



# **Wauwatosa, WI**

## **Board of Zoning Appeals**

### **Meeting Agenda - Final**

7725 W. North Avenue  
Wauwatosa, WI 53213

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**Thursday, July 24, 2025**

**6:00 PM**

**Zoom Only:**  
<https://us02web.zoom.us/s/89325102239>,  
**Meeting ID: 893 2510 2239**

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**Regular Meeting**

#### **VIRTUAL MEETING INFORMATION**

Members of the public may observe and participate in the meeting via Zoom only at the link above. To access the Zoom meeting via phone, call 1-312-626-6799 and enter the Meeting ID.

#### **CALL TO ORDER**

#### **ROLL CALL**

#### **NEW BUSINESS**

1. Request by Timothy Raduenz, Form One Design, for street side and rear yard setback variances at 1343 N. 72nd Street [25-1091](#)

#### **ADJOURNMENT**

##### **NOTICE TO PERSONS WITH A DISABILITY**

Persons with a disability who need assistance to participate in this meeting should call the City Clerk's office at (414) 479-8917 or send an email to [tclerk@wauwatosa.net](mailto:tclerk@wauwatosa.net), with as much advance notice as possible.



# Wauwatosa, WI

7725 W. North Avenue  
Wauwatosa, WI 53213

## Staff Report

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**File #:** 25-1091

**Agenda Date:** 7/24/2025

**Agenda #:** 1.

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Request by Timothy Raduenz, Form One Design, for street side and rear yard setback variances at 1343 N. 72nd Street

**Submitted by:**

Art Pinon

**Department:**

Development

**A. Issue**

The applicant is requesting variances to the street side and rear yard setback requirements for an existing single-family residence located at 1343 N 72nd Street, within the Single Family Residential (R1-6) zone. The requested variances are intended to allow for the expansion and substantial remodel of the existing home. The table below outlines the proposed variances in comparison to the minimum required setbacks:

<b>Variance Requested</b>	<b>Proposed Setback</b>	<b>Required Min. Setback</b>
Rear Yard (South)	3.5 feet	25 feet
Corner Street Side (East)	4.5 feet	14.93 feet

The existing home does not currently meet the required setbacks and is considered legal nonconforming. The portions of the home for which variances are requested are located along the southern and eastern property (along 72<sup>nd</sup> street) lines where the structure is already built. No variances are proposed for the new addition, which complies with all applicable setback requirements.

The need for these variances is due to the extent of demolition and reconstruction necessary for the remodel and addition. The scope of the work involves removing and rebuilding a substantial portion of the existing structure. Based on cost estimates, the reconstruction is valued at more than 50% of the fair market value of the structure.

Per WMC 24.15.040.C.2, when a nonconforming structure is intentionally destroyed or damaged by causes within the owner's control, and the extent of damage or destruction exceeds 50% of the structure's fair market value, as determined by the assessor's office, the structure may not be reestablished unless it complies with all current zoning regulations. Therefore, variances are being requested to maintain the existing legal nonconforming setbacks as part of the reconstruction.

Attached to this report are a letter addressing the four variance findings in accordance with WMC 24.16.060.H, plat of survey, site aerial, floor plan, and letters of support from the neighbors.

**B. Recommendation**

The standard four criteria should be applied to make the determination for the requested variances:

1. Exceptional circumstances do exist pertaining to this lot.
2. That a variance is necessary for the preservation and enjoyment of the property rights possessed by other properties in the district and vicinity.
3. That the variance will not create special detriment to adjacent property and will not materially impair or be contrary to the purpose and spirit of this or to the public interests.
4. That the difficulty or hardship was not created by the property owner.



1343 N. 72nd St

City of  
Wauwatosa



# Form + One

4843 Silver Springs Drive  
Park City, UT 84098

P+ 415.819.0304  
E + tim@formonedesign.com

## TRANSMITTAL FORM

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To: Board of Zoning Appeals Application                          From: Tim  
Raduenz  
Subject: 1343 N. 72th Street (Remodel/ Addition)                  Date Sent:  
06/09/25

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### Project:

Zoning variances for the street side (72nd St) and rear yard (south) setbacks.

### Variance:

A zoning variance is a special exemption from the City zoning code granted by the Board of Zoning Appeals on a case-by-case basis. In order to grant a variance, an applicant must show that a unique hardship exists on the property.

***In Wauwatosa, all four of the following criteria must be met for a variance to be granted:***

- Exceptional Circumstances do exist pertaining to this lot.

### ***Response:***

- This is a corner lot that yields a smaller sized lot as most standard lots in the city*
- The lot is less deep as most standard lots as per the parcel map, as its streets are at an angle*
- The lot has a small lower line area (at the rear lot next to existing garage)*
- Due to the age of the existing home and methods of construction used when built, the home is*

*not up to current building codes, and would not be suitable to build off of.*

- A variance is necessary for the preservation and enjoyment of the property rights possessed by other properties in the district and vicinity.

***Response:***

- *This is a corner lot that yields a smaller sized lot than most standard lots in the city and the family is building for the future!*
- *Many (existing) larger city homes have front facing or have built into the newer property setbacks*
- *The neighborhood has many existing homes that we would like to mimic and keep the same flow and feel of the neighborhood.*
- *The neighbor to the left is at the same design layout, which helps with the overall design established rhythm of the neighborhood*
- *This variance is needed for the owners to keep a nice back yard and keep privacy concerns of both the owners and the neighbors!*

- The variance will not create a special detriment to adjacent property and will not materially impair or be contrary to the purpose and spirit of this or to the public interests.

***Response:***

- *The variance will not create a special determination, as we are using an established existing home as the hub or starting point for a new addition to this family home.*
- *We are keeping the spirit of the neighborhood and keeping the overall building layouts (front facing) homes, this promotes more interaction with the street frontage, like our adding a new porch at the front, creating street presence and street interaction, similar to many other homes on the street.*
- *Both immediate neighbors (South and West) are in favor of the project.*

- The difficulty or hardship was not created by the property owner.

***Response:***

- *The existing home has been established since 1893.*
- *Owners have provided proper care and maintenance since buying the house*
- *To this end we are trying to create a larger family style home.*

**Overall Comments:**

In creating the scope, and hitting all the owners wants and needs, we believe this has a great street presence and creates a family style home that can work for a family like the Hoppe's and any future families!

If you have any questions, please call or e-mail me.

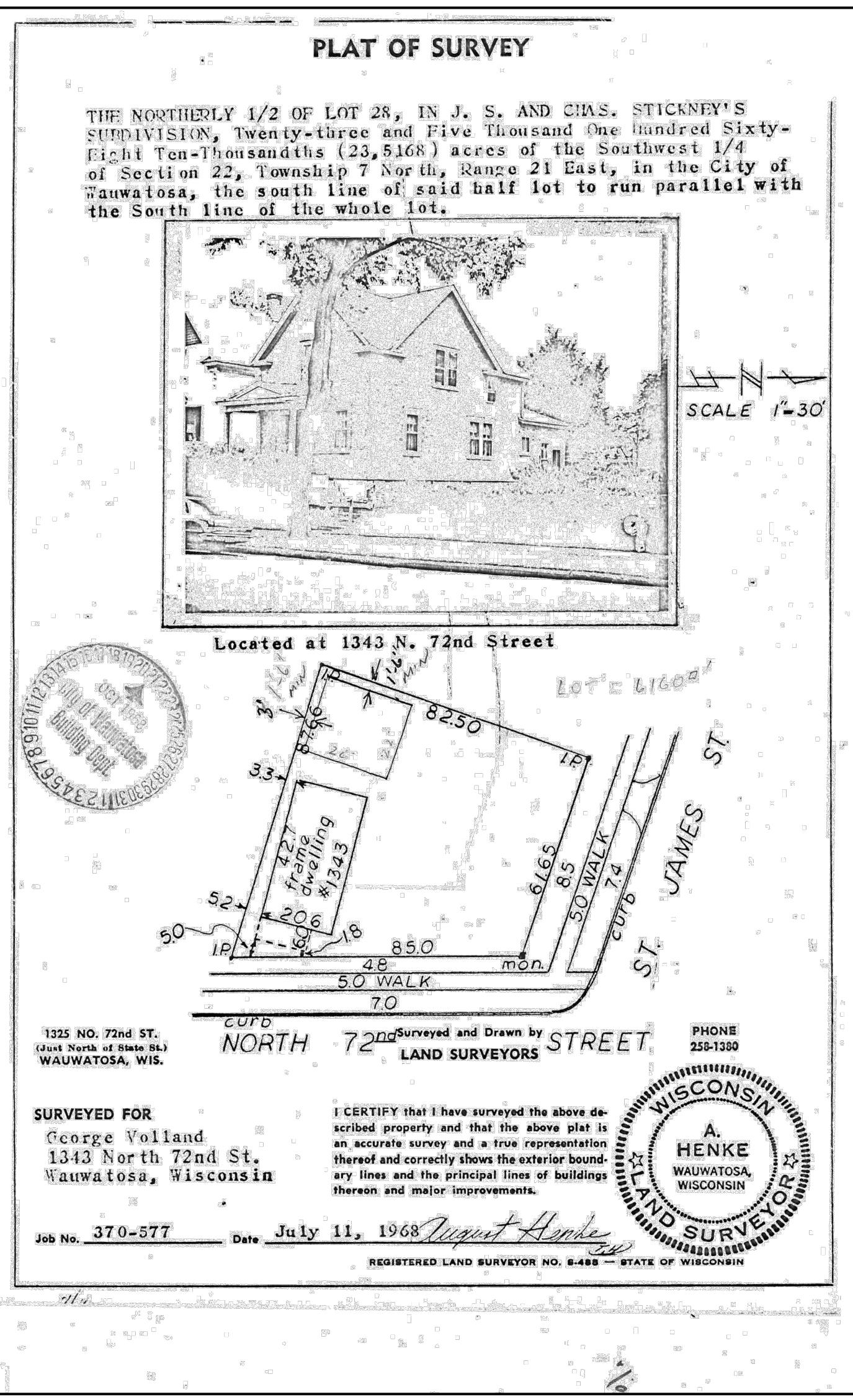
Best,

Tim Raduenz - Designer



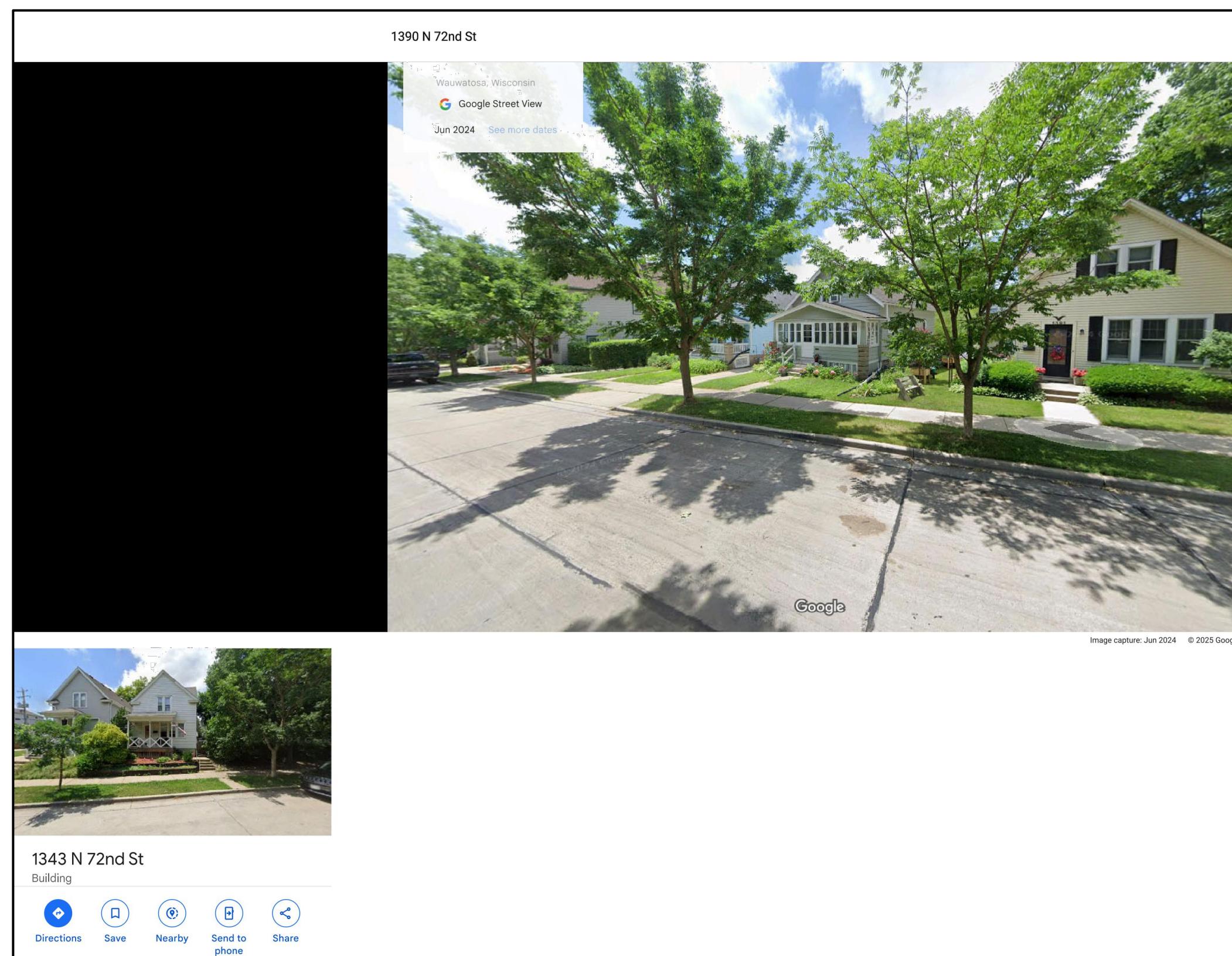
# PROPERTY PHOTO FROM STREET

Scale: N



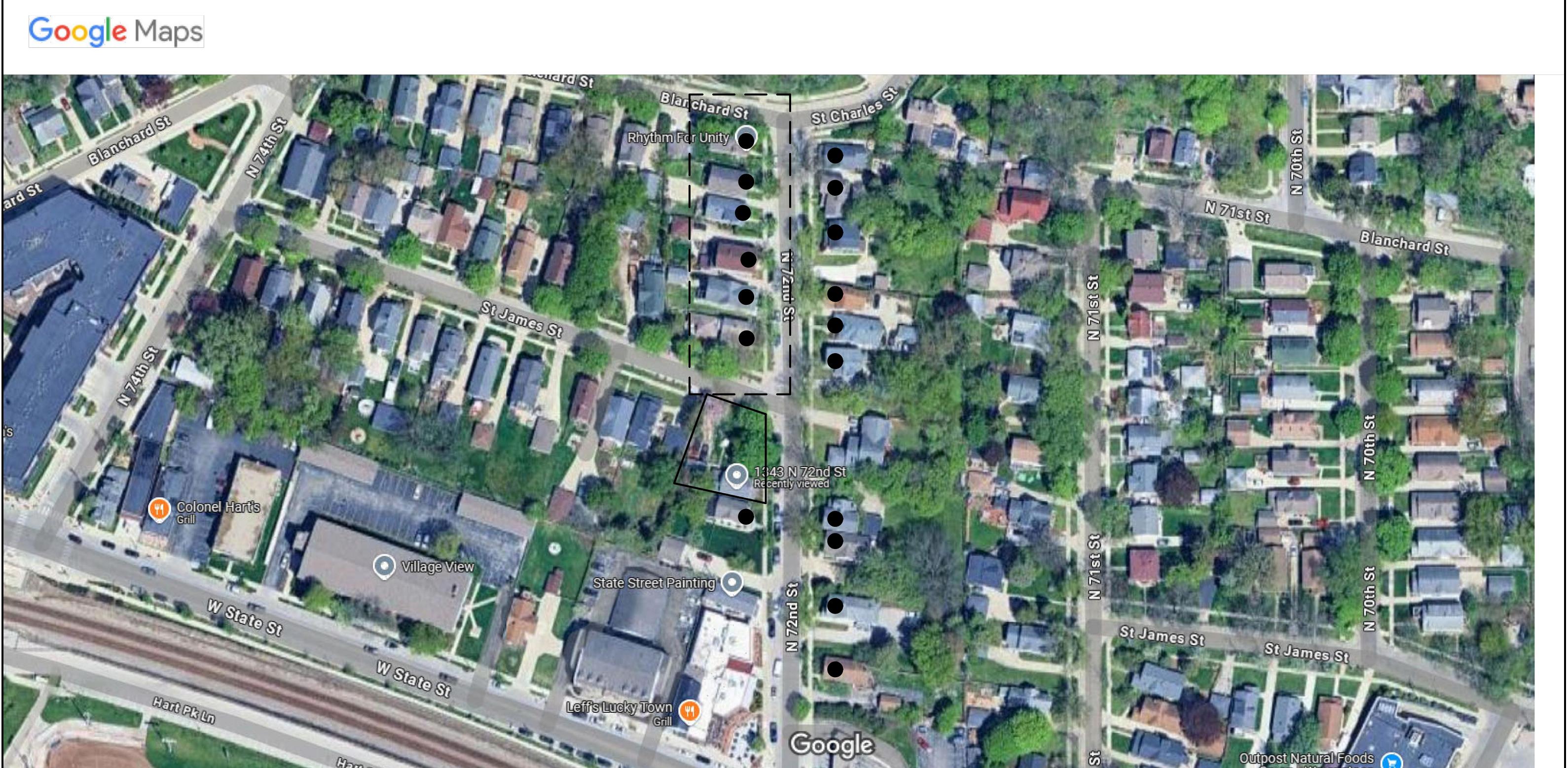
# MAP OF NEIGHBORHOOD + NOTES

Scale: NA



# STREET SHOT - 1391 TO 1363 (ALL FRONT FACING HOMES)

Scale: NA



Imagery ©2025 Airbus. Maxar Technologies. Map data ©2025 100 ft

= LEFT SIDE OF STREET HAS A GREAT FLOW AND ALL HOME LINE UP NICELY (WHAT CITIES + TOWNS) WANT IN PLANNING DEVELOPMENT (*SEE STREET SHOT BELOW*)

Revisions

Rev. - :	Description :-	Date :-
001	002	003
004	005	006

# **BUILDING SET PLANNING SET**

FREDERICK HOPPE + MELISSA JACOBS  
8811 W. BLUEMOUND RD.  
WAUWATOSA WI , 53226

Zoning: R-1-6  
LOT SIZE: 6,207 SQ. FT.

PARCEL# : 370-0376-000

**form + one**  
DESIGN ■ PLANNING

# SIGN ■ PLANNING

Project :	HOPPE + JACOBS RESIDENCE				
Address :	1343 N. 72ND ST.				
City State Zip:	WAUWATOSA WI 53213				
Drawn by:	24-44	Drawn : TIM RADUENZ	Date :	11-12-24	

No

[eet](#)  

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[Sale: See Details](#)



**To the Board of Zoning Appeals,**

This letter is to formally express our support for the Hoppe family and their proposed project at 1343 N. 72nd Street, Wauwatosa, WI 53213.

Freddy Hoppe has shared with us the scope of work for their proposed new home, including architectural renderings and detailed drawings outlining the proposed footprint of the project. We understand the vision for the new residence and find it to be a positive improvement to the neighborhood.

We are also aware of the request for a variance concerning the south and east lot line setbacks. Freddy has explained that the intention is to rebuild within the existing footprint of the current home, with additional improvements that remain within the established setbacks for the City of Wauwatosa. We fully support the Hoppe family's request and believe their plans are thoughtful, considerate, and in keeping with the character of the neighborhood.

Neighbors of support:

Josephheinrichs@gmail.com

JOSEPH P HEINRICH  
joseph 6/17/2025  
7211 SAINT JAMES DR.  
414-531-2950

Paul + Alyssa Arnold  
Paul Arnold + Alyssa Al  
1339 N 72<sup>nd</sup> Street  
WAUWATOSA, WI 53213

James Milbauer  
1348 N 72 st.  
James Milbauer

## NOTES

PARCEL NUMBER: 370-0376-000  
LOT SIZE: 4,660.92  
CITY: WAUWATOSA  
ZONING: R-1-6  
FRONT OF LOT: 72ND STREET (LONGEST FRONTAGE)

## SHEET INDEX

- A1.0 TITLE PAGE + SITE PLAN
- 1 of 1 EXISTING SITE SURVEY
- C1.0 LOT COVERAGE + GRADING PLAN
- FAR FLOOR AREA CALC.
- F2.0 FOUNDATION PLAN
- A2.0 PROPOSED FIRST FLOOR
- A2.1 PROPOSED SECOND FLOOR
- A2.2 PROPOSED ROOF PLAN
- A3.0 PROPOSED ELEVATIONS
- A3.1 PROPOSED ELEVATIONS
- A4.0 PROPOSED BUILDING SECTIONS
- ME2.0 MECH. + ELEC. PLAN BASEMENT
- ME2.1 MECH. + ELEC. PLAN FIRST FLOOR
- ME2.2 MECH. + ELEC. PLAN SECOND FLOOR
- WB1 WALL BRACING PLAN
- WB2 WALL BRACING DETAILS

## CONSULTANTS

**DESIGNER:**  
FORM + ONE DESIGN  
CONTACT: TIM RADUENZ  
4843 SILVER SPRINGS DR.  
PARK CITY, UT 84098  
P: 415.819.0304  
E: tim@formonedesign.com

**OWNER:**  
FREDERICK + MELISSA HOPPE  
8811 W. BLUEMOUND RD.  
WAUWATOSA WI, 53226

**SURVEYOR:**  
LAND SURVEYS INC.  
21005 WATERTOWN ROAD, SUITE A2  
WAUKESHA, WI 53186  
O: 262-312-1034  
M: 414-690-7206  
DAN@LANDSURVEYSINC.COM

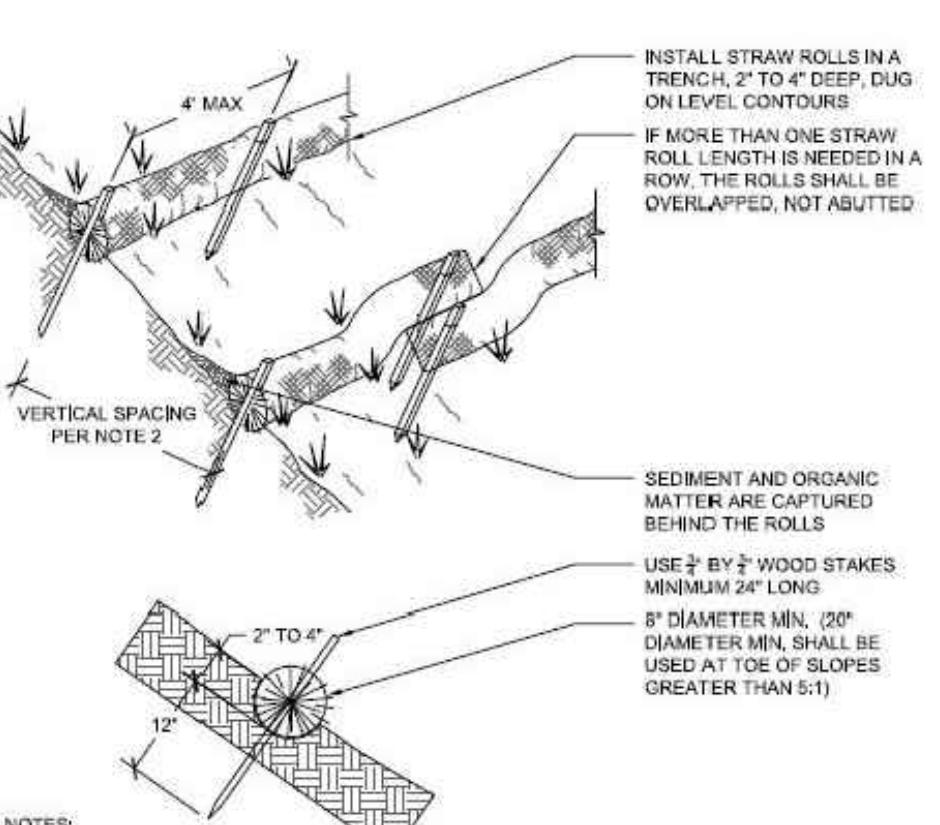
**ENERGY CALCULATION:**  
JOBE LEONARD  
RESCHECK INFO  
1511 MAYFLOWER LANE  
DANDRIDGE TN, 37725  
P: 865-235-6277

## SITE PLACEMENT NOTES

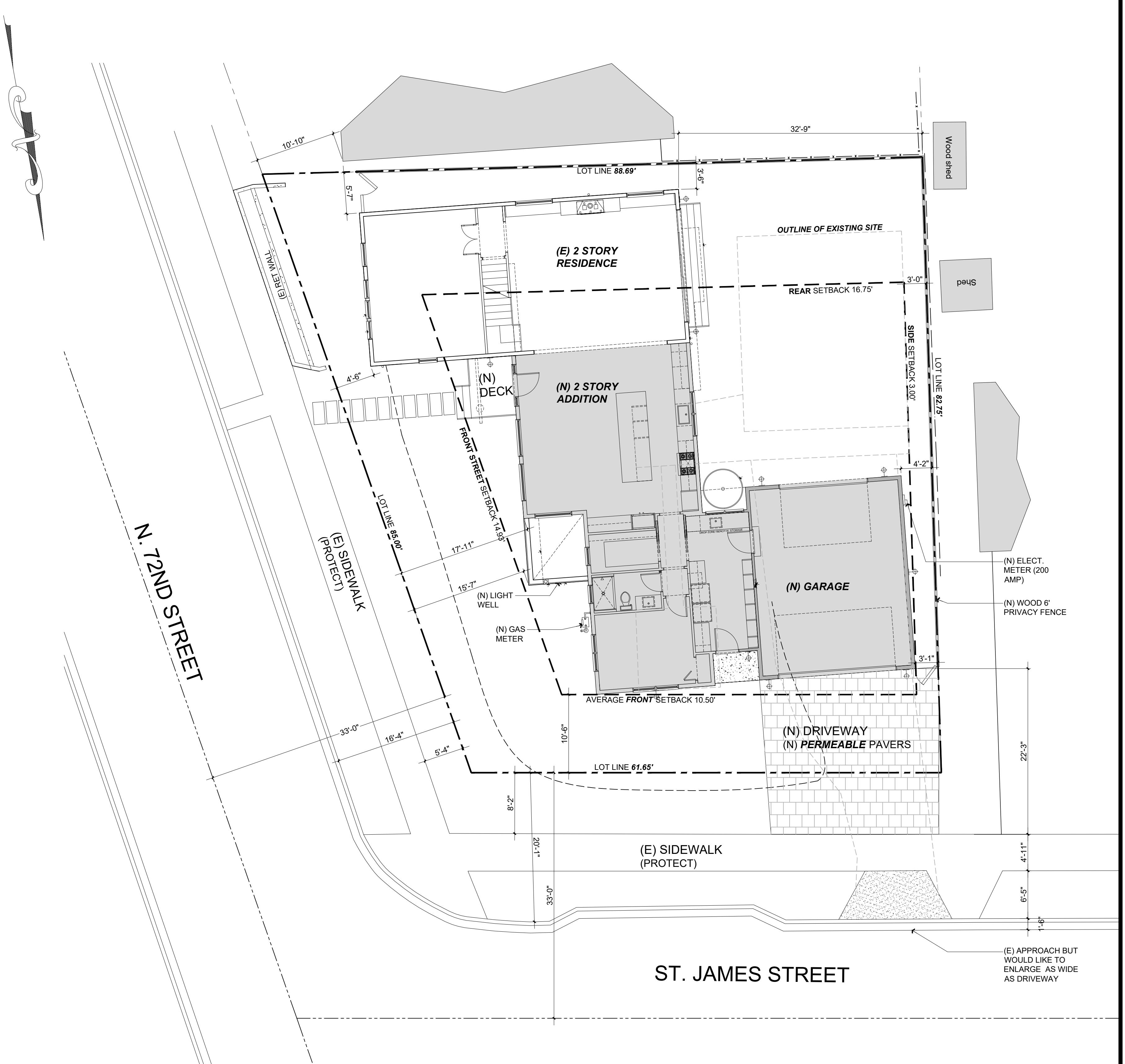
1. REFERENCE SURVEYOR STAKING PLAN FOR BUILDING PLACEMENT
2. CALL DIGGERS HOTLINE: 811 BEFORE ANY WORK IS STARTED



## STRAW BALE DETAILS



- NOTES:
1. INSTALL SUCH THAT RUNOFF WILL NOT BE ALLOWED TO RUN UNDER OR AROUND ROLL. TURN ENDS UP SLOPE TO PREVENT RUNOFF FROM GOING AROUND ROLL.
  2. SPACE STRAW ROLLS AS FOLLOWS:
    - SLOPE OF 4:1 OR FLATTER = 20 FEET APART
    - SLOPE BETWEEN 4:1 AND 2:1 = 15 FEET APART
    - SLOPE OF 2:1 OR GREATER = 10 FEET APART
  3. INSPECT AND REPAIR STRAW ROLLS AFTER EACH STORM EVENT AND REMOVE SEDIMENT WHEN NECESSARY. REMOVED SEDIMENT SHALL BE DEPOSITED IN AN AREA THAT WILL NOT CONTRIBUTE SEDIMENT OFF-SITE.
  4. IN LIEU OF STRAW ROLL INSTALLATION AROUND PROJECT PERIMETER, CONTRACTOR HAS OPTION TO PRESERVE A NATURAL VEGETATED BUFFER 3 FOOT MINIMUM IN WIDTH OR A 6 INCH HIGH BERM.



EXISTING/ PROPOSED SITE PLAN

Scale: 1/8 = 1'-0"

1

A1.0

Title : Site Plan

Project : HOPPE + JACOBS RESIDENCE  
1343 N. 72ND ST.  
WAUWATOSA WI 53213

Job No. : 24\_44 Drawn : TIM RADENZ Date : 11-12-24

Contractor :

Owner :  
FREDERICK HOPPE + MELISSA JACOBS  
4843 SILVER SPRINGS DRIVE  
PARK CITY, UT 84098  
Ph: 415.819.0304  
E-mail: TIM@FORMONEDESIGN.COM

BUILDING SET PLANNING SET

Revisions

Rev. :	Description :	Date :
001		
002		
003		
004		
005		
006		

Sheet

Scale: See Details

A1.0

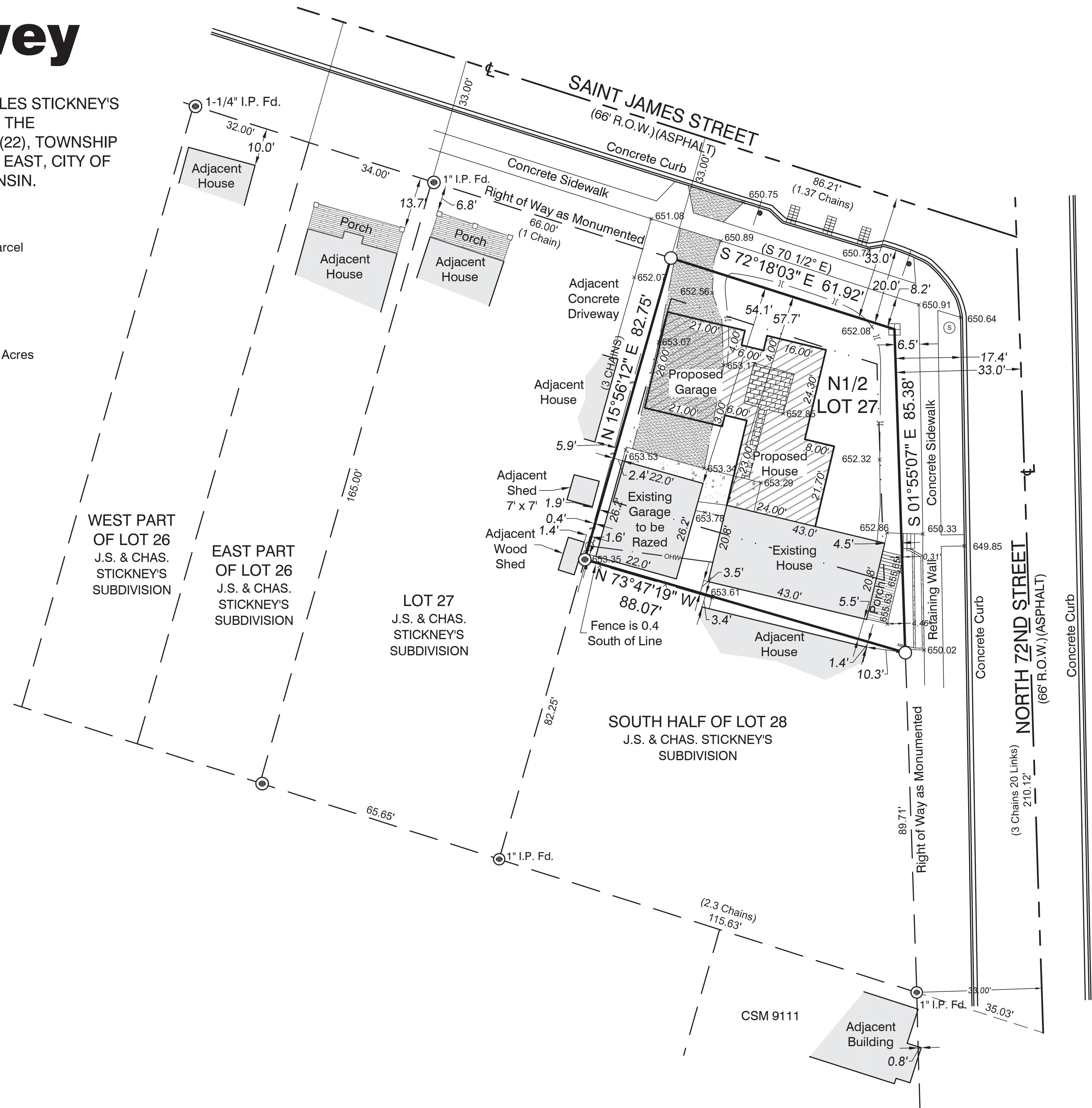
# Plat of Survey

Property Description: Document No. 10206655

THE NORTH HALF OF LOT 28 OF J.S. & CHARLES STICKNEY'S SUBDIVISION OF 23.5168 ACRES, OF LAND IN THE SOUTHWEST 1/4 OF SECTION TWENTY-TWO (22), TOWNSHIP SEVEN (7) NORTH, RANGE TWENTY-ONE (21) EAST, CITY OF WAUWATOSA, MILWAUKEE COUNTY, WISCONSIN.

Notes:

1. A title commitment has not been provided and this parcel may be subject to, or benefit from, easements or agreements, written or otherwise, not shown hereon.
2. Outside diameter measured on all monuments. Set monuments are 1.50Lbs/Lineal Foot.
3. ( ) Indicates recorded as bearings and dimensions.
4. Field work completed on 2-07-2025/04-16-2025.
5. The North Half of Lot 28 Contains 6,133 S.F. ; 0.1408 Acres
6. Average Front Setback St. James = 10.17'  
Average Front Setback N. 72nd St. = 4.93'  
Side Setback = 3.00'  
Rear Setback = 16.75'



**LAND SURVEYS INC.**

21005 Watertown Rd. Suite A2  
Waukesha, WI 53186 (262) 312-1034  
landsurveysinc.com

**SURVEYOR'S CERTIFICATE**

I hereby certify that we surveyed the property described above and that the map is a true representation thereof and shows the size and location of the property, its exterior boundaries. Said survey meets the minimum standards for property surveys of the Wisconsin Administrative Code (A-E7) and the map hereon is correct to the best of my knowledge and belief. This Survey is solely for the use of the present owners of the property at the date below.



Dated this 26th Day of February, 2025:  
Daniel E. Bednar S-2812

**REVISIONS**  
04-17-25 Boundary-Stone Monument DB

**PREPARED FOR:**  
Melissa Hoppe  
8811 W. Bluemound Rd.  
Wauwatosa, WI 53226  
Job Address: 1343 N. 72nd St.  
Wauwatosa, WI 53213

BEARINGS ARE REFERENCED TO  
WI STATE PLANE COORD. SYS.  
SOUTH ZONE NAD 83 (2011)  
NORTH LINE OF ST. JAMES ST.  
BEARS N 00°00'00" E

Drawn By: JS / BS Job # 25050  
Sheet 1 of 1

# EXISTING BUILDING COVERAGE

AREA	LOCATION		LOT COVERAGE	
		SQ. FT.:	REMARKS:	
1ST FLR	E1	891	EXISTING HOME	
	E2	579	EXISTING GARAGE	
	E3	206	EXISTING CONC. SLAB	
	E4	862	EXISTING GRAVEL DRIVEWAY	
	E5	157	EXISTING PATIO	
	E6	131	EXISTING DECK	
	-			
	<b>LC TOTAL:</b>	<b>2,826 SQ. FT. (45.53%)</b>	MAX LC =	2,606.94 SQ. FT.

**Water:** Our records show that the existing lateral from the residence to the curb stop (water valve) is a ¾-inch lead pipe. The lateral from the curb stop to the main in the street is a 1.25-inch copper pipe. We strongly recommend that the lead portion of the lateral is replaced. The water tap card for this property is also attached.

**Sanitary:** The lateral location is not shown on the GIS exhibit. Typically the sanitary lateral at least 8 feet from the water, but this would have to be confirmed by the applicant.  
**WORK TO BE COMPLETED FOR PROJECT: REPLACING THE SANITARY SEWER LATERAL WILL BE REPLACED BY CONTRACTOR.**

**Also, per City Code 13.30.030**, any building project in excess of \$100,000 must have the sanitary sewer lateral replaced or inspected and pressure tested. If the sanitary lateral is not proposed for replacement, a televised report of the existing lateral from the building to the City main must be provided to Engineering. If Engineering identifies any defects in the existing lateral, the defects must be corrected and another televised report provided to Engineering to verify results. Note that if the existing lateral is made out of clay, the lateral must be lined. This requirement must be met prior to final building occupancy.

**Storm sewer:** All downspouts must be shown and must be connected to the City's storm sewer (City Code 15.04.060.F.2). You can combine multiple downspouts to minimize the number of connections to the City's storm sewer system. The only exception to this requirement is if any of the roof downspouts are connected to a City approved stormwater best management practice.

**Grading plan:** A grading plan must be provided with the building permit application. Grades must be shown in local City datum. The conversion from NGVD 1929 to the local datum is to subtract 580.28 from the NGVD elevation. A sample grading plan is attached.

# PROPOSED BUILDING COVERAGE

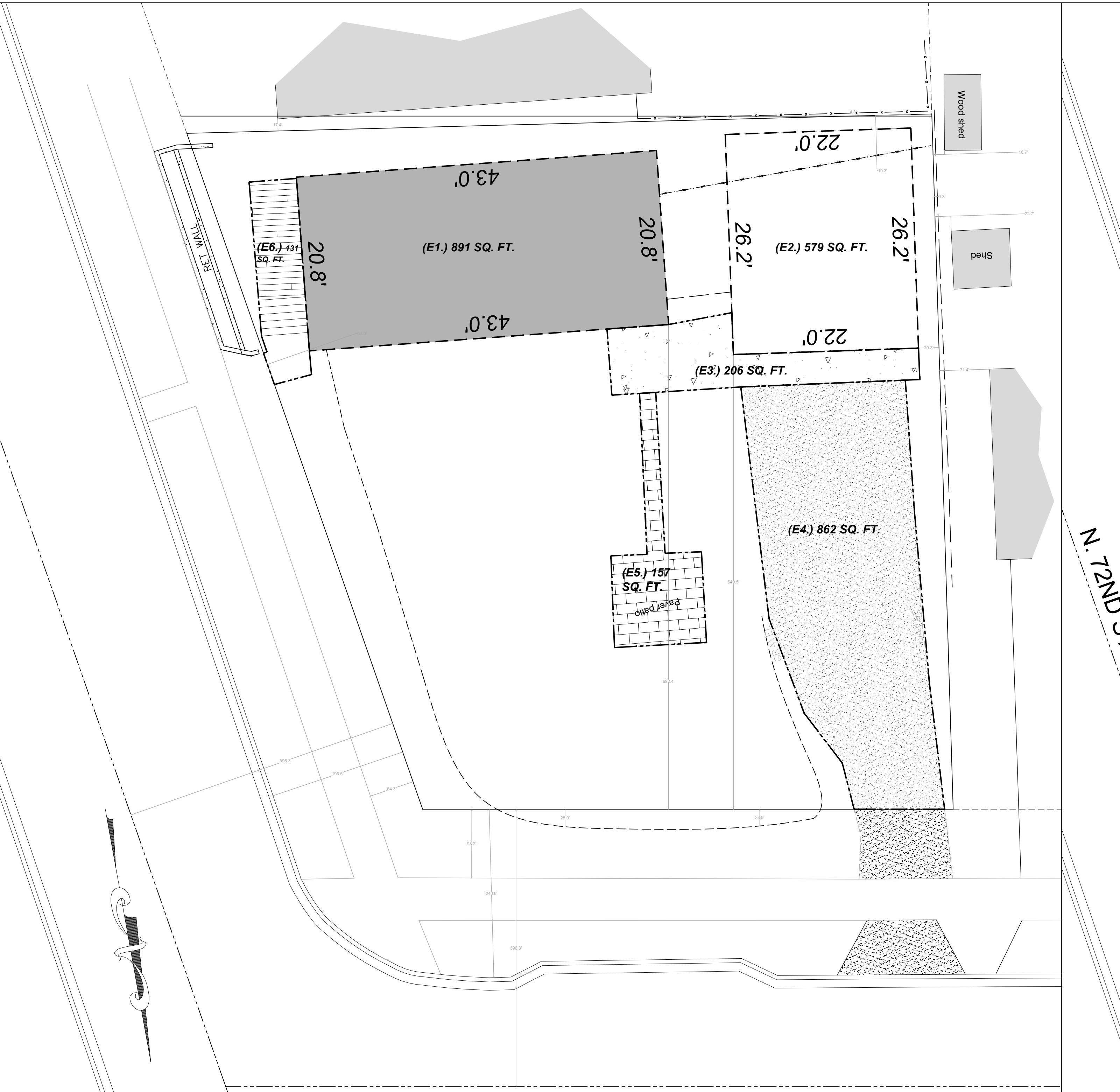
AREA FLR	LOCATION	LOT COVERAGE	
		SQ. FT.:	REMARKS:
5	E	887	EXISTING HOME
	A	1,475	ADDITION + NEW GARAGE
	D	48	NEW STAIRS
	SW1	24	NEW ENTRY STOOP
	SW2	100	NEW DECK + WALKWAY
<b>LC TOTAL:</b>		<b>2,534 SQ. FT. (40.82%)</b>	MAX LC = 2,606.94 SQ. FT.

## DETAILS:

LOT SIZE: 6,207 SQ. FT.

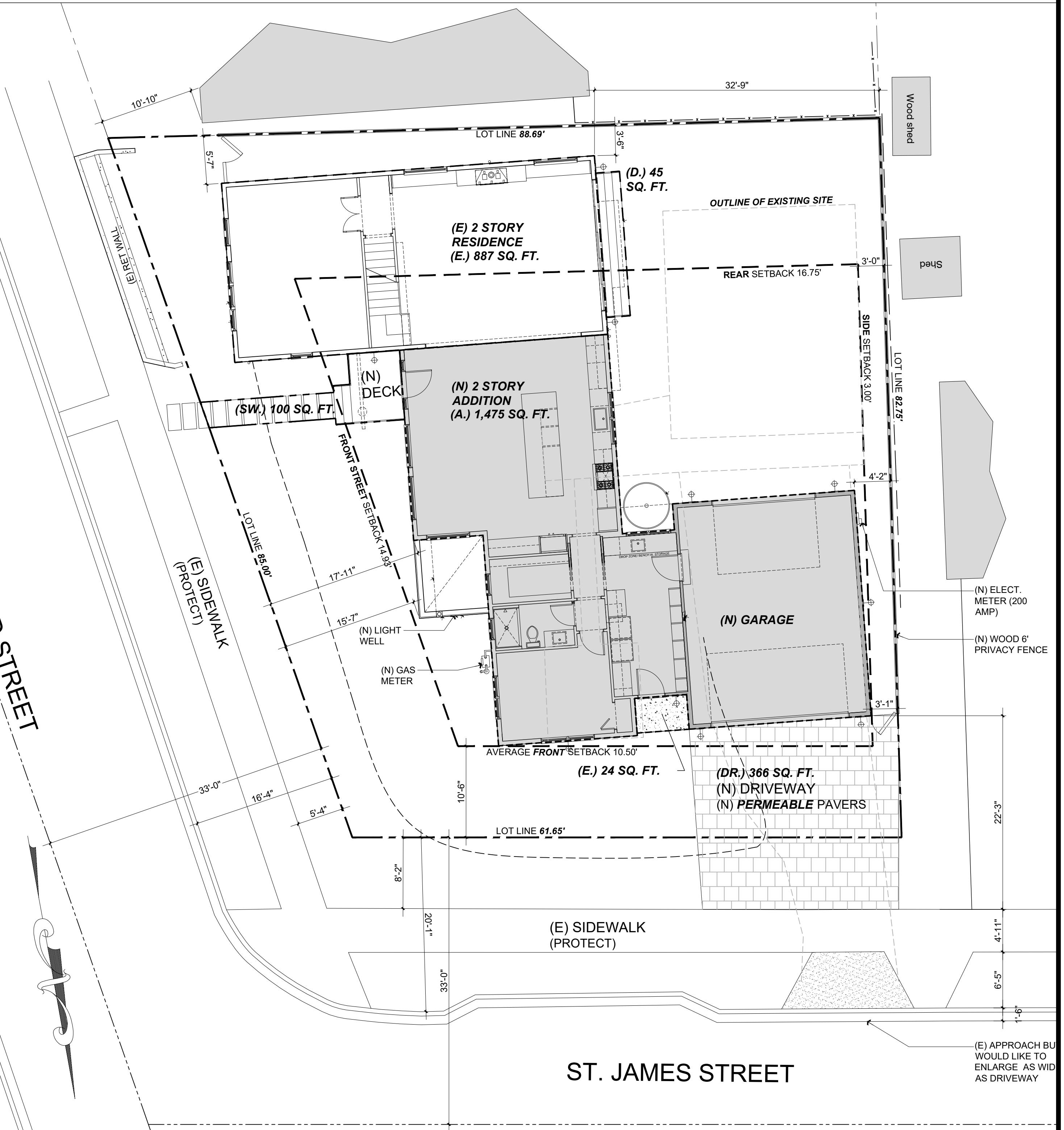
MAX ALLOWABLE LOT COVERAGE:  
LC = LOT SIZE X 42% = ALLOWABLE LOT COVERAGE  
6,207 SQ. FT. X 42% = **2,606.94 SQ. FT.**

Revisions



# **EXISTING SITE PLAN - COVERAGE**

Scale: 1/8 = 1'-0" C1.0



# PROPOSED SITE PLAN - COVERAGE

Scale: 1/8 = 1'-0" C1.0

eeet

ale: See Details

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Pro  
Jol

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C10

C1.0

meet

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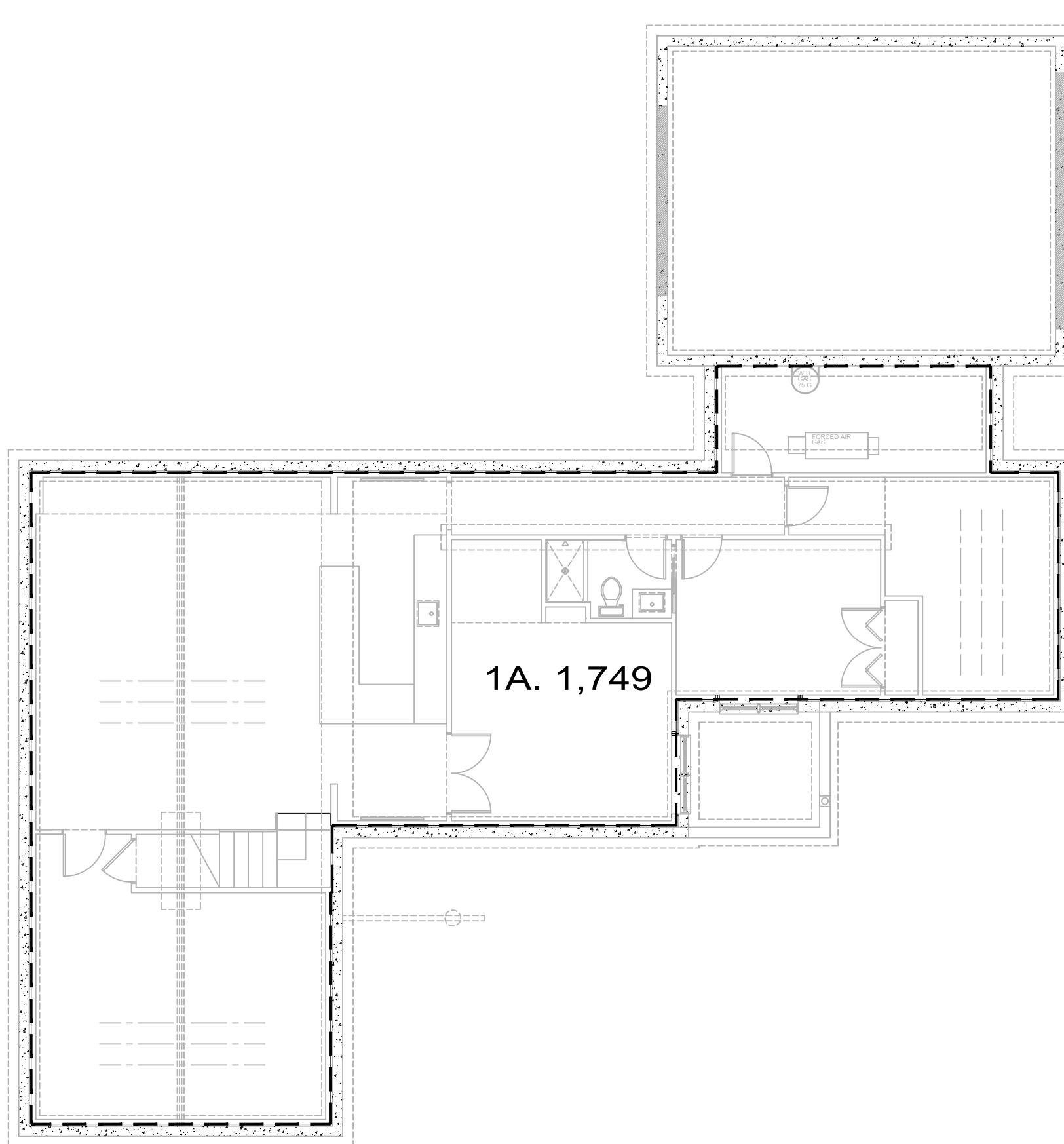
ale: See Details

COMPLETE FAR				
LOCATION	FAR	LOT COVERAGE	SQ. FT.:	REMARKS:
	SQ. FT.:	SQ. FT.:		
1A	1,749	-	(N) BASEMENT	
SUBTOTAL	1,749			
A	880	880	(E) HOUSE	
B	916	916	(N) ADDITION	
C	114	114	(N) ADDITION	
D	546	546	(N) GARAGE	
SUBTOTAL	2,456			
2A	880		(E) HOUSE	
2B	35		(N) SECOND FLOOR	
2C	751		(N) SECOND FLOOR	
2D	546		(N) SECOND FLOOR	
SUBTOTAL	2,212			
FAR TOTAL	6.417 SQ.FT.		MAX ALLOWABLE SQ. FT.	
LOT COVERAGE TOTAL		2,456 SQ.FT.		

## NOTES

Scale: NA

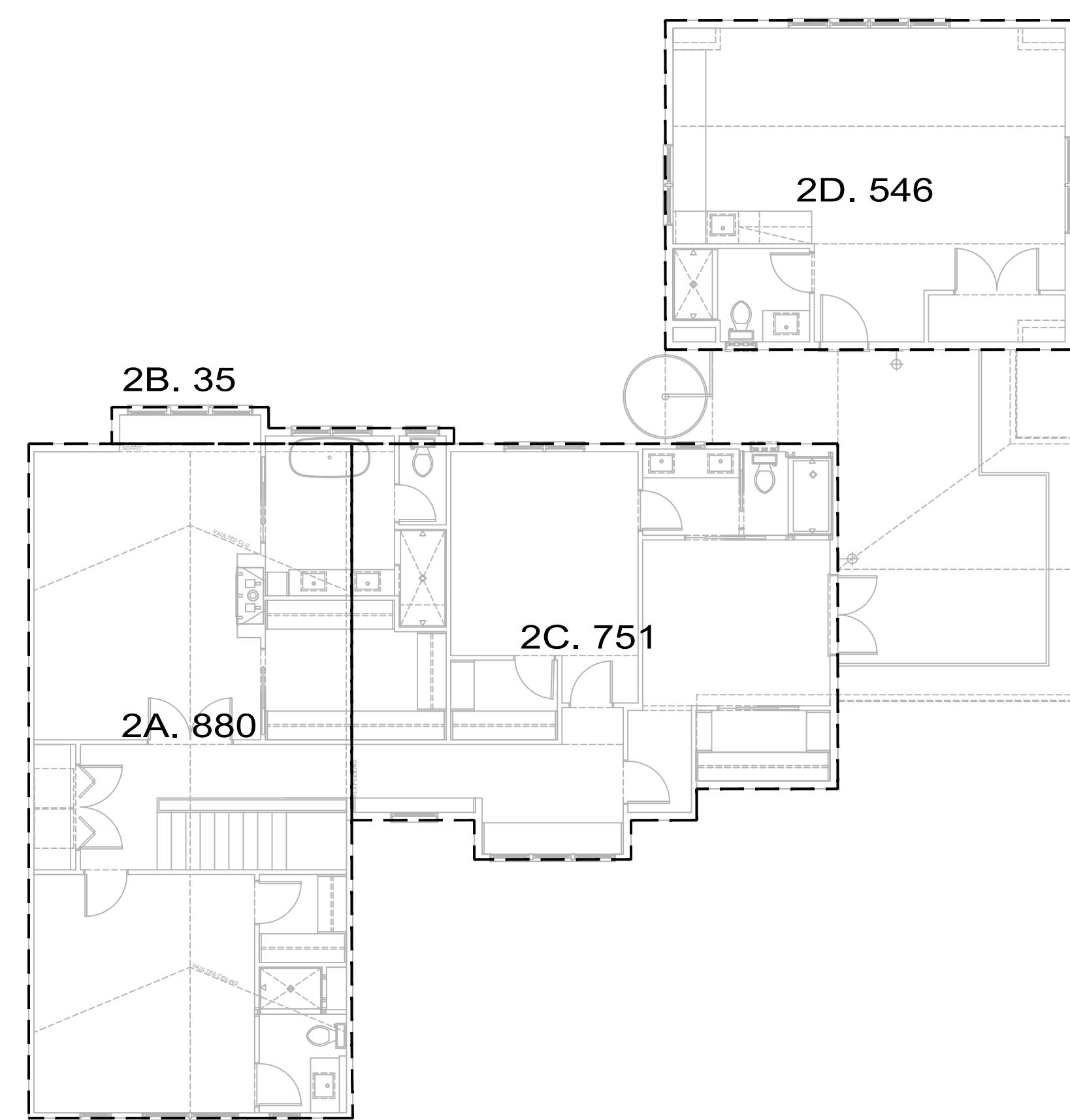
3  
FAR



BASEMENT FAR

Scale: 1/8 = 1'-0"

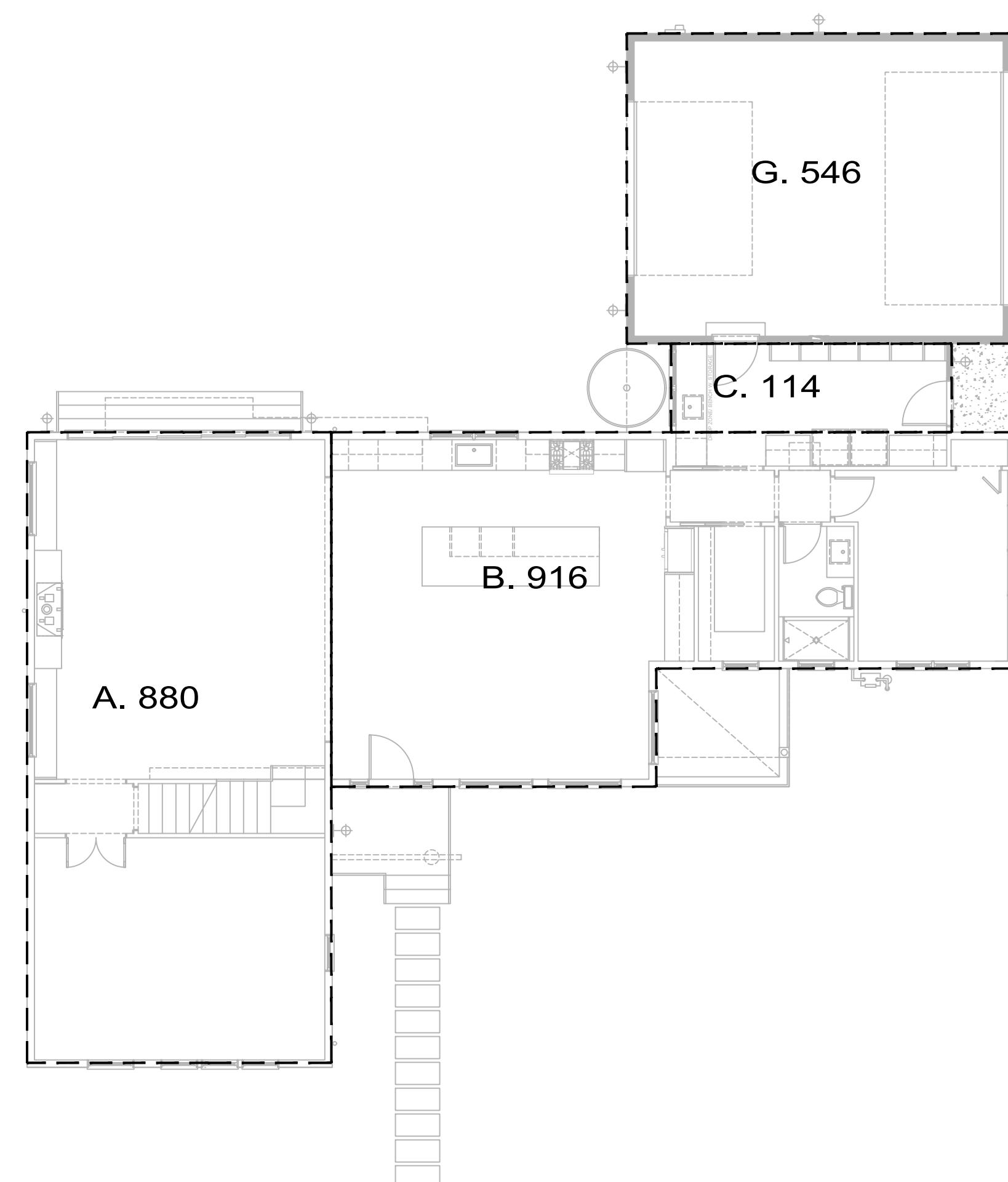
3  
FAR



2ND FLR FAR

Scale: 1/8 = 1'-0"

2  
FAR



1ST FLR FAR

Scale: 1/8 = 1'-0"

1  
FAR

Title : Proposed ME Plan

Project : HOPPE + JACOBS RESIDENCE  
1343 N. 72ND ST.  
WAUWATOSA WI 53213

Job No. : 24\_44 | Drawn : TIM BADENZ | Date : 11-12-24

Revisions

Rev. : Description : Date :

001  
002  
003  
004  
005  
006

BUILDING SET PLANNING SET

Owner : FREDERICK HOPPE + MELISSA JACOBS  
8811 W. BLUEBIRD RD.  
WAUWATOSA WI, 53226  
Lot Size: 8'-6"  
Ac. Size: 6,207 Sq. Ft.  
Ph: 415.819.0304  
E-mail: TIM@FORMONEDESIGN.COM

  
**form + one**  
DESIGN ■ PLANNING

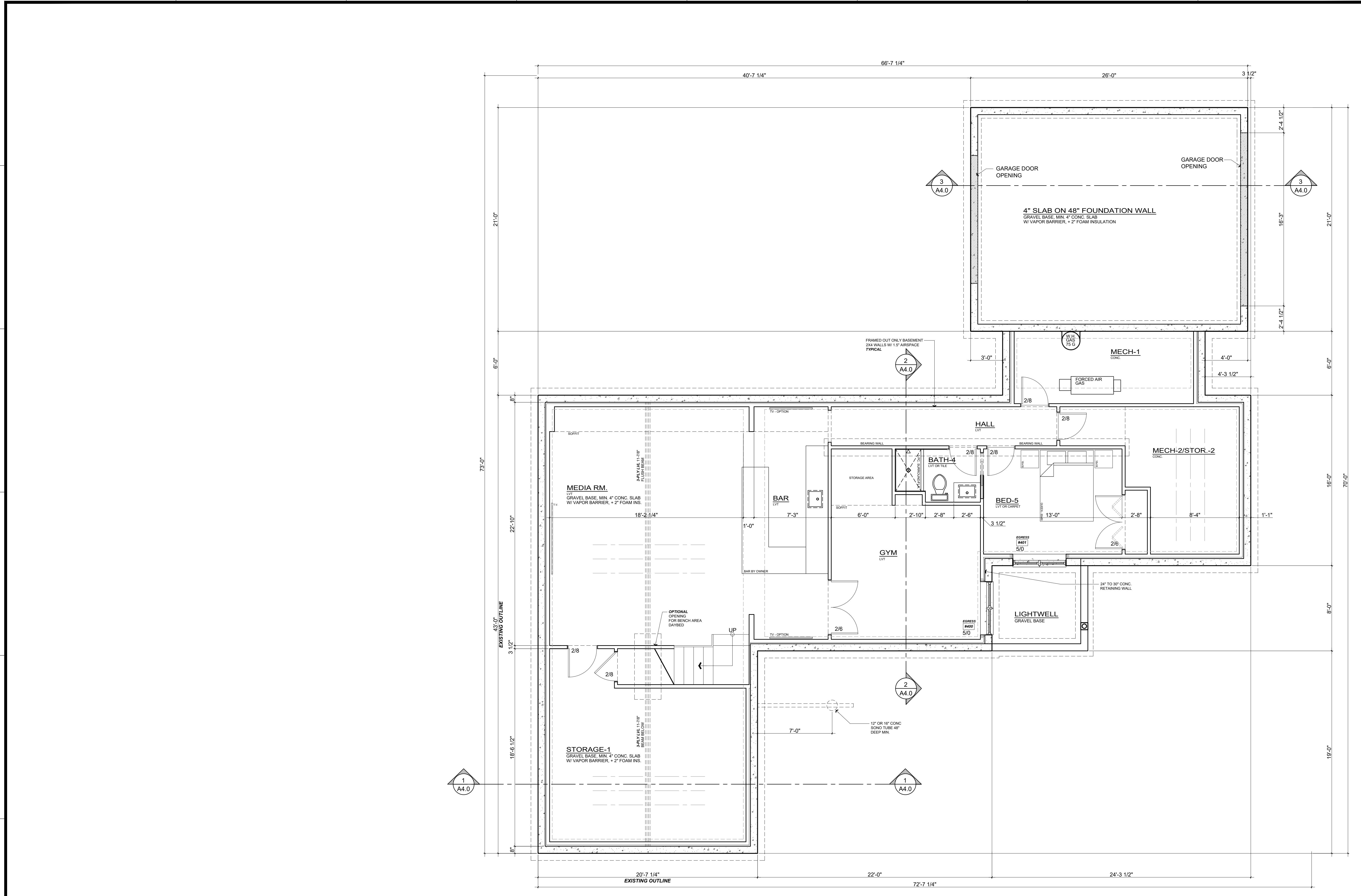
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See Details

Sheet

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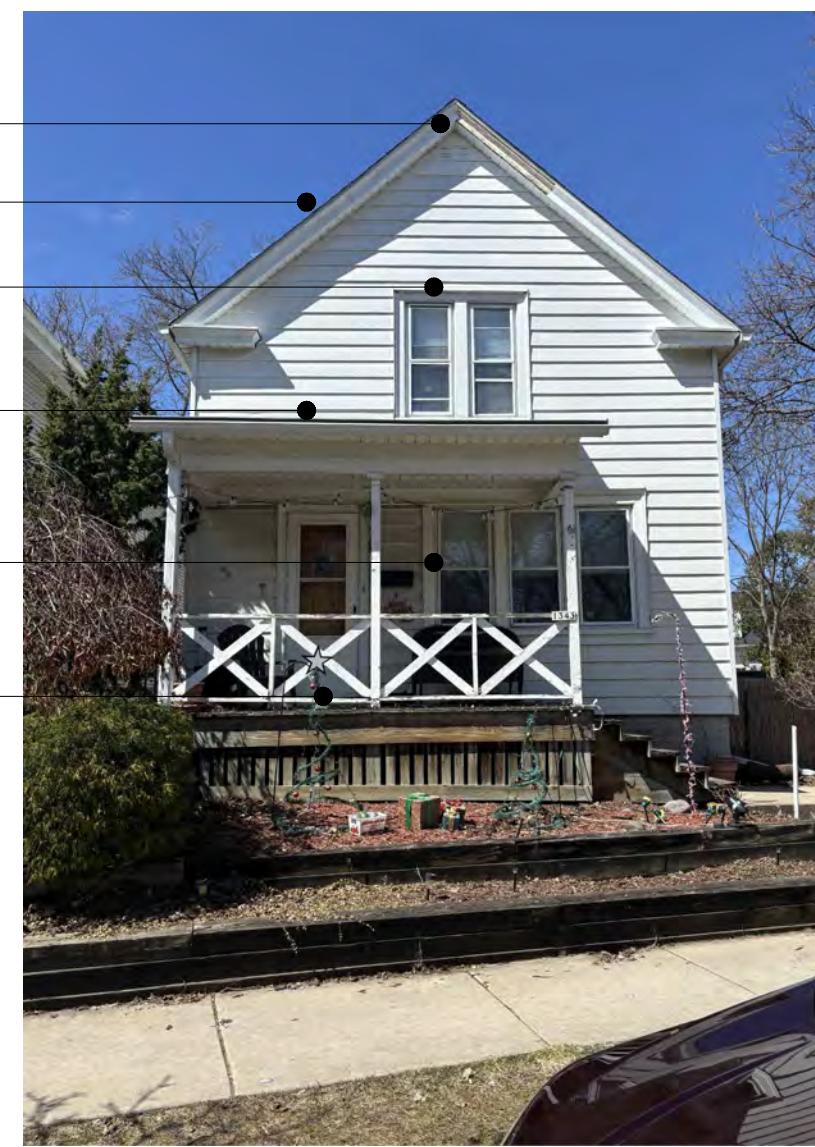
**FAR**



F2.0

Sheet  
Scale: See Details

All drawings & specifications provided as instruments of service are the property of the Designer whether the project is executed or not. It is unlawful for any person, without the written consent of the Designer, to duplicate or make copies of these documents, partly or in whole, for use for other projects & buildings.



# (E) FRONT ELEVATION PHOTO + NOTES

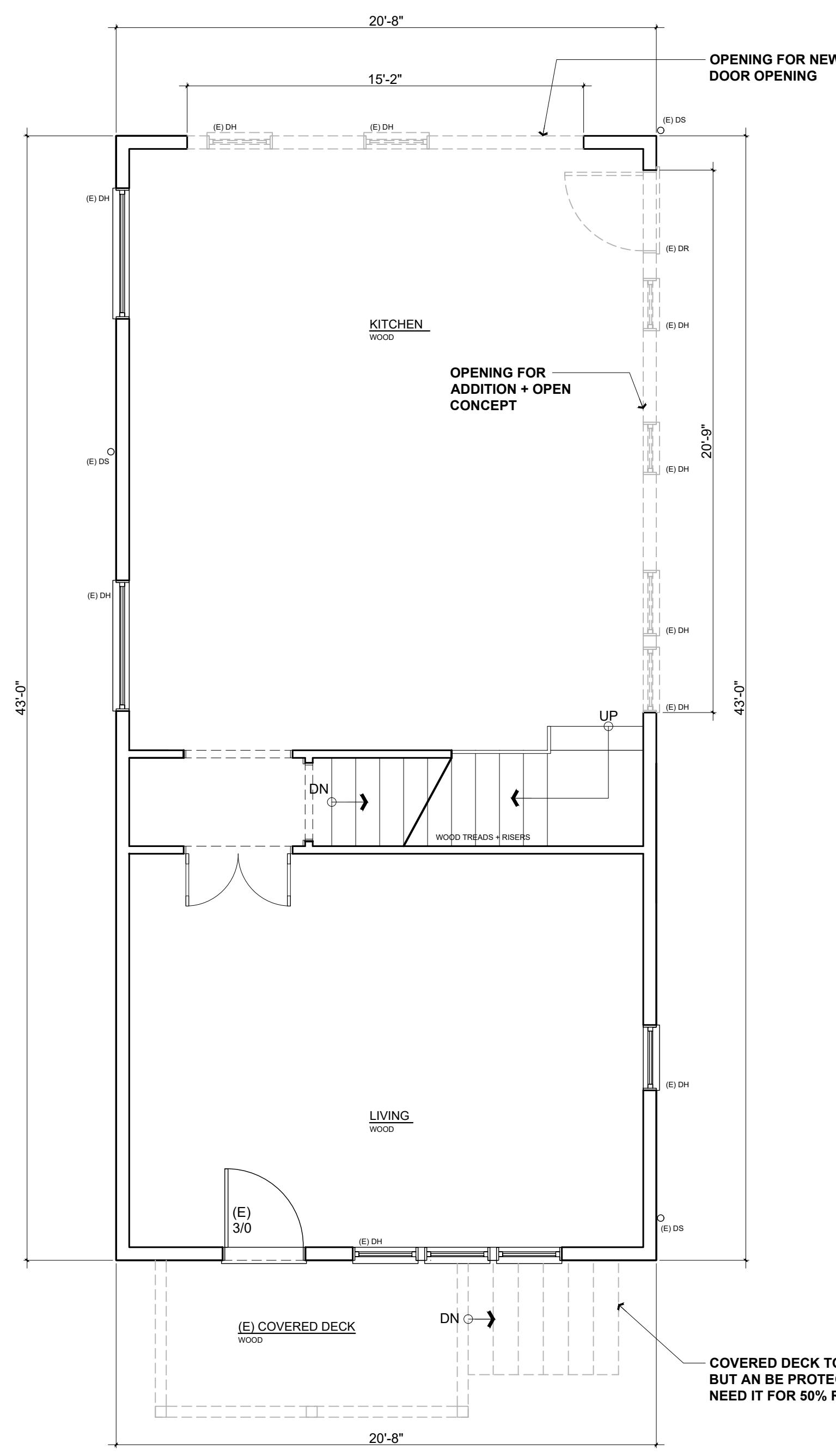
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## ***SAVING THE CHARACTER OF THE NEIGHBORHOOD***

Scale: NA

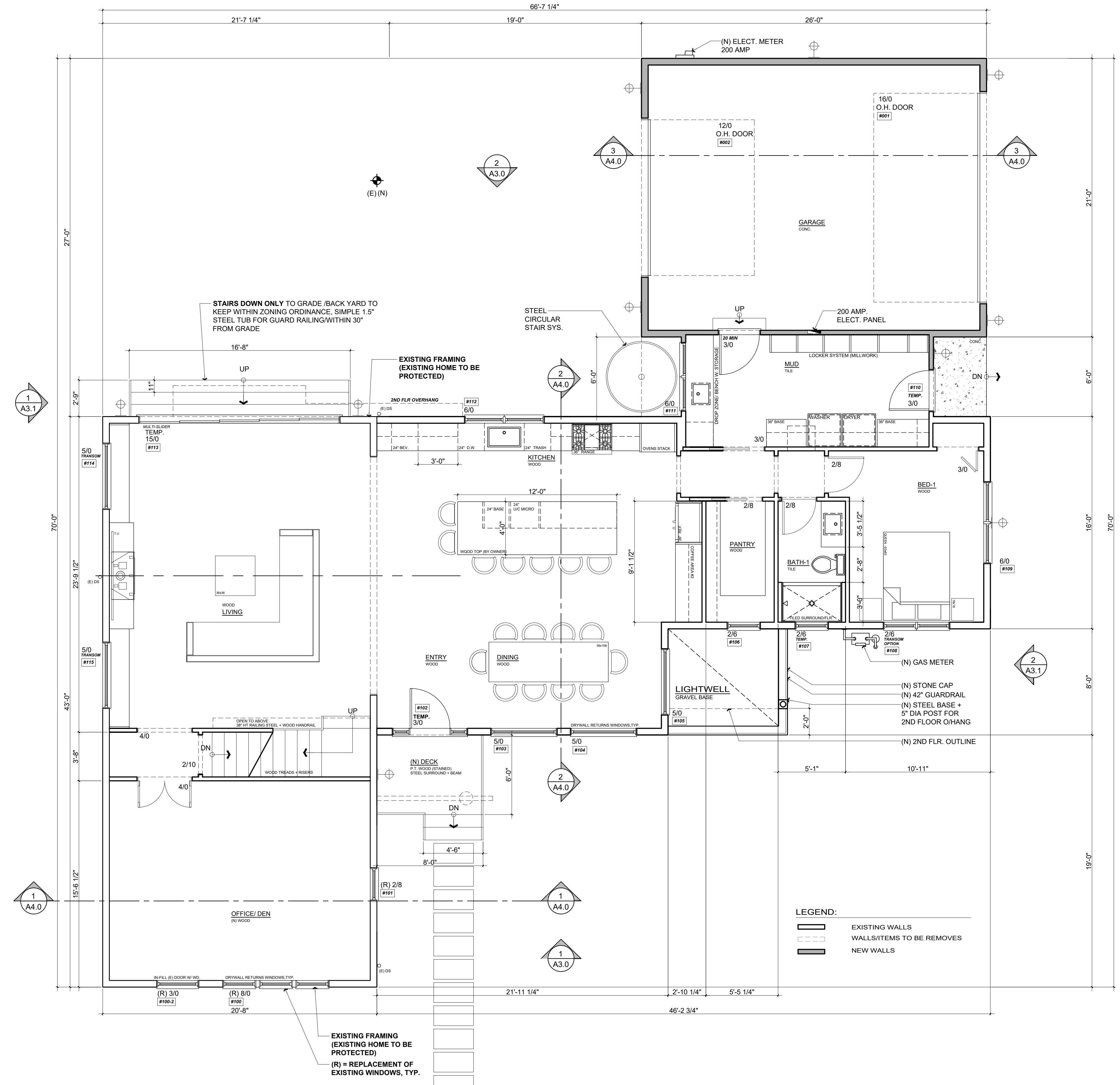
ALUM. SOFFIT  
(PROTECTED)  
ROOF LINE —  
(PROTECTED)  
WINDOWS —  
***LOCATED SAME***  
***LOCATION***  
SIDING ***CAN BE***  
(PROTECTED)

**WINDOWS —  
*LOCATED SAME  
LOCATION***  
DECK + ENTRY -  
***CAN BE***  
(PROTECTED)



# DEMO - FIRST FLOOR PLAN

A2.0



# **EXISTING/ PROPOSED FIRST FLOOR PLAN**

A2.0

Title : Existing/ Proposed First Floor Plan

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Project : HOPPE + JACOBS RESIDENCE  
1343 N. 72ND ST.  
WAUWATOSA WI 53213

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Pr

Sheet

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Scale: See Details

Sheet

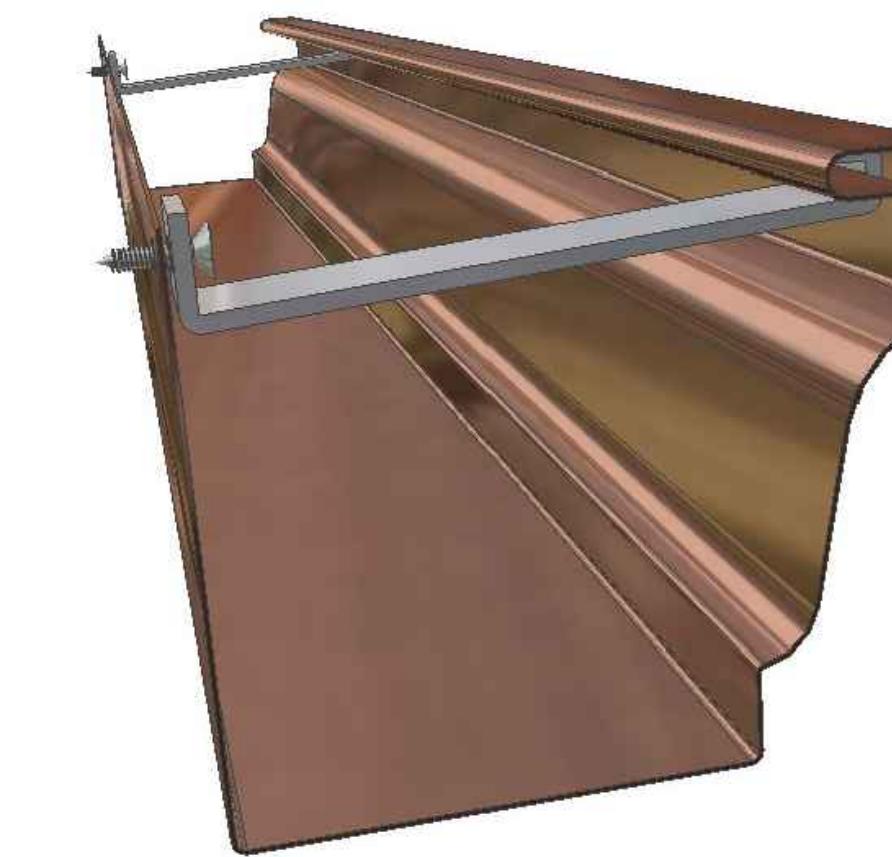
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Sheet

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Scale: See Details





**OGEE GUTTER (OPTION)**

OR APPROVED EQUAL

Scale: N/A A2.2

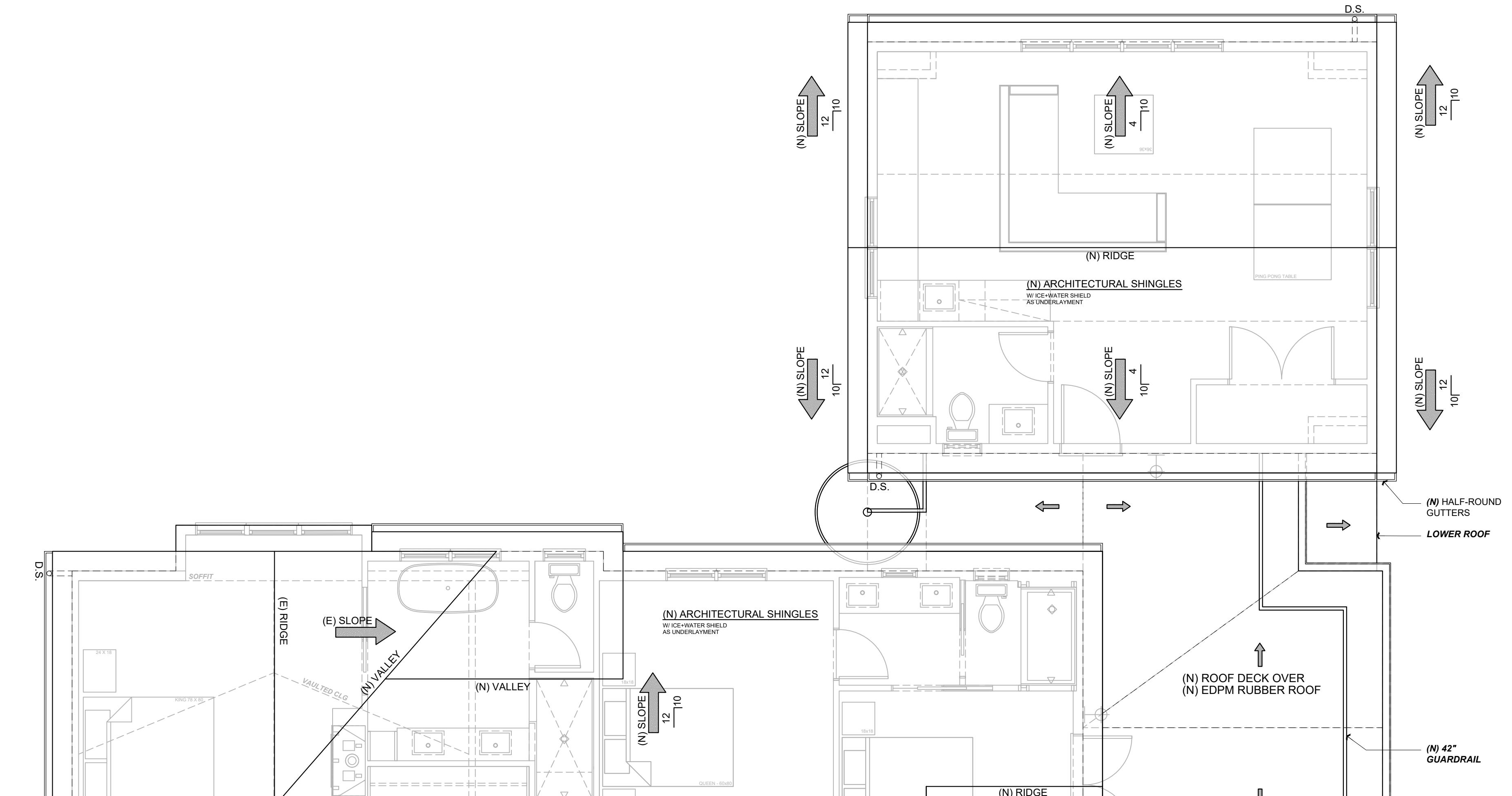
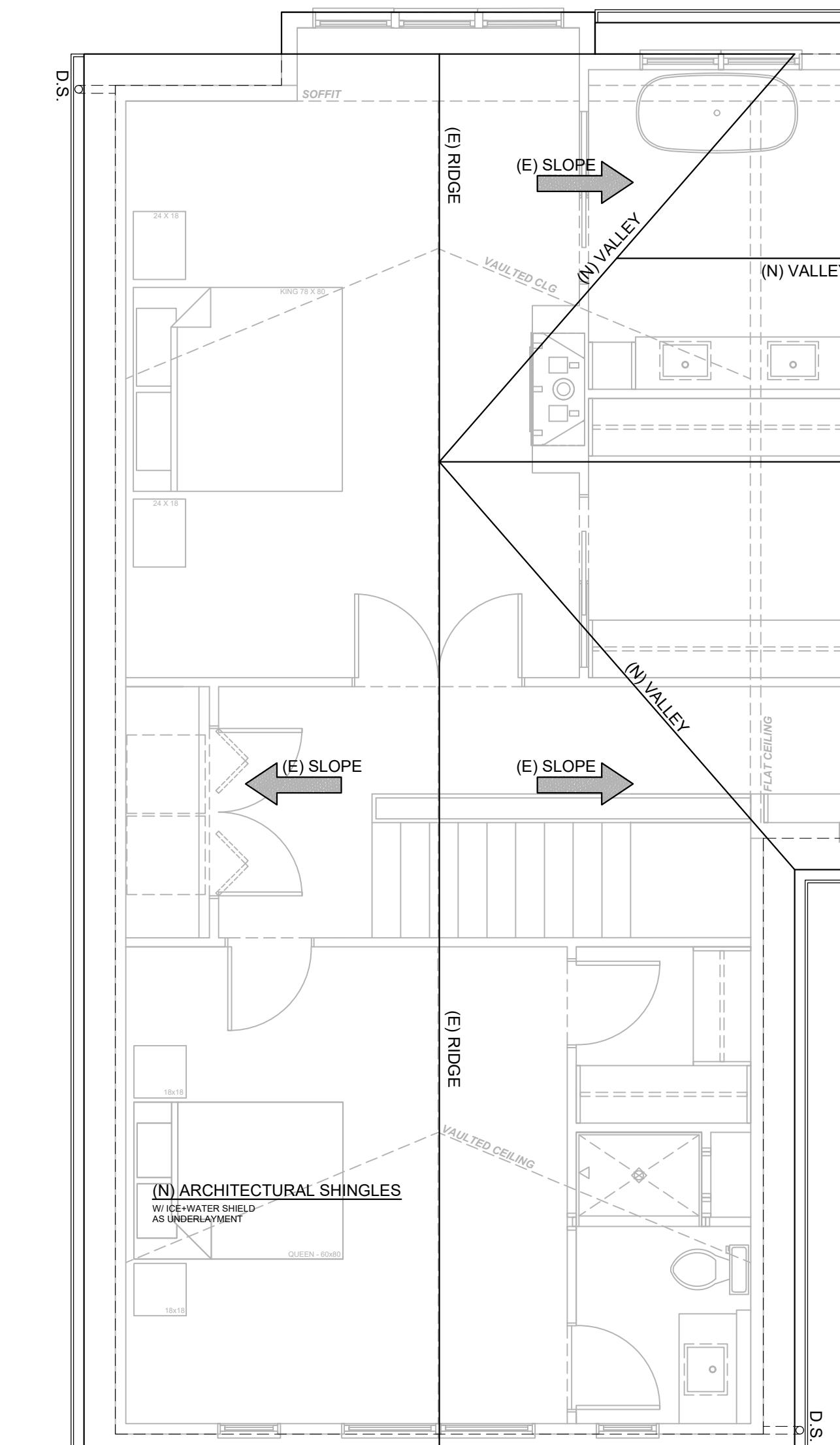


**GUTTER**

OR APPROVED EQUAL

Scale: N/A

3  
A2.2



**EXISTING/ PROPOSED ROOF PLAN**

Scale: 1/4 = 1'-0"

1  
A2.2

Title : Existing / Proposed Roof Plans  
 Project : HOPPE + JACOBS RESIDENCE  
 1343 N. 72ND ST.  
 WAUWATOSA WI 53213  
 Job No. : 24\_44 Drawn : TIM RADENZ Date : 11-12-24

4843 SILVER SPRINGS DRIVE  
 Park City, UT 84098  
 Ph: 435.819.0304  
 E-mail: TIM@FORMONEDESIGN.COM

**form + one**  
 DESIGN ■ PLANNING

Revisions

Rev. : Description : Date :

001		
002		
003		
004		
005		
006		

Contractor :

FREDERICK HOPPE + MELISSA JACOBS  
 4843 N. 72ND ST.  
 WAUWATOSA WI 53213  
 LOT SIZE: 6,207 SQ. FT.

BUILDING SET PLANNING SET

PARCEL# : 370-0376-000

A2.2  
 Sheet  
 Scale: See Details



FRONT ELEVATION N 72ND STREET

Scale:  $\frac{1}{4}$ " = 1'-0"

1  
A3.0



REAR ELEVATION

Scale:  $\frac{1}{4}$ " = 1'-0"

2  
A3.0

Title : Existing / Proposed Elevations  
 Project : HOPPE + JACOBS RESIDENCE  
 1343 N. 72ND ST.  
 WAUWATOSA WI 53213  
 Job No. : 24\_44 Drawn : TIM RADUNE Date : 11-12-24

Sheet : 1 of 2  
 Scale: See Details

Owner :  
 FREDERICK HOPPE + MELISSA JACOBS  
 4811 W. BLUEBIRD RD.  
 WAUWATOSA WI, 53226  
 Dimin: 8'-4 1/2"  
 Lot Size: 41' 207 Sq. Ft.  
 E-mail: TIM@FORNEONDESIGN.COM

Contractor :  
 BUILDING SET PLANNING SET

Revisions :  
 Rev. : Description : Date :  
 001  
 002  
 003  
 004  
 005  
 006

Comments :  
 CLASS A  
 ASPHALT SHINGLES  
 PER OWNER  
 BOARD + BATTEN SIDING  
 WINDOWS + DOORS TO HAVE  
 MODERN BRICK-MOULDING, U.O.N.  
 (N) 36" STEEL + CABLE GUARDRAIL  
 DRIVEWAY CONC.  
 LIGHTWELL  
 STREET NUMBERS AS PER  
 CITY CODE  
 SIERRA PACIFIC ALUM. CLAD WDS &  
 DOORS OR APPROVED EQ.

Building Set Planning Set

PARCEL# : 370-0376-000

Signature : Tim Radune

form + one

DESIGN ■ PLANNING

11-12-24

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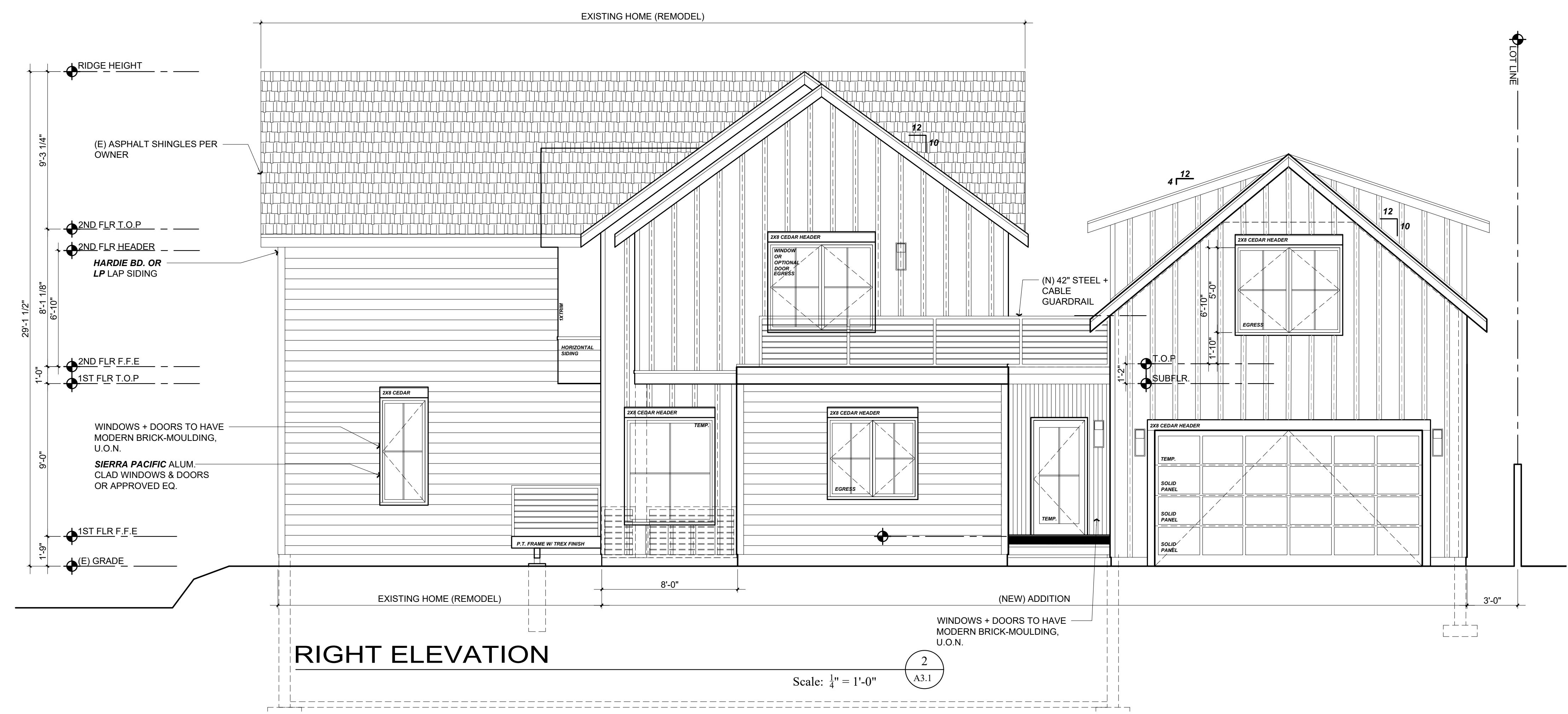
11-12-24

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11-12-24



Title : Proposed Elevations  
 Project : HOPPE + JACOBS RESIDENCE  
 1343 N. 72ND ST.  
 WAUWATOSA WI 53213

Sheet : A3.1  
 Scale: See Details

Contractor :

Owner :  
 FREDERICK HOPPE + MELISSA JACOBS  
 4843 SILVER SPRINGS DRIVE  
 Park City, UT 84098  
 Ph: 415.819.0304  
 E-mail: TIM@FORONEDESIGN.COM

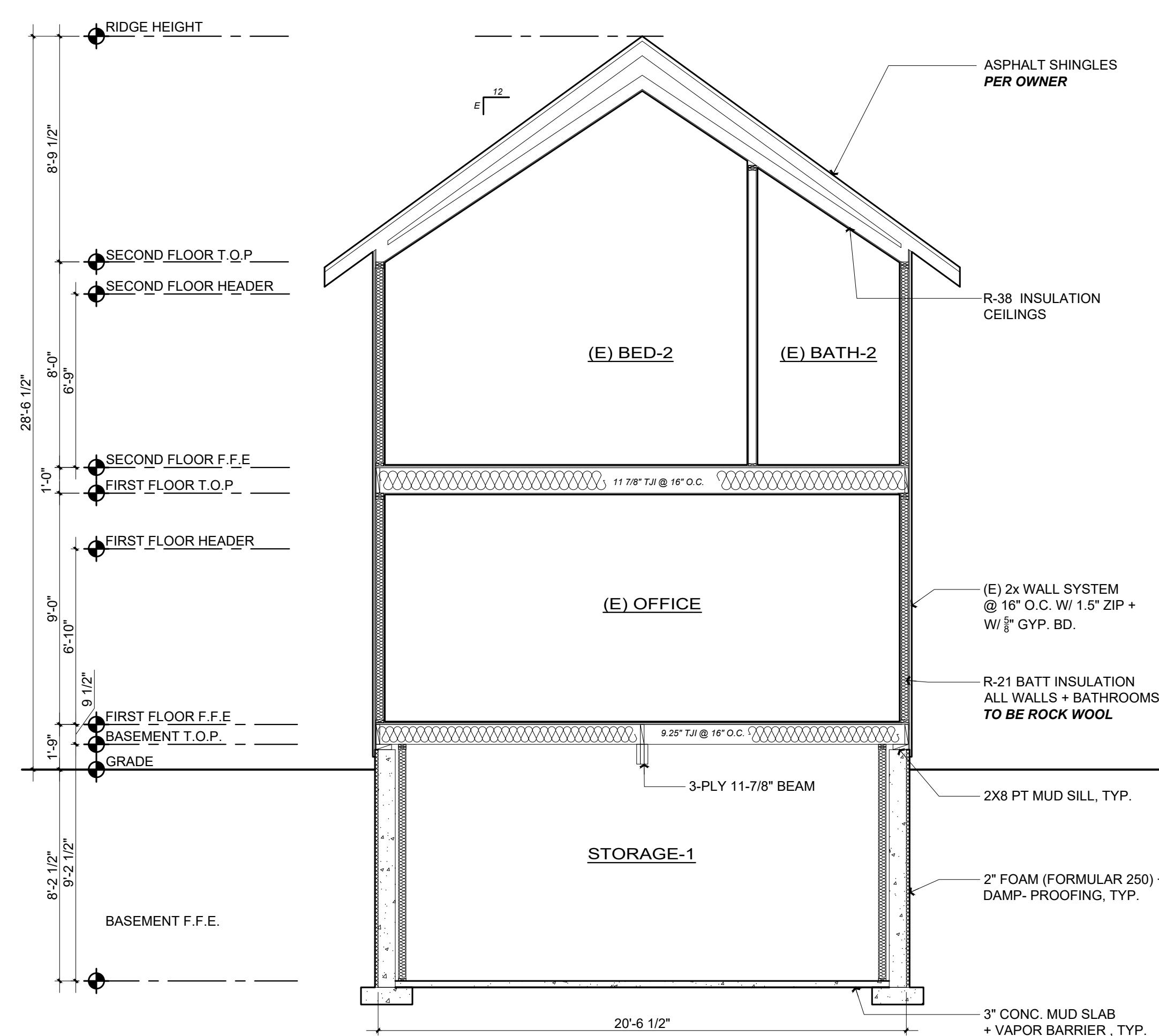
  
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 003  
 004  
 005  
 006

BUILDING SET PLANNING SET

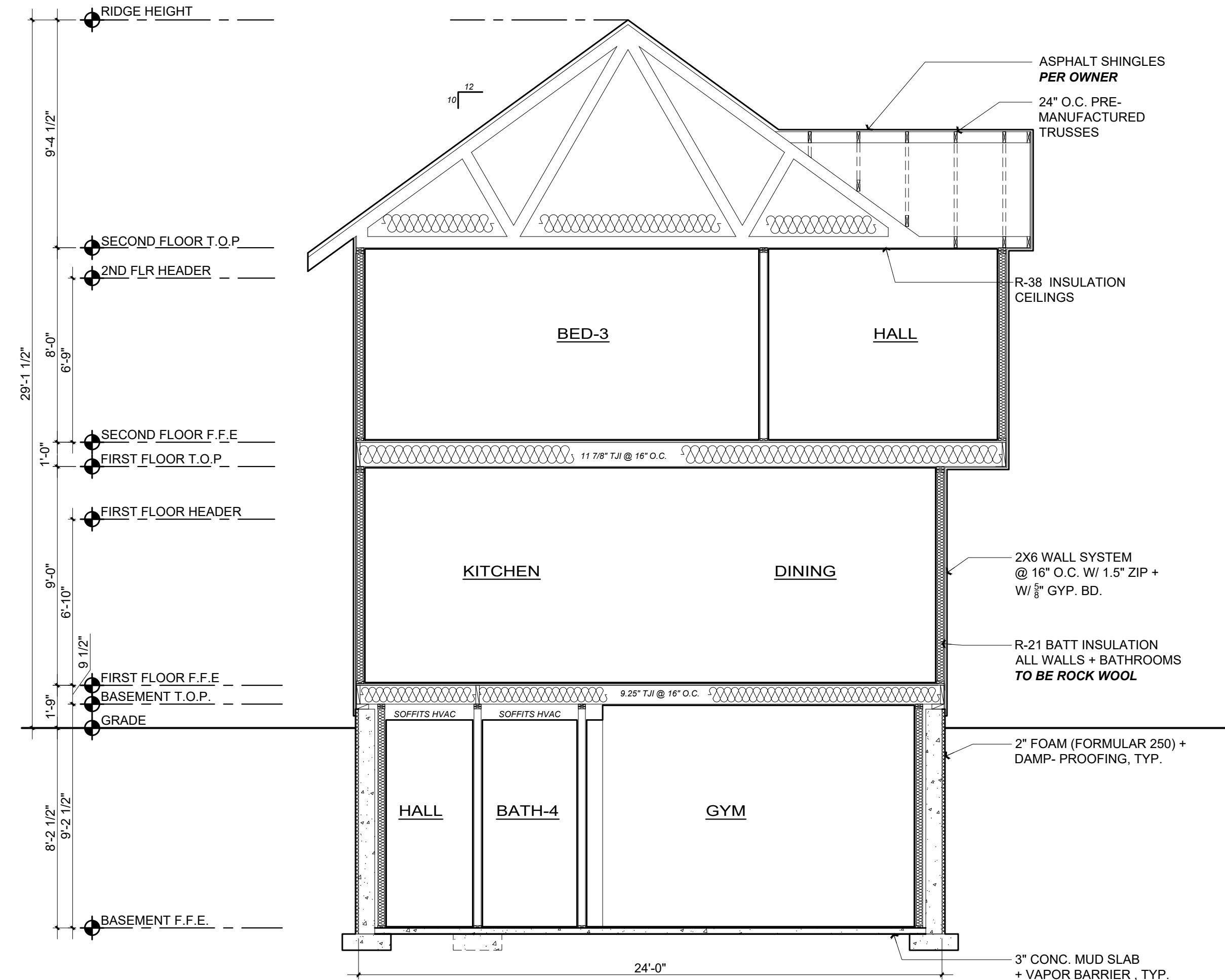
PARCEL# : 370-0376-000  
 LOT SIZE: 41,207 Sq. Ft.  
 E-mail: [TIM@FORONEDESIGN.COM](mailto:TIM@FORONEDESIGN.COM)

Sheet : A3.1  
 Scale: See Details



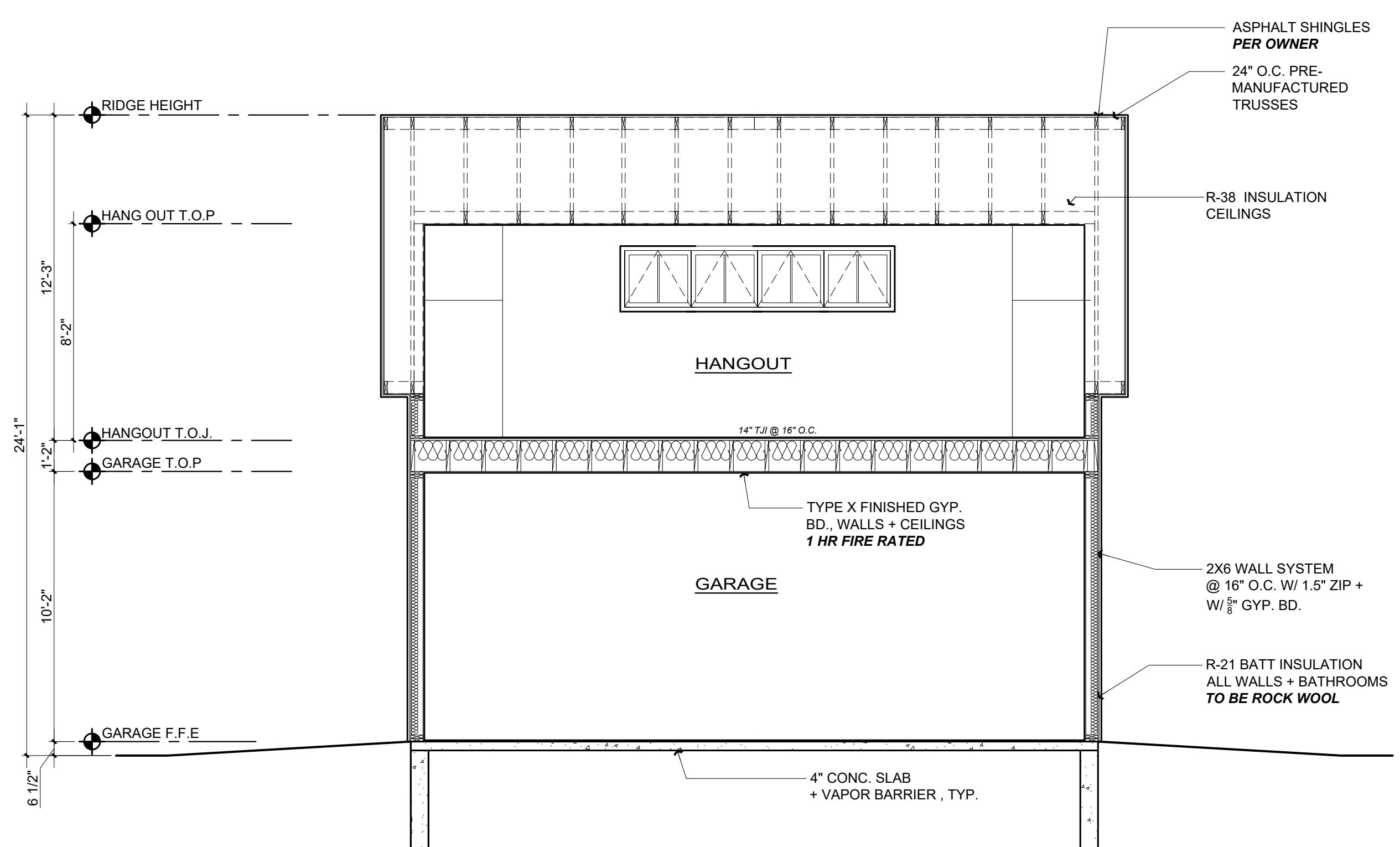
Building Section

Scale:  $\frac{1}{4}$ " = 1'-0" A4.0



Building Section

Scale:  $\frac{1}{4}$ " = 1'-0" A4.0



Building Section

Scale:  $\frac{1}{4}$ " = 1'-0" A4.0

Title : Proposed Building Sections  
 Project: HOPPE + JACOBS RESIDENCE  
 1343 N. 72ND ST.  
 WAUWATOSA WI 53213  
 Job No. : 24\_44 Drawn : TIM RADUNEZ Date : 11-12-24

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Owner :  
 FREDERICK HOPPE + MELISSA JACOBS  
 4843 SILVER SPRINGS DRIVE  
 Park City, UT 84098  
 Ph: 435.819.0304  
 E-mail: TIM@FORONEDESIGN.COM

Unit : R-6  
 Lot Size : 41,207 Sq. Ft.  
 PARCEL# : 370-0376-000

Revisions

Rev. :	Description :	Date :
001		
002		
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005		
006		

Contractor :

BUILDING SET

PLANNING SET

Sheet : See Details  
 Scale : See Details

A4.0

## ROOM FINISH SCHEDULE

ROOM	FLOORING	PAINT				REMARKS	PAINT SPECS.
		WALLS	CEILING	MILLWORK	CROWN		
ENTRY	WOOD	TBS	TBS	PAINT (TBS)	TBS		
DINING	WOOD	TBS	TBS	PAINT (TBS)	TBS		
KITCHEN	WOOD	TBS	TBS	PAINT (TBS)	TBS	(N) POT FILLER (OPTION)	
FAMILY	WOOD	TBS	TBS	PAINT (TBS)	TBS	(N) FIREPLACE	
OFFICE/DEN	WOOD	TBS	TBS	PAINT (TBS)	TBS		
PANTRY	WOOD	TBS	TBS	PAINT (TBS)	TBS		
MUD	TILE	TBS	TBS	PAINT (TBS)	TBS		
BED-1	WOOD	TBS	TBS	PAINT (TBS)	TBS		
BATH-1	TILE	TBS	TBS	PAINT (TBS)	TBS		
GARAGE	CONC	TBS	TBS	PAINT (TBS)	TBS	(N) EPOXY FLR (OPTION)	
HALL	WOOD	TBS	TBS	PAINT (TBS)	TBS		
MASTER BED.	WOOD	TBS	TBS	PAINT (TBS)	TBS	(N) HOOK UPS FOR W/D W/ DRAIN	
MASTER CLT.	WOOD	TBS	TBS	PAINT (TBS)	TBS	VAULTED CEILING	
MASTER BATH	TILE	TBS	TBS	PAINT (TBS)	TBS		
BED-2	WOOD	TBS	TBS	PAINT (TBS)	TBS		
BATH-2	TILE	TBS	TBS	PAINT (TBS)	TBS		
CLT-2	WOOD	TBS	TBS	PAINT (TBS)	TBS		
BED-3	WOOD	TBS	TBS	PAINT (TBS)	TBS		
CLT-3	WOOD	TBS	TBS	PAINT (TBS)	TBS		
BATH-3 (JJ)	TILE	TBS	TBS	PAINT (TBS)	TBS		
BED-4	WOOD	TBS	TBS	PAINT (TBS)	TBS		
CLT-4	WOOD	TBS	TBS	PAINT (TBS)	TBS		
KIDS HANG	WOOD/CARP.	TBS	TBS	PAINT (TBS)	TBS		
CLT-5	WOOD	TBS	TBS	PAINT (TBS)	TBS		
BATH-5	TILE	TBS	TBS	PAINT (TBS)	TBS		

## ROOM FINISH SCHEDULE

LOCATION	DOORS			DETAILS			HDWR.	REMARKS						
	DOOR SIZE	WxH	TYPE	SYM.	MATERIALS	CORE	EXT. FIN.	INT. FIN.	Glass	HEAD	JAMB	SILL	TRIM	TYPE
1ST FLR														

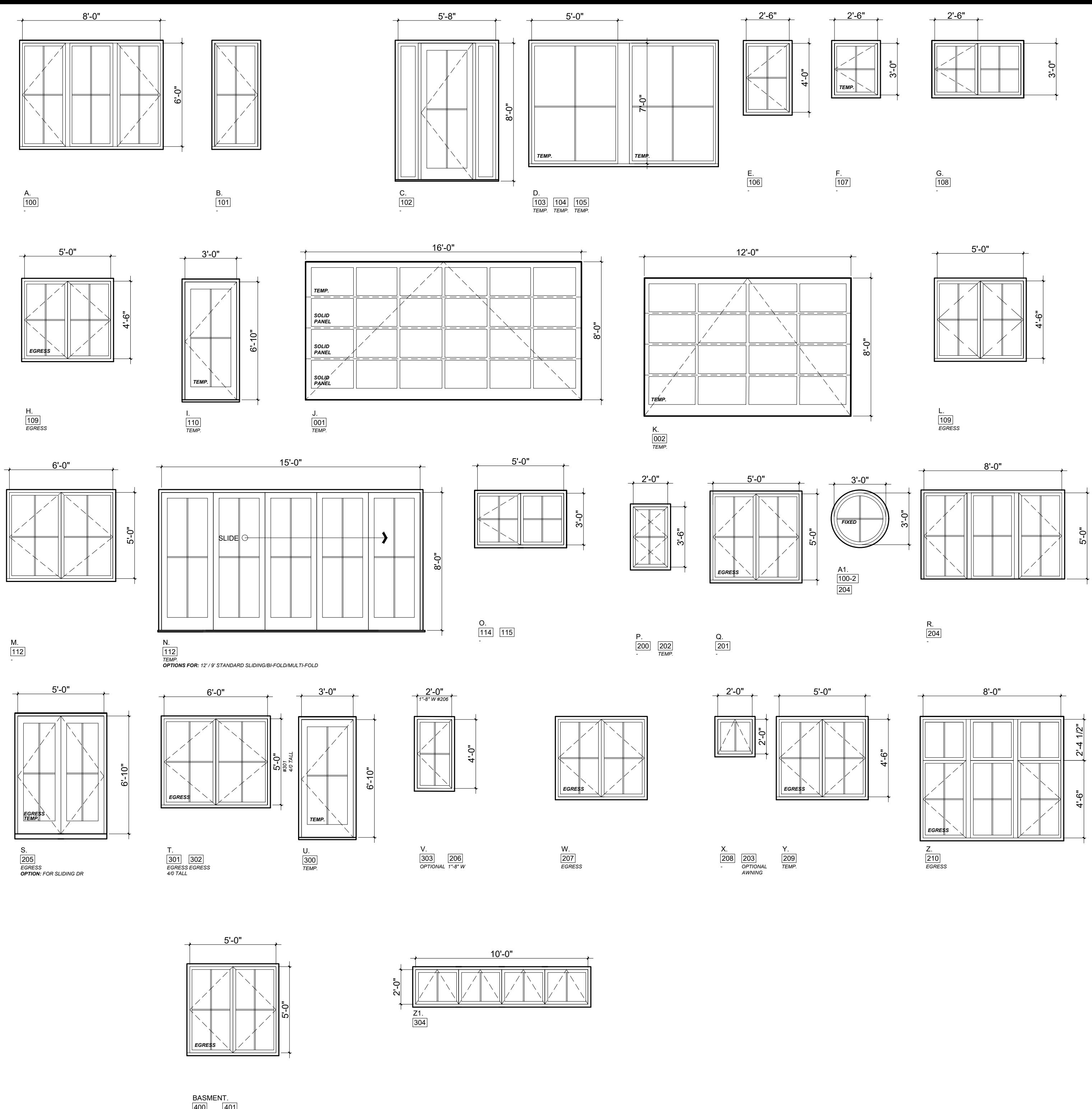
## EXT. DOORS & WINDOWS SCHEDULE

ROOM	APPLIANCE TYPE		MANUF.	FINISH	MODEL #	REMARKS
	1ST FLOOR	2ND FLOOR				
KITCHEN	36" RANGE (GAS) VIF		T.B.D.	T.B.D.	T.B.D.	T.B.D.
	36" VENT HOOD		T.B.D.	T.B.D.	T.B.D.	T.B.D., MIN. 100 CFM, VENT TO EXTERIOR PER CODE
	DISHWASHER (1 EA)		T.B.D.	T.B.D.	T.B.D.	T.B.D.
	DISPOSAL		T.B.D.	T.B.D.	T.B.D.	T.B.D., W/ AIR SWITCH
	REFRIGERATOR 36"		T.B.D.	T.B.D.	T.B.D.	T.B.D.
	DOUBLE OVENS		T.B.D.	T.B.D.	T.B.D.	T.B.D.
	MICROWAVE / DRAWER @ ISLAND		T.B.D.	T.B.D.	T.B.D.	T.B.D.
	24" OR 30" BEV. REF.		T.B.D.	T.B.D.	T.B.D.	T.B.D.
MUD	CLOTHES WASHER		T.B.D.	T.B.D.	T.B.D.	T.B.D., W/ DRAIN
	CLOTHES DRYER		T.B.D.	T.B.D.	T.B.D.	T.B.D., VENT TO EXTERIOR PER CODE
LAUNDRY 2ND	CLOTHES WASHER		T.B.D.	T.B.D.	T.B.D.	T.B.D., W/ DRAIN
	CLOTHES DRYER		T.B.D.	T.B.D.	T.B.D.	T.B.D., VENT TO EXTERIOR PER CODE

## APPLIANCE SCHEDULE

NOTE: ALLOWANCE AND INSTALLED BY ALLOWANCE. CONTRACTOR TO INCLUDE BLOCKING / ROUGH-IN AS NEEDED PER SPEC. SHEETS

Scale: NA  
A9.0



## EXT. DOORS & WINDOWS ELEVATIONS

Scale: 1/4" = 1'-0"

3  
A9.0

Title : Proposed Elevations

Project : HOPPE + JACOBS RESIDENCE  
1343 N. 72ND ST.  
WAUWATOSA WI 53213

Job No. : 24\_44 Drawn : TIM BADENE Date : 11-12-24

Revisions

Rev. : Description : Date :

1001  
1002  
1003  
1004  
1005  
1006

Contractor :

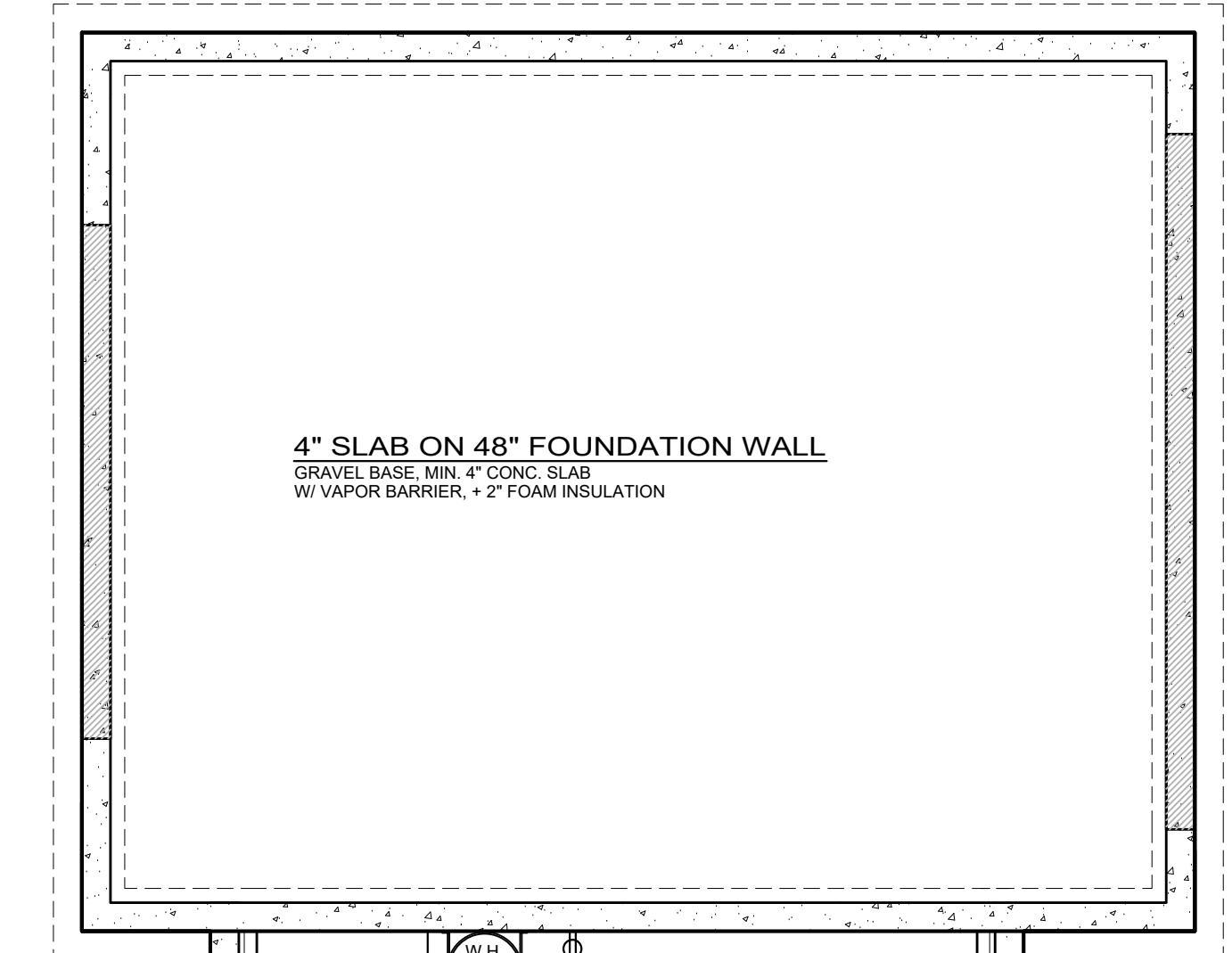
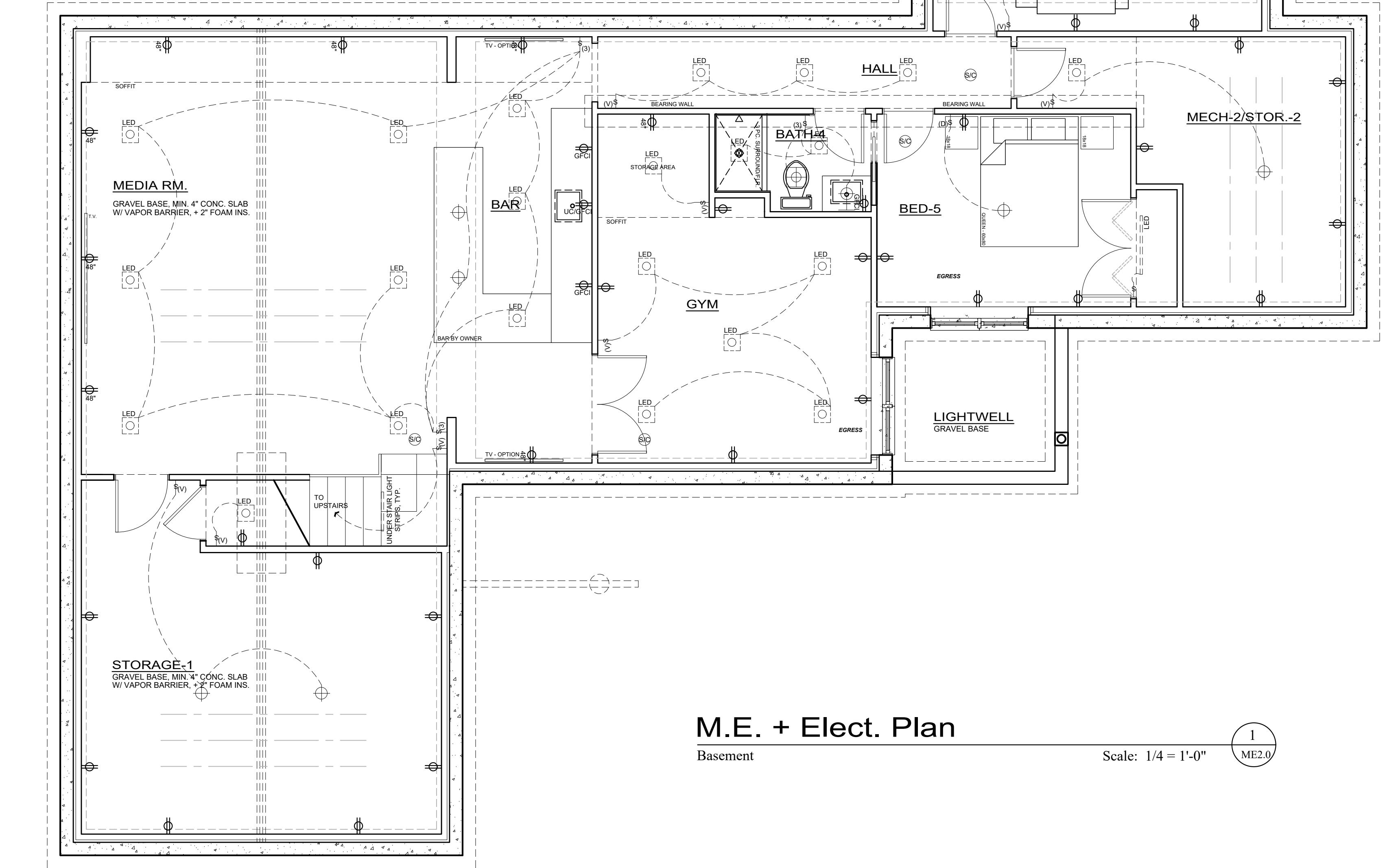
Owner : FREDERICK HOPPE + MELISSA JACOBS  
4843 SILVER SPRINGS DRIVE  
Park City, UT 84098  
Ph: 435.819.0304  
E-mail: TIM@FORMONEDESIGN.COM

  
form+one  
DESIGN ■ PLANNING

Sheet

Scale: See Details

A9.0



Title : Proposed ME Plan  
 Project : HOPPE + JACOBS RESIDENCE  
 1343 N. 72ND ST.  
 WAUWATOSA WI 53213

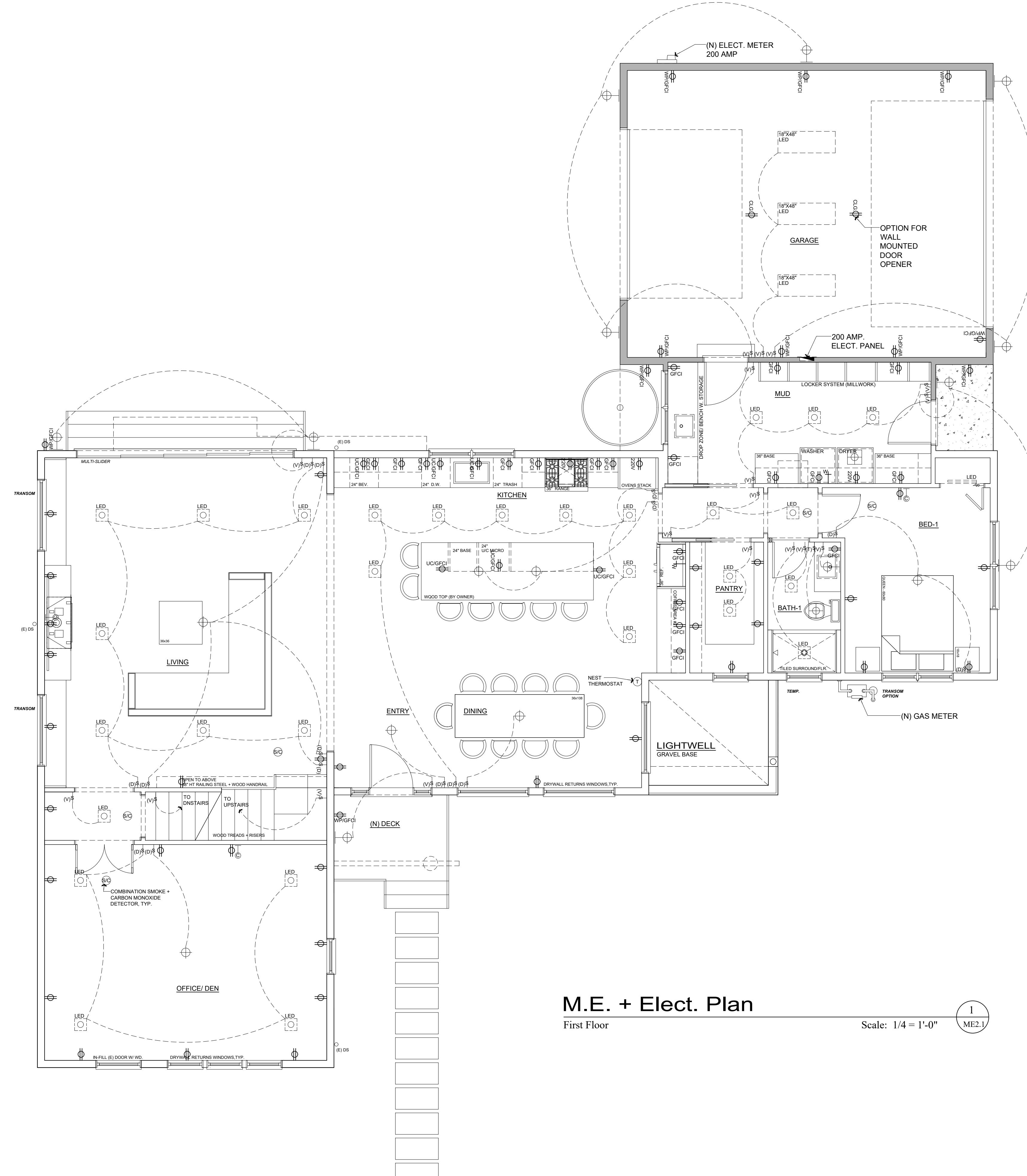
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 Sheet  
 Scale: See Details

Revisions  
 Rev. : Description : Date :  
 001  
 002  
 003  
 004  
 005  
 006

Contractor :  
 Owner :  
 4843 SILVER SPRINGS DRIVE  
 Park City, UT 84098  
 Ph: 415.819.0304  
 E-mail: TIM@FORMONEDESIGN.COM

BUILDING SET PLANNING SET  
 PARCEL# : 370-0376-000

*[Signature]*  
**form + one**  
 DESIGN ■ PLANNING



Title : Proposed ME Plan  
 Project : HOPPE + JACOBS RESIDENCE  
 1343 N. 72ND ST.  
 WAUWATOSA WI 53213  
 Job No. : 24\_44 Drawn : TIM BADENZ Date : 11-12-24

**ME2.1**  
 Sheet : See Details  
 Scale : See Details

Revisions :  
 Rev. : Description : Date :  
 001  
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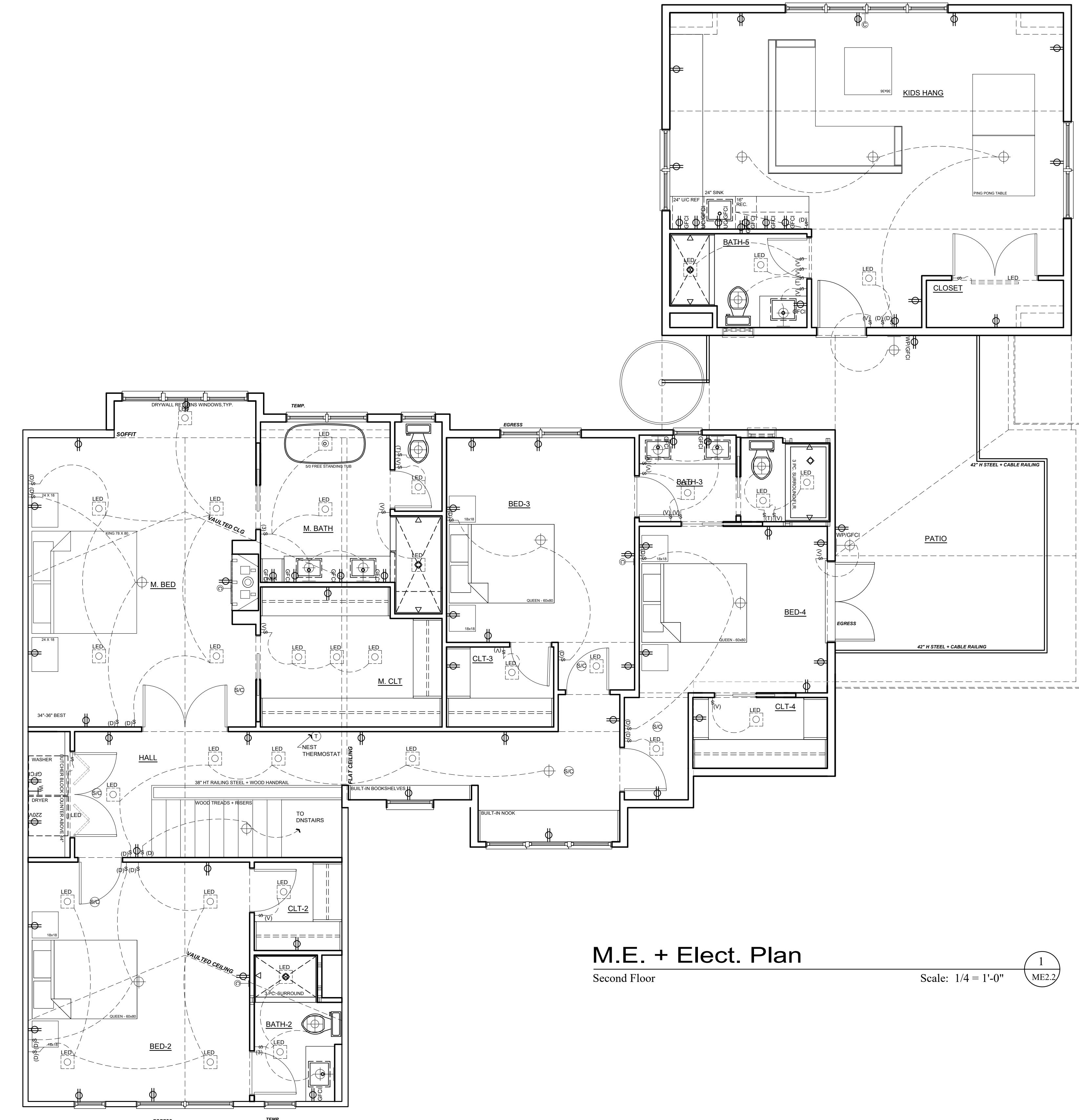
Owner : FREDERICK HOPPE + MELISSA JACOBS  
 4843 SILVER SPRINGS DRIVE  
 Park City, UT 84098  
 Ph: 435.819.0304  
 E-mail: TIM@FORMONEDESIGN.COM

Contractor :  
 BUILDING SET PLANNING SET

PARCEL# : 370-0376-000



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 DESIGN ■ PLANNING



Title : Proposed ME Plan

Project : HOPPE + JACOBS RESIDENCE  
1343 N. 72ND ST.  
WAUWATOSA WI 53213

ME2.2

Sheet

Scale: See Details

Revisions

Rev. : Description : Date :

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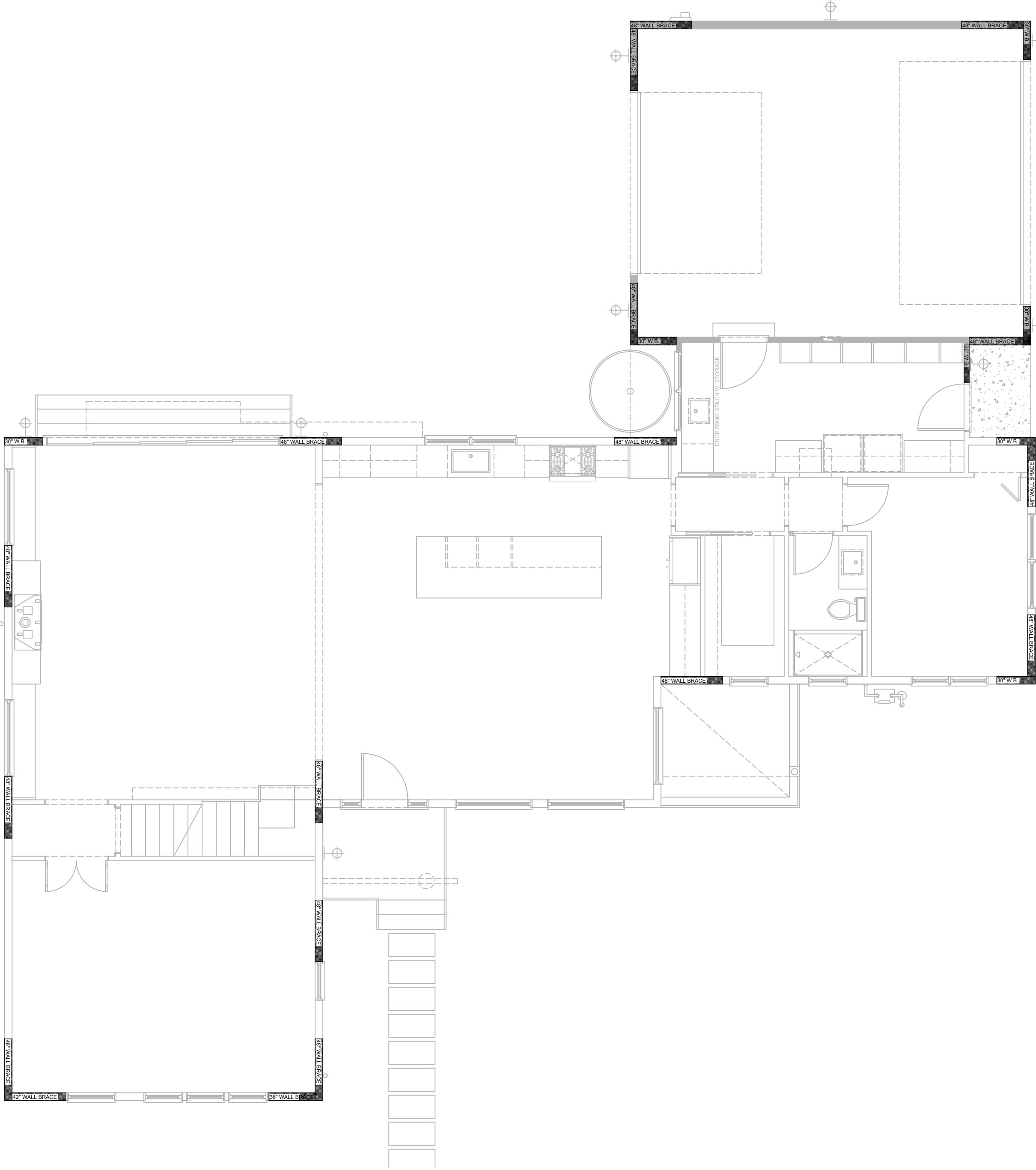
BUILDING SET PLANNING SET

Contractor :

Owner :  
FREDERICK HOPPE + MELISSA JACOBS  
8611 W. BLUEBIRD RD.  
WAUWATOSA WI, 53226  
LOT SIZE: 6,207 SQ. FT.  
4843 SILVER SPRINGS DRIVE  
Park City, UT 84098  
Ph: 435.819.0304  
E-mail: TIM@FORMONEDDESIGN.COM

  
**form + one**  
DESIGN ■ PLANNING

Scale: See Details

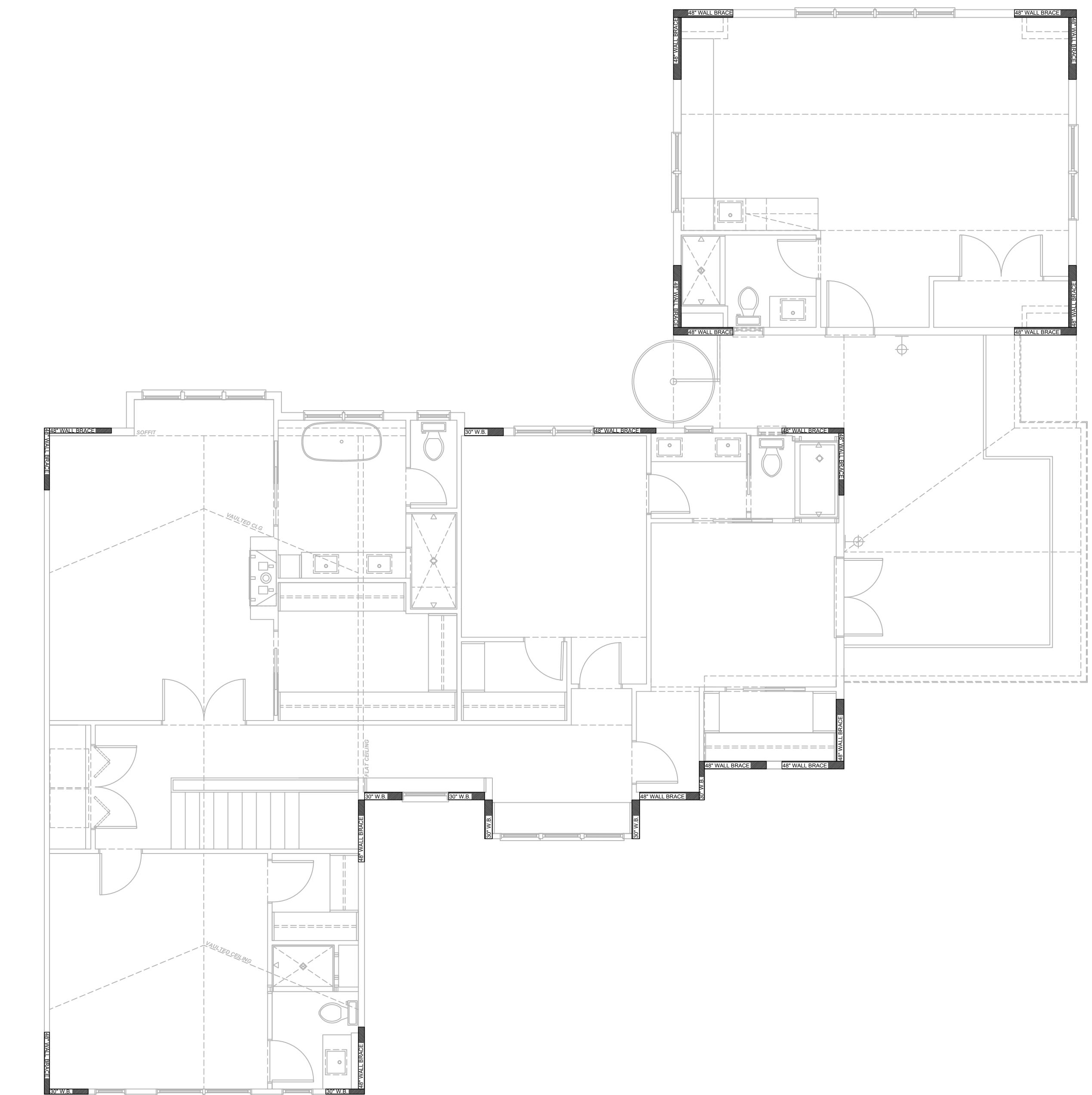


**WALL BRACING PLAN**

First Floor

Scale: 3/16" = 1'-0" WB1.0

1  
WB1.0



**WALL BRACING PLAN**

Second Floor

Scale: 3/16" = 1'-0" WB1.0

1  
WB1.0

Title : WALL BRACE PLAN

Project : HOPPE + JACOBS RESIDENCE  
1343 N. 72ND ST.  
WAUWATOSA WI 53213

Revisions

Rev. : Description : Date :

001  
002  
003  
004  
005  
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BUILDING SET

PLANNING SET

Contractor :

Owner :  
FREDRICK HOPPE + MELISSA JACOBS  
4843 SILVER SPRINGS DRIVE  
Park City, UT 84098  
Ph: 435.819.0304  
E-mail: TIMBFORMONEDESIGN.COM

**form + one**  
DESIGN ■ PLANNING

Revisions

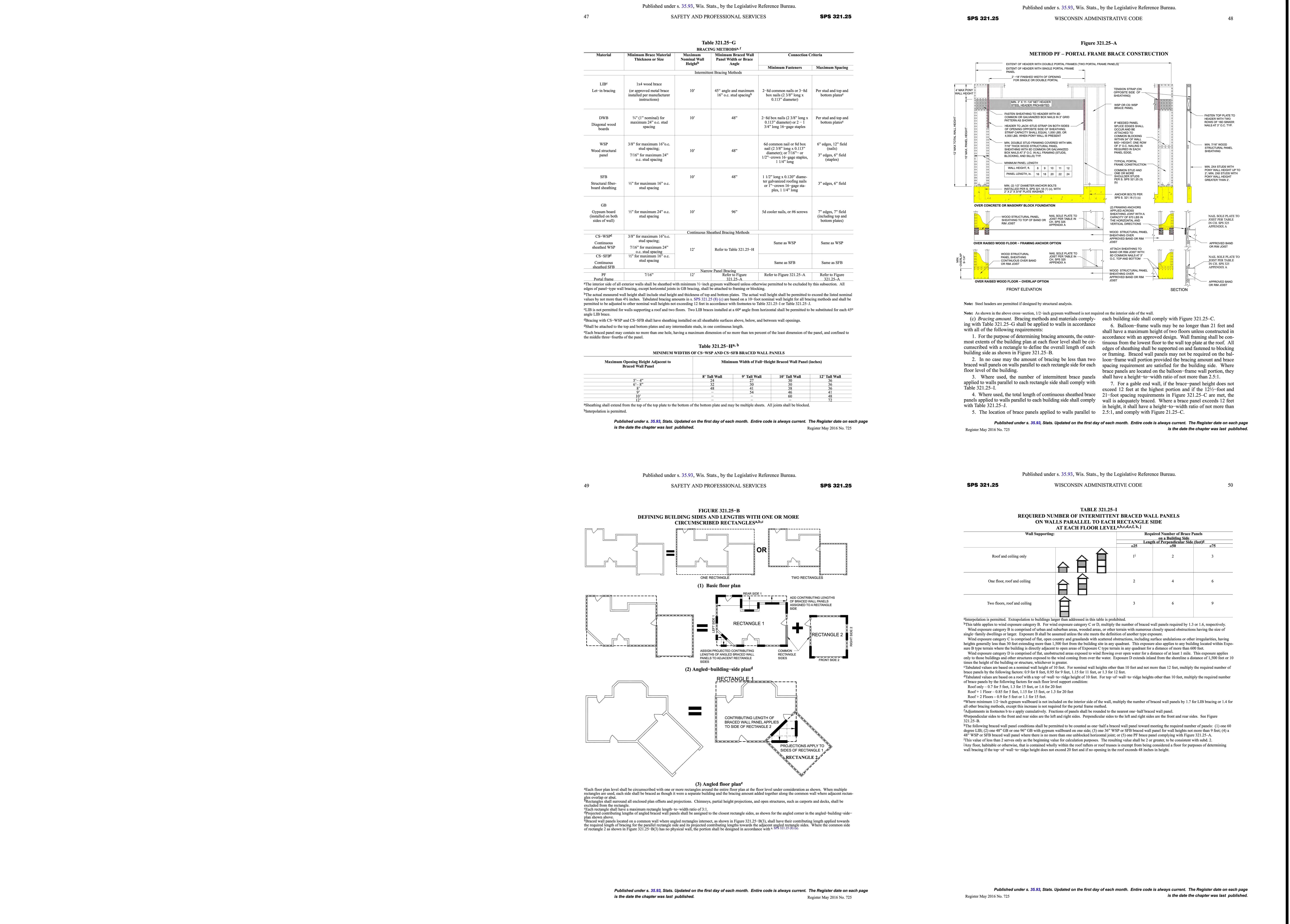
Rev. : Description : Date :

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002  
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Sheet

Scale: See Details

**WB1.0**



Project : HOPPE + JACOBS RESIDENCE  
1343 N. 72ND ST.  
WAUWATOSA WI 53213

Job No. : 24\_44 Drawn : TIM BAUDUIN Date : 11-12-24

Title : Wall Bracing Codes  
Sheet : 1  
Scale: See Details

Owner : FREDERICK HOPPE + MELISSA JACOBS  
4811 W. BELIEVE RD. #6  
WAUWATOSA WI, 53226  
Zoning R-6  
Lot Size: 6,207 Sq. Ft.

Contractor : BUILDING SET PLANNING SET

Revisions : Rev. : Description : Date :  
001  
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