION BERMS/SWALES AND IN OVERLAND FLOOD ROUTE. CAN BE CONVERTED TO PERMANENT SEDIMENT BASIN.
	SILT FENCE	PLACED DOWN SLOPE OF DISTURBED AREA TO KEEP RUNOFF CONTAINED ON-SITE.
SEDIMENT	INLET PROTECTION	INSTALLED IN OPEN GRATE STRUCTURES TO COLLECT SEDIMENT.
HETEKO	DITCH CHECK	PLACED IN DRAINAGE CHANNELS TO FILTER SEDIMENT FROM RUNOFF.
MUD AND	CONSTRUCTION ENTRANCE	REDUCES SOIL EROSION POLLUTANTS BEING TRANSPORTED OFF-SITE.
DUST	STREET SWEEPING	REDUCES POLLUTANTS TRACKED FROM CONSTRUCTION SITE.
CONTROL	DUST CONTROL	PREVENTS DUST FROM LEAVING CONSTRUCTION SITE.

		S	БТАВ	ILIZA	TION	Ι υτι	LIZA	ΤΙΟΝ	PER	IODS		
STABILIZATION TYPE	JAN.	FEB.	MAR.	APR.	MAY	JUNE	JULY	AUG.	SEPT.	OCT.	NOV.	DEC.
PERMANENT SEEDING			A +	*	*	*	*	*	*			
DORMANT SEEDING	В †		\rightarrow								₿ ╋	\rightarrow
TEMPORARY SEEDING			¢	*	*	*	D *	*	$\stackrel{*}{\rightarrow}$			
SODDING			E +	*	*	*	*	*	*			
A. KENTUCKY BLUEGRASS 90 LBS/A B. KENTUCKY BLUEGRASS 135 LBS C. SPRING OATS 100 LBS/ACRE. D. WHEAT OR CEREAL RYE 150 LBS A. SOD.	ACRE MI 6/ACRE M 6/ACRE.	XED WIT 11XED WI	H PEREI TH PERE	NNIAL R` ENNIAL F	YEGRAS	S 30 LBS SS 45 LB	/ACRE. S/ACRE ·	+ 2 TONS	S STRAW	/ MULCH	/ACRE.	

F. STRAW MULCH 2 TONS/ACRE.

Compliance Areas Bare Soil Dispose Container Periods of Areas that Do Not Drain to General Planned I	f Inactivity Final Grade Inactivity Permanent Features edicted if Stability energy	
Areas that Do Not Drain to General Planned I	Inactivity <u>Permanent Features</u>	
Soil stockpiles that will exist for more than 7 daysAreas that Do Por Do Tain to Sediment Basins or TrapsDesign and implement approved soil stabilization practices per DNR technical standards.Stabilize imma area will be le more than 130 days.Utility trench backfillsAreas that Drain to Sediment Basins or TrapsDesign and implement approved soil stabilization practices per DNR technical standards.Stabilize imma area will be le more than 130 days.Temporary ditches/swales that will exist for more than 7 daysAreas that Drain to Sediment Basins or TrapsDesign and implement approved soil stabilization practices per DNR technical standards.Stabilize imma area will be le more than 14 d UnplannedPermanent ditches/swalesAreas that Drain to Sediment Basins or TrapsDesign and implement approved soil stabilization practices per DNR technical standards.Stabilize imma appropriate slope and slope length conditions.Stabilize area if period of ind reaches 14 dayDiscrete areas - Less than 1 acreLimit the duration of soit ereas of the site if less than 90 days.Provide slope interruption devices in accordance with Manufactured Perimeter Control & Slope Interruption Products Technical Standard 1071 or equivalent methods to reduce uninterrupted slope length.Stabilization mare will be le more than 14 d UnplannedStorm water practice side slopesSlopes steeper than 20%Limit the duration of soil endersDesign and implement appropriate slope interruption Products Technical Standard 1071 or equivalent methods to reduce uninterrupted slope length. </th <th>IterationStabilize area immediately after reaching final grade.InactivityTemporary Featureimmediately activity ys.Stabilize area immediately after establishment of temporary feature or reaching specified temporary grade.</th> <th><u>s</u></th>	IterationStabilize area immediately after reaching final grade.InactivityTemporary Featureimmediately activity ys.Stabilize area immediately after establishment of temporary feature or reaching specified temporary grade.	<u>s</u>

THE GOOD HOUSEKEEPING PRACTICES LISTED BELOW SHALL BE FOLLOWED THROUGHOUT THE CONSTRUCTION PROJECT.

THE PRACTICES LISTED BELOW SHALL BE FOLLOWED FOR SPILL PREVENTION AND CLEANUP.

1. MATERIALS AND EQUIPMENT NECESSARY FOR SPILL CLEANUP SHALL BE MAINTAINED ONSITE. 2. IMMEDIATELY UPON DISCOVERY, ALL SPILLS SHALL BE CLEANED UP ACCORDING TO THE MANUFACTURERS' RECOMMENDED METHODS.

3. PERSONNEL CLEANING UP A SPILL SHALL USE PERSONAL PROTECTIVE EQUIPMENT. 4. IMMEDIATELY UPON DISCOVERY, SPILLS OF TOXIC OR HAZARDOUS MATERIALS SHALL BE REPORTED TO THE OWNER AND GENERAL CONTRACTOR. 5. NOTIFICATION AND REPORTING TO THE APPROPRIATE FEDERAL, STATE, AND LOCAL GOVERNMENT AGENCIES SHALL BE MADE AS REQUIRED.

THE EXECUTED OWNER CERTIFICATION AND THE CONTRACTOR CERTIFICATIONS SHALL BE KEPT ONSITE WITH THE APPROVED PLANS.

THE OWNER SHALL RETAIN A COPY OF THE SWPPP AT THE CONSTRUCTION SITE FROM THE DATE OF THE PROJECT INITIATION TO THE DATE OF FINAL

WPDES NOTICE OF TERMINATION GUIDANCE:

WHEN A SITE HAS BEEN FINALLY STABILIZED AND ALL STORMWATER DISCHARGES FROM CONSTRUCTION SITES THAT ARE AUTHORIZED BY THE PERMIT ARE ELIMINATED, THE OWNER OF THE FACILITY MUST SUBMIT A COMPLETED NOTICE OF TERMINATION THAT IS SIGNED IN ACCORDANCE WITH THE PERMIT. CONTRACTOR SHALL SUBMIT A COMPLETED NOTICE OF TERMINATION TO OWNER FOR EXECUTION PRIOR TO THEIR FINAL PAY APPLICATION REQUEST.

STABILIZATION EFFECTIVENESS (TIME OF YEAR)

IRRIGATION/WATERING REQUIRED TO SUPPORT ESTABLISHMENT AS NEEDED.

Table 1 – Frescriptive Compliance Area Son Stabilization
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GEOTEXTILE FABRIC DIRECTION EXPRESS FABRIC NOTE: ADDITIONAL POST DEPTH OR TIE BACKFILL AND BACKS MAY BE REQUIRED IN UNSTABLE OMPACT TREN CAVATED SO TRENCH DETAIL FABRIC ONLY SILT FENCE SHALL BE STAPLED, USING AT LEAST 0.5-INCH STAPLES, TO THE UPSLOPE SIDE OF THE POSTS IN AT LEAST 3 PLACES NOTES: ALL SILT FENCE MATERIALS AND INSTALLATION SHALL BE IN CONFORMANCE WITH WI DNR TECHNICAL STANDARD 1056

- I WITH EQUIVALENT OPENING SIZE OF AT LEAST 30 FOR NONWOVEN AND 50 FOR WOVEN
- FOLD MATERIAL TO FIT TRENCH AND BACKFILL AND COMPACT TRENCH WITH EXCAVATED SOIL

- 2" DIA. WEEP HOLES FILLED WITH CLEAN STONE

CONCRETE WASHOUT AREA

MILWAUKEE | MADISON | TUCSON | CHICAGO

100 South Wacker Drive, Suite 950 - Chicago, Illinois 60606

PROJECT NUMBER

CITADEL PROPERTY ADVISORS

223467.00

ISSUED FOR:

Minor PUD Amendment

REVISION FOR: NO. DESCRIPTION 10/09/24

DRAWN BY

CHECKED BY

AEK

CONSTRUCTION DETAILS

CITADEL PROPERTY ADVISORS 100 South Wacker Drive, Suite 950 - Chicago, Illinois 60606

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MAB AEK

CONSTRUCTION DETAILS

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COLLECTION 11220 BURLEIGH ST WAUWATOSA, WI 53222 Tax Key ID: 296-9992-016

WINGSPAN DEVELPMENT GROUP 1001 Feehanville Drive - Mount Prospect, IL 60056 CITADEL PROPERTY ADVISORS 100 South Wacker Drive, Suite 950 - Chicago, Illinois 60606

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