



Wauwatosa, WI

Design Review Board

Meeting Agenda - Final

7725 W. North Avenue
Wauwatosa, WI 53213

Thursday, February 5, 2026

7:00 PM

Committee Room #1

ROLL CALL

NEW BUSINESS

1. 3920 N 102nd Street - New Residential Home [26-0262](#)
2. 1615 Wauwatosa - Return to Board - St Matthews - Windows [25-2340](#)
3. 6927 North Avenue - Lyss and Littles - Windows & Door [26-0264](#)
4. 999 N 92nd St - WI State Crime Lab / County Medical Examiner & Office of Emergency - Screening [26-0277](#)

ADJOURNMENT

NOTICE TO PERSONS WITH A DISABILITY

Persons with a disability who need assistance to participate in this meeting should call the City Clerk's office at (414) 479-8917 or send an email to tclerk@wauwatosa.net, with as much advance notice as possible.



Wauwatosa, WI

Staff Report

7725 W. North Avenue
Wauwatosa, WI 53213

File #: 26-0262

Agenda Date: 2/5/2026

Agenda #: 1.

3920 N 102nd Street - New Residential Home



○ FRONT / WEST ELEVATION

Scale: 22x34 3/8" = 1'-0"
11x17 3/16" = 1'-0"

Design/Build

REDLEAF
— HOMES —

17035 W. GREENFIELD AVENUE
NEW BERLIN, WI 53151
P: 414-248-5636
E: STEVE@REDLEAFWI.COM

Sheet Title

RENDERED FRONT ELEVATION

PERMIT PLANS

Revisions		
No.	Date	Description
	08-08-2025	CONCEPT 1
	10-17-2025	CONCEPT 2
	12-09-2025	FOR STRUCTURAL ANALYSIS
	01-15-2026	PERMIT PLANS
	01-27-2026	RENDERING

VANDE BERG
RESIDENCE
RE-BUILD

3902 N 102ND ST
WAUWATOSA, WI 53222

Sheet No.

A-5

3

VANDEBERG RESIDENCE EXTERIOR SELECTIONS

3920 N 102nd Street, Wauwatosa, WI 53222

ROOFING INFORMATION: See Exterior Elevations for all roof material locations.

- **Asphalt Shingles:** GAF Timberline Dimensional

Color: Weathered Wood



FASCIA & SOFFIT: LP SmartSide Pre-vented Soffit & Fascia

Color: Snowscape



GUTTER INFORMATION: Prefinished K-Style 5" Aluminum seamless

Color: ABC Rainware 80 White



DOWNSPOUT INFORMATION: 4" Aluminum Rectangular

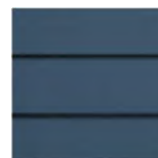
Color: Match Gutters

SIDING INFORMATION: See Exterior Elevations for locations.

- **Lap Siding:** 8" SmartSide Lap Siding with 6" Exposed

Texture: Cedar

Color: Rapids Blue



- **Board & Batten Siding:** LP SmartSide Panel with 1x2 LP SmartSide Battens @ 16" O.C.

Texture: Cedar

Color: Rapids Blue

- **Corner Trim:** 3 1/2" LP SmartSide Trim

Texture: Cedar

Color: Rapids Blue

- **Door & Window Trim:** 3 1/2" LP SmartSide Trim

Texture: Cedar

Color: Snowscape

FRONT BEAM & BRACKET, WINDOW & GARAGE DOOR HEADERS:

Material: Douglas Fir

Texture: Rough

Stain: Custom Brown Ash, See sample



WINDOW INFORMATION: Marvin Essentials Double Hung Windows

Exterior/Interior: Ebony

Divided Lite Style: GBR - Grilles -Between-the-Glass



FRONT DOOR INFORMATION: Simpson # 36812 SDL

Material: Doug Fir (Stain Grade)- **Glass:** Clear

Stain: Match Doug Fir Front Beam & Bracket (Custom Brown Ash)

Hardware Information: To be selected with all other hardware with Neu's Hardware



GARAGE DOOR INFORMATION: (1) 16X8' CHI Raised Panel Model #4283 OHD

Color: Black

Windows: Raised Panel Long

Window Inserts: Madison – Long

Glass: Plain/No Design

Exterior Hardware (Permanent): N/A



Exterior Selections - VandeBerg Residence

Page 1 of 2

VANDEBERG RESIDENCE PHOTO OF PHYSICAL EXTERIOR SAMPLES

3920 N 102nd Street, Wauwatosa, WI 53222



VANDE BERG EXTERIO LIGHT FIXTURE INFORMATION

LIGHT FIXTURE A & B



TROYER

1195BK

LARGE WALL MOUNT BARN LIGHT

Troyer's authentic outdoor collection captures the enduring allure of American farmhouse lighting. Constructed in solid aluminum, Troyer's warm and inviting heritage details combine with unique ribbed glass accent and timeless finishes for a classic silhouette.

DETAILS	
FINISH:	Black
MATERIAL:	Aluminum
GLASS:	Clear Ribbed
DIMMABLE:	YES - WITH DIMMABLE LAMP (NOT INCLUDED)

DIMENSIONS	
WIDTH:	14"
HEIGHT:	11.5"
WEIGHT:	2.5lb
BACK PLATE:	6" Dia.
EXTENSION:	24"
TOP TO OUTLET:	6.25"

LIGHT SOURCE	
LIGHT SOURCE:	Socketed
WATTAGE:	1-12w Med. LED, 100w Equiv.
VOLTAGE:	120v

SHIPPING	
CARTON LENGTH:	17
CARTON WIDTH:	11
CARTON HEIGHT:	22.5
CARTON WEIGHT:	4.5

PRODUCT DETAILS:

- Wet Rated
- Outdoor finishes carry a 2-year warranty
- Angular lines, a bold finish and robust details create an industrial edge to add flair to any type of facade
- Aluminum material ensures this piece can withstand strenuous outdoor conditions
- Mounted at a point of entry, wall mount lights provide safety and security with a welcoming element

HINKLEY

HINKLEY
33000 Pin Oak Parkway
Avon Lake, OH 44012

PHONE: (440) 653-5500
Toll Free: 1 (800) 446-5539

hinkley.com

LIGHT FIXTURE C: VAXCEL LIGHTING HIGHLAND PARK 10" TALL LED OUTDOOR WALL Sconce MODEL: T0804

Finish: Matte Black

Features: Constructed from steel
Comes with steel shade
Uses medium (E26) bulbs
ETL for wet locations
Title 24 compliant

Dimensions: Height: 9-1/2"
Extension: 11-1/4"
Shade Height: 3-7/8"
Shade Depth: 9"
Backplate Width: 4-3/4"

Width: 9"
Product Weight: 2.16 lbs
Shade Width: 9"
Backplate Height: 4-3/4"
Backplate Depth: 13/16"

Electrical Specifications:
Max Wattage: 60.0 watts
Watts Per Bulb: 60 watts
Bulb Type: LED

Number of Bulbs: 1
Bulb Base: Medium (E26)
Voltage: 120 volts



THREE LIGHTS IN ONE

- 1. MOTION SENSOR**
- 2. DUSK TO DAWN**
- 3. SWITCH CONTROLLED**

MULTI 3-IN-1 FUNCTION

VARIABLE LIGHT ACTIVATION VIA 3 UNIQUE MODES

FULLY CUSTOMIZABLE SETTINGS

CONVENIENT CONTROL ACCESS

MOTION SHUT-OFF DELAY
5 sec - 3 min

MOTION SENSITIVITY
30 ft

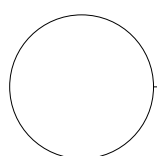
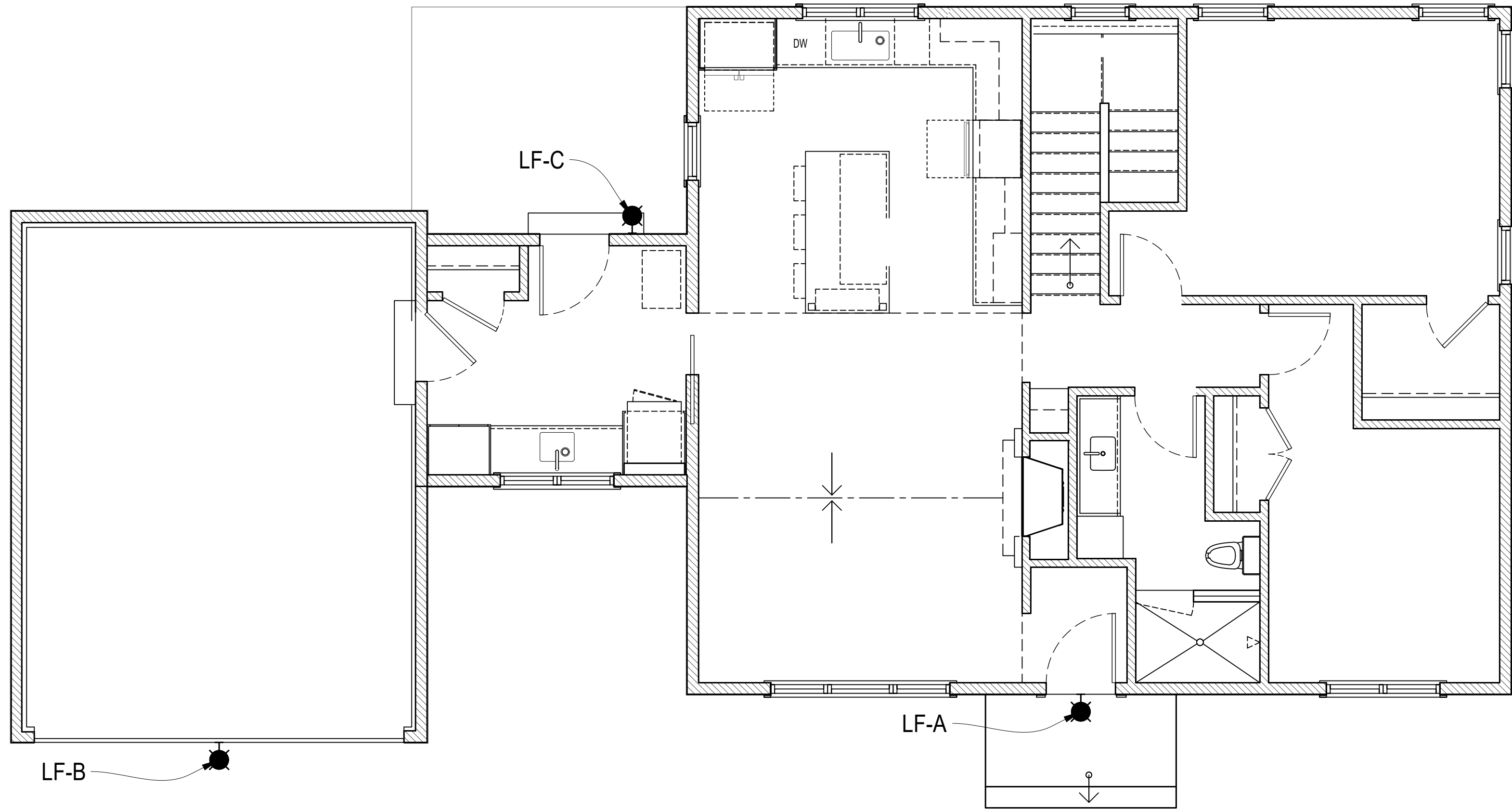
MODES of OPERATION
4 modes

30%
LOW LEVEL STAND-BY

100%
MOTION

HOW IT DUALUX WORKS

SECURITY OPTIONS TO FIT YOUR LIFESTYLE



EXTERIOR LIGHTING PLAN

Scale: 22x34 1/4" = 1'-0"
11x17 1/8" = 1'-0"

LIGHT FIXTURE KEY

LF-A & LF-B:
FINISH: BLACK



ITEM NUMBER 1195DZ
BRAND Hinkley Lighting
MATERIAL Aluminum
GLASS Ribbed Clear
HEIGHT 11.5"
WIDTH 14.0"
VOLTAGE 120v
WATTAGE 1-100w Med.
CERTIFICATION C-US Wet Rated
EXTENSION 24.0"
TOP TO OUTLET 6.3"
BACK PLATE 6" Dia.

FEATURES AND BENEFITS

- Suitable for use in wet (interior direct splash and outdoor direct rain or sprinkler) locations as defined by NEC and CEC. Meets United States UL Underwriters Laboratories & CSA Canadian Standards Association Product Safety Standards
- For complete warranty information visit ([hyperlink](#))
- 2 year finish warranty
- 12 year warranty on electrical wiring and components
- Angular lines, a bold finish and robust details create an industrial edge to add flair to any type of façade
- Rich gray tone

LF-C:

VAXCEL LIGHTING HIGHLAND PARK 10" TALL LED OUTDOOR WALL Sconce

MODEL: T0804

Finish: Matte Black

Features: Constructed from steel
Comes with steel shade
Uses medium (E26) bulbs
ETL for wet locations
Title 24 compliant
Height: 9-1/2"
Extension: 11-1/4"
Shade Height: 3-7/8"
Shade Depth: 9"
Backplate Width: 4-3/4"

Electrical Specifications:

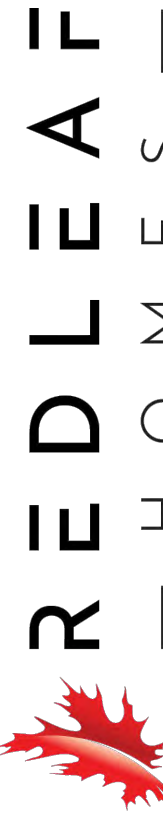
Max Wattage: 60.0 watts
Watts Per Bulb: 60 watts
Bulb Type: LED

Width: 9"
Product Weight: 2.16 lbs
Shade Width: 9"
Backplate Height: 4-3/4"
Backplate Depth: 13/16"

Number of Bulbs: 1
Bulb Base: Medium (E26)
Voltage: 120 volts



Design/Build



17035 W. GREENFIELD AVENUE
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Sheet Title

EXTERIOR LIGHTING PLAN
AND LIGHT FIXTURE KEY

PERMIT PLANS

Revisions

No.	Date	Description
	08-08-2025	CONCEPT 1
	10-17-2025	CONCEPT 2
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	01-15-2026	PERMIT PLANS
R-1	01-29-2026	PERMIT PLANS

VANDE BERG
RESIDENCE
RE-BUILD

3920 N 102ND ST
WAUWATOSA, WI 53222

Sheet No.

E-1

DRAWING ONLY

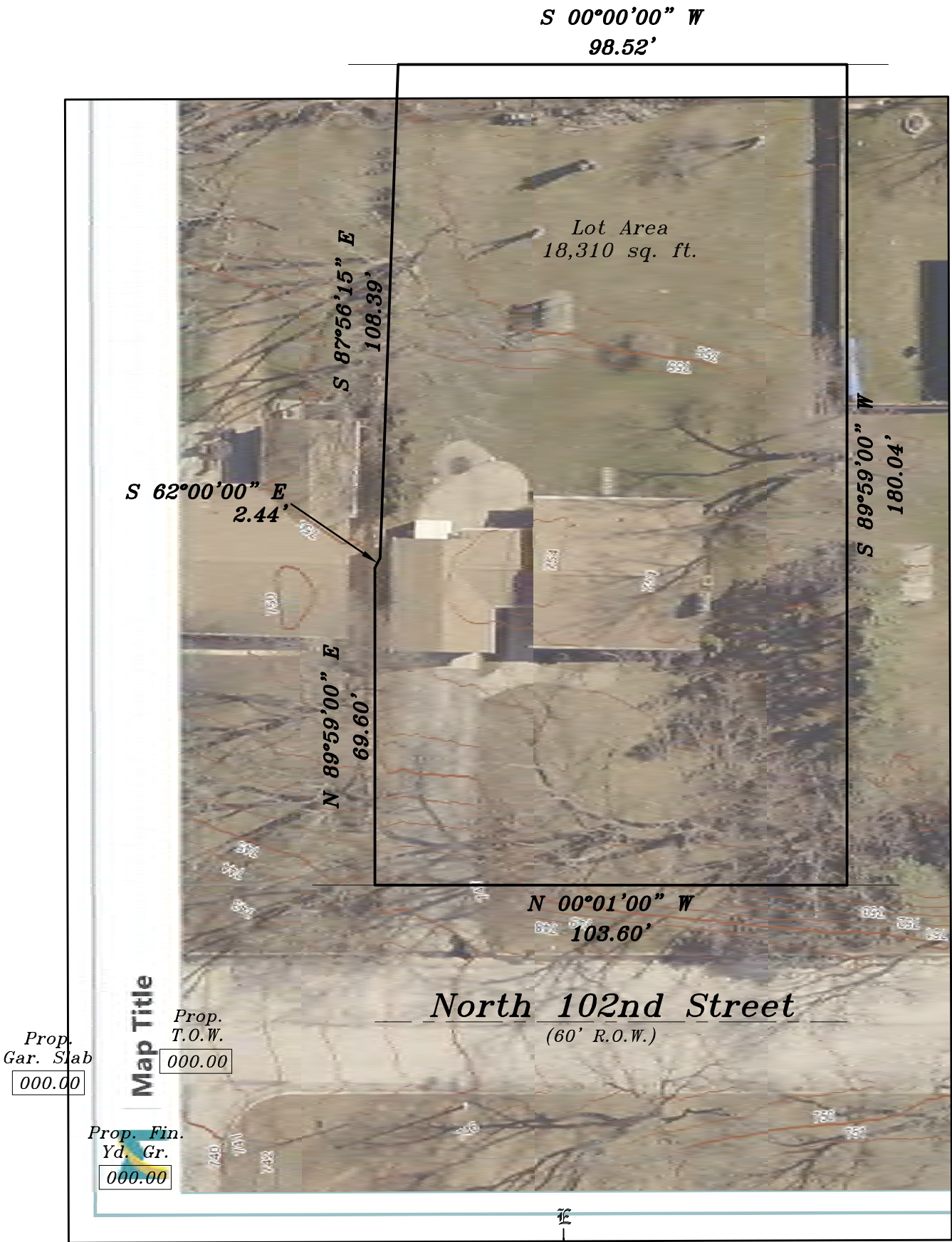
LOCATION: 3920 North 102nd Street, Wauwatosa, Wisconsin

LEGAL DESCRIPTION:

That part of the Northwest 1/4 of Section 8, Town 7 North, Range 21 East, in the City of Wauwatosa, Milwaukee County, Wisconsin, bounded and described as follows: Commencing at the Northeast corners of said 1/4 Section, thence South 89°41'00° West along the North line of said 1/4 Section, 698.07 feet to a point; thence South 00°01'00" East 459.28 feet to the Northwest corner of land to be described; thence North 89°59'00" East 99.59 to a point; thence South 62°00'00" East, 2.44 feet; thence South 87°56'15" East, 108.39 feet; thence due South, 98.52 feet; thence South 89°59'00" West, 210.04 feet; thence North 00°01'00" West, 103.60 feet to the point of beginning. Excepting therefrom the West 30.00 feet for road right-of-way. Continuing 18,310.4 square feet (.42 acres) of land.

August 26, 2025 (Drawing Only)

Survey No. 116223



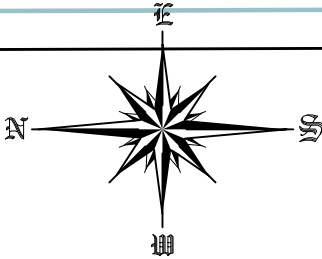
Proposed finished yard, 1st floor or top of foundation grade shown on this drawing is a suggested grade and should be verified by the owner, builder or municipality.

METROPOLITAN SURVEY SERVICE, INC.

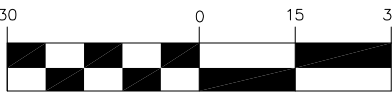
PROFESSIONAL LAND SURVEYORS

8482 South 76th Street
Franklin, Wisconsin 53132
PHONE (414) 529-5380
survey@metropolitansurvey.com
www.metropolitansurvey.com

- — Denotes Iron Pipe Found
- — Denotes Iron Pipe Set
- 000.0 — Denotes Proposed Grade
- x—x—x— Denotes Proposed Silt Screen



GRAPHIC SCALE



(IN FEET)
1 inch = 30 ft.

I HEREBY CERTIFY THAT I HAVE SURVEYED THE ABOVE DESCRIBED PROPERTY AND THAT THE ABOVE MAP IS A TRUE REPRESENTATION THEREOF AND SHOWS THE SIZE AND LOCATION OF THE PROPERTY. ITS EXTERIOR BOUNDARIES, THE LOCATION OF ALL VISIBLE STRUCTURES AND DIMENSIONS OF ALL PRINCIPAL BUILDINGS THEREON, BOUNDARY FENCES, APPARENT EASEMENTS AND ROADWAYS AND VISIBLE ENCROACHMENT, IF ANY.

THIS SURVEY IS MADE FOR THE EXCLUSIVE USE OF THE PRESENT OWNERS OF THE PROPERTY, AND ALSO THOSE WHO PURCHASE, MORTGAGE, OR GUARANTEE THE TITLE THERETO WITHIN ONE (1) YEAR FROM THE DATE HEREOF.

SIGNED _____
Dennis C. Sauer
Professional Land Surveyor S-2421

PLAT OF SURVEY

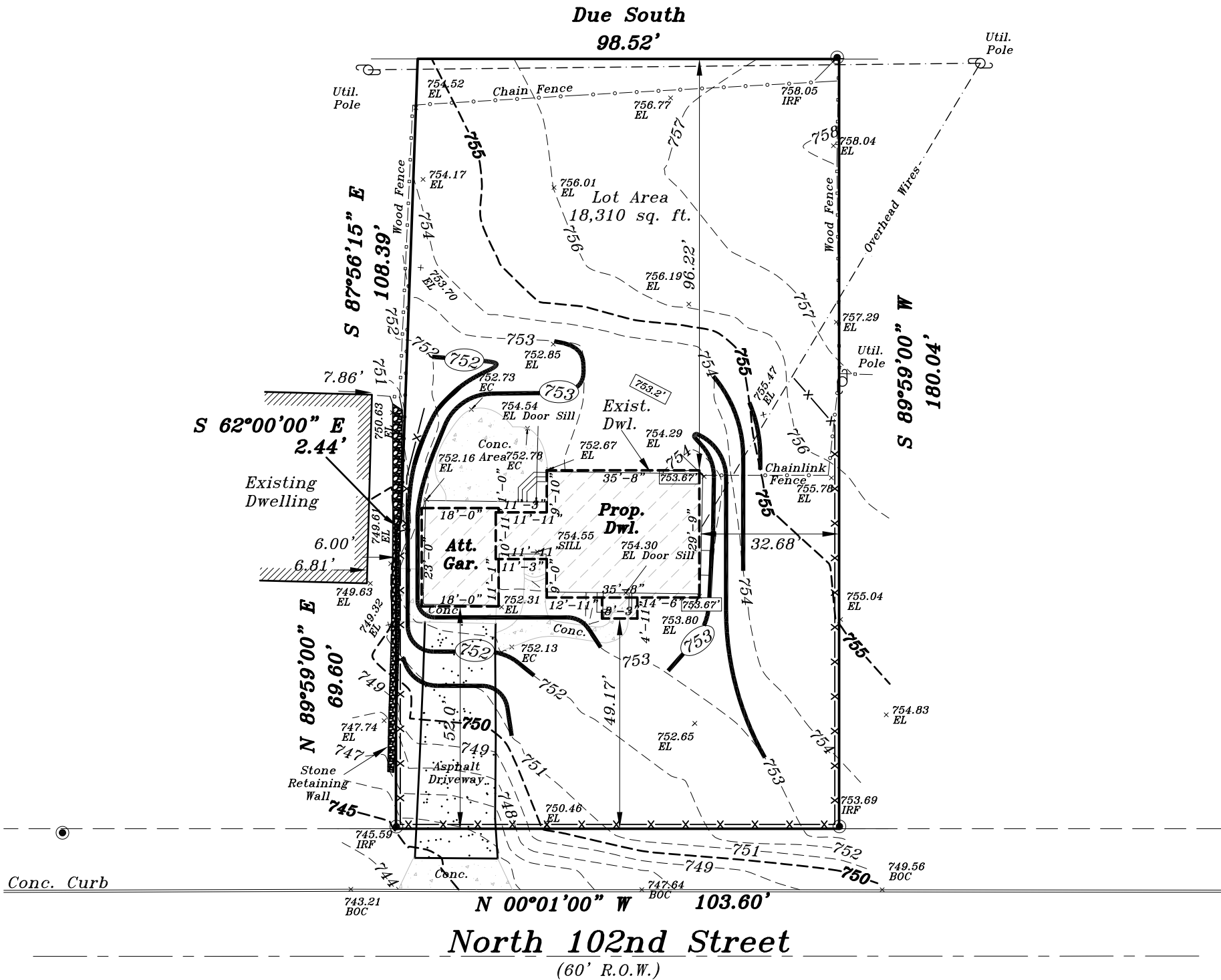
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September 15, 2025
January 16, 2026 Added Foundation Plan (Not Staked)
January 21, 2026 Added Proposed Grading (Not Staked)

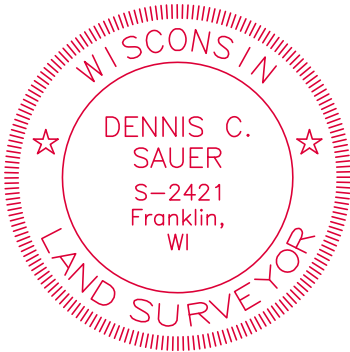
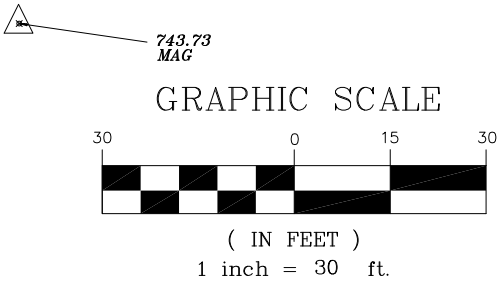
Survey No. 116223



Prop. Gar. Slab
753.33'
(8" drop)

Prop. T.O.W.
754.33'

Prop. Fin. Yd. Gr.
753.67'



Proposed finished yard, 1st floor or top of foundation grade shown on this drawing is a suggested grade and should be verified by the owner, builder or municipality.

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- — Denotes Iron Rod Found
- — Denotes Iron Pipe Set

000.0 — Denotes Proposed Grade

—x—x—x— Denotes Proposed Silt Screen



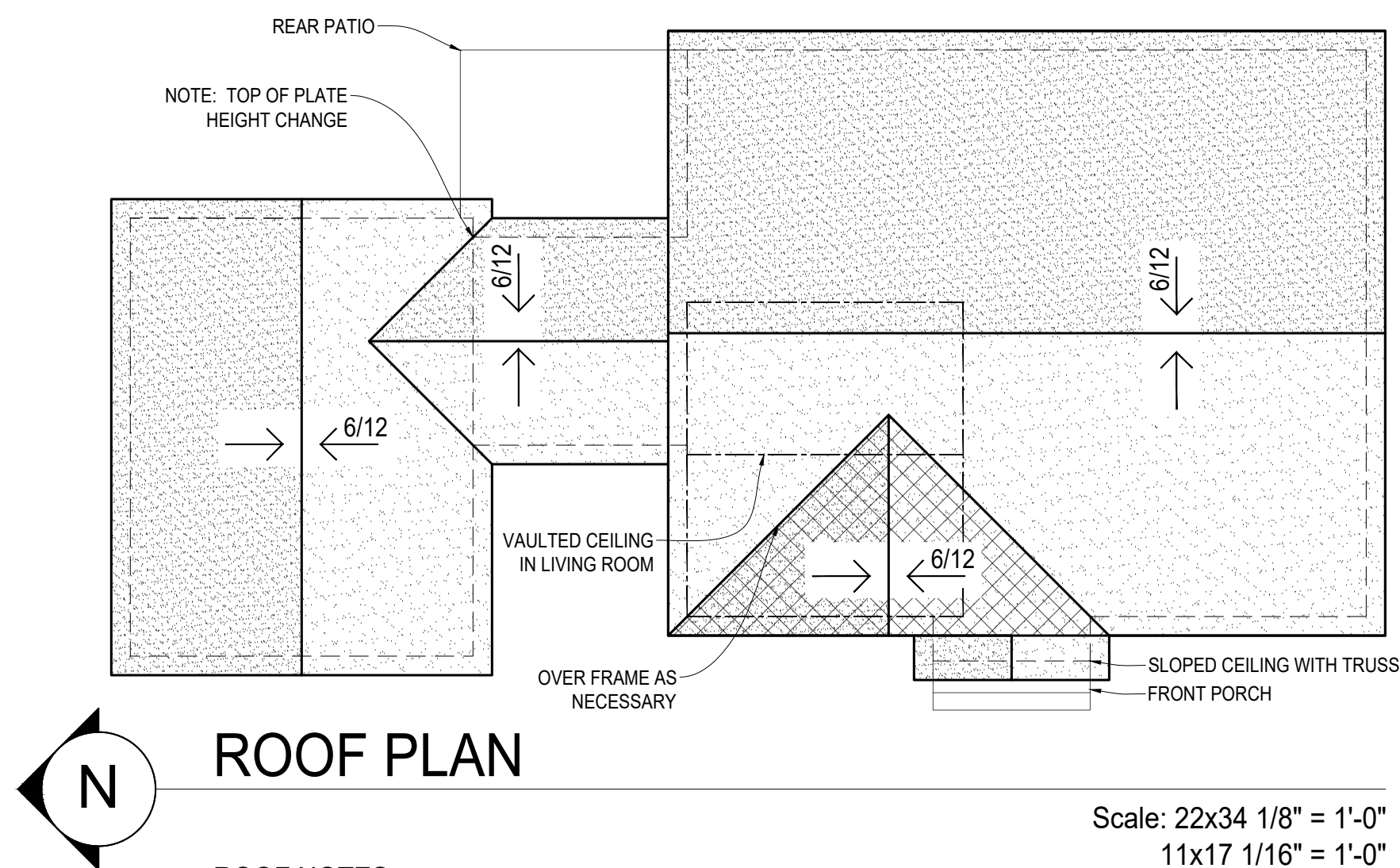
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SIGNED

Dennis C. Sauer

Dennis C. Sauer
Professional Land Surveyor S-2421



BUILDING INFORMATION:		
BASEMENT		1,191 SQ FT
-FINISHED	571 SQ FT	
-UNFINISHED	620 SQ FT	
FIRST FLOOR*		1,191 SQ FT
-FRONT PORCH**	41 SQ FT	
-PATIO	110 SQ FT	
GARAGE		405 SQ FT
NOTES:		
* INCLUDES STAIRS TO BASEMENT		
** INCLUDES STAIR		



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SCHEMATIC SITE PLAN

PERMIT PLANS

No.	Date	Description
	08-08-2025	CONCEPT 1
	10-17-2025	CONCEPT 2
	12-09-2025	FOR STRUCTURAL ANALYSIS
	01-15-2026	PERMIT PLANS

VANDE BERG
RESIDENCE
RE-BUILD

3902 N 102ND ST
WAUWATOSA, WI 53222

T-1

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● — Denotes Iron Rod Found
 ○ — Denotes Iron Pipe Set

SITE PLAN

Scale: N.T.S. SEE SURVEY FOR DETAILS

PLAN NOTES:

- SEE SHEET A-0 FOR STRUCTURAL INFORMATION.
- ALL MECHANICAL LOCATIONS ARE SCHEMATIC. VERIFY LOCATIONS WITH CONSTRUCTION MANAGER AND OWNER BEFORE INSTALL.
- DO NOT SCALE DIMENSIONS FROM DRAWING.
- PLACEMENT OF BUILDING COMPONENTS, MECHANICAL EQUIPMENT, APPLIANCES, AND ELECTRICAL COMPONENTS ARE SUBJECT TO FIELD ADJUSTMENT.
- CONSTRUCTION MEANS AND METHODS MUST FOLLOW ANY APPLICABLE CODES.
- ANY MAJOR DEVIATIONS FROM PLAN MUST BE APPROVED BY RED LEAF HOMES.
- ALL INTERIOR WALLS ARE 4 1/2" UNLESS NOTED OTHERWISE (U.N.O.).
- ALL EXTERIOR WALLS ARE 6 1/2" UNLESS NOTED OTHERWISE (U.N.O.).

DRAWING SCOPE:

THESE DRAWINGS INDICATE THE GENERAL SCOPE OF THE PROJECT IN TERMS OF ARCHITECTURAL DESIGN INTENT INCLUDING THE DIMENSIONS OF THE BUILDING, MAJOR ARCHITECTURAL ELEMENTS, AND THE TYPE OF STRUCTURAL, MECHANICAL, AND ELECTRICAL SYSTEMS. THE DRAWINGS DO NOT NECESSARILY INDICATE OR DESCRIBE ALL THE WORK REQUIRED FOR THE FULL PERFORMANCE AND COMPLETION OF THE REQUIREMENTS OF THE CONTRACT. ON THE BASIS OF GENERAL SCOPE INDICATED OR DESCRIBED, THE TRADE CONTRACTORS SHALL FURNISH ALL ITEMS REQUIRED FOR THE PROPER EXECUTION AND COMPLETION OF WORK INTENDED.

CONSTRUCTION NOTES:

- THE GENERAL CONTRACTOR SHALL ASSUME ALL RESPONSIBILITY FOR THE FINAL MATERIALS, METHODS OF CONSTRUCTION AND WARRANTY OF PRODUCT FOR THIS DWELLING.
- PROVIDE DRAIN TILE AROUND PERIMETER OF ENTIRE NEW BASEMENT CONSTRUCTION. CONNECT SUMP. COORDINATE FINAL SUMP LOCATION WITH OWNER PRIOR TO PLACEMENT
- STEP FOOTING AND FOUNDATION WALL AS REQUIRED. COORDINATE WITH EXISTING GRADES AND PLAN NOTES.
- ASSUMED SOIL BEARING CAPACITY OF 2,000 PSF PADS TYP. (FINE OR MEDIUM CLAY SOILS.)
- COORDINATE ALL FLOOR AND WALL FINISH REQUIREMENTS WITH OWNER.
- COORDINATE THE LOCATION OF ALL EXTERIOR LIGHTING, HOSE BIBS, DRYER VENTS, AND OTHER PENETRATIONS WITH OWNER.
- PROVIDE ALUMINUM GUTTERS AND DOWNSPOUTS ON ALL OVERHANGS. COORDINATE LOCATION OF DOWNSPOUTS WITH OWNER.
- COORDINATE ALL MECHANICAL ROOF PENETRATIONS.
- SITE GRADING TO BE COORDINATED WITH OWNER. EGRESS WINDOW LOCATIONS, FOUNDATION WALL HEIGHTS, AND STONE HEIGHTS WILL NEED TO BE VERIFIED. SITE GRADING IS NOT DEPICTED IN THIS SET OF PLANS.
- PROVIDE 20x30 ATTIC ACCESS HATCHES TO ALL ATTIC SPACES. COORDINATE LOCATIONS WITH OWNER.
- WINDOW MANUFACTURER AND STYLE TO BE CHOSEN BY OWNER. WINDOW SIZES INDICATED ARE THE FRAME SIZE. EACH MANUFACTURER'S DIMENSIONS VARY. SELECTED WINDOWS SHOULD BE AS CLOSE AS POSSIBLE TO NOTED DIMENSIONS.
- FINAL STRUCTURAL SIZING OF FRAMING MEMBERS TO BE THE RESPONSIBILITY OF THE LUMBER SUPPLIER.
- ALL WOOD BLOCKING IN CONTACT W/ CONCRETE TO BE PRESSURE TREATED. COORDINATE ADDITIONAL STRUCTURE FOR STORAGE/STORM ROOM WITH OWNER.

STRUCTURAL KEY:

FOOTINGS:

F-01: 42"x 42" x 12" W/ (3) #5 E. W.

FLOOR FRAMING:

FJ-01: (2) 11-7/8" LVL

BEAMS:

FB-01: W8 x 18

FB-02: (2) 11-7/8" LVL

FB-03: (2) 11-7/8" LVL

HEADERS-WINDOW & DOOR:

H-01: SEE SHEET S-0

STEEL COLUMNS:

C-01: 3" DIAMETER STANDARD PIPE COLUMN

ROOF FRAMING:

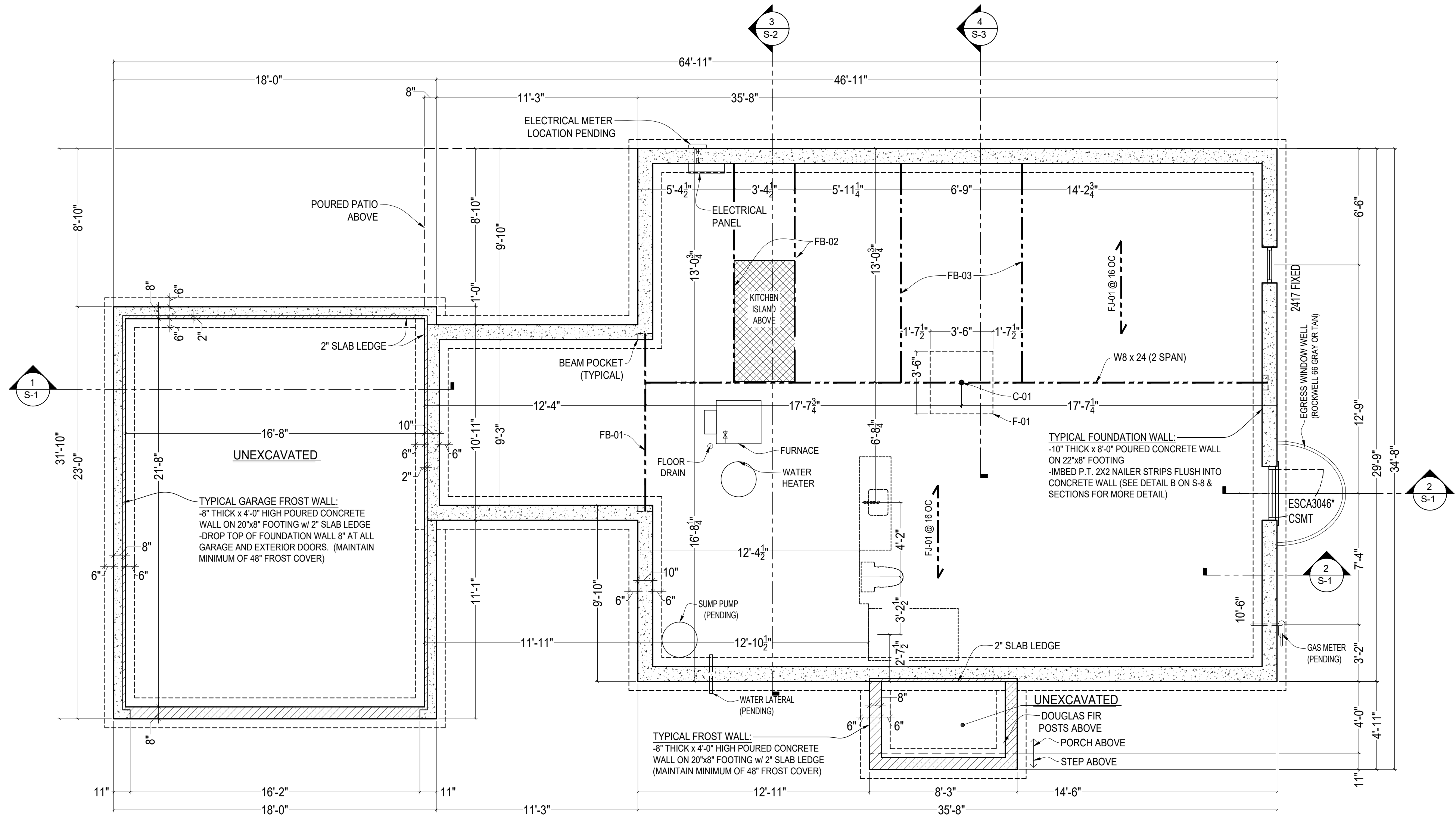
PRE-ENGINEERED TRUSSED DESIGNED BY TRUSS COMPANY

WALL BRACING:

WSP: WOOD STRUCTURAL PANEL SHEATHING, MIN. 48" LONG, MIN. 7/16" OSB OR PLYWOOD SHEATHING FASTENED WITH 8d NAILS @ 6" O.C. ALONG ALL PANEL EDGES AND 12" O.C. IN THE FIELD. PROVIDE BLOCKING AT ALL PANEL JOINTS.

PF: PORTAL FRAME (NARROW WALL BRACING) PER WISCONSIN UNIFORM DWELLING CODE (UDC) FIGURE 321.25-A.

CS-WSP: CONTINUOUSLY SHEATHED SHEARWALL WITH WOOD STRUCTURAL PANEL SHEATHING ON ENTIRE LENGTH OF WALL, FULL HEIGHT DIMENSIONS AS SHOWN ON PLAN. MIN 7/16" OSB OR PLYWOOD SHEATHING FASTENED WITH 8d NAILS @ 6" O.C. ALONG ALL PANEL EDGES & 12" O.C. IN THE FIELD. PROVIDE BLOCKING AT ALL PANEL JOINTS.



WALL LEGEND:

☒

NEW WALL

☒

BEARING WALL

☐

FROST WALL WALL

☐

FOUNDATION WALL-EXISTING TO REMAIN

☒

FULL EXPOSURE FROST WALL

☒

(1) LAYER OF CONCRETE BLOCK TO EXISTING FOUNDATION WALL

BUILDING INFORMATION:		
BASEMENT		1,191 SQ FT
	-FINISHED	571 SQ FT
	-UNFINISHED	620 SQ FT
FIRST FLOOR*		1,191 SQ FT
	-FRONT PORCH**	41 SQ FT
	-PATIO	110 SQ FT
GARAGE		405 SQ FT
NOTES:		
* INCLUDES STAIRS TO BASEMENT		
** INCLUDES STAIR		

Design/Build

REDLEAF

— HOMES —

17035 W. GREENFIELD AVENUE

NEW BERLIN, WI 53151

P: 414-248-5636

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Sheet Title

FOUNDATION PLAN

PERMIT PLANS

Revisions		
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	01-15-2026	PERMIT PLANS

VANDE BERG RESIDENCE

RE-BUILD

3902 N 102ND ST

WAUWATOSA, WI 53222

Sheet No.

A-0

N

FOUNDATION PLAN

NOTE: ALL WINDOW, MECHANICAL AND STRUCTURAL INFORMATION SCHEMATIC IN NATURE.

Scale: 22x34 1/4" = 1'-0"

11x17 1/8" = 1'-0"

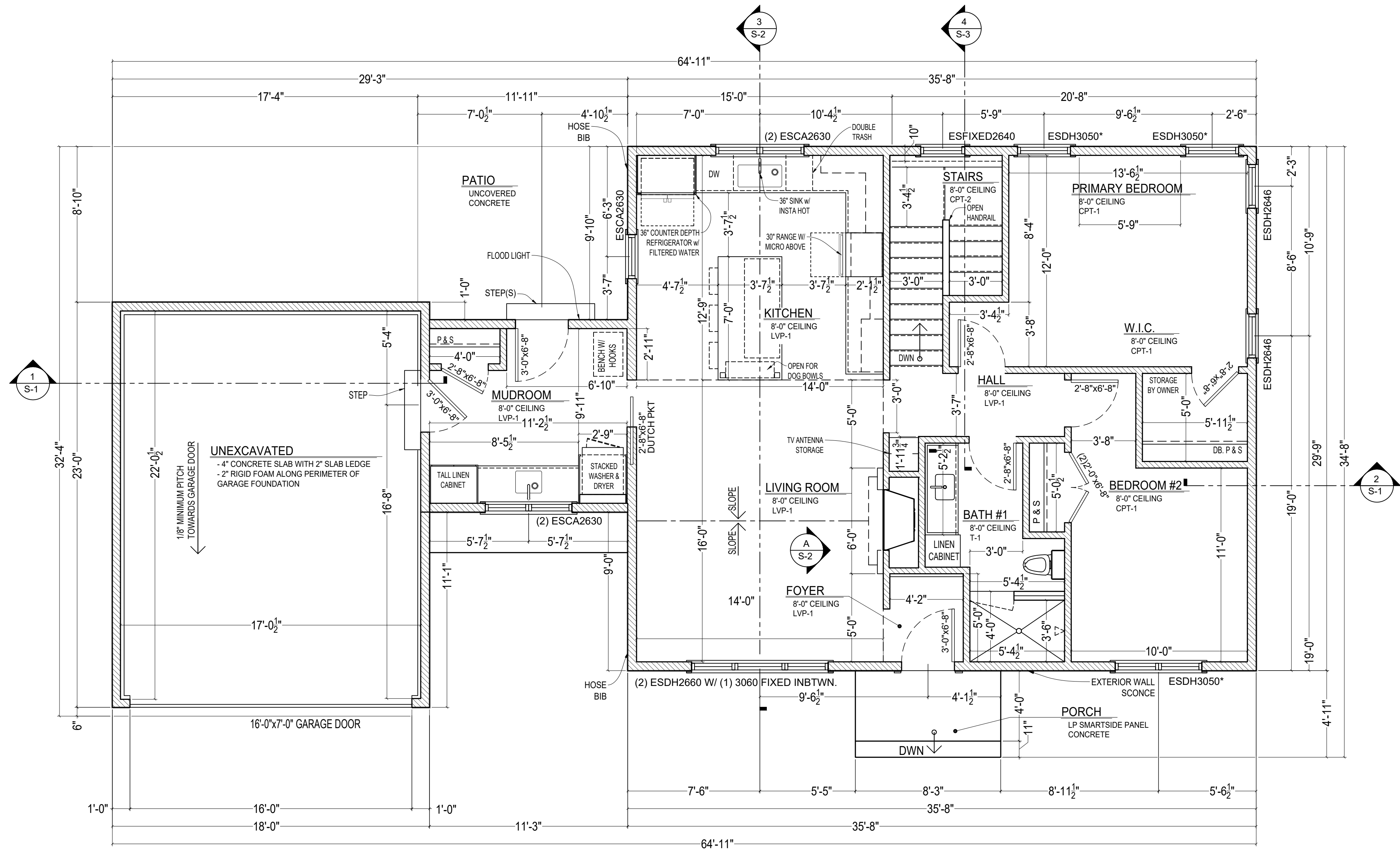
VENTILATION & LIGHT CODE CALCULATIONS:			
PRIMARY BEDROOM:			
AREA:		174.9 S.F.	
VENTILATION REQUIRED (3.5%):		6.1 S.F.	
GLASS/LIGHT REQUIRED (8%):		14.0 S.F.	
WINDOW GLASS PROPOSED:		38.3 S.F.	
BEDROOM #2:			
AREA:		129.7 S.F.	
VENTILATION REQ.'D (3.5%):		4.5 S.F.	
GLASS/LIGHT REQ'D (8%):		10.3 S.F.	
WINDOW GLASS PROPOSED:		22.4 S.F.	

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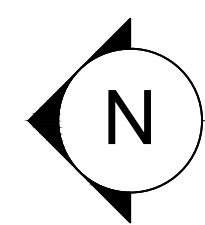
Design/Build

RED LEAF
— HOMES —

17035 W. GREENFIELD AVENUE
NEW BERLIN, WI 53151
P: 414-248-5636
E: STEVE@REDLEAFWI.COM



WALL LEGEND:	
	NEW WALL
	BEARING WALL
	FROST WALL WALL
	FOUNDATION WALL-EXISTING TO REMAIN
	FULL EXPOSURE FROST WALL
	(1) LAYER OF CONCRETE BLOCK TO EXISTING FOUNDATION WALL



FIRST FLOOR PLAN

NOTE: ALL WINDOW, MECHANICAL AND STRUCTURAL INFORMATION SCHEMATIC IN NATURE.

Scale: 22x34 1/4" = 1'-0"
11x17 1/8" = 1'-0"

Sheet Title

FIRST FLOOR PLAN AND FRONT ELEVATION

PERMIT PLANS

Revisions		
No.	Date	Description
	08-08-2025	CONCEPT 1
	10-17-2025	CONCEPT 2
	12-09-2025	FOR STRUCTURAL ANALYSIS
	01-15-2026	PERMIT PLANS

VANDE BERG
RESIDENCE
RE-BUILD

3902 N 102ND ST
WAUWATOSA, WI 53222

Sheet No.

A-2



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REAR & SIDE ELEVATIONS AND
FRONT PORCH ROOF DETAILS

PERMIT PLANS

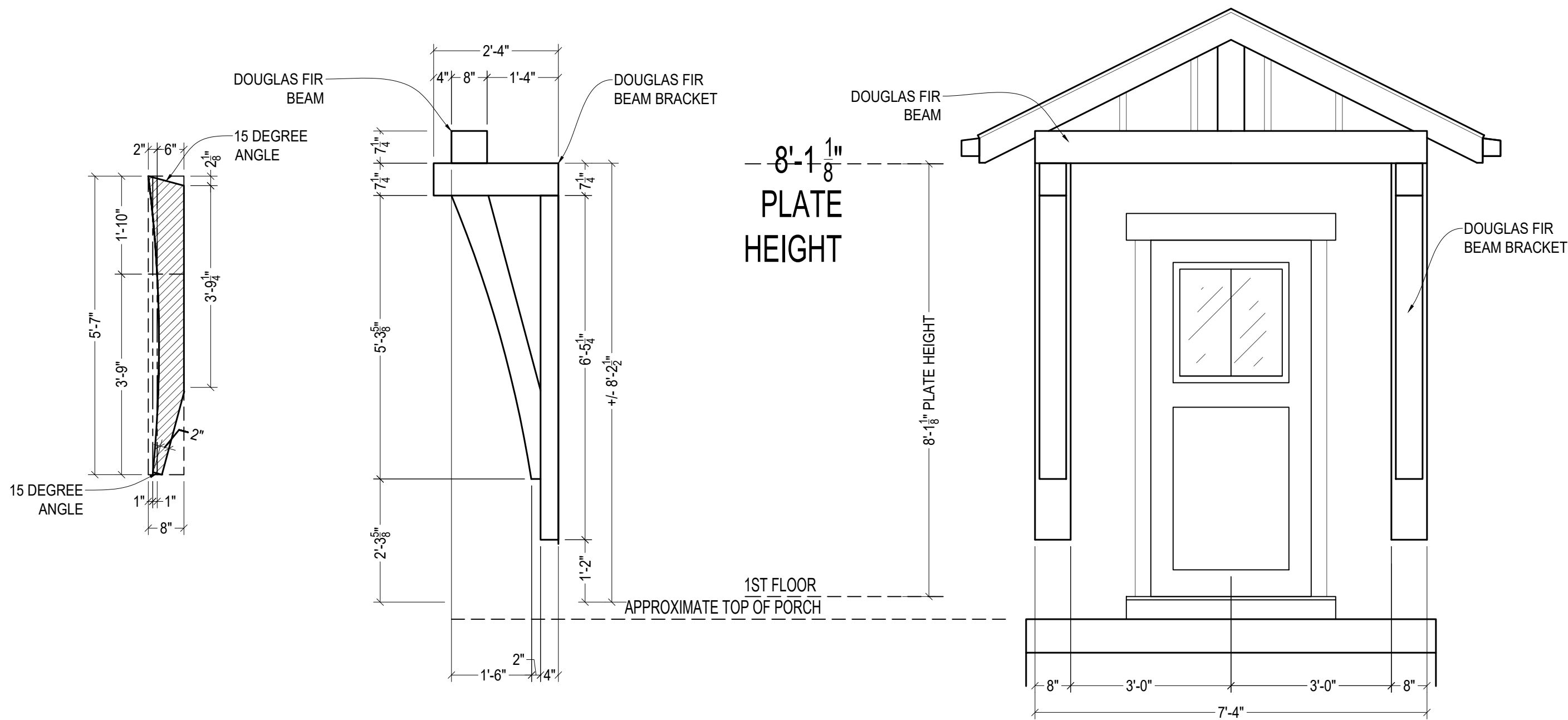
Revisions

No.	Date	Description
	08-08-2025	CONCEPT 1
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	12-09-2025	FOR STRUCTURAL ANALYSIS
	01-15-2026	PERMIT PLANS

VANDE BERG
RESIDENCE
RE-BUILD

3902 N 102ND ST
WAUWATOSA, WI 53222

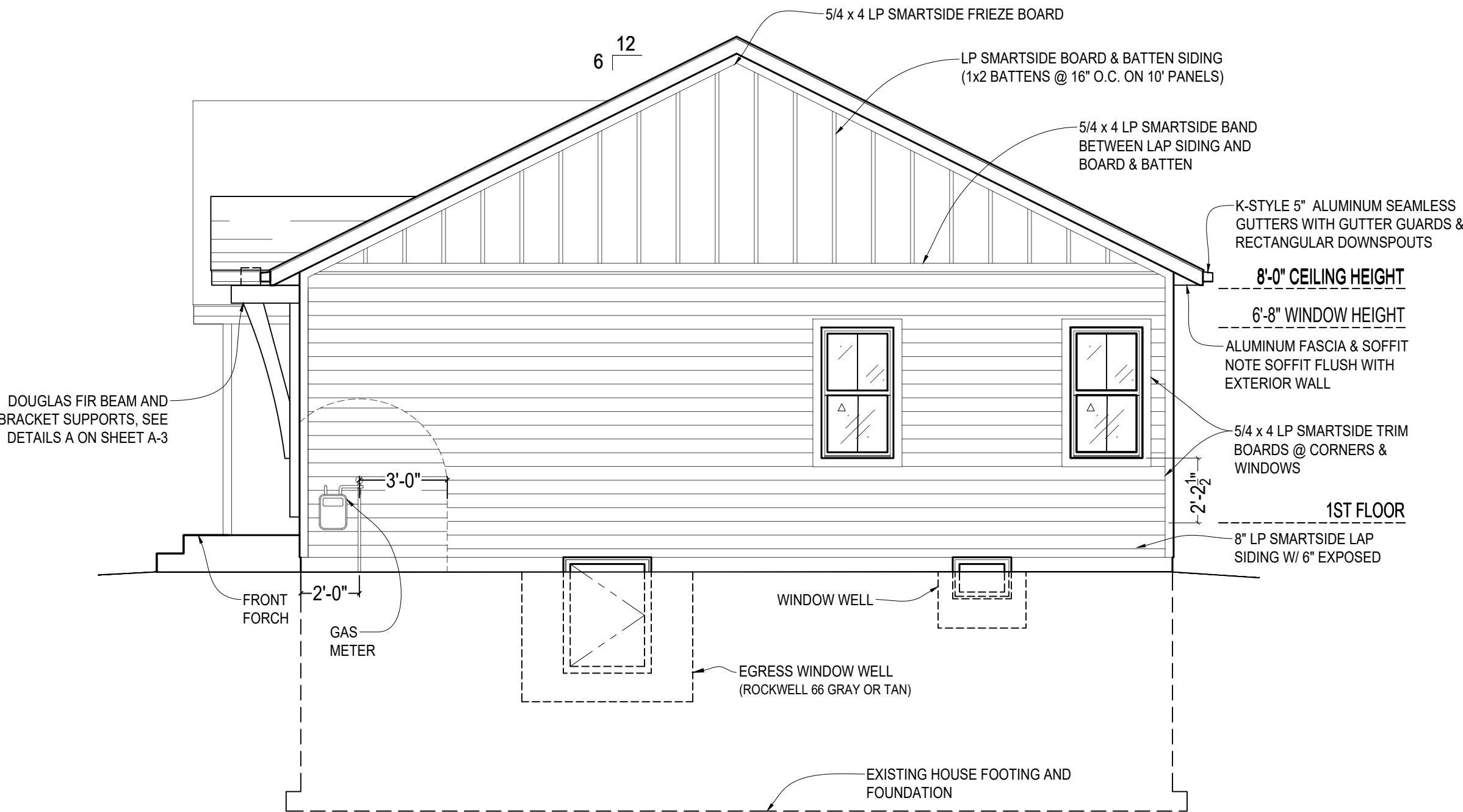
A-3



A

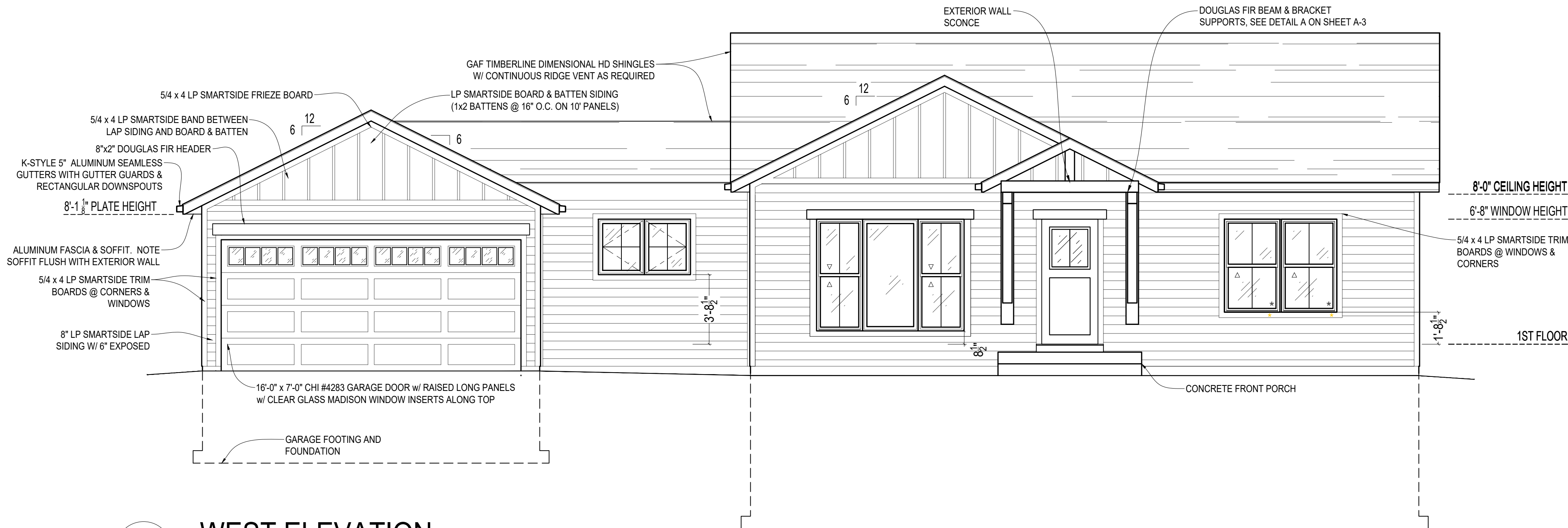
DOUGLAS FIR BEAM & BRACKET DETAILS

Scale: 22x34 1/2" = 1'-0"
11x17 1/4" = 1'-0"



SOUTH ELEVATION

Scale: 22x34 1/4" = 1'-0"
11x17 1/8" = 1'-0"



WEST ELEVATION

Scale: 22x34 1/4" = 1'-0"
11x17 1/8" = 1'-0"



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REAR & GARAGE ELEVATIONS

PERMIT PLANS

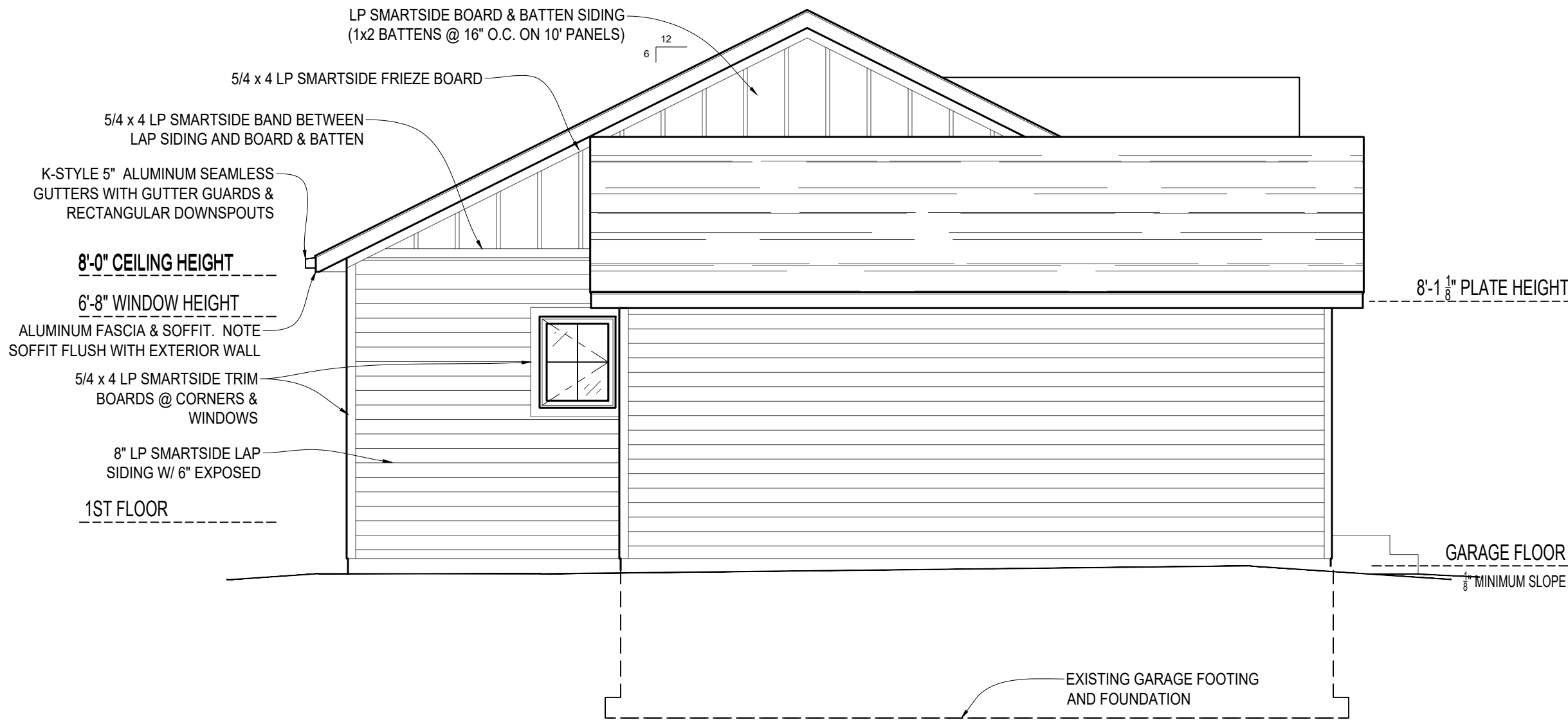
Revisions

No.	Date	Description
	08-08-2025	CONCEPT 1
	10-17-2025	CONCEPT 2
	12-09-2025	FOR STRUCTURAL ANALYSIS
	01-15-2026	PERMIT PLANS

VANDE BERG
RESIDENCE
RE-BUILD

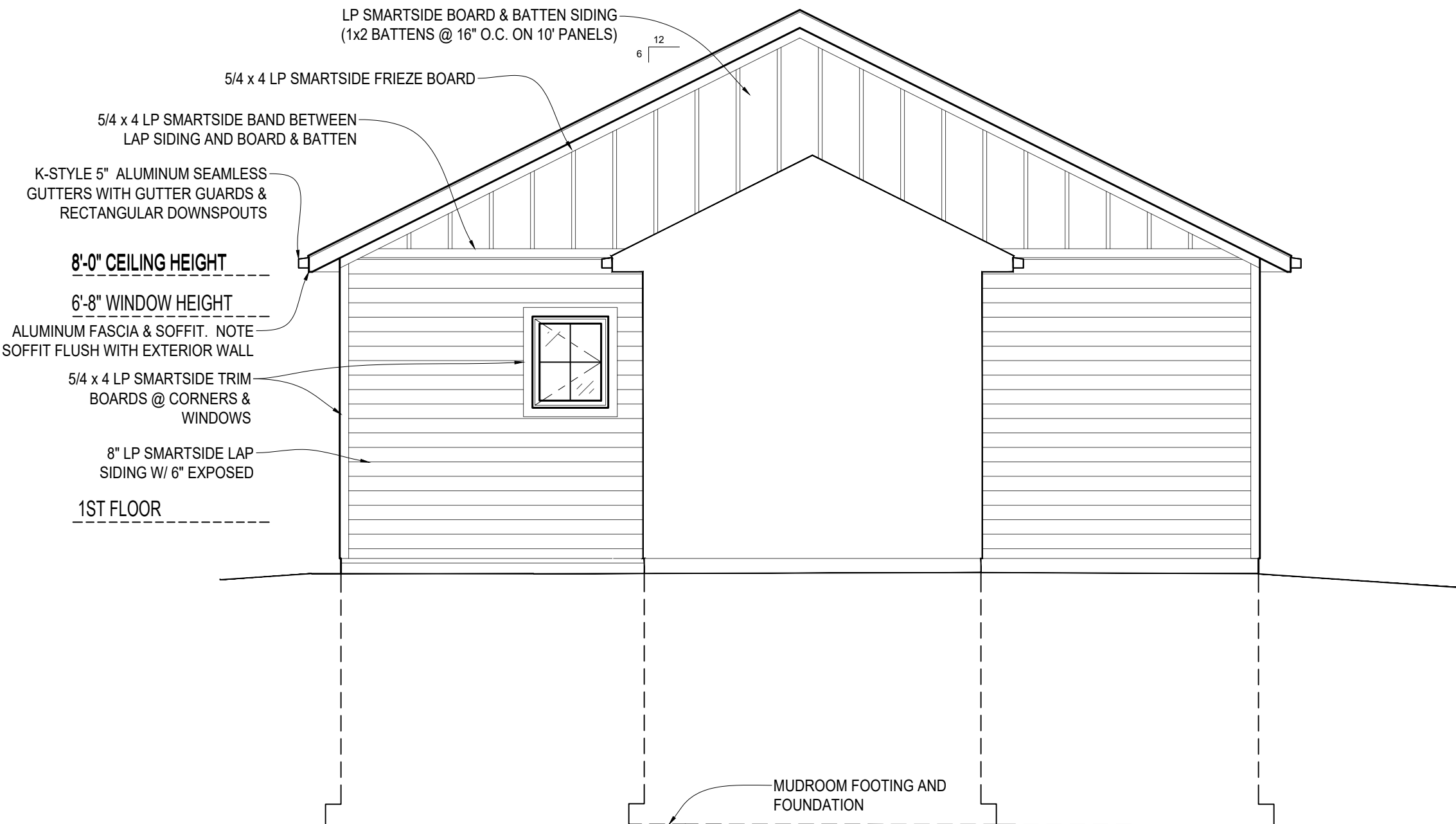
3902 N 102ND ST
WAUWATOSA, WI 53222

A-4



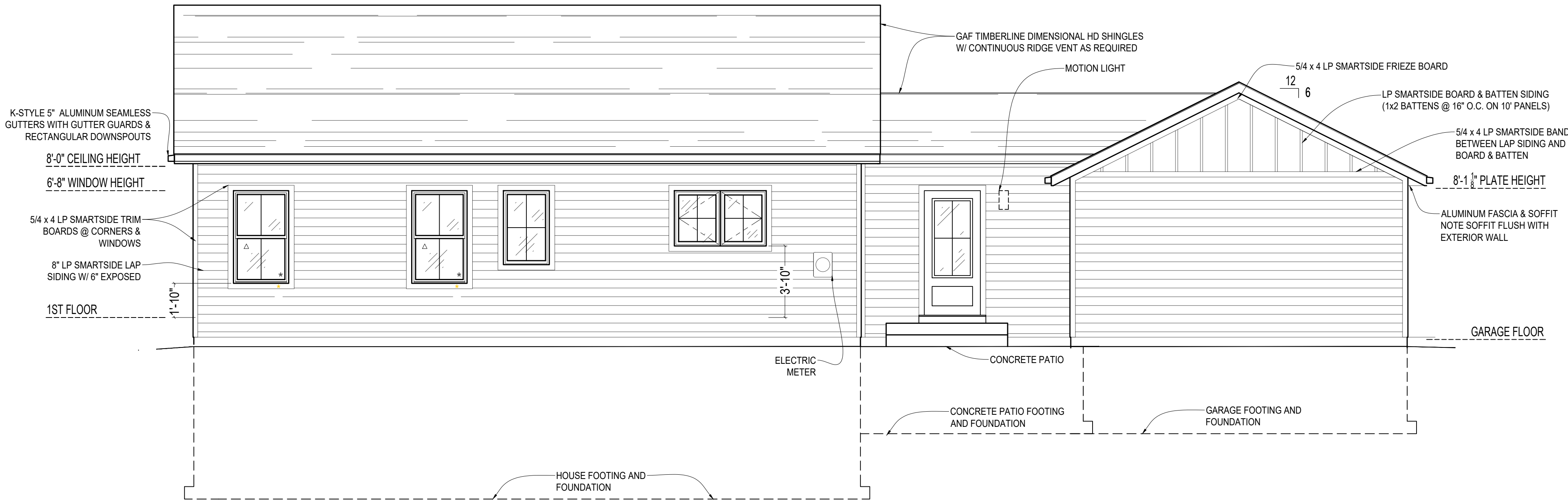
NORTH ELEVATION

Scale: 22x34 1/4" = 1'-0"
11x17 1/8" = 1'-0"



NORTH ELEVATION W/O GARAGE

Scale: 22x34 1/4" = 1'-0"
11x17 1/8" = 1'-0"



EAST ELEVATION

Scale: 22x34 1/4" = 1'-0"
11x17 1/8" = 1'-0"



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STRUCTURAL PLANS,
STRUCTURAL KEY AND
STRUCTURAL NOTES
PERMIT PLANS

No.	Date	Description
	08-08-2025	CONCEPT 1
	10-17-2025	CONCEPT 2
	12-09-2025	FOR STRUCTURAL ANALYSIS
	01-15-2026	PERMIT PLANS

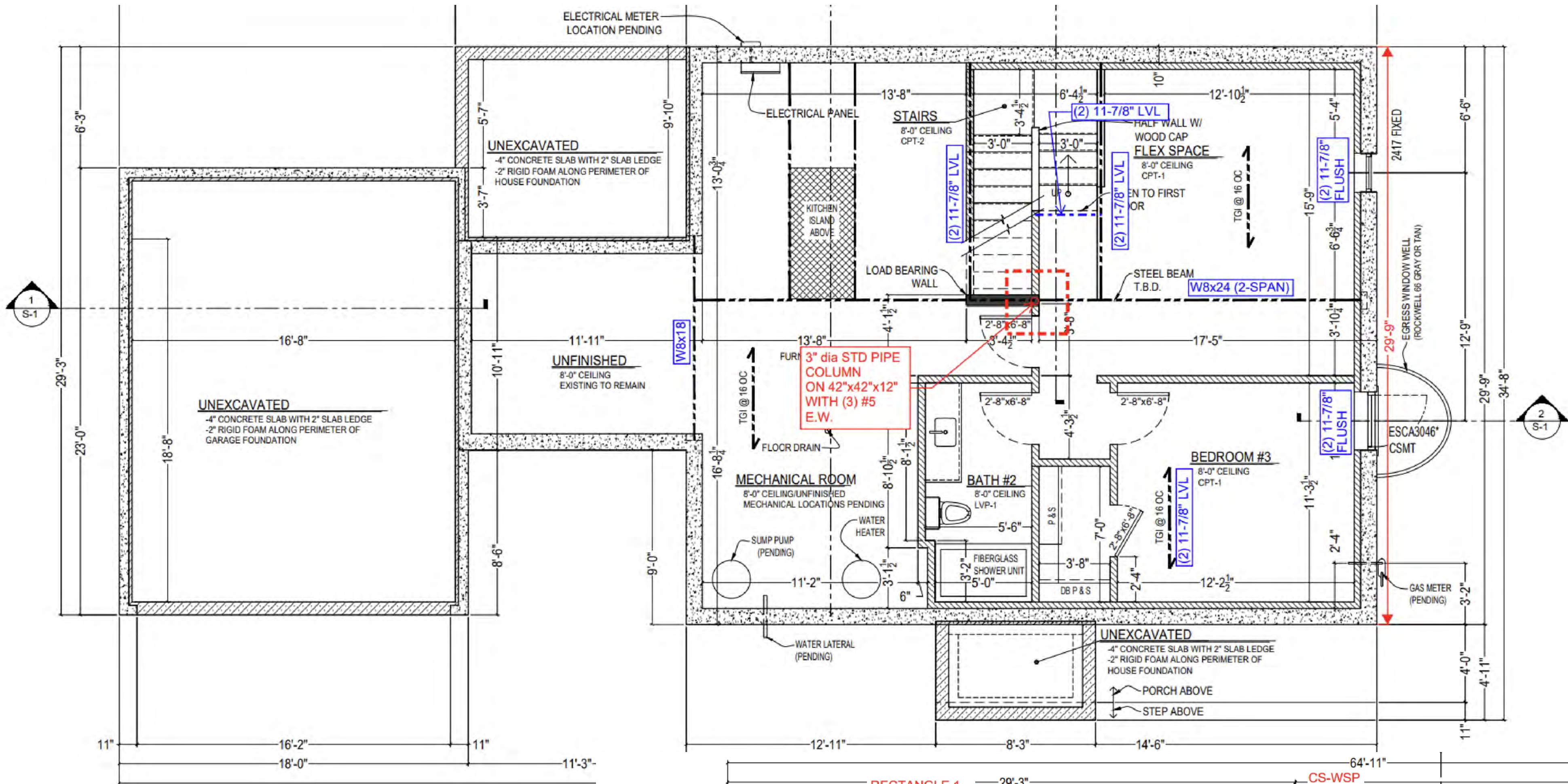
VANDE BERG
RESIDENCE
RE-BUILD

3902 N 102ND ST
WAUWATOSA, WI 53222

S-0

STRUCTURAL NOTES:

- ALL WOOD IN CONTACT WITH CONCRETE MUST BE PRESSURE TREATED.
- 1/2" OSB SHALL BE NAILED TO TRUSSES AT A MAXIMUM OF 8" O.C.. STEEL H-CLIPS SHALL BE USED BETWEEN TRUSSES.
- ALL WOOD FOR EXTERIOR WALLS, INTERIOR BEARING WALLS SHALL BE SPF-#2 GRADE OR BETTER UNLESS OTHERWISE NOTED.
- FLOOR JOISTS SHALL BE ENGINEERED JOIST.
- ALL WOOD REQUIRED TO COMPLETE THE ROOF SHALL BE PER ROOF TRUSS MANUFACTURER SPECIFICATIONS.
- ALL CONCRETE BLOCK SHALL BE STATE OF WISCONSIN APPROVED. BRICK SHALL BE SECURELY ATTACHED TO WOOD FRAMING WITH 22 GAGE CORRUGATED GALVANIZED SHEET METAL TIES-7/8" WIDE WITH AT LEAST ON ANCHOR IN EVERY 2 SQ. FT. OF WALL. MORTAR SHALL BE TYPE "M".
- TRUSS MANUFACTURER TO VERIFY FIREPLACE VENTING SPACE FOR ALL FIREPLACES.



BASEMENT STRUCTURAL PLAN

Scale: 22x34 1/4" = 1'-0"
11x17 1/8" = 1'-0"

STRUCTURAL KEY:

FOOTINGS:
F-01: 42"x 42" x 12" W/ (3) #5 E. W.

FLOOR FRAMING:
FJ-01: (2) 11-7/8" LVL

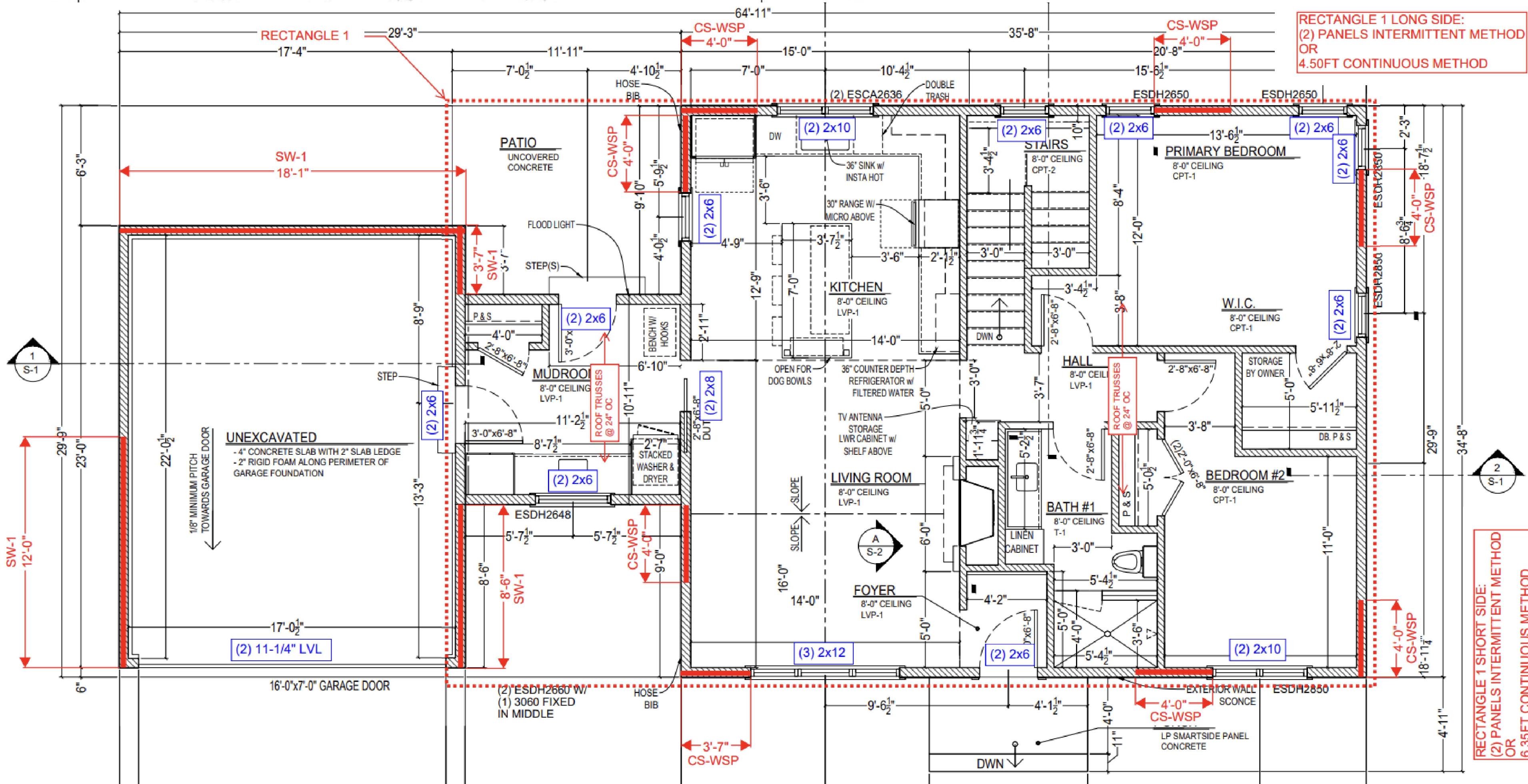
BEAMS:
FB-01: W8 x 18
FB-02: (2) 11-7/8" LVL
FB-03: (2) 11-7/8" LVL

HEADERS-WINDOW & DOOR:
H-01: SEE SHEET S-0

STEEL COLUMNS:
C-01: 3" DIAMETER STANDARD PIPE COLUMN

ROOF FRAMING:
PRE-ENGINEERED TRUSSED DESIGNED BY TRUSS COMPANY

WALL BRACING:
WSP: WOOD STRUCTURAL PANEL SHEATHING, MIN. 48" LONG, MIN. 7/16" OSB OR PLYWOOD SHEATHING FASTENED WITH 8d NAILS @ 6" O.C. ALONG ALL PANEL EDGES AND 12" O.C. IN THE FIELD. PROVIDE BLOCKING AT ALL PANEL JOINTS.
PF: PORTAL FRAME (NARROW WALL BRACING) PER WISCONSIN UNIFORM DWELLING CODE (UDC) FIGURE 321.25-A.
CS-WSP: CONTINUOUSLY SHEATHED SHEARWALL WITH WOOD STRUCTURAL PANEL SHEATHING ON ENTIRE LENGTH OF WALL, FULL HEIGHT DIMENSIONS AS SHOWN ON PLAN. MIN 7/16" OSB OR PLYWOOD SHEATHING FASTENED WITH 8d NAILS @ 6" O.C. ALONG ALL PANEL EDGES & 12" O.C. IN THE FIELD. PROVIDE BLOCKING AT ALL PANEL JOINTS.



FIRST FLOOR STRUCTURAL PLAN

Scale: 22x34 1/4" = 1'-0"
11x17 1/8" = 1'-0"



GARAGE WALL SECTION, STAIR
 WALL SECTION AND 1 STORY
 WALL SECTION
 PERMIT PLANS

PERMIT PLANS

[illegible]

3902 N 102ND ST
WAUWATOSA, WI 53222

S-1



GARAGE TO MUDROOM SECTION

Scale: 22x34 1/2" = 1'-0"
11x17 1/4" = 1'-0"



WALL SECTION WITH WINDOW WELL

Scale: 22x34 1/2" = 1'-0"
11x17 1/4" = 1'-0"

[illegible]

3 LIVING ROOM SECTION

Scale: 22x34 1/2" = 1'-0"
11x17 1/4" = 1'-0"

 **REDLEAF** — HOMES —

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LIVING ROOM WALL SECTION AND FIREPLACE ELEVATION

PERMIT PLANS

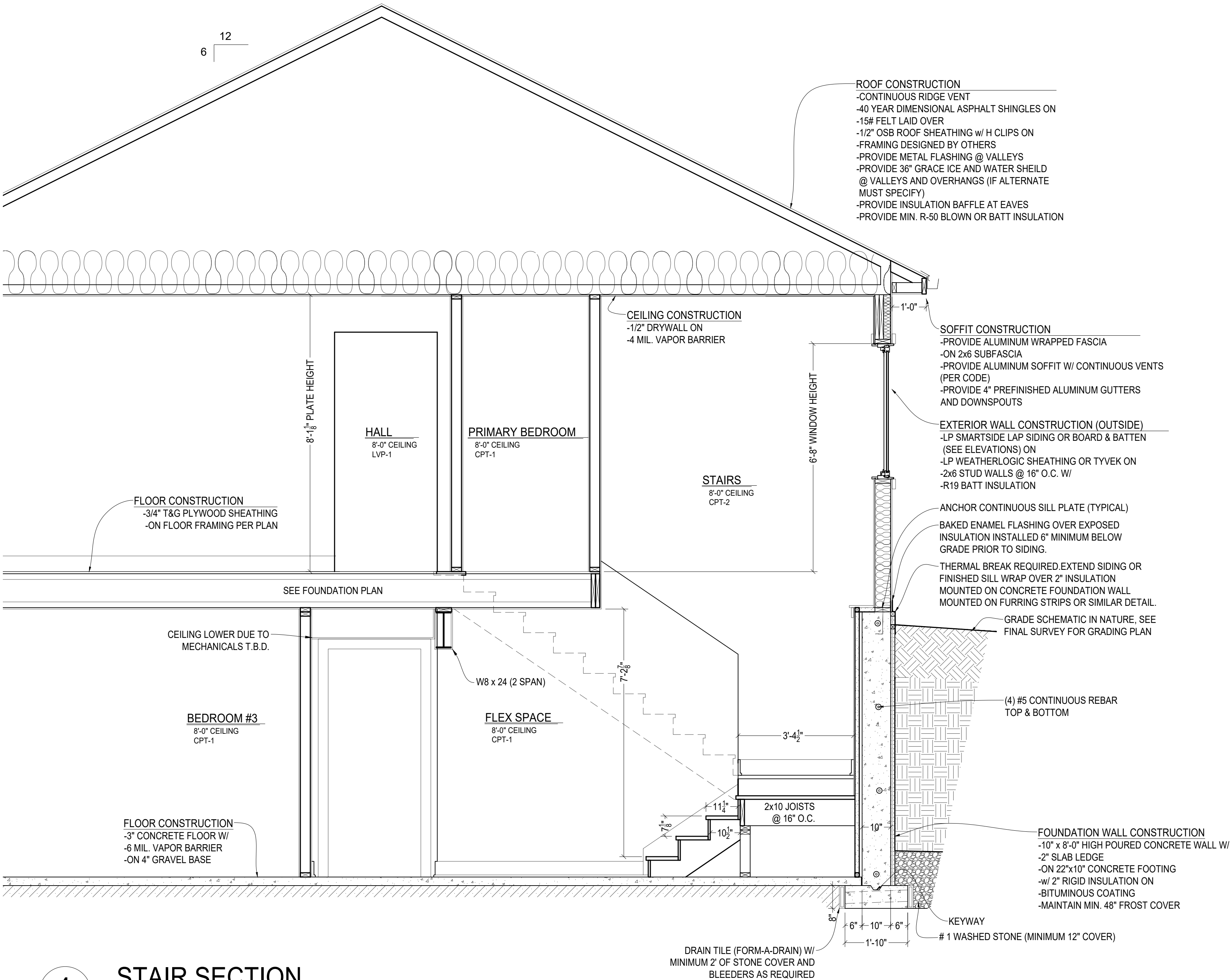
[illegible]

VANDE BERG
RESIDENCE
RE-BUILD

3902 N 102ND ST
WAUWATOSA, WI 53222

S-2


DESIGN DATA:
LIVE LOAD ROOF: 30#/SQ. FT. LIVE LOAD FLOOR: 40#/SQ. FT. LIVE LOAD STAIRS: 40#/SQ. FT. WIND LOAD: 20#/SQ. FT. CONCRETE: 3,000 PSI REINFORCED STEEL YIELD: 60,000 PSI. CRSI SPECIFICATIONS. COMPACTION OF ANY FILL REQUIRED UNDER FLOOR SHALL BE TO 95% MAXIMUM DENSITY AS DETERMINED BY MODIFIED PROCOTOR TEST (ASTM 1557). THIRD PARTY TESTS SHALL BE REQUIRED TO BE FURNISHED TO DESIGNER TO INSURE THAT THE COMPACTION IS PER



4

STAIR SECTION

Scale: 22x34 1/2" = 1'-0"
11x17 1/4" = 1'-0"



REDLEAF

— HOMES —

Design/Build

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Sheet Title

STAIR SECTION 4 AND STRUCTURAL DESIGN DATA

PERMIT PLANS

Revisions		
No.	Date	Description
	08-08-2025	CONCEPT 1
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	12-09-2025	FOR STRUCTURAL ANALYSIS
	01-15-2026	PERMIT PLANS

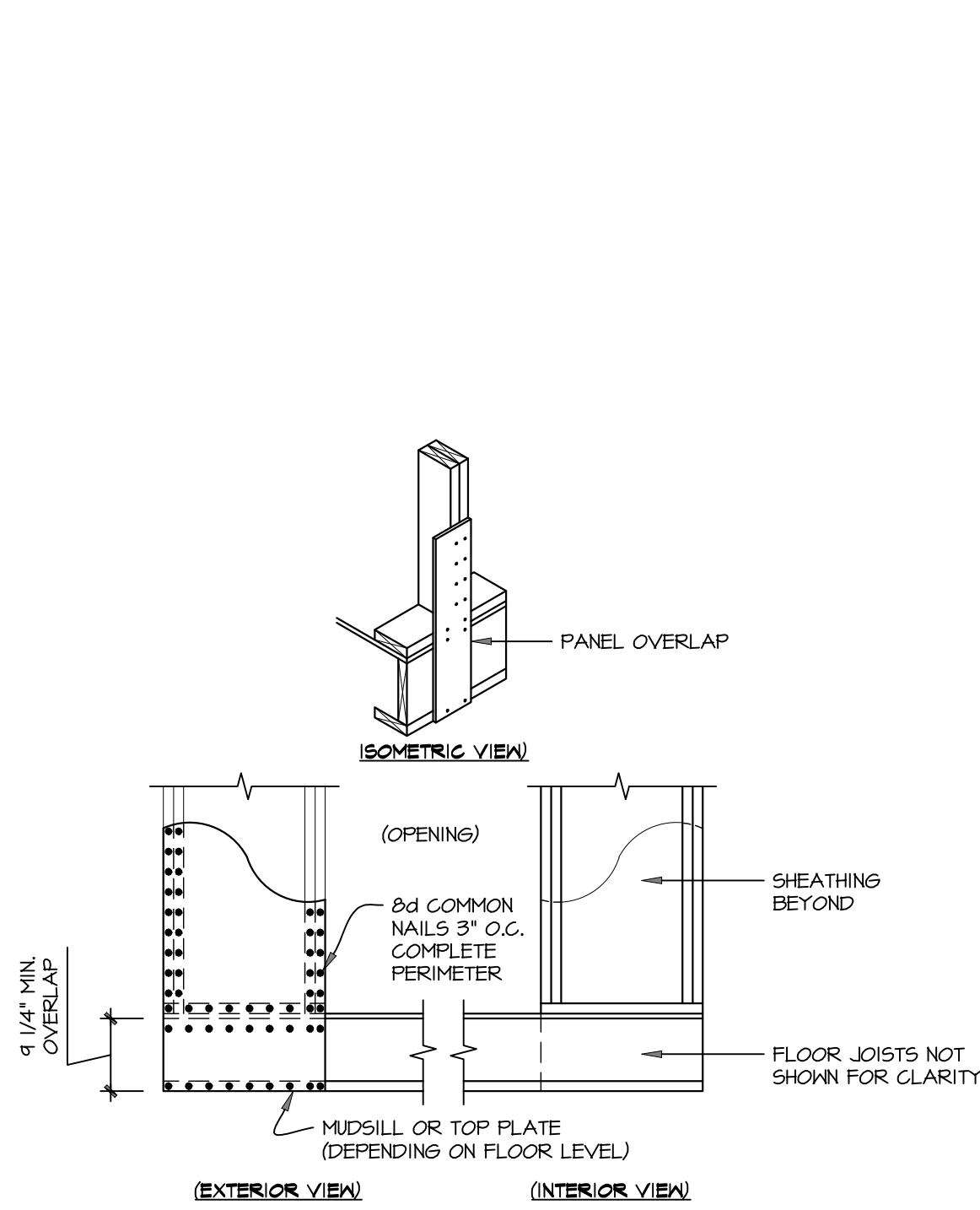
VANDE BERG RESIDENCE

RE-BUILD

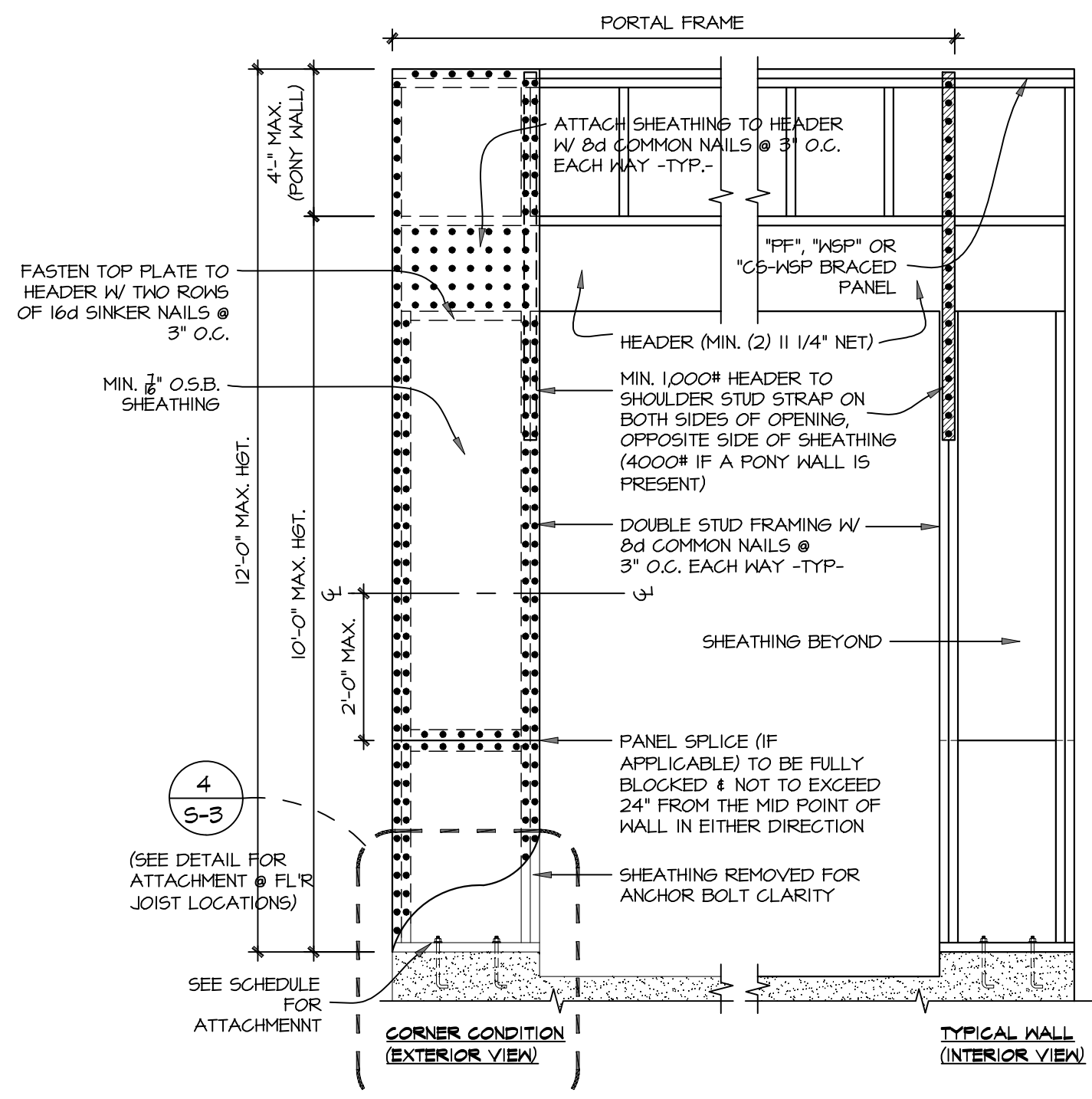
3902 N 102ND ST
WAUWATOSA, WI 53222

Sheet No.

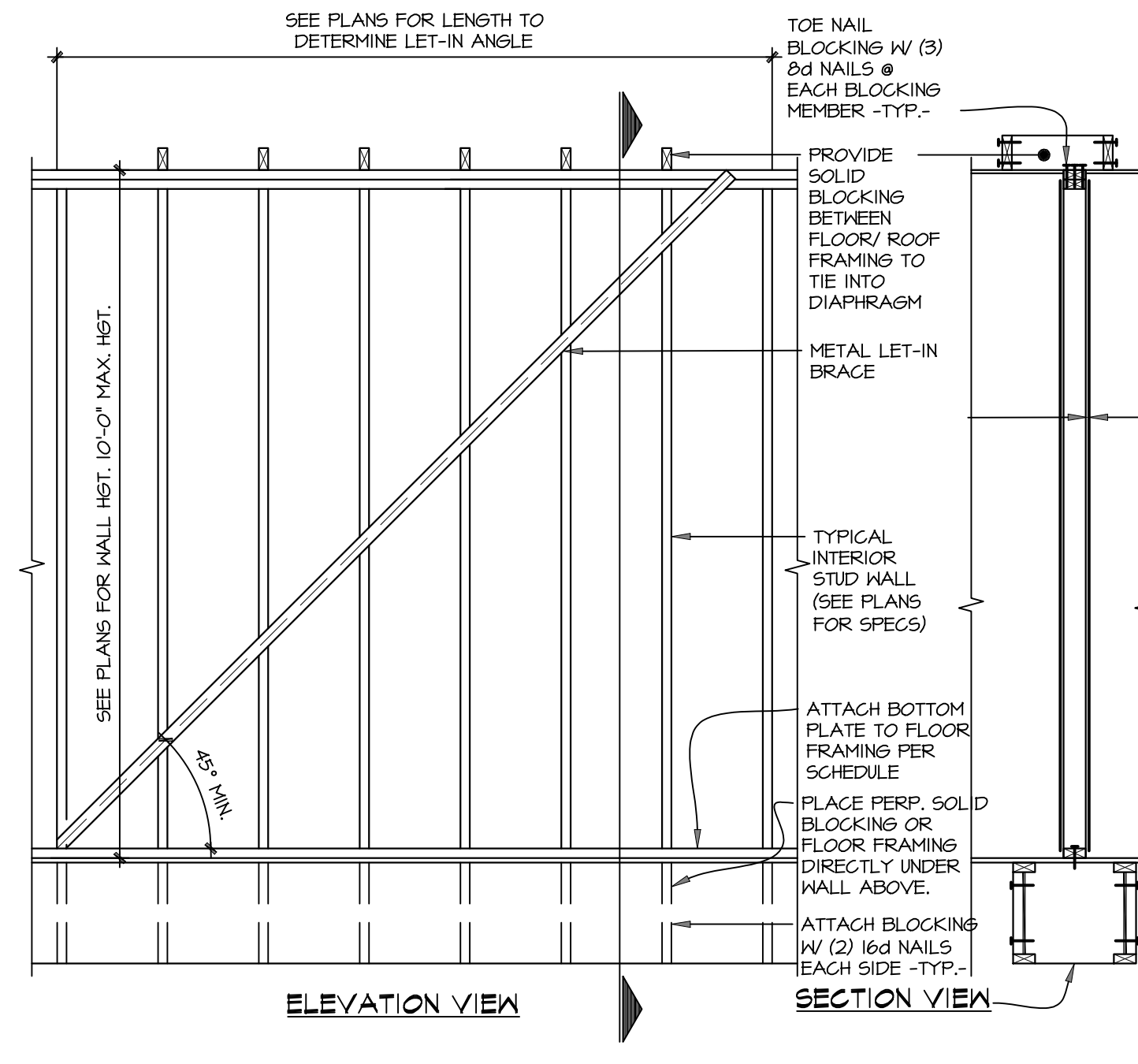
S-3



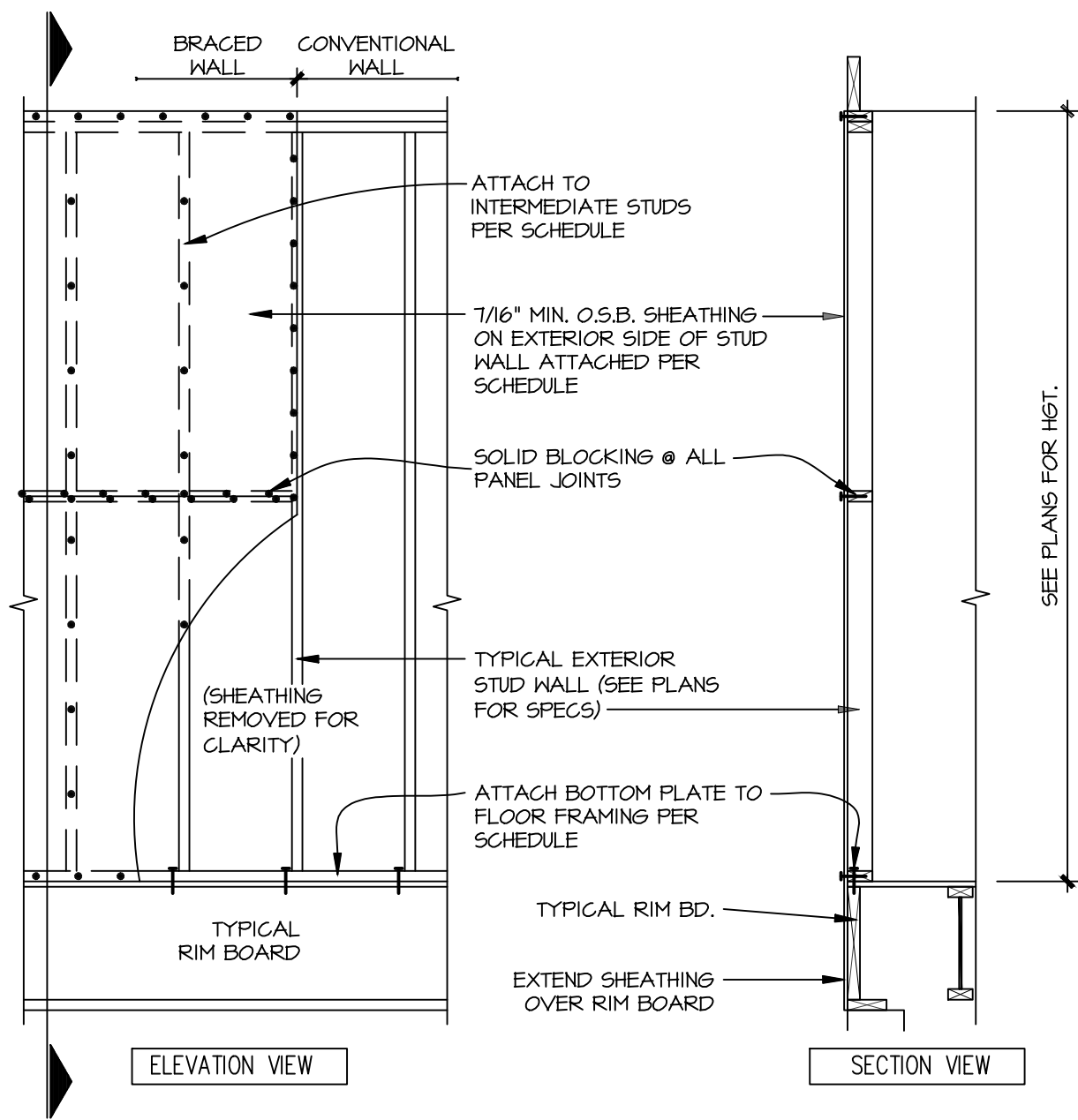
4 PF BOTTOM CONNECTION
1/2" = 1'-0"



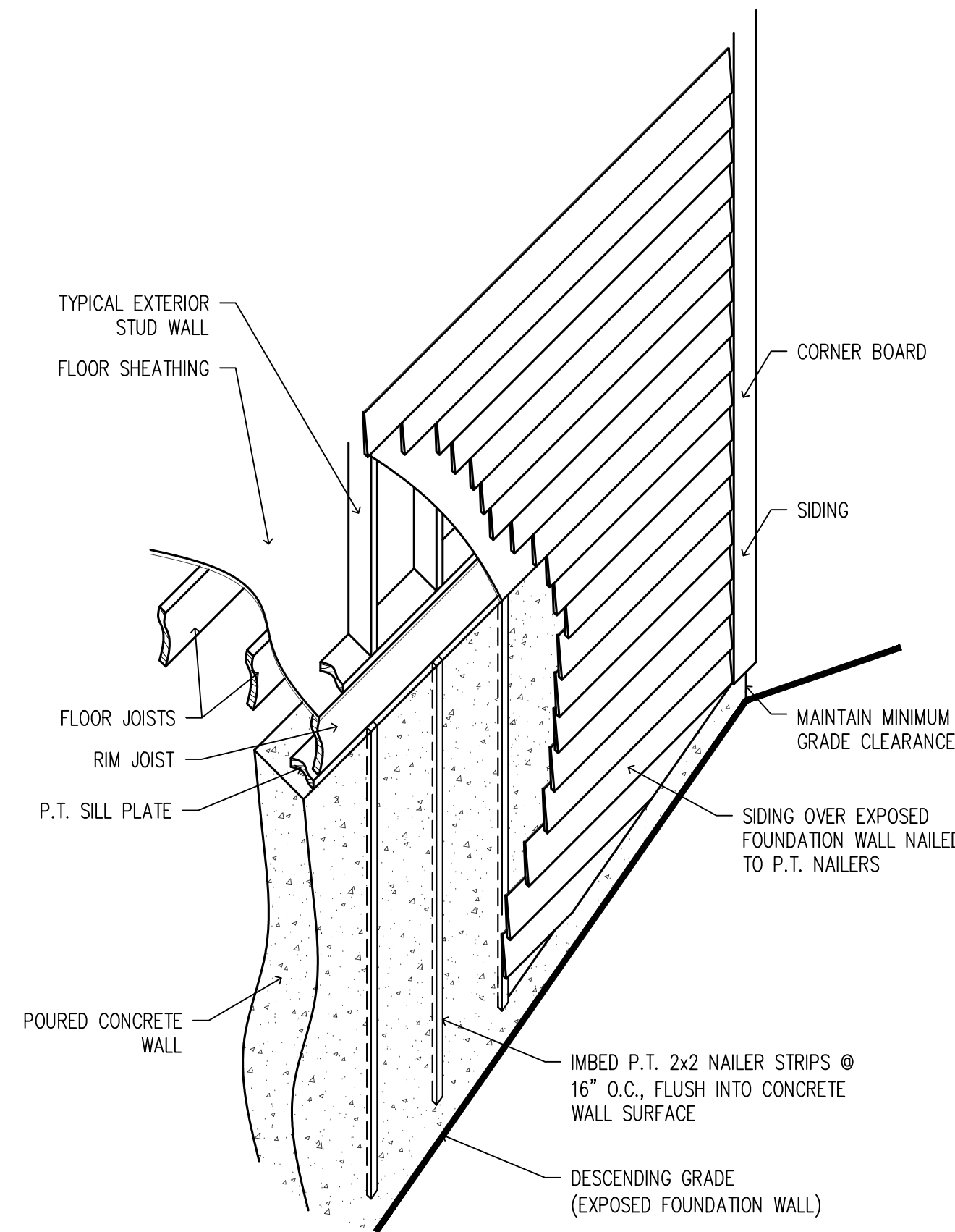
3 \"PF\" PORTAL FRAME DETAIL
1/2" = 1'-0"



2 \"LIB\" INTERIOR LET-IN BRACED DETAIL
1/2" = 1'-0"

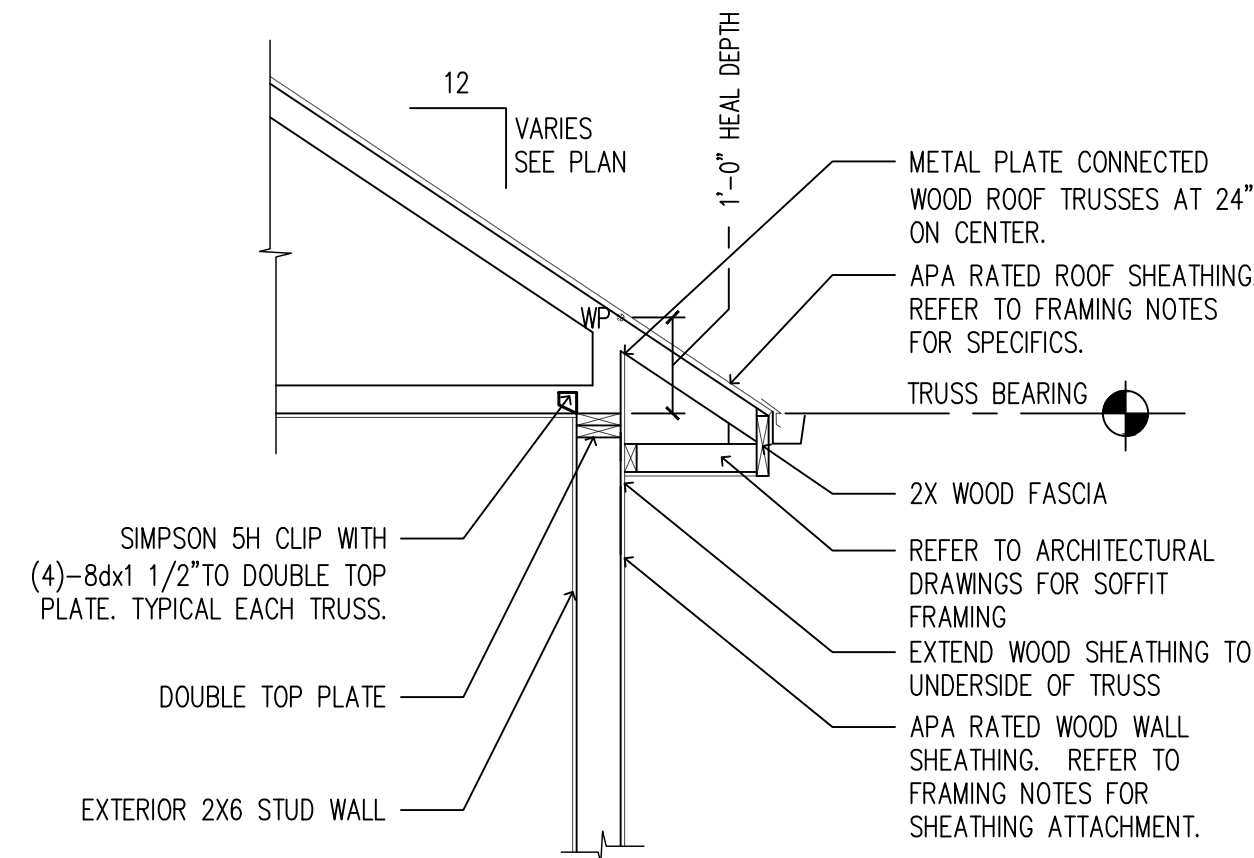


1 \"WSP\" & \"CS-WSP\" SHEATHED WOOD
STRUCTURAL PANEL DETAIL
1/2" = 1'-0"



SIDING OVER CONCRETE WALL DETAIL

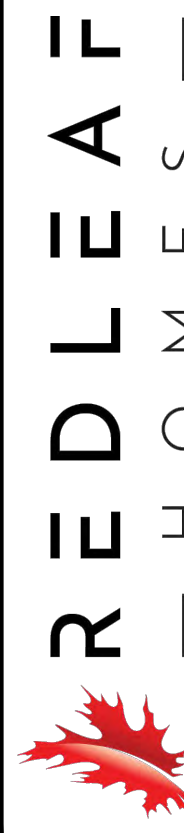
NOT TO SCALE



TYPICAL TRUSS FRAMING DETAIL

Scale: 22x34 1/2" = 1'-0"
11x17 1/4" = 1'-0"

Design/Build



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Sheet Title

STRUCTURAL DETAILS

PERMIT PLANS

Revisions

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	12-09-2025	FOR STRUCTURAL ANALYSIS
	01-15-2026	PERMIT PLANS

VANDE BERG
RESIDENCE
RE-BUILD

3902 N 102ND ST
WAUWATOSA, WI 53222

Sheet No.

S-4



Wauwatosa, WI

7725 W. North Avenue
Wauwatosa, WI 53213

Staff Report

File #: 25-2340

Agenda Date: 2/5/2026

Agenda #: 2.

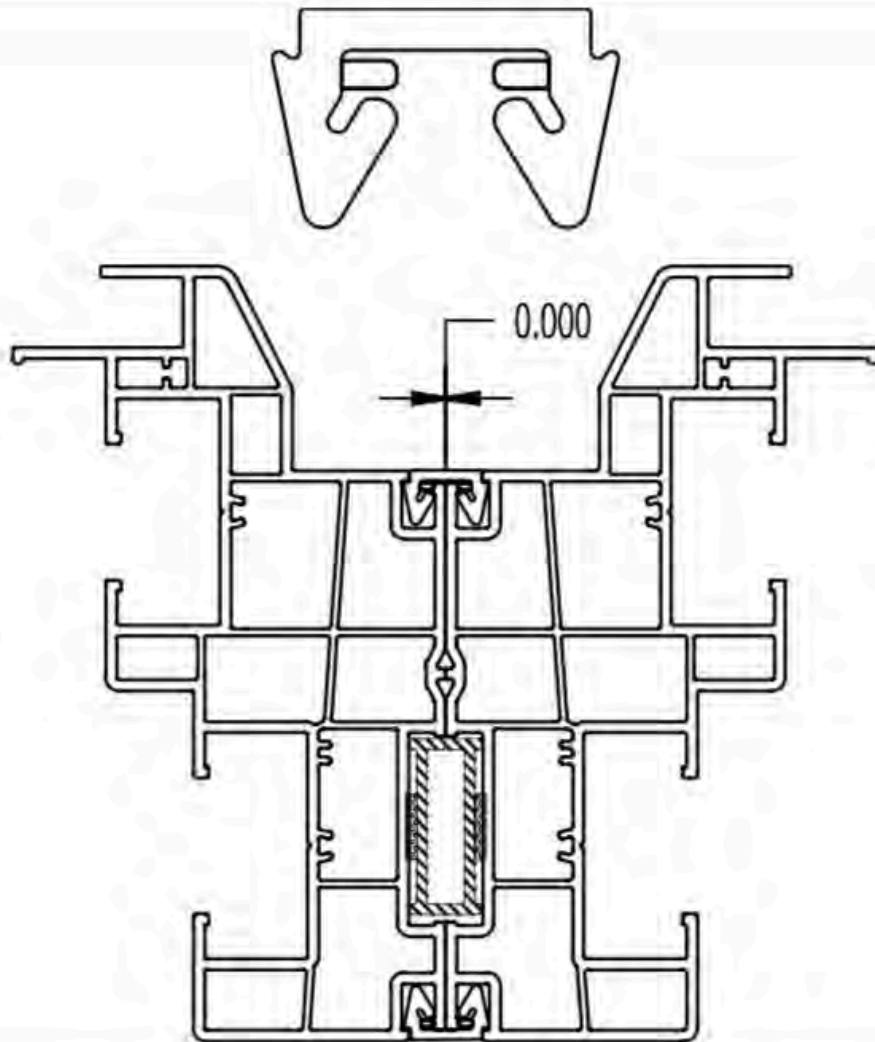
1615 Wauwatosa - Return to Board - St Matthews - Windows





Joining Mullion

0° Mullion





St. Matthew's Proposed Window Replacements 2026

Exterior of St. Matthew's Church South Side





Exterior of St. Matthew's Church South Side



Exterior of South Side classrooms and offices



Interior of South Side classrooms and offices



- We do not have air conditioning in this part of the building.
- The reason for changing from a casement to a hung window is that we had to create a makeshift set-up (pictured) to allow us to install temporary A/C units in each divider room
- The frames need to be drilled into the window frames to stay in place. The window sills are now deteriorated and are falling apart.



- This is another view of a different window *without* the wood piece above. The wood piece covers the entire window for two reasons.
- 1. The top portion is open to the elements and eliminates the positive effect of the air conditioning.
- 2. Safety feature to stop entry from the outside.



- By installing hung windows, we can bring hung windows down to the A/C openings while providing security inside the building.

Exterior of St. Matthew's Church, South Side





SW Corner of Building from Parking Lot





West Side of Church





West Side of Church





North Side of Church



North Side of Church



Parking lot view of adjacent middle school to the north.



Parking lot view of United Methodist to the south.



- This is a view of the windows facing the south side classrooms at St. Matthews.
- These are single-hung windows installed in 2004.

Exterior of East High School NE Corner (Wauwatosa Ave)



SE Corner & Across the Street (Wauwatosa AV)



Front View of Church (Wauwatosa AV)



Front View of Church (Wauwatosa AV)





Wauwatosa, WI

7725 W. North Avenue
Wauwatosa, WI 53213

Staff Report

File #: 26-0264

Agenda Date: 2/5/2026

Agenda #: 3.

6927 North Avenue - Lyss and Littles - Windows & Door

Commercial Alteration for

Lyss & Littles

PARCEL ID: 3440146000

6927 W North Ave, Wauwatosa, WI 53213

CODE DATA

Governing Code

Wisconsin Enrolled, 2021 International Building Code

Occupancy Classification - 303.3

Mercantile, M.

Type of Construction - TABLE 601

TYPE 3 B,

Allowable Height - TABLE 504.4

Mercantile M, 3B Constr, Non-Sprinkled

Allowable Area - TABLE 506.2

Mercantile M, 3B Constr, Non-Sprinkled, Allows 12,500 sf

Actual Building Area

839 SF Existing Building

Occupant Capacity 1004.1.2

Mercantile, M - 839 sf Occupied Area
839 / 60 sf per Person = 14

Required Exit Width - Table 1005

STAIRS = .30" PER OCC;
DOORS = .20" PER OCC; 108" PROVIDED, 108/54 =2.00"

Exit Access Travel Distance 1017.2

Mercantile: M OCC, With Non-Sprinklered - 200 FT,

Sanitary Facilities, Table 2902.1

14 OCCUPANTS = 1/500 EACH SEX

REQUIRED

UNISEX				DRINKING FNTN
TLT	URN	LAV		1/500
1/75	50%	1/200		
1	0	1		1

PROPOSED

UNISEX				DRINKING FNTN
TLT	URN	LAV		
1	0	1		1

Design Loads 1607.1/1608.2

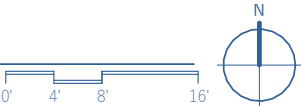
ROOF LIVE LOAD	= 40 PSF
ROOF DEAD LOAD	= 15 PSF
LATERAL LOAD (115 mph WIND)	= 24 PSF
UPLIFT AT CANOPY	= 30 PSF
FLOOR LIVE LOAD, MERCANTILE	= 50 PSF
FLOOR LIVE LOAD, PASSAGE/EXIT	= 100 PSF



1

SITE PLAN

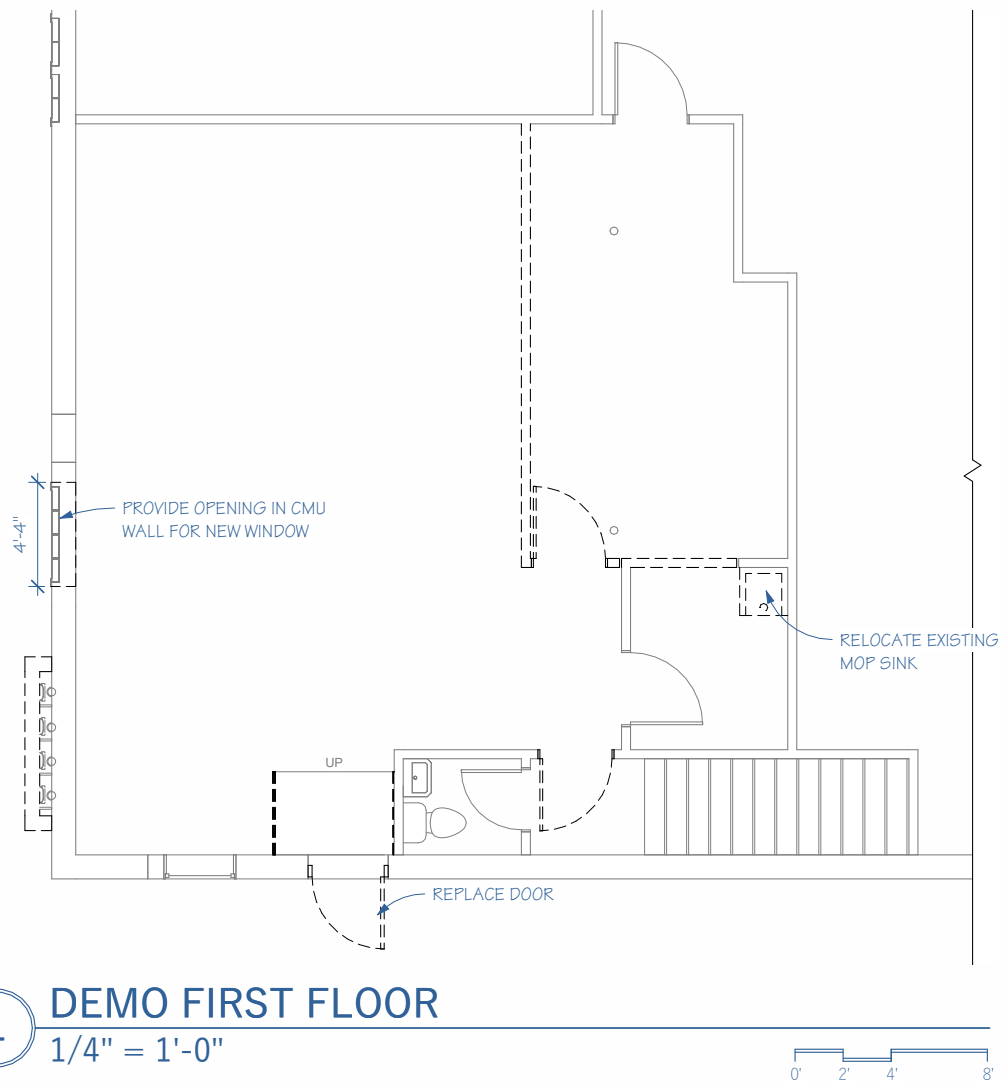
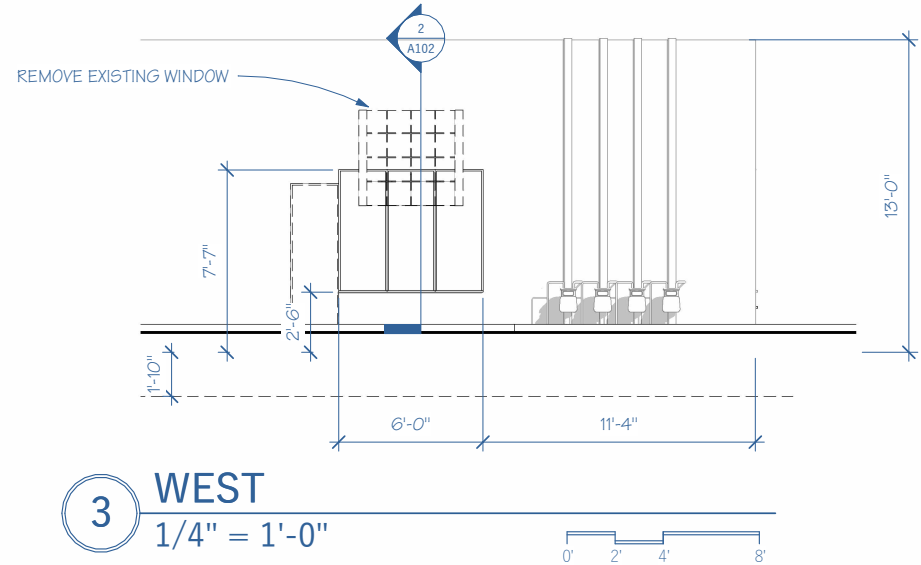
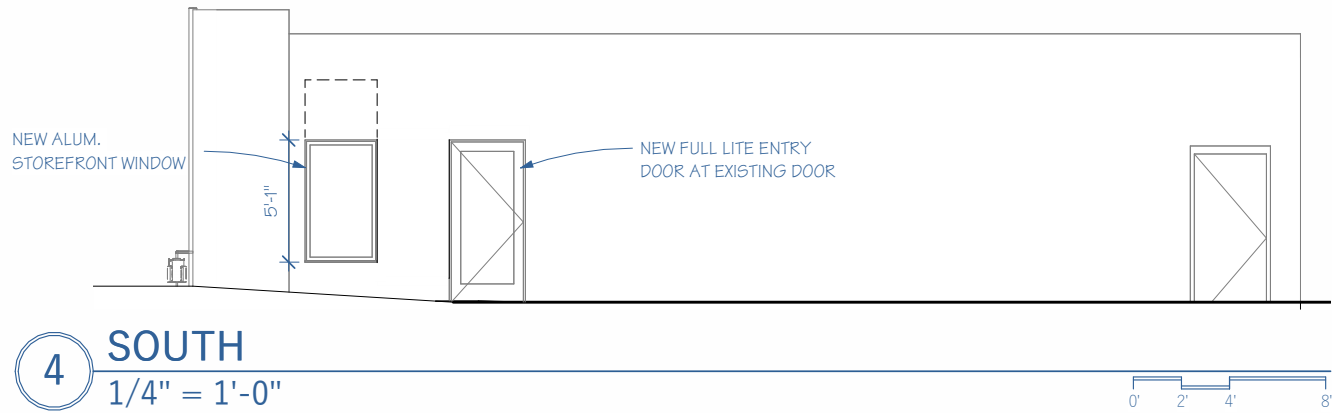
1/8" = 1'-0"



SHEET INDEX
<div>TITLE</div> <div>T100 SITE PLAN & SHEET INDEX</div> <div>ARCHITECTURE</div> <div>A101 FIRST FLOOR PLANS</div> <div>A102 SECTION AND DETAILS</div>



REVISIONS				
12.22.25	2.3.26	2.3.26	Date	Date
Prelim. Plan	Const. Docs	Approval	Revision 1	Revision 2
DATE				
12.22.25				
PROJECT NO.				
25105				



WALL KEY

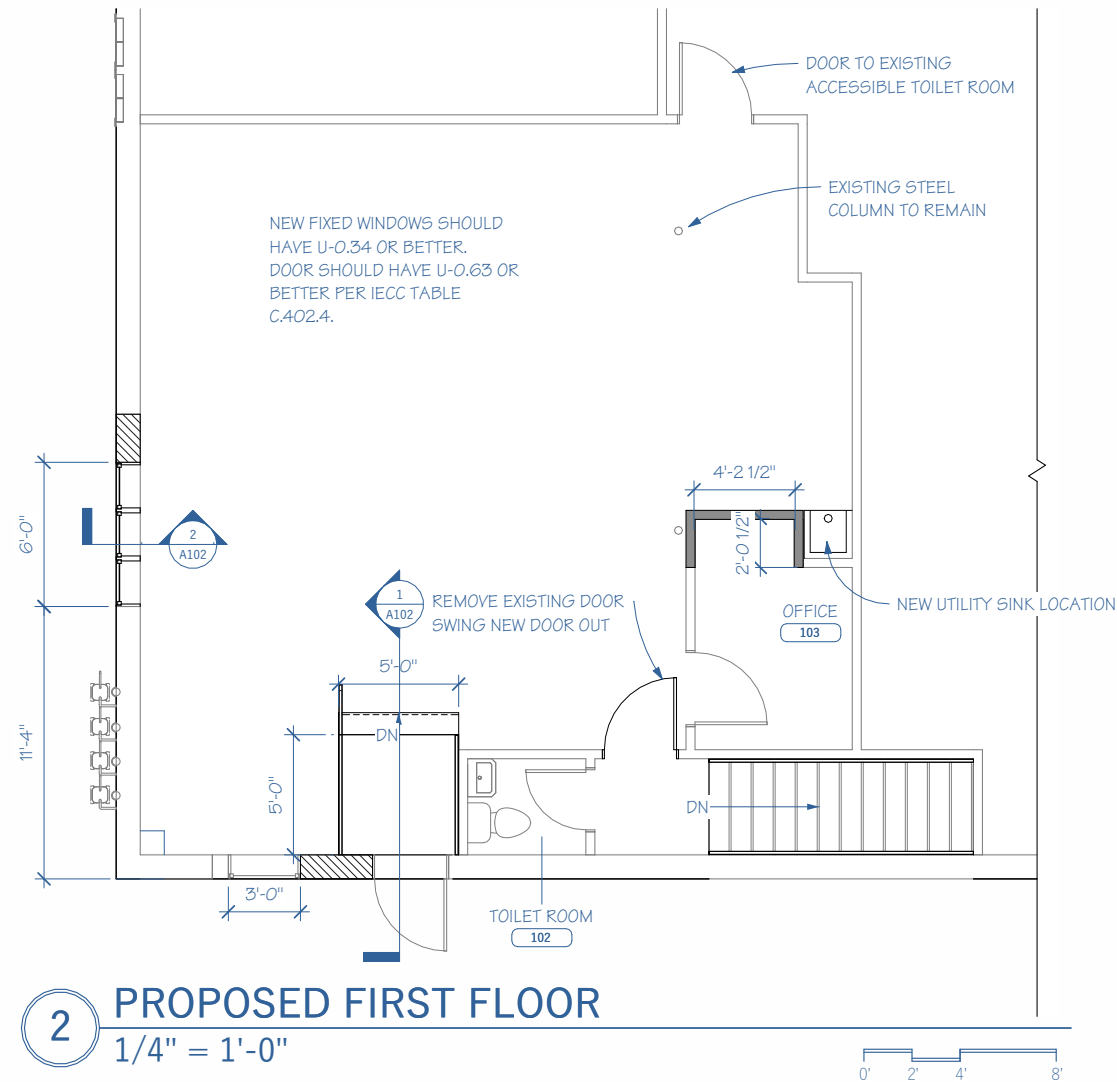
TO BE DEMOLISHED

EXISTING PARTITION TO REMAIN

NEW PARTITION

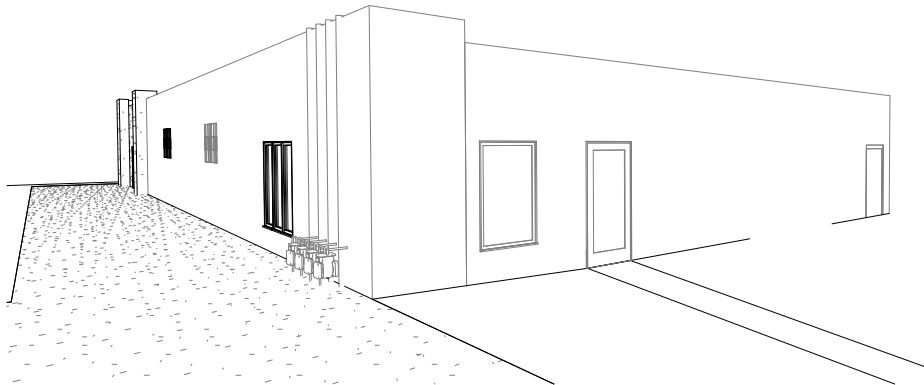
SHEET NOTE:

REMOVE ALL WALLS DOORS & WINDOWS SHOWN DASHED

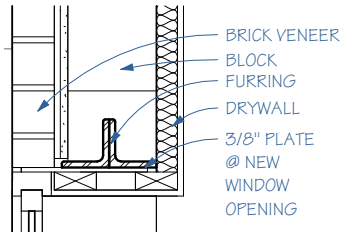


REVISIONS			
Prelim. Plan	Const. Docs	Approval	Revision
12.22.25	Date	Date	Date
12.22.25	Date	Date	Date
12.22.25	Date	Date	Date
12.22.25	Date	Date	Date

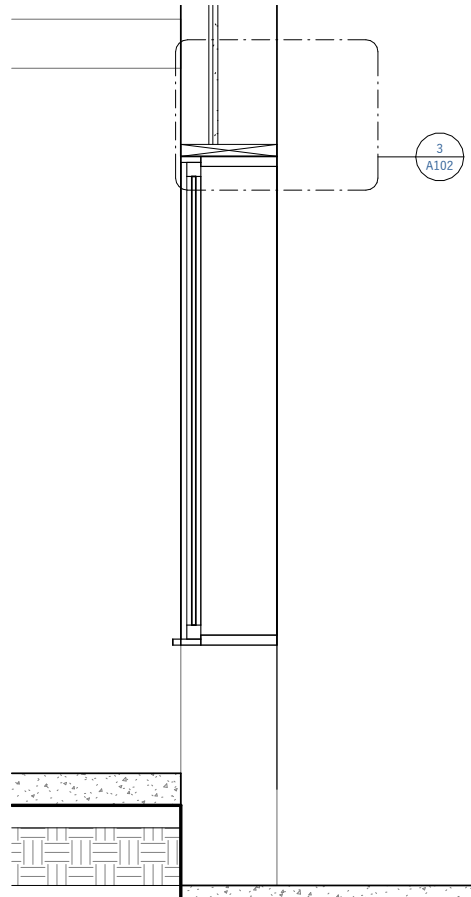
4 EXTERIOR VIEW 1



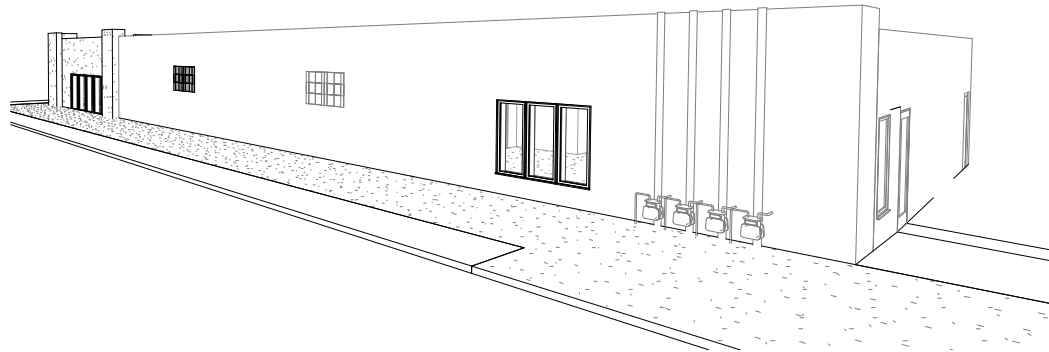
3 WINDOW HEADER DETAIL
1 1/2" = 1'-0"



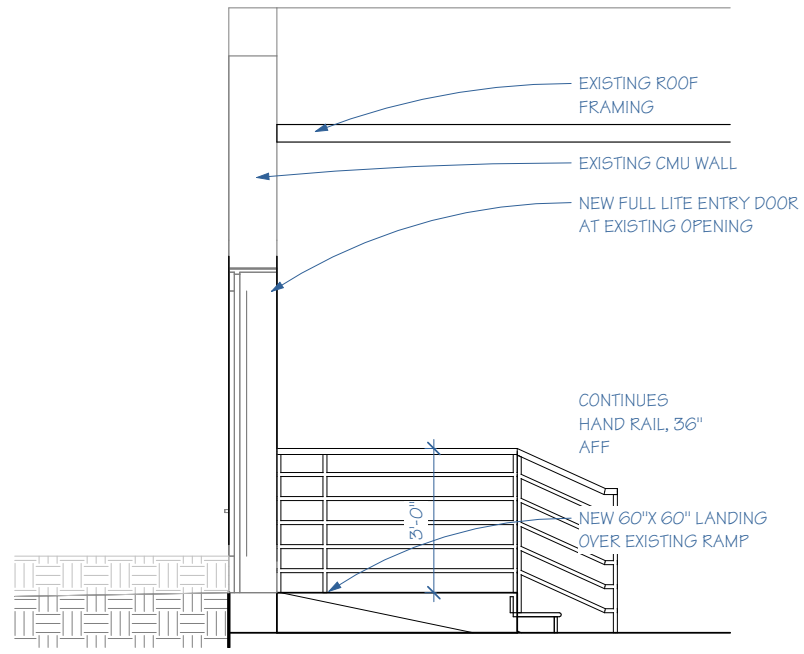
2 WINDOW DETAIL
1" = 1'-0"



5 EXTERIOR VIEW 2



1 WALL SECTION
1/2" = 1'-0"



REVISIONS

Prelim. Plan	Const. Docs	Approval	Revision 1	Revision 2
Date	Date	Date	Date	Date
12.22.25				

DATE

12.22.25

PROJECT NO.

25105



Wauwatosa, WI

7725 W. North Avenue
Wauwatosa, WI 53213

Staff Report

File #: 26-0277

Agenda Date:

Agenda #: 4.

999 N 92nd St - WI State Crime Lab / County Medical Examiner & Office of Emergency - Screening

WISCONSIN STATE CRIME LAB
MILWAUKEE COUNTY MEDICAL EXAMINER OFFICE &
OFFICE OF EMERGENCY MANAGEMENT FACILITY

HGA

WAUWATOSA DRB RE-SUBMISSION

May 4, 2023

PROJECT VISION

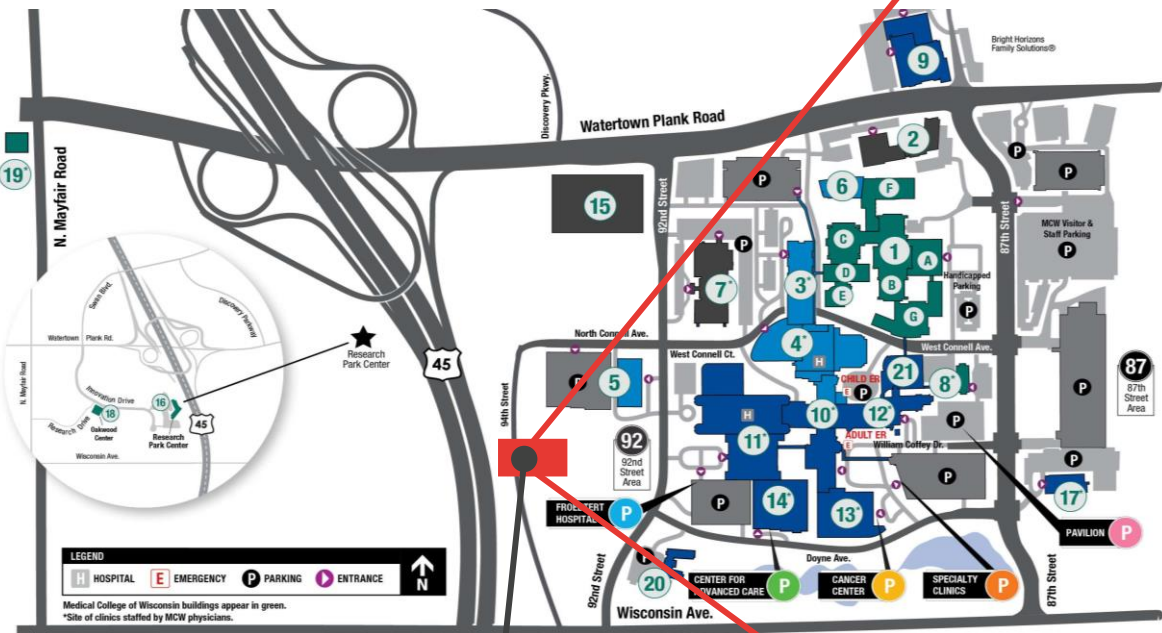
- The project represents extensive planning and shared support from Milwaukee County and the State of WI, to create a shared facility in support of forensic science advancement.
- The Project is a shared facility between the Milwaukee State Crime Lab, the County Medical Examiner and Milwaukee County Office of Emergency Management.
- The collaboration of these entities will welcome the greater community and will be an ecosystem of experts to support recruiting and education in the fields.
- The project location is idea for our unified vision for inter-division collaboration, proximity to the region's resources and ease of access, and for synergies with the MRMC.

PROJECT DESCRIPTION OVERVIEW

- Project Scope:
 - ~220,000 GSF with 3 floors above grade, a mechanical penthouse and a lower level service yard.
 - Spaces include offices, laboratories, support spaces, a shared lobby and a Training Facility.
 - A three story parking structure on the same parcel, accommodating visitors and secured parking for staff
- The site has been designed to accommodate multiple security requirements based on the needs of the various users in the building, while presenting a similar land use pattern as the other structures on the MRMC.

SITE LOCATION AND CONTEXT

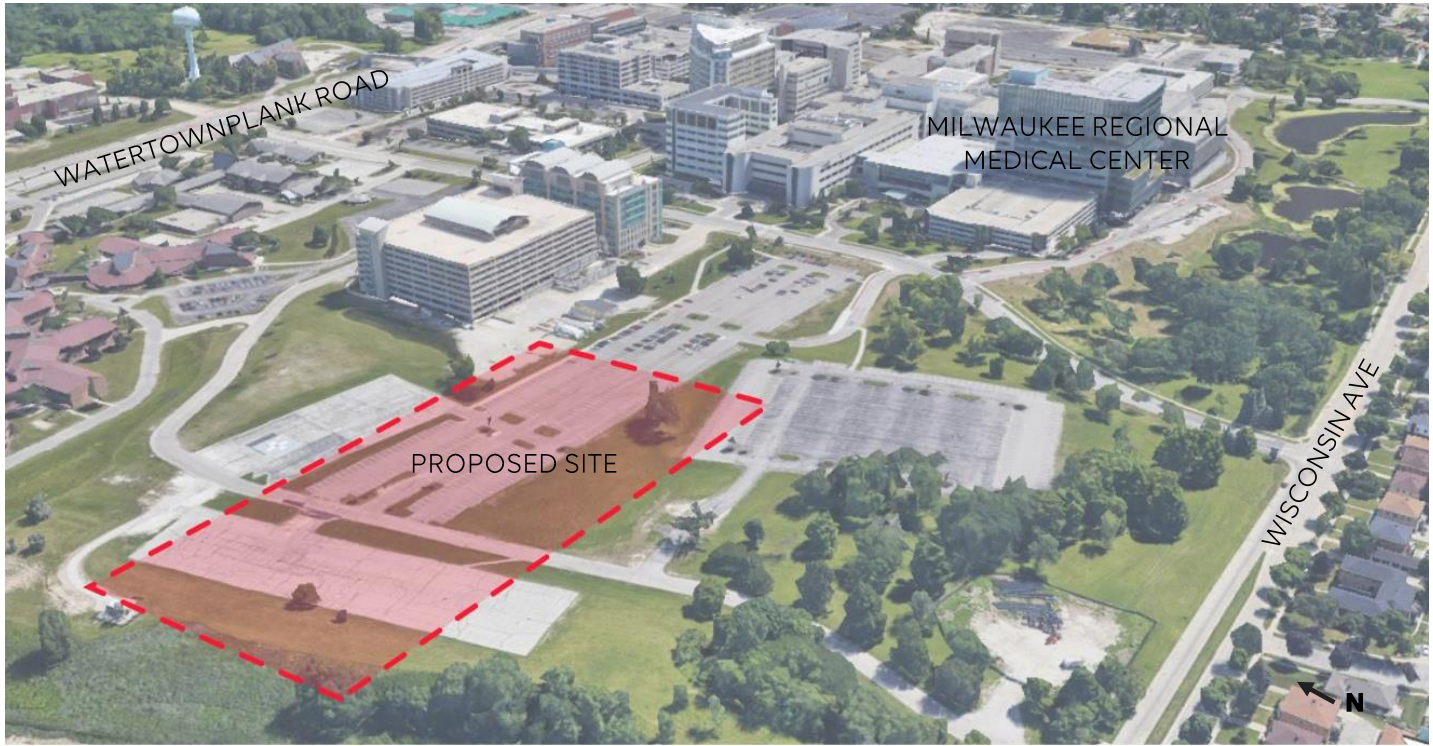
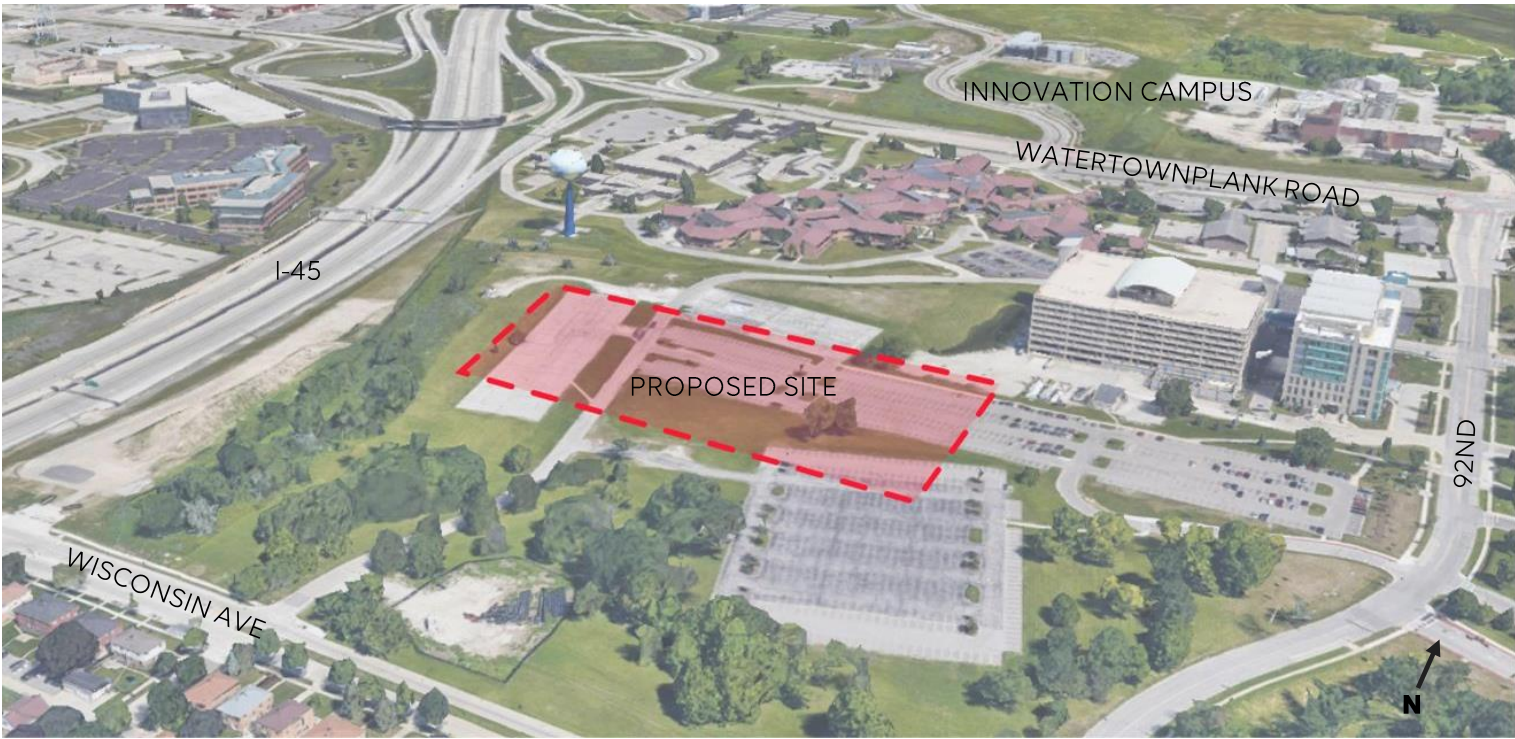
MCW CAMPUS MAP



PROJECT LOCATION



SITE LOCATION AND CONTEXT



PHOTOGRAPHS OF AREA



Looking East at site on 94th



Looking East at site on 94th



Looking Northeast at site on 94th



Looking Northeast at site on 94th

PHOTOGRAPHS OF AREA



Looking South at site on 94th



Looking Southwest at site on 94th



Looking Southwest at site on 94th

SURVEY

TITLE COMMITMENT

This survey was prepared based on Chicago Title Insurance Company Commitment No. CO-13063, effective date of July 29, 2022 which lists the following easements and/or restrictions from schedule B-II:

1, 6, 7, 8 & 10 visible evidence shown, if any.

2, 3, 4, 5, 9, 30, 31 & 62 not survey related.

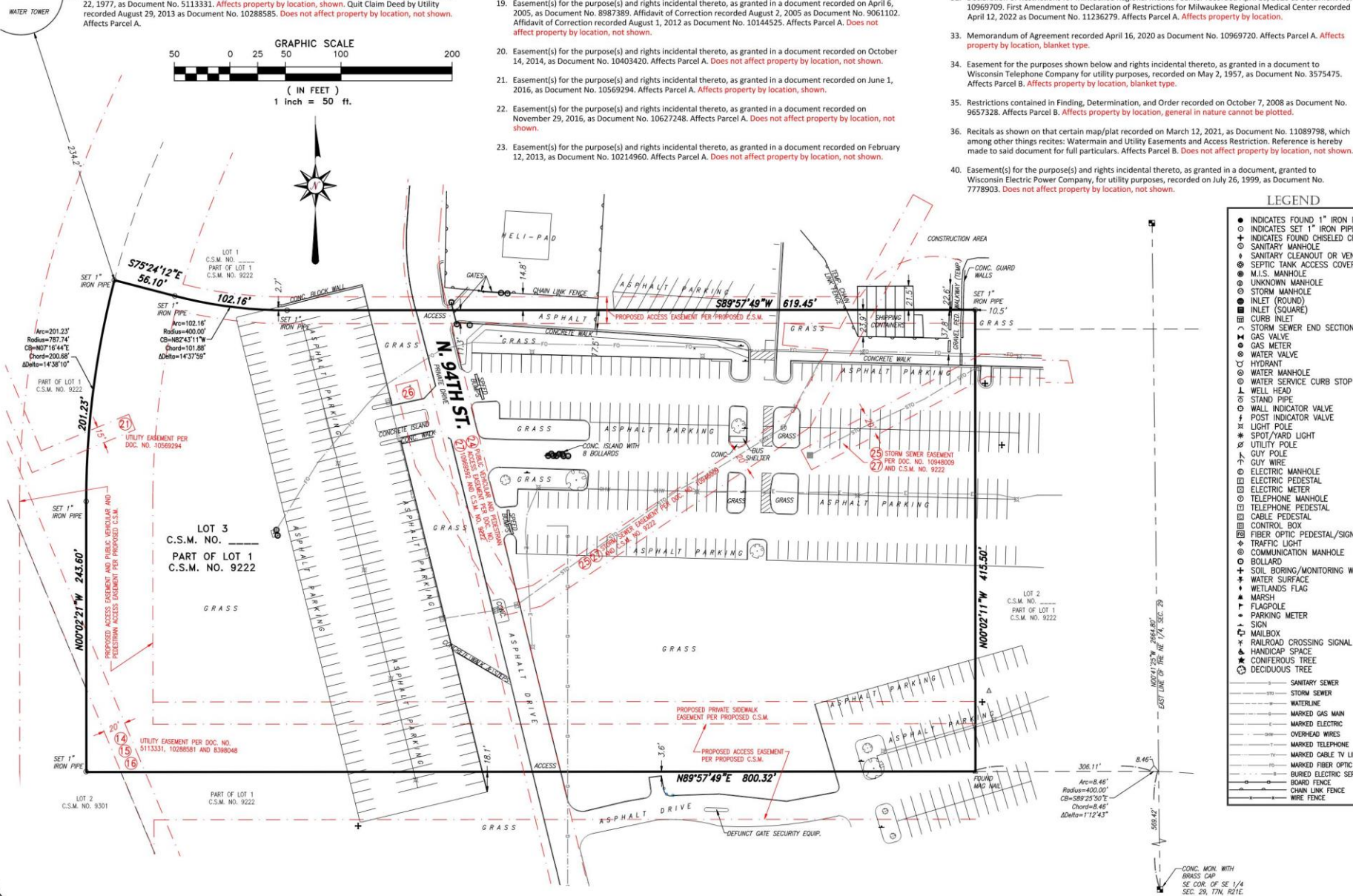
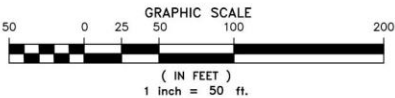
37-39, 41-61 & 63 intentionally deleted.

11. Easements, if any, of the public or any school district, utility, municipality or person, as provided in Section 66.1005(2) of the Statutes, for the continued use and right of entrance, maintenance, construction and repair of underground or overground structures, improvements or service in that portion of the subject premises which were formerly a part of Potter Road now vacated. **Does not affect property by location, not shown.**

12. Easement(s) for the purpose(s) and rights incidental thereto, as granted in a document recorded on May 2, 1957, as Document No. 3575475. Partial Release of Easement recorded October 12, 1978 as Document No. 5259465. Conveyance of Rights in Land recorded September 10, 2013 as Document No. 10291993. Notice of Assignment of County Rights recorded April 15, 2020 as Document No. 10969343. Affects Parcel A. **Affects property by location, general in nature cannot be plotted.**

13. Easement(s) for the purpose(s) and rights incidental thereto, as granted in a document recorded on July 29, 1971, as Document No. 4610350. Affects Parcel A. **Does not affect property by location, not shown.**

14. Easement(s) for the purpose(s) and rights incidental thereto, as granted in a document recorded on June 22, 1977, as Document No. 5113331. **Affects property by location, shown.** Quit Claim Deed by Utility recorded August 29, 2013 as Document No. 10288585. **Does not affect property by location, not shown.** Affects Parcel A.



LEGEND

- INDICATES FOUND 1" IRON PIPE
- INDICATES SET 1" IRON PIPE
- + INDICATES FOUND CHISELED CROSS
- SANITARY MANHOLE
- SANITARY CLEANOUT OR VENT
- SEPTIC TANK ACCESS COVER
- M.I.S. MANHOLE
- UNKNOWN MANHOLE
- STORM MANHOLE
- INLET (ROUND)
- INLET (SQUARE)
- CURB INLET
- STORM SEWER END SECTION
- GAS VALVE
- GAS METER
- WATER VALVE
- HYDRANT
- WATER MANHOLE
- WATER SERVICE CURB STOP
- WELL HEAD
- STAND PIPE
- WALL INDICATOR VALVE
- POST INDICATOR VALVE
- LIGHT POLE
- SPOT/YARD LIGHT
- UTILITY POLE
- GUY POLE
- GUY WIRE
- ELECTRIC MANHOLE
- ELECTRIC PEDESTAL
- ELECTRIC METER
- TELEPHONE MANHOLE
- TELEPHONE PEDESTAL
- CABLE PEDESTAL
- CONTROL BOX
- FIBER OPTIC PEDESTAL/SIGN
- TRAFFIC LIGHT
- COMMUNICATION MANHOLE
- BOLLARD
- SOIL BORING/MONITORING WELL
- WATER SURFACE
- WETLANDS FLAG
- MARSH
- FLAGPOLE
- PARKING METER
- SIGN
- MAILBOX
- RAILROAD CROSSING SIGNAL
- HANDICAP SPACE
- CONIFEROUS TREE
- DECIDUOUS TREE
- SANITARY SEWER
- STORM SEWER
- WATERLINE
- MARKED GAS MAIN
- MARKED ELECTRIC
- OVERHEAD WIRES
- MARKED TELEPHONE
- MARKED CABLE TV LINE
- MARKED FIBER OPTIC
- BURIED ELECTRIC SERVICE
- BOARD FENCE
- CHAIN LINK FENCE
- WIRE FENCE

ALTA/NSPS LAND TITLE SURVEY

CLIENT

CD Smith Construction

SITE ADDRESS

N. 92nd Street, City of Wauwatosa, Milwaukee County, Wisconsin.

LEGAL DESCRIPTION

PARCEL A:

Lot 1 of Certified Survey Map No. 9222, recorded March 19, 2020 as Document No. 10961735, being that part of the Northwest 1/4, Northeast 1/4, Southwest 1/4 and the Southeast 1/4 of the Northeast 1/4 of Section 29 and the Northwest 1/4 and the Southwest 1/4 of the Northwest 1/4 of Section 28 in the Township 7 North, Range 21 East, in the City of Wauwatosa and the City of Milwaukee, County of Milwaukee, State of Wisconsin.
Tax Key No. 380-1001-00
Address: 995 N. 92nd Street

PARCEL B:

Lot 2 of Certified Survey Map No. 9301 recorded on March 12, 2021 as Document No. 11089798, in that part of the Southwest 1/4 and Southeast 1/4 of the Northeast 1/4 of Section 29, Town 7 North, Range 21 East, in the City of Wauwatosa and City of Milwaukee in Milwaukee County, State of Wisconsin.
Tax Key No. 380-1007-00
Address: W. Watertown Plank Road

LEGAL DESCRIPTION TO BE KNOWN AS:

Lot 3 of Certified Survey Map No. _____, recorded on _____, 2022, as Document No. _____, being a redivision of Certified Survey Maps numbered 9222, 9227, and Lot 2 of 9301 in the Northeast 1/4, Northwest 1/4, Southeast 1/4, and Southwest 1/4 of the Northeast 1/4 of Section 28, and Northeast 1/4, Southeast 1/4, and Southwest 1/4 of the Northeast 1/4 of Section 29, all in Township 7 North, Range 21 East, in the City of Wauwatosa, Milwaukee County, Wisconsin.

BASIS OF BEARINGS

Bearings are referenced to Certified Survey Map 9222, in which the South line of the NE 1/4 bears N89°55'54"E.

TABLE "A" ITEMS

- According to the flood insurance rate map of the County of Milwaukee, Community Panel No. 55075CD067E, effective date of September 26, 2008, this site falls in Zone X (Areas determined to be outside the 0.2% annual chance floodplain).
- The Land Area of the subject property is 333,069 square feet or 7.6462 acres.
- There are 450 regular parking spaces and 0 handicap space marked on this site.
- Evidence of underground utilities existing on or serving the surveyed property as determined by markings requested by the surveyor pursuant to a Diggers Hotline One-call center utility locate. Ticket Number 20230302320 and 20230302322. However, lacking excavation, the exact location of underground features cannot be accurately, completely, and reliably depicted. Client understands only utility lines with imbedded electric tracer wires or utilities made of materials capable of electric connectivity can be marked at the surface and located. Depth of utilities may prohibit their location even with electric connectivity.

VICINITY MAP



- 24 PUBLIC VEHICULAR AND PEDESTRIAN ACCESS EASEMENT PER DOC. NO. 10969343 AND C.S.M. NO. 9222
- 25 PRIVATE VEHICULAR ACCESS EASEMENT PER DOC. NO. 10969343 AND C.S.M. NO. 9222
- 26 PRIVATE VEHICULAR ACCESS EASEMENT PER DOC. NO. 10969343 AND C.S.M. NO. 9222
- 27 PRIVATE VEHICULAR ACCESS EASEMENT PER DOC. NO. 10969343 AND C.S.M. NO. 9222

NOTE:
SITE WAS SNOW COVERED AT THE TIME OF SURVEY

TO: CHILDRENS HOSPITAL OF WISCONSIN, INC., a Wisconsin non-stock corporation
MRMC Land Bank, LLC, a Wisconsin limited liability company
Chicago Title Insurance Company

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1, 2, 3, 4, 7(a), 7(b)(1), 7(c), 8, 9, 11(b) and 19 of Table A thereof. The field work was completed on February 8, 2023.

Date of Map: February 8, 2023

DONALD C. CHAPUT
S-1316
MILWAUKEE, WI
LAND SURVEYOR
Donald C. Chaput
Professional Land Surveyor
Registration Number S-1316

Date	Revision description

This document is an instrument of professional service, and may be protected by the surveyor with a patent, copyright or other form of intellectual property. The information herein is intended solely for the use of the client and does not constitute an offer of insurance.

Drawing No. 4367-LPM/MEM

SITE PLAN

GENERAL NOTES:

SITE ADDRESS: 995 N. 92ND STREET
TAX KEY NO. 380-1001-00

1. REFER TO SHEET C101 EXISTING CONDITIONS FOR INFORMATION ON COORDINATES, SURVEY CONTROL, AND PROPERTY INFORMATION.
2. ALL CURB RADI AND DIMENSIONS ARE MEASURED TO THE FACE OF CURB, EDGE OF PAVEMENT, FACE OF BUILDING OR PROJECT LIMIT WORK; UNLESS STATED OTHERWISE.
3. CONTRACTOR TO ENSURE THAT ALL EXTERIOR CONCRETE SLABS ARE BROOM FINISHED.
4. REFER TO LANDSCAPE PLANS FOR RESTORATION DETAILS IN LANDSCAPE AREAS.
5. REFER TO GRADING PLAN FOR FINAL SURFACE GRADES.

6. THE UNDERGROUND UTILITY INFORMATION AS SHOWN HEREON IS BASED, IN PART, UPON INFORMATION FURNISHED BY THE UTILITY COMPANIES, LOCAL MUNICIPALITIES, AND CHAPUT LAND SURVEYS. WHILE THIS INFORMATION IS BELIEVED TO BE RELIABLE, ITS ACCURACY AND COMPLETENESS CANNOT BE GUARANTEED NOR CERTIFIED TO.

PLAN NOTES:

- | | |
|--|---|
| 2. 6" CONCRETE SIDEWALK, SEE DETAIL SHEET C500. | 17. ELECTRONIC GATE ENTRY CONTROL, SEE ELECTRICAL PLANS FOR DETAILS. |
| 3. PAVEMENT MARKINGS, SEE DETAILS 2, C500. | 18. RETRACTABLE BOLLARDS, SEE DETAIL 5, SHEET C501. |
| 4. HMA PAVEMENT, SEE DETAIL 3, SHEET C500. | 19. RAISED REINFORCED CONCRETE SLAB, SEE DETAIL 2, SHEET C501. |
| 5. 30-INCH CONCRETE CURB AND GUTTER, SEE DETAIL 4, SHEET C500. | 20. CURB CUT, SEE DETAIL 8, SHEET C502. |
| 6. REINFORCED CONCRETE SLAB, SEE DETAIL 5, SHEET C500. | 21. RETRACTABLE VEHICLE BARRIER, SEE DETAIL 3, SHEET C501. |
| 7. LANDSCAPE BLOCK STONE, SEE LANDSCAPE PLANS FOR DETAILS. | 22. SNOW STORAGE AREA. |
| 8. TYPE-7A (MODIFIED) AMERICANS WITH DISABILITIES ACT (ADA) HANDICAP CURB RAMP, SEE DETAIL 6, SHEET C500. | 23. HMA PAVEMENT (UTILITY YARD), SEE DETAIL 9, SHEET 500. |
| 9. TYPE-3 AMERICANS WITH DISABILITIES ACT (ADA) HANDICAP CURB RAMP, SEE DETAIL 7, SHEET C500. | 24. SCREENED FENCING, SEE ARCHITECTURAL PLANS FOR DETAILS. |
| 10. TRUNCATED DOME AND DETECTABLE WARNING SURFACE, TYP. | 25. 6" CONCRETE SIDEWALK, SEE DETAIL 1, SHEET C500. |
| 11. SIGN & TUBULAR STEEL POST, SEE DETAIL 8, SHEET C500. OWNER TO PROVIDE FINAL SIGNS & TUBULAR STEEL POSTS. | 26. GARBAGE DUMPSTER LOCATION |
| 12. FENCE, SEE ARCHITECTURAL PLANS FOR DETAILS. | 27. SHORT TERM BIKE PARKING LOCATION, SEE LANDSCAPING PLAN FOR DETAILS. |
| 13. SECURED DUAL CANTILEVER GATES, SEE DETAIL 4, SHEET C501. | |
| 14. 30" CONCRETE VALLEY CURB AND GUTTER, SEE DETAIL 4, SHEET C500. | |
| 15. CONCRETE WHEEL STOP, SEE DETAIL 1, SHEET 501. | |
| 16. CONCRETE RETAINING WALL | |
| 17. CAST-IN-PLACE CONCRETE RETAINING WALL, SEE ARCHITECTURAL PLANS FOR DETAILS. | |

SITE DATA:

TOTAL AREA OF DISTURBANCE = 254,320 S.F. = 5.84 ACRES
 PROPOSED IMPERVIOUS AREA WITHIN DISTURBANCE AREA = 173,026 S.F. = 3.97 ACRES
 EXISTING IMPERVIOUS AREA WITHIN DISTURBANCE AREA = 131,214 S.F. = 3.01 ACRES
 INCREASE IN IMPERVIOUS PROPOSED = 41,812 S.F. = 0.96 ACRES
 EXISTING OPEN SPACE WITHIN DISTURBANCE AREA = 123,106 S.F. = 2.83 ACRES = 48.4%
 PROPOSED OPEN SPACE WITHIN DISTURBANCE AREA = 81,294 S.F. = 1.87 ACRES = 32.0%

BUILDING FOOTPRINT LOWER LEVEL: 41,135 SF
BUILDING FOOTPRINT LEVEL 1: 50,717 SF
BUILDING FOOTPRINT LEVEL 2: 49,747 SF
BUILDING FOOTPRINT LEVEL 3: 49,762 SF
BUILDING FOOTPRINT LEVEL 4: 25,789 SF
BUILDING FOOTPRINT TOTAL AREA: 217,150 SF











PROPOSED VISITOR PARKING: 91 SPACES
STATE: 60 SPACES
COUNTY: 31 SPACES

PROPOSED SECURED STAFF PARKING: 255 SPACES
STATE: 145 SPACES
COUNTY: 110 SPACES

PROPOSED REAR SERVICE YARD: 18 SPACES
STATE: 10 SPACES
COUNTY: 8 SPACES

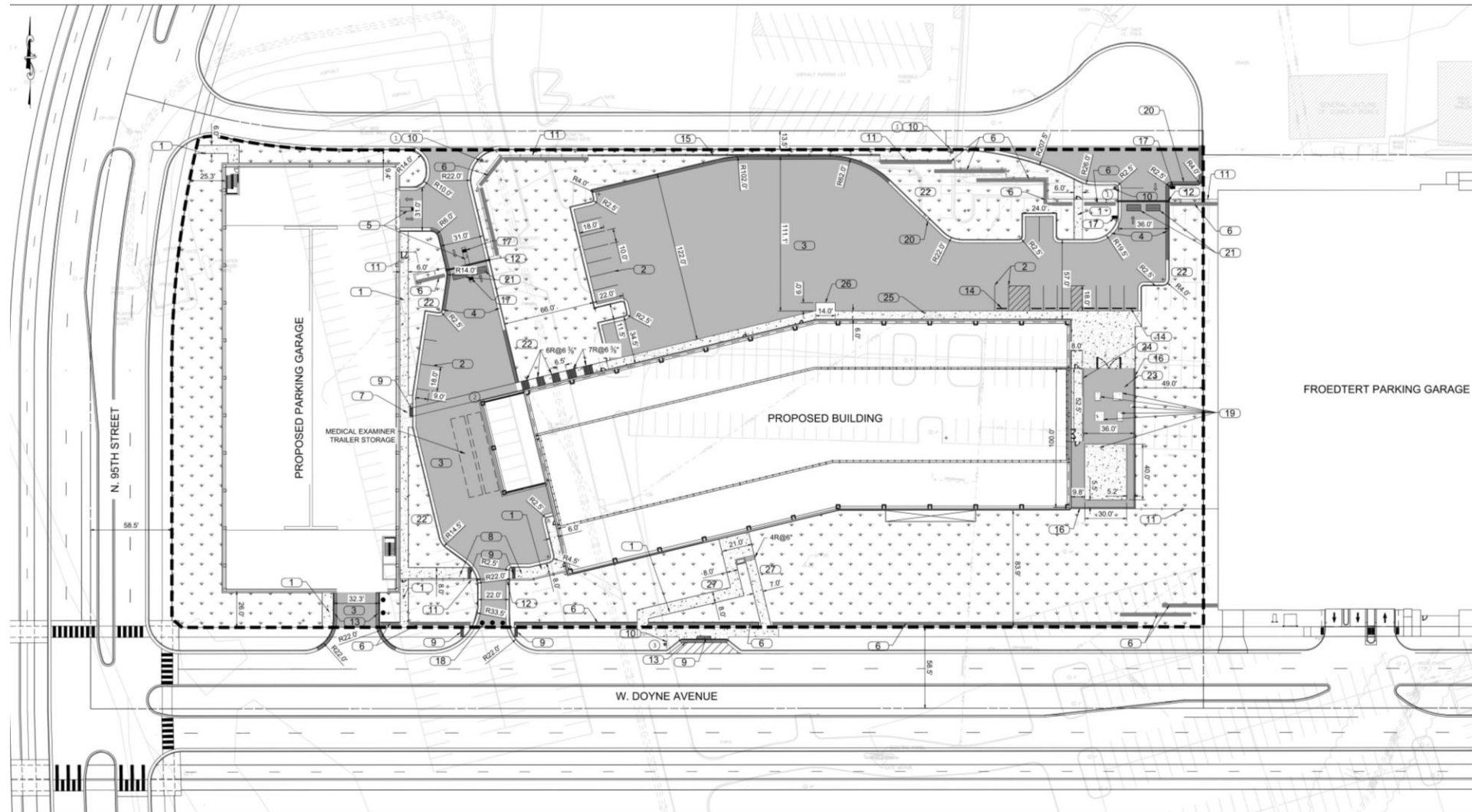
ADA PARKING STALLS AND VAN ACCESSIBLE STALLS: SEE PARKING STRUCTURE PLANS

LEGEND

- | | |
|---|---|
|  | PROPOSED CONCRETE
PAVEMENT/SIDEWALK |
|  | LANDSCAPING, SEE LANDSCAPE
PLANS FOR DETAILS |
|  | PROPOSED HMA PAVEMENT |
|  | DISTURBANCE LIMITS |
|  | PROPERTY LINE |
|  | ACCEPT CURB & GUTTER |
|  | REJECT CURB & GUTTER |
|  | VALLEY CURB & GUTTER |
|  | RETRACTABLE VEHICLE BARRIER
SURFACE |
|  | PROPOSED GRAVEL SURFACE |

SIGN KEY:

- ①  R1-1
30" X 30"
- ②  R1-6
12"X36"
- ③  R7-8A
12"X18"



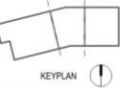
HGA

333 East Erie Street
Milwaukee, Wisconsin 53202
Telephone 414.278.8200

C.D. SMITH
CONSTRUCTION



NOT FOR
CONSTRUCTION



Milwaukee County
Department of
Administrative Services



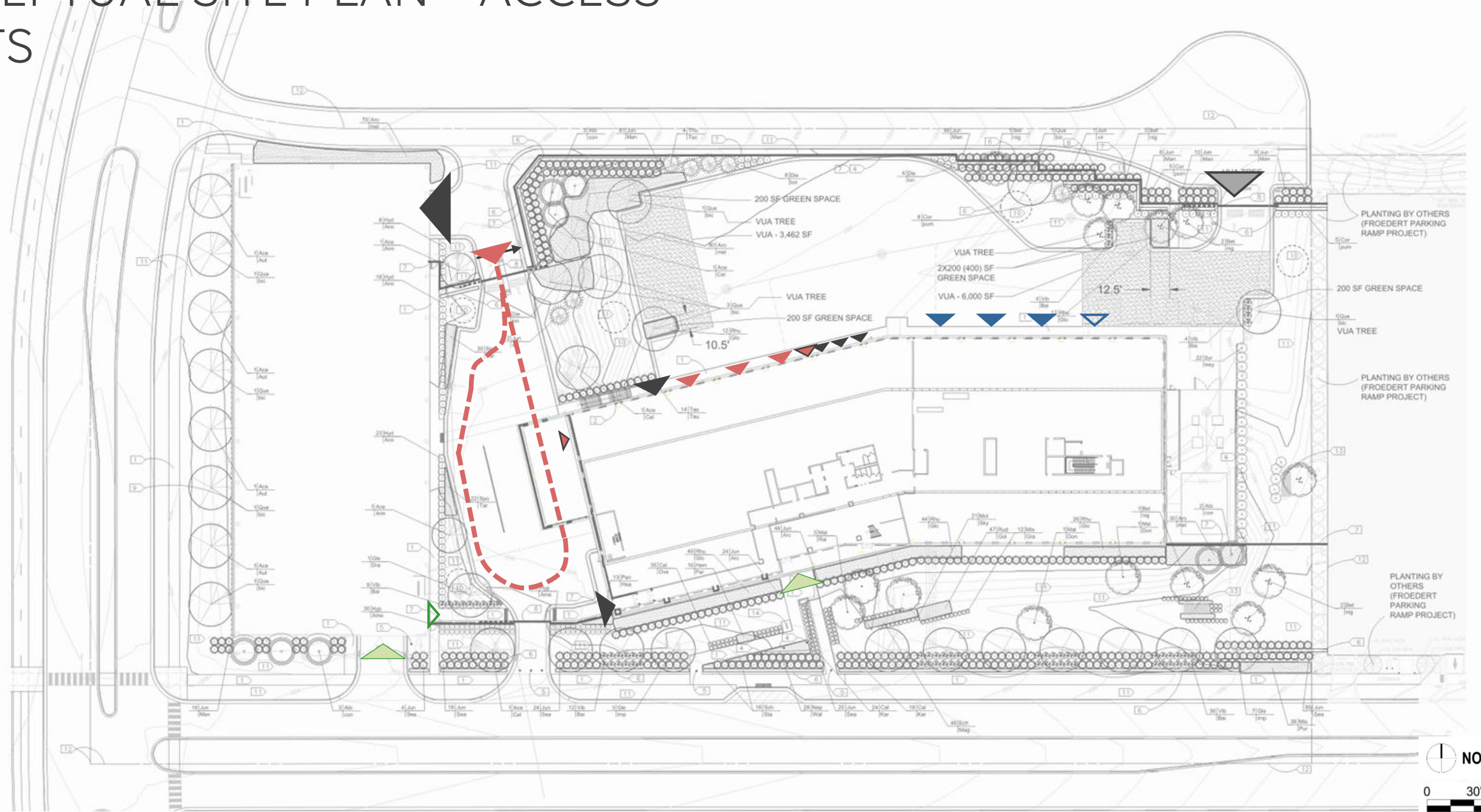
State of Wisconsin
Department of Administration
Division of Facilities Development

PROJECT TITLE: CFSPM WI STATE CRIME LAB
SITE ADDRESS: 995 N. 92ND STREET,
WAUWATOSA, WI.
TAX KEY NO. 380-1001-00
SITE PLAN

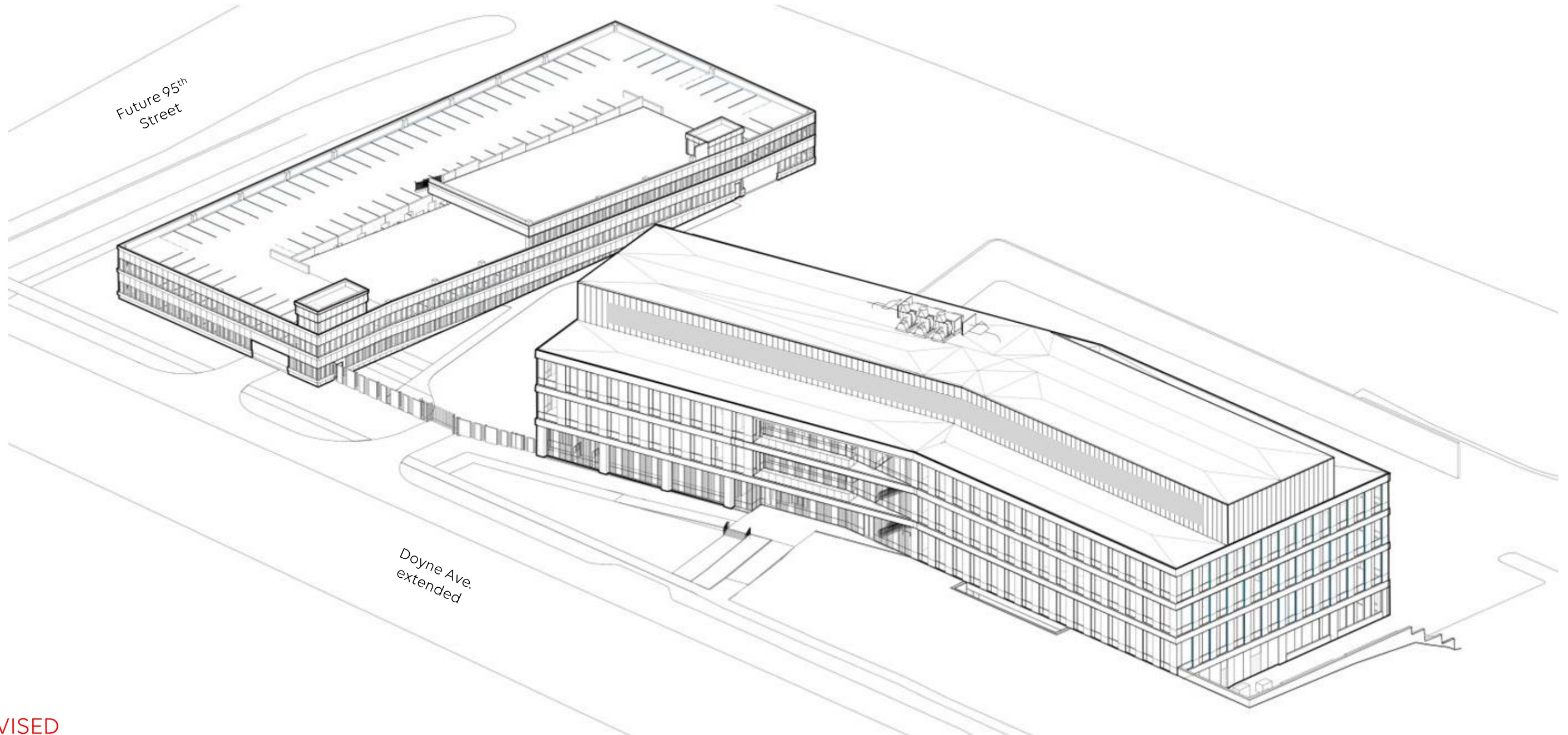
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CONCEPTUAL SITE PLAN – ACCESS POINTS

- County**
 - Credentialed (Employee)
 - Overhead Door/ Gate
 - Controlled Access (Invited Guest)
- State**
 - Credentialed (Employee)
 - Overhead Door/ Gate
 - Controlled Access (Invited Guest)
- Shared**
 - Credentialed (Employee)
 - Overhead Door/Gate
 - Controlled Access (Invited Guest)
 - Free Passage - Visitor



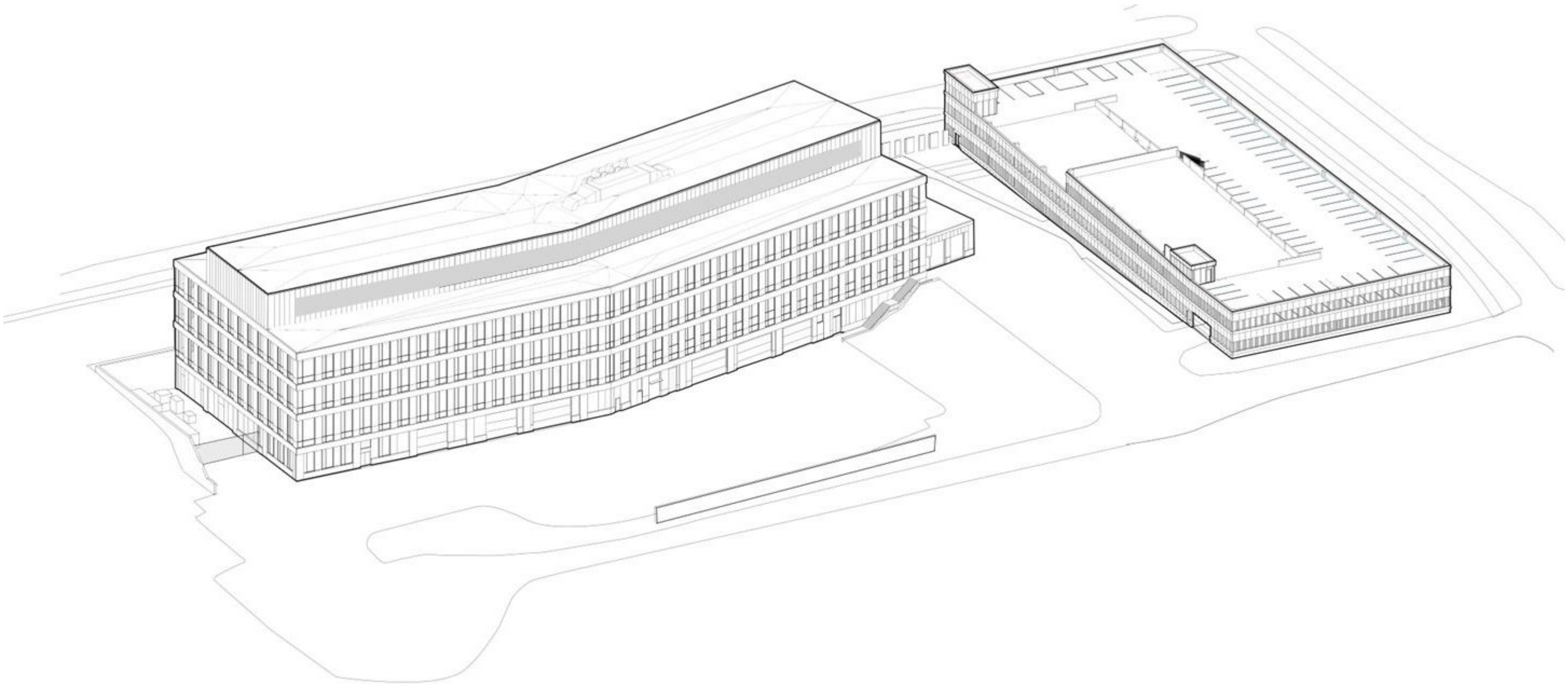
MASSING



REVISED

MASSING

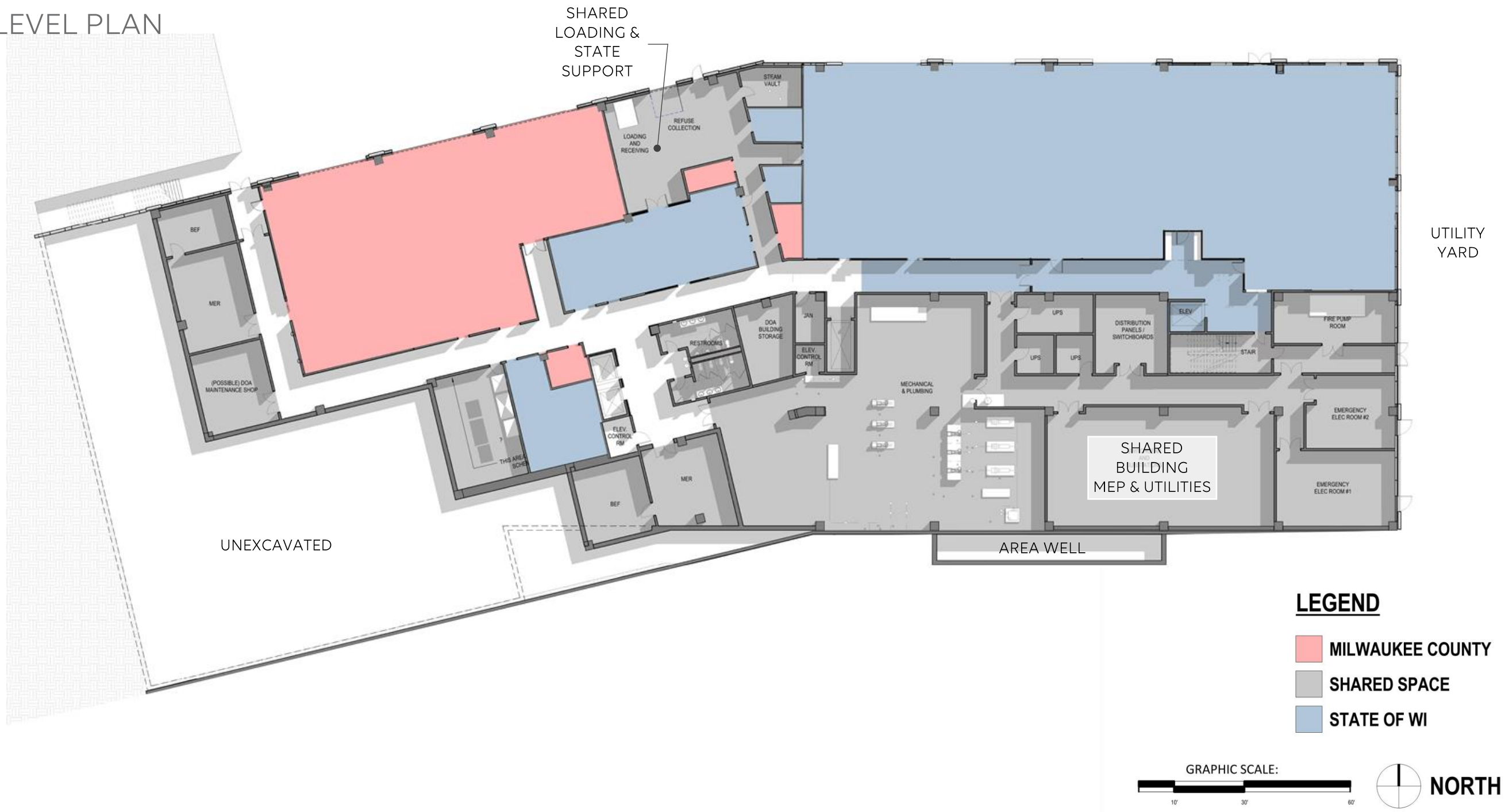
NORTH & EAST ELEVATIONS



REVISED

PLANS/BLOCK DIAGRAMS

LOWER-LEVEL PLAN



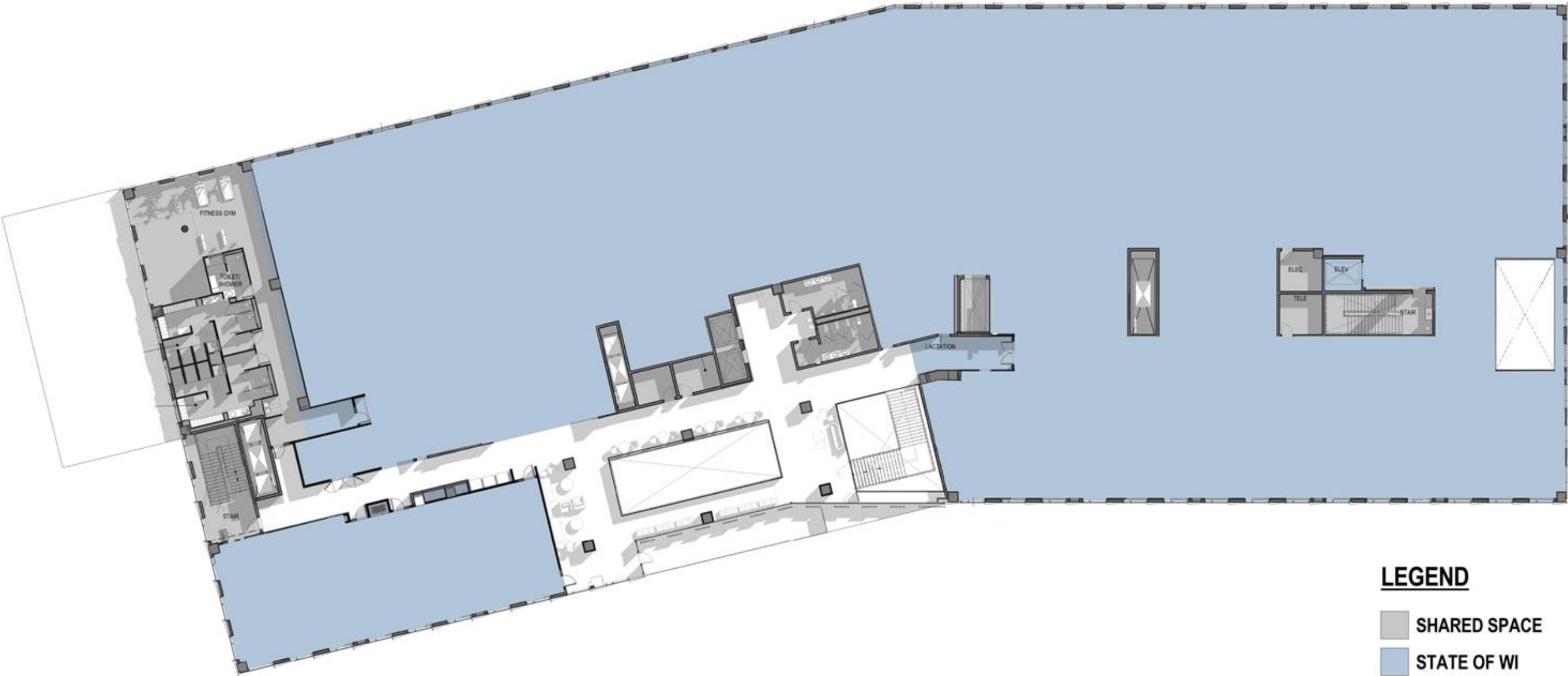
PLANS/BLOCK DIAGRAMS

LEVEL 01 PLAN



PLANS/BLOCK DIAGRAMS

LEVEL 02 PLAN



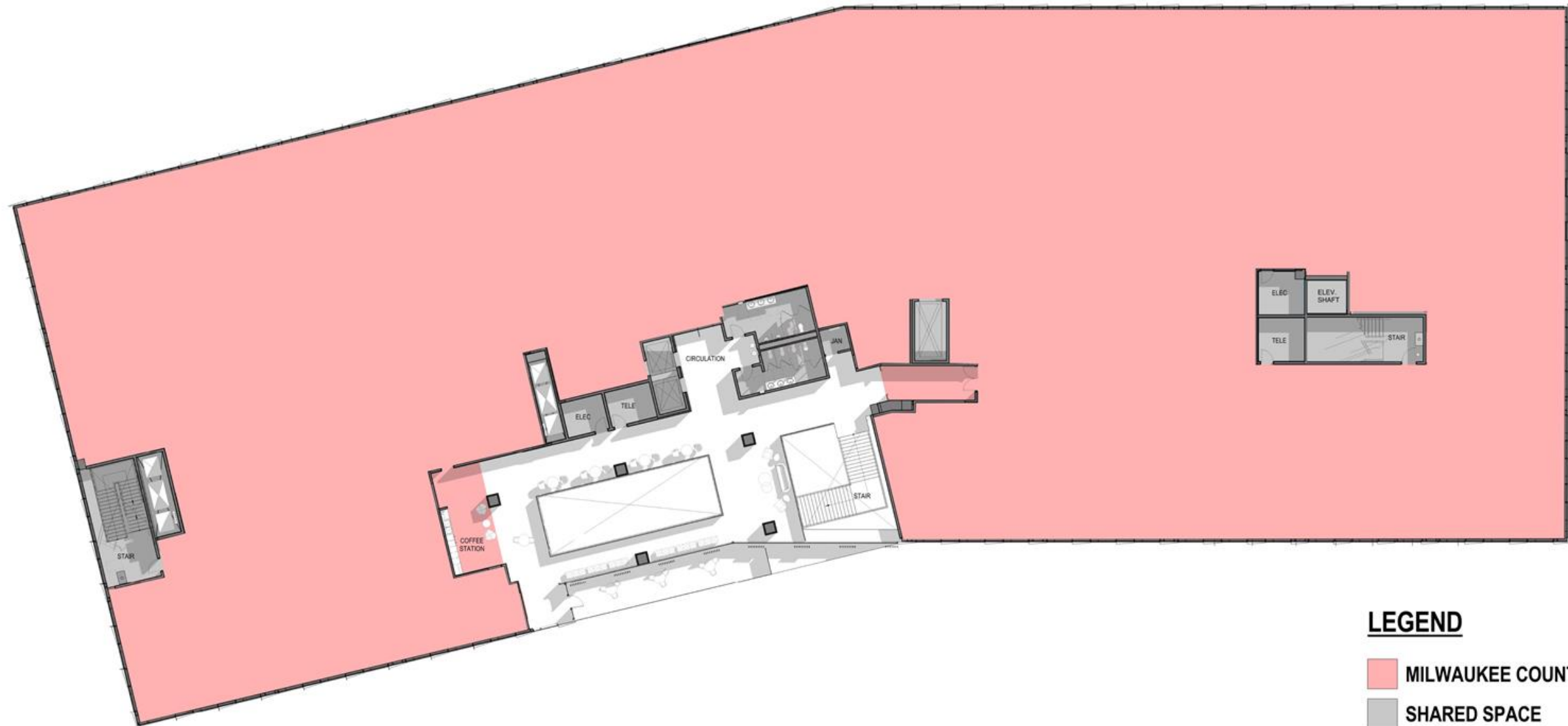
LEGEND

- SHARED SPACE
- STATE OF WI



PLANS/BLOCK DIAGRAMS

LEVEL 03 PLAN



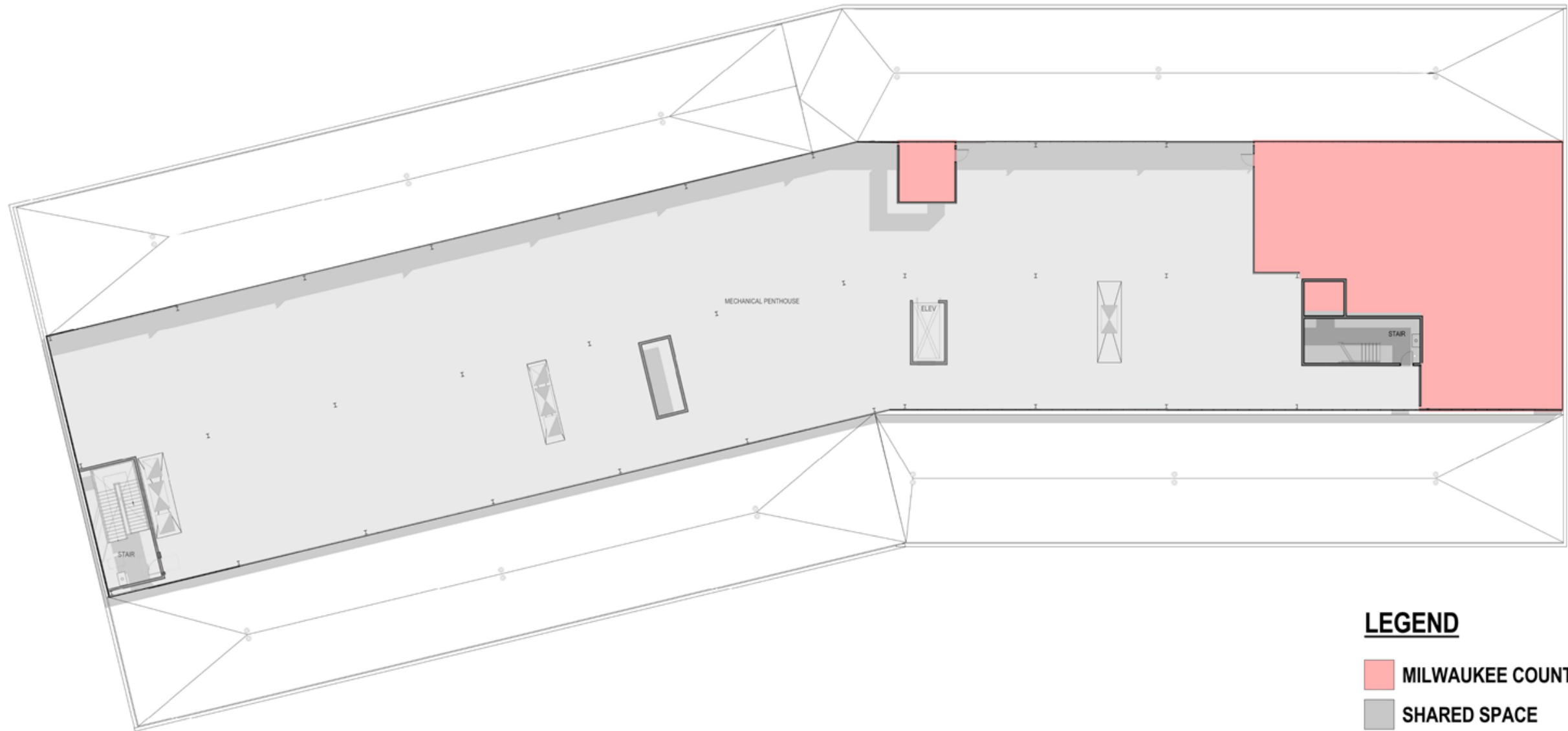
LEGEND

- MILWAUKEE COUNTY
- SHARED SPACE
- STATE OF WI



PLANS/BLOCK DIAGRAMS

MECHANICAL PENTHOUSE PLAN



PLANS/BLOCK DIAGRAMS

PARKING STRUCTURE PLANS

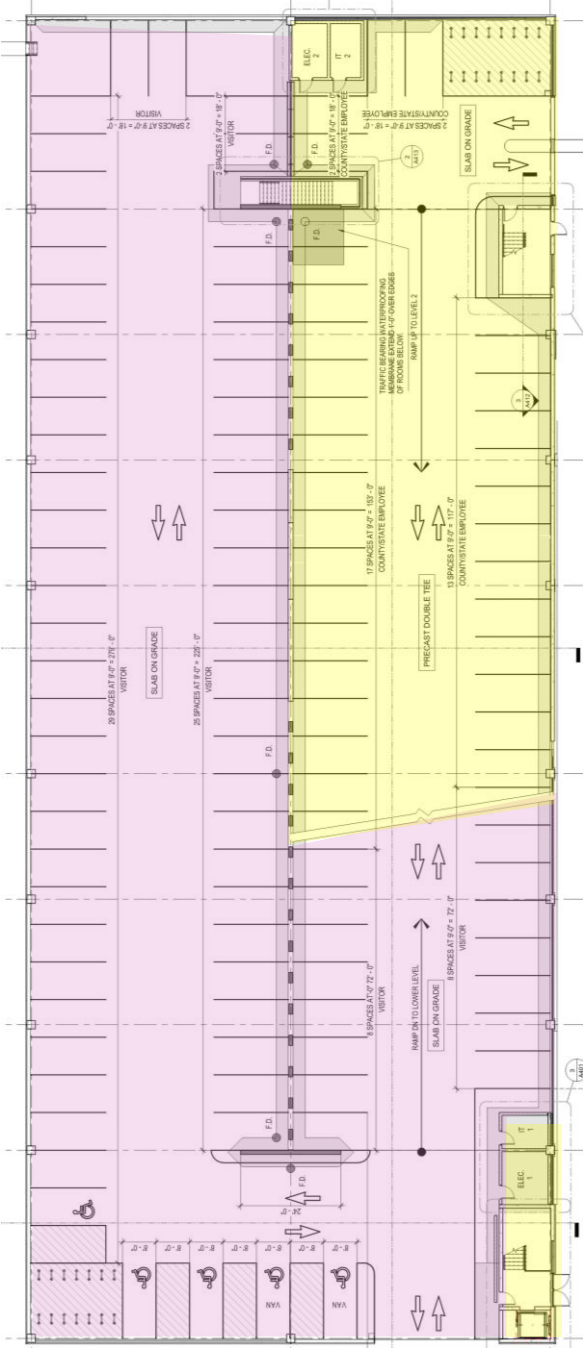
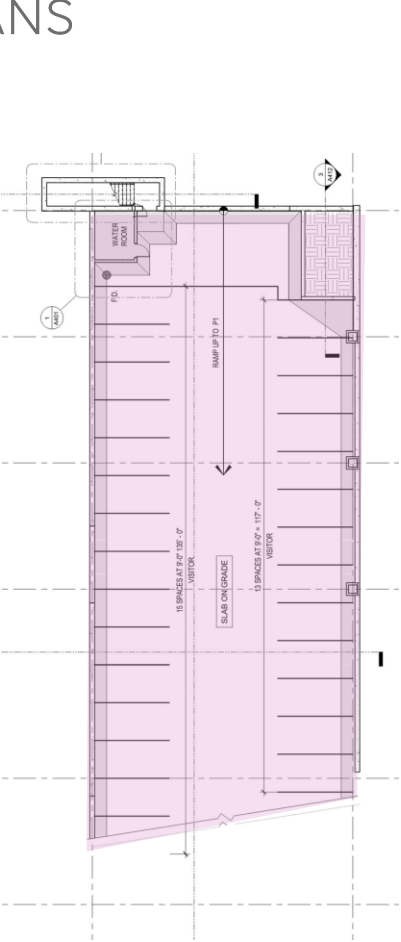
VISITOR PARKING

SUBTOTAL: 106

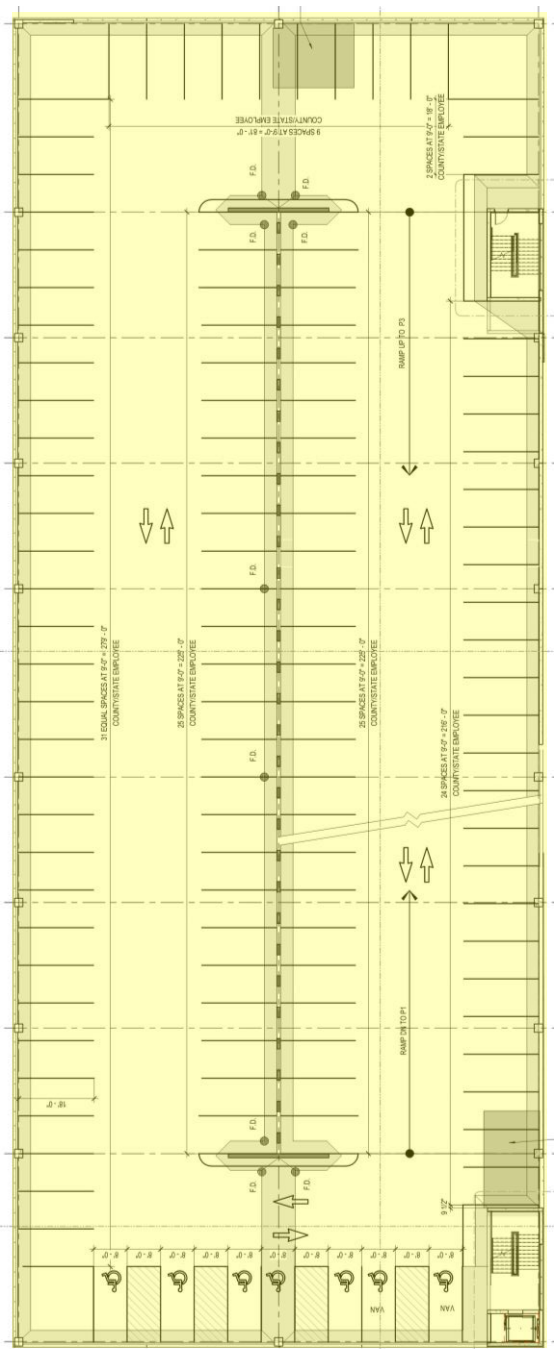
SECURED STAFF PARKING

SUBTOTAL: 263

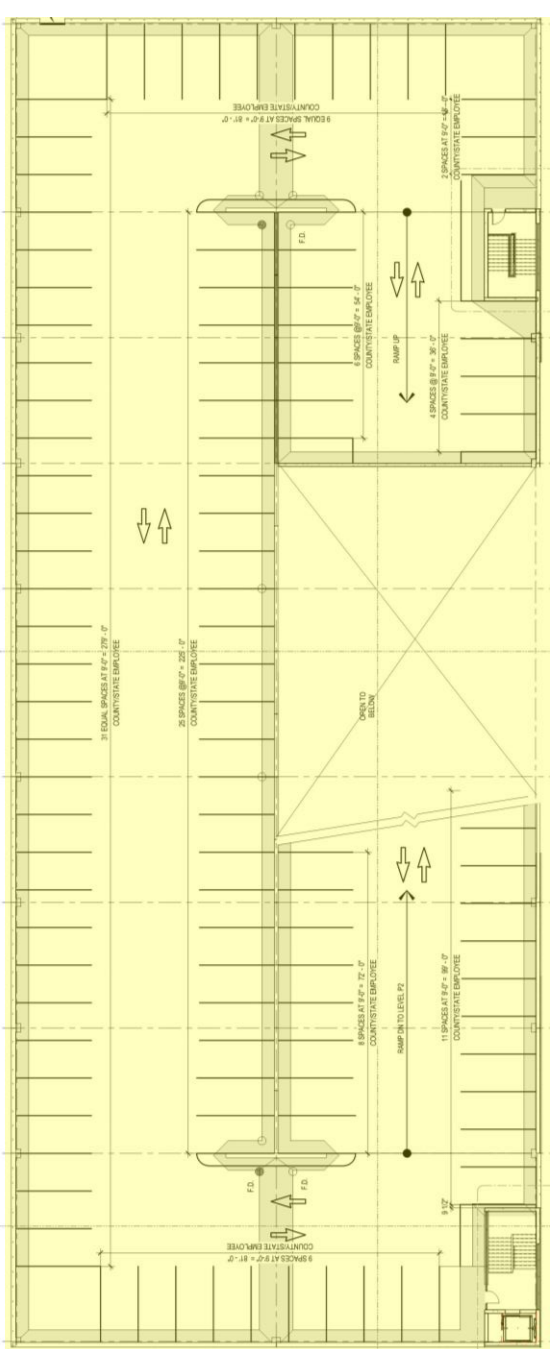
TOTAL : 369



LEVEL P1



LEVEL P2



LEVEL P3

REVISED



NORTH

LOWER LEVEL

SOUTHEAST PERSPECTIVE



REVISED

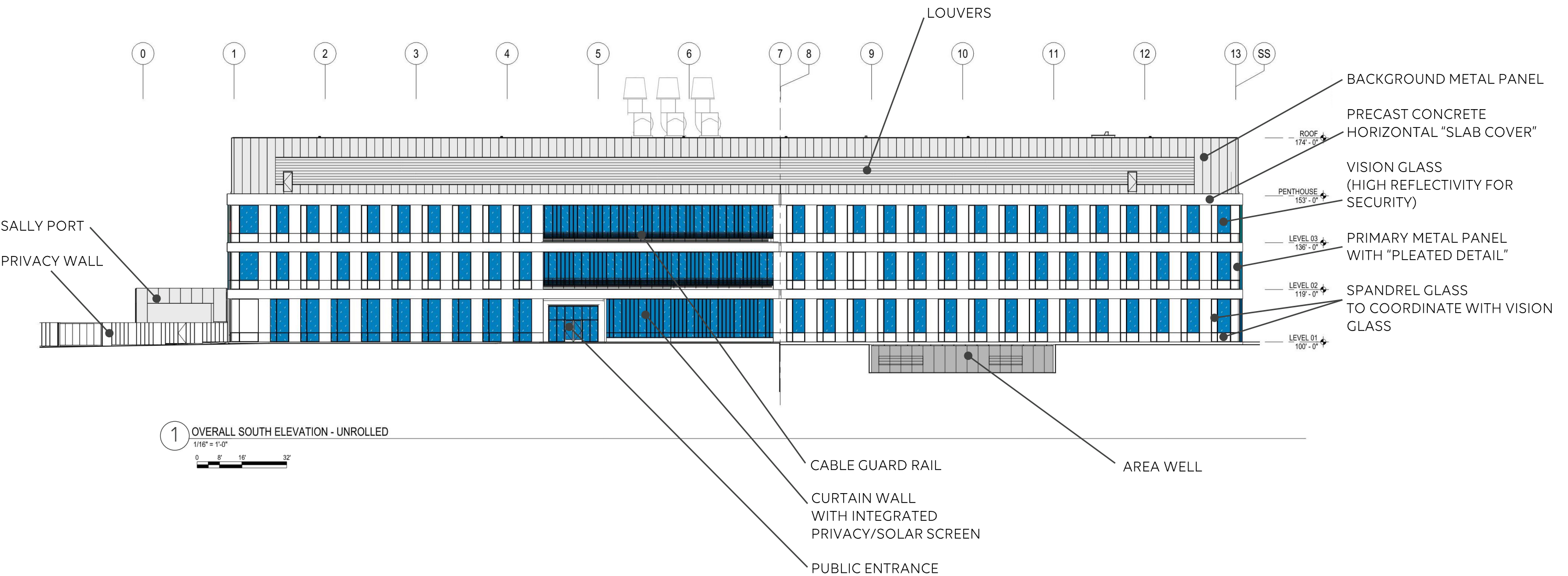
SOUTHWEST PERSPECTIVE



REVISED

BUILDING ELEVATIONS

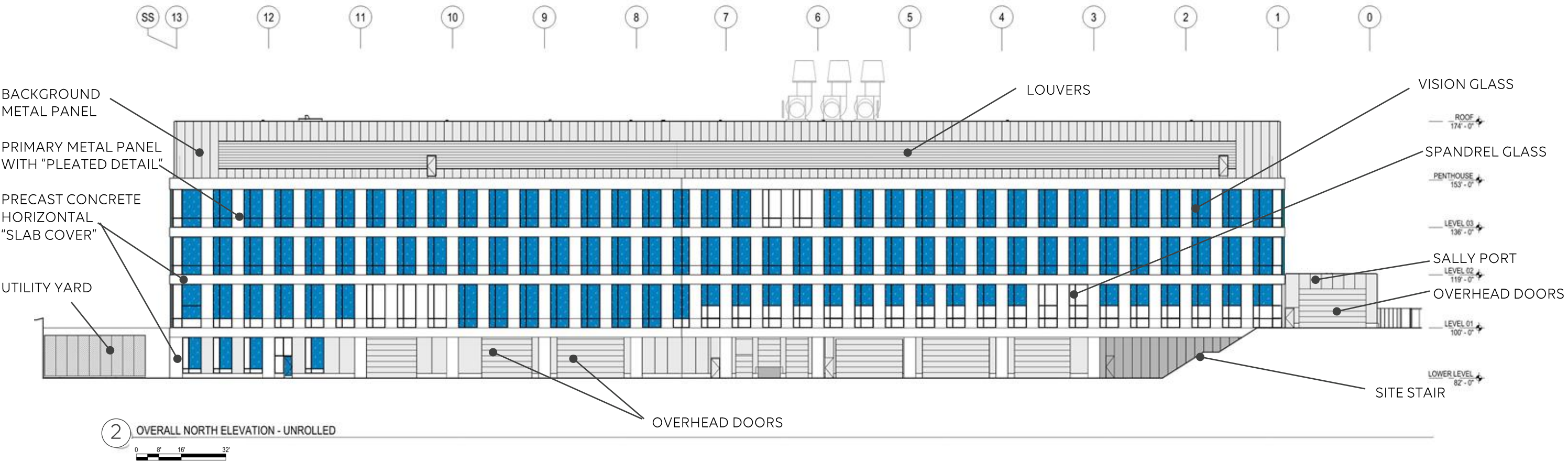
SOUTH ELEVATION



REVISED

BUILDING ELEVATIONS

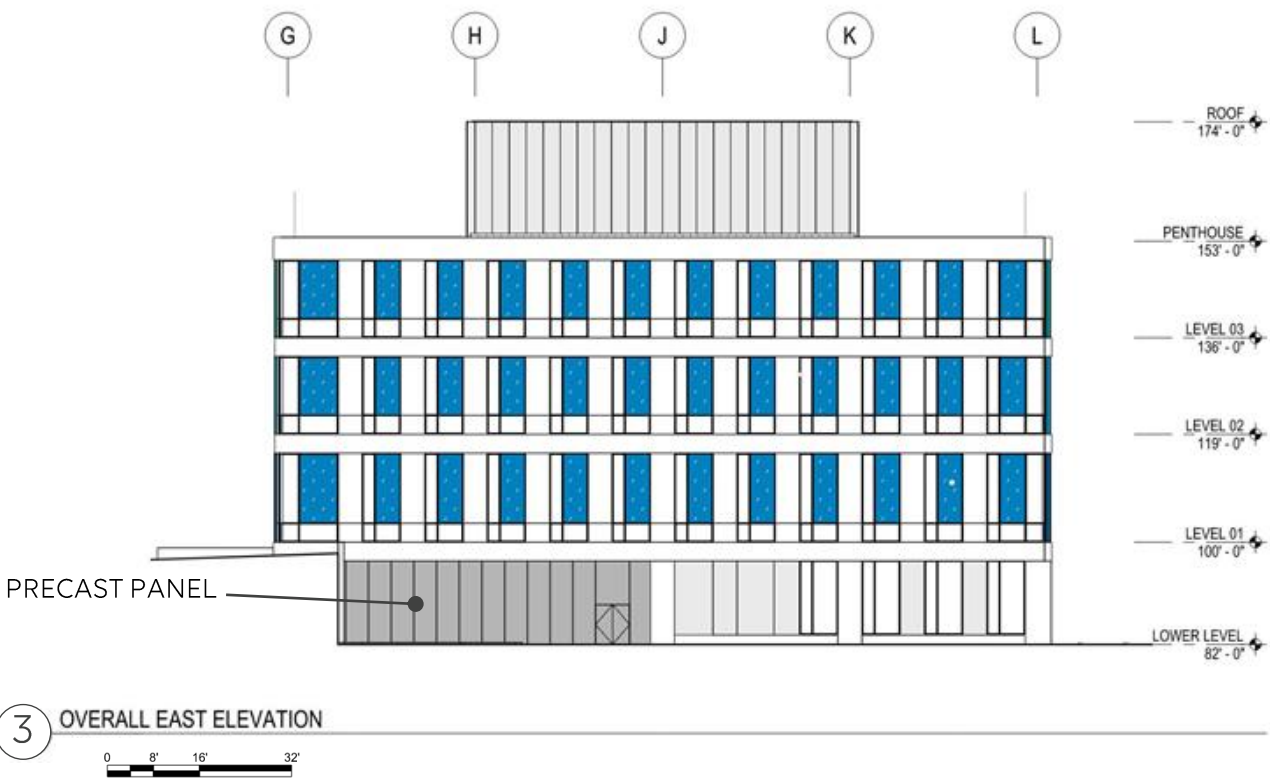
NORTH ELEVATION



REVISED

BUILDING ELEVATIONS

EAST AND WEST ELEVATION



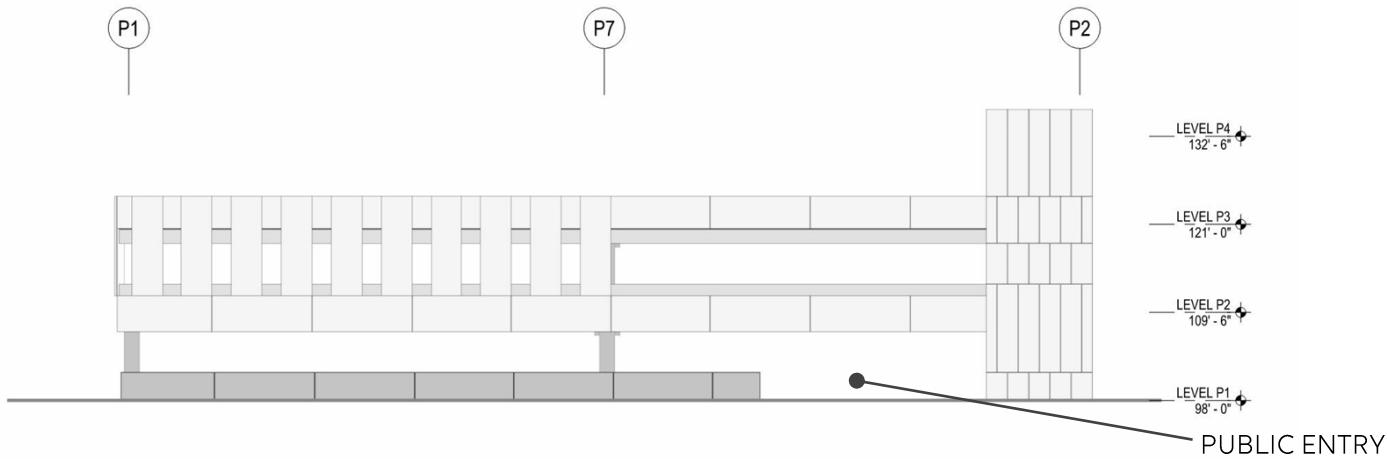
REVISED

BUILDING ELEVATIONS

PARKING ELEVATIONS



1 WEST ELEVATION
3/31

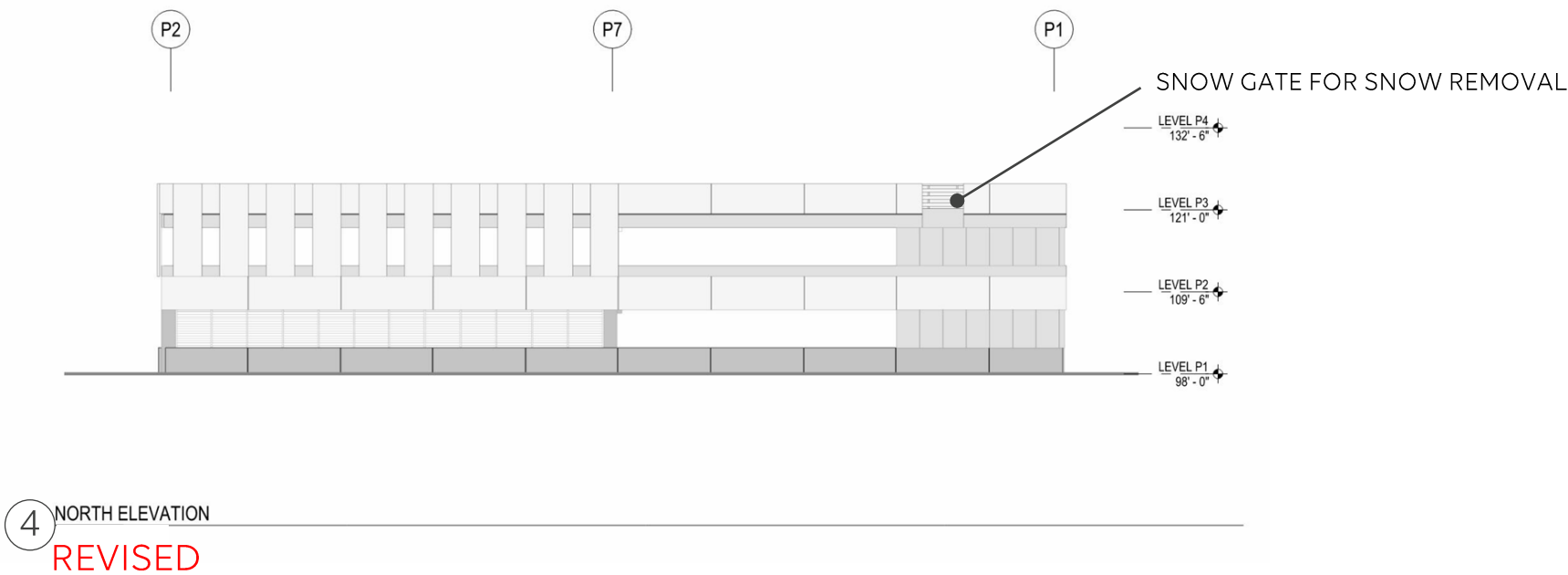
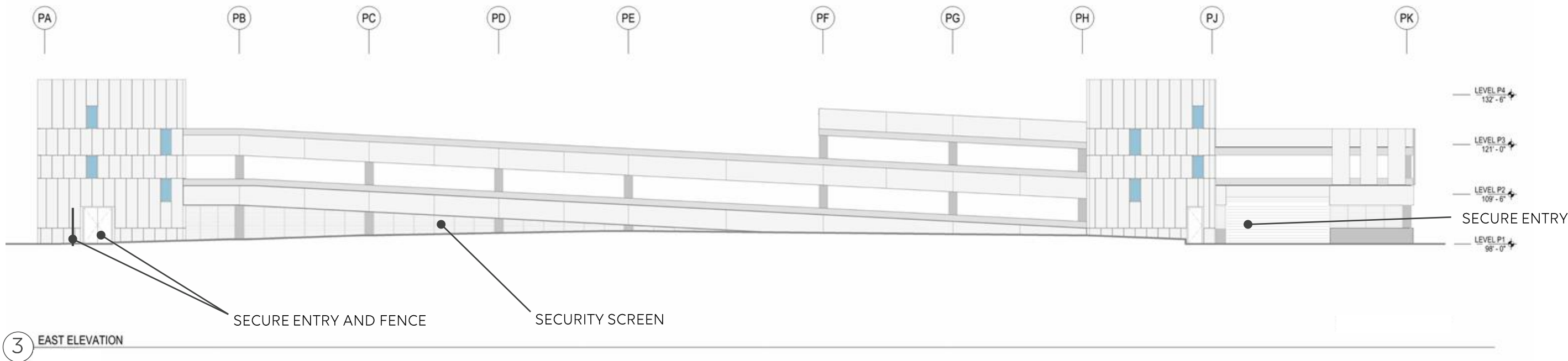


2 SOUTH ELEVATION
REVISED



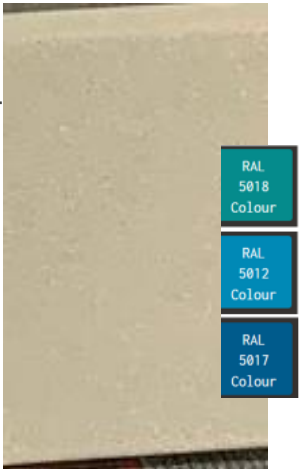
BUILDING ELEVATIONS

PARKING ELEVATIONS



EXTERIOR MATERIALS

REVISED



Precast Concrete
Accent Metal Panel



Primary Metal Panel color
Warm white
High Gloss



Exact Feature Colors TBD
Details TBD



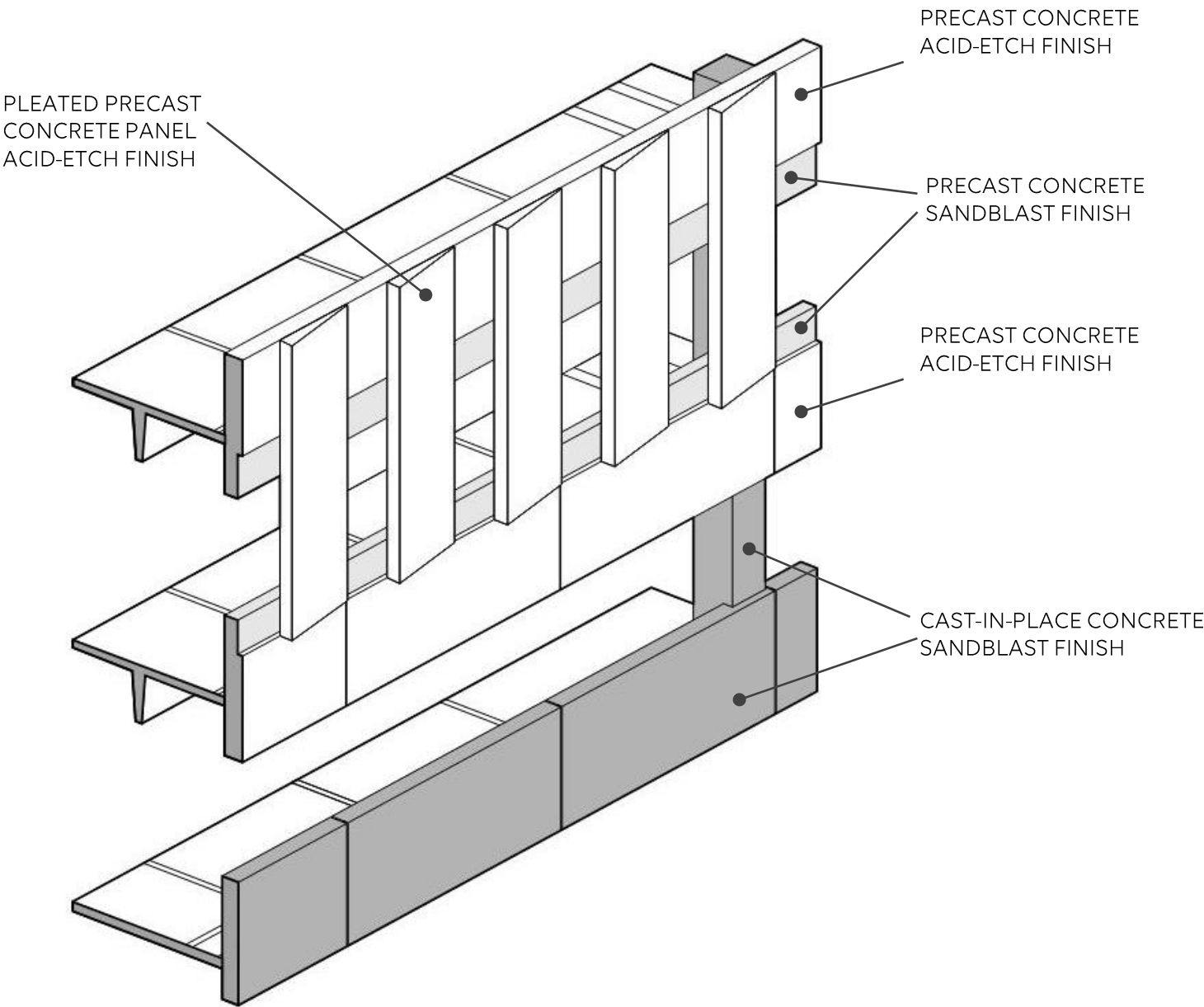
Solarban R100(2)
Blue/grey tones
High Reflectance
Spandrel to match



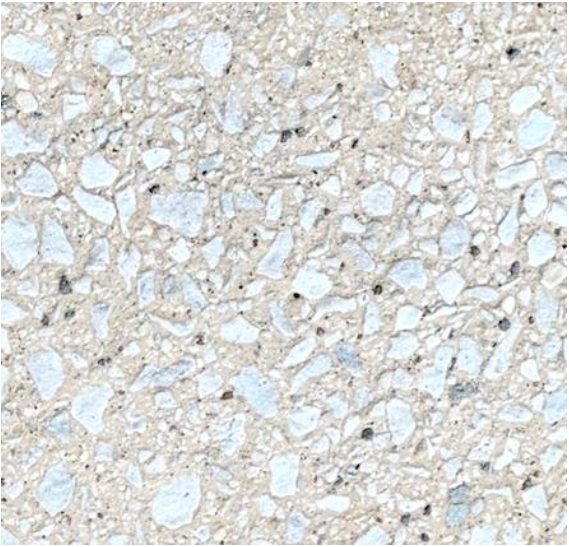
Background metal panel
Window Mullions – blue/grey
color (exact TBD)

EXTERIOR MATERIALS

PARKING STRUCTURE



PRECAST CONCRETE
ACID-ETCH FINISH



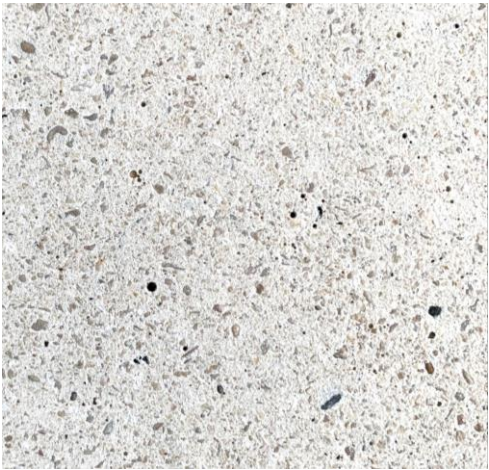
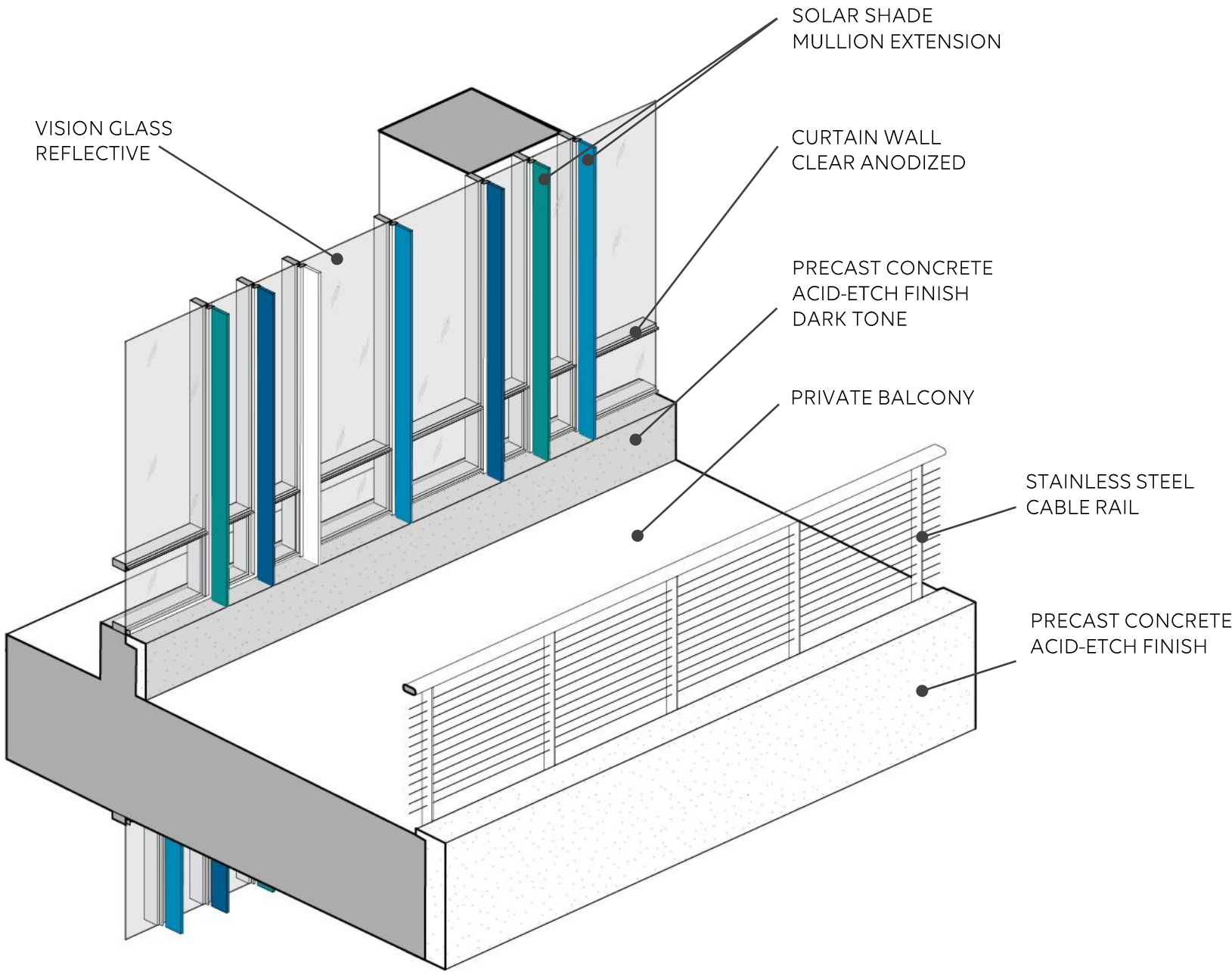
PRECAST CONCRETE
SANDBLAST FINISH



CAST-IN-PLACE CONCRETE
SANDBLAST FINISH

NEW SHEET

EXTERIOR MATERIALS



PRECAST CONCRETE
ACID-ETCH FINISH



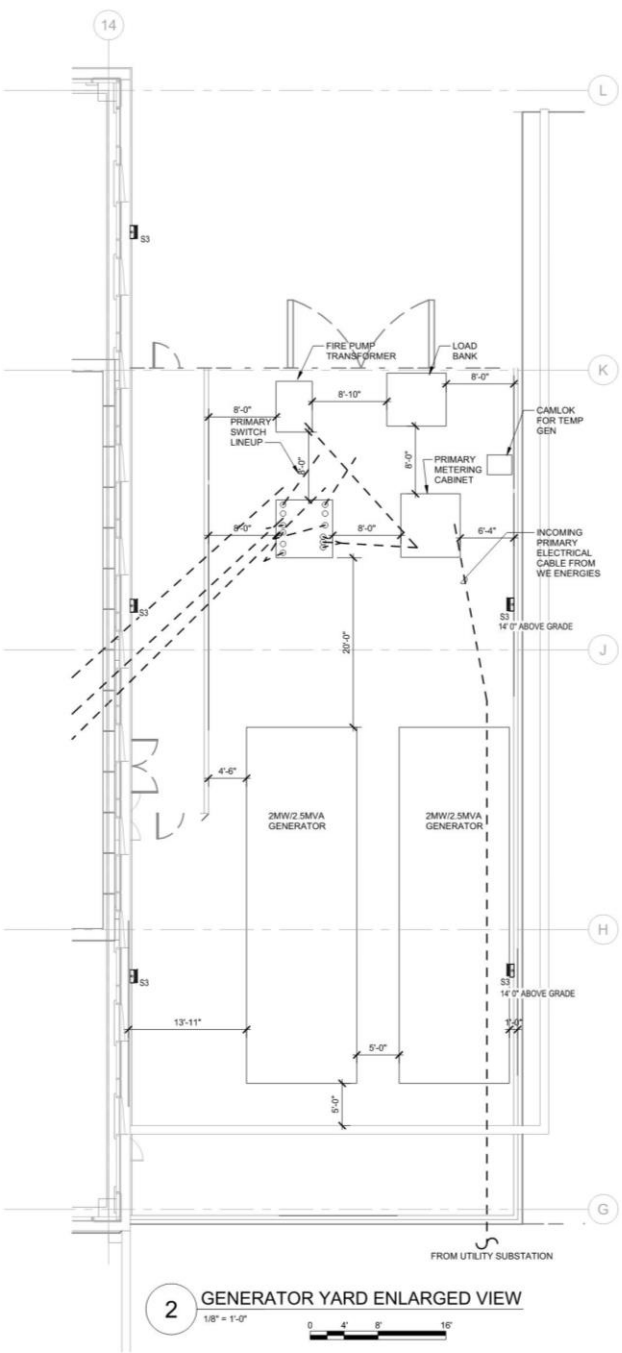
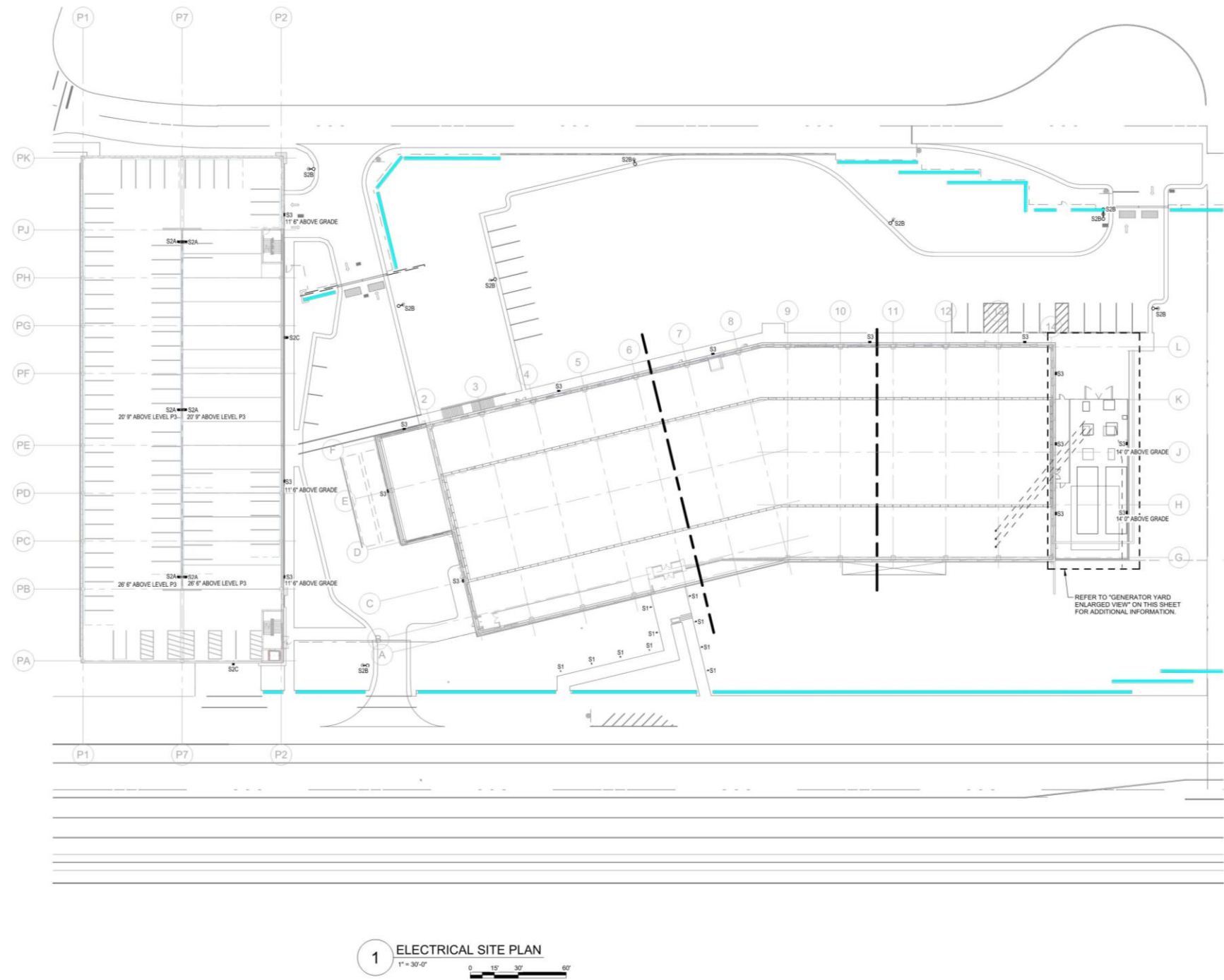
PRECAST CONCRETE
ACID-ETCH FINISH
DARK TONE



CURTAIN WALL
CLEAR ANODIZED ALUMINUM

NEW SHEET

EXTERIOR LIGHTING PLANS




REVISED

EXTERIOR LIGHTING
FIXTURES

FULL SIZE
DRAWING
PROVIDED

SITE LIGHTING SCHEDULE										
Fixture Type	Description	Manufacturer	Model	Voltage	Apparent Load	Lumen Output	CCT	CRI	Mounting Height	Comments
S1	8" ROUND BOLLARD, 12 LEDS, ASYMMETRIC DISTRIBUTION, 36" HEIGHT, DARK BRONZE TEXTURED FINISH	LITHONIA	KBC8-LED-12C-700-40K-ASY-MVOLT-H36-DBDXTXD	120-277V	30.0 VA	1527 LM	4000K	70	N/A	
S2A	POLE-MOUNTED AREA LED, P3 PERFORMANCE PACKAGE, TYPE 3 WIDE DISTRIBUTION, SQUARE POLE MOUNTING, TEXTURED WHITE FINISH	LITHONIA	RSX3-LED-P3-30K-R3-MVOLT-SPA-DWHGXD	120-277V	266.8 VA	32172 LM	3000K	70	15' 0" ABOVE FINISHED FLOOR U.N.O.	
S2B	POLE-MOUNTED AREA LED, P4 PERFORMANCE PACKAGE, TYPE 4 WIDE DISTRIBUTION, SQUARE POLE MOUNTING, TEXTURED WHITE FINISH	LITHONIA	RSX3-LED-P4-30K-R4-MVOLT-SPA-DWHGXD	120-277V	311.9 VA	37297 LM	3000K	70	25' 0" ABOVE GRADE U.N.O.	
S2C	WALL-MOUNTED AREA LED, P4 PERFORMANCE PACKAGE, TYPE 4 WIDE DISTRIBUTION, WALL BRACKET MOUNTING WITH SURFACE CONDUIT BOX,...	LITHONIA	RSX3-LED-P4-30K-R4-MVOLT-WBASC-DWHGXD	120-277V	311.9 VA	37297 LM	3000K	70	22' 6" ABOVE GRADE U.N.O	
S3	WALL-MOUNTED LED WITH 3 LIGHT ENGINES, 30 LEDS, 1000mA DRIVER, TYPE 3 MEDIUM OPTIC, SURFACE-MOUNTED BACK BOX, TEXTURED WHITE FINISH	LITHONIA	DSXW2-LED-30C-1000-30K-T3M-MVOLT-BBW-DWHGXD	120-277V	109.0 VA	10505 LM	3000K	70+	17' 0" ABOVE GRADE U.N.O.	
S4	PARKING GARAGE INTERIOR LIGHTING FIXTURE, 4 LIGHT ENGINES, TYPE 5 WIDE DISTRIBUTION, TEXTURED DARK BRONZE FINISH	LITHONIA	VCPG-LED-V4-P4-30K-70CRI-T5W-MVOLT-BSW-DBBX D	120-277V	56.0 VA	7414 LM	3000K	70	8' 6" ABOVE FINISHED FLOOR U.N.O.	INCLUDE BIRD SPIKES



KBC8 LED
LED Specification Bollard


BAA

Specifications

8" Round
(20.3 cm)

Height: 42"
(106.7 cm)

Weight (max): 27 lbs
(12.25 kg)



H

D

Catalog Number

Notes


Type **TYPE S1**

Hit the Tab key or mouse over the page to see all interactive elements.

Introduction

The KBC8 Bollard is a stylish, fully integrated LED solution for walkways. It features a sleek, modern design and is carefully engineered to provide long-lasting, energy-efficient lighting with a variety of optical and control options for customized performance.

With an expected service life of over 20 years of nighttime use and up to 70% in energy savings over comparable 100W metal halide luminaires, the KBC8 Bollard is a reliable, low-maintenance lighting solution that produces sites that are exceptionally illuminated.



RSX3 LED
Area Luminaire

BAA

Specifications

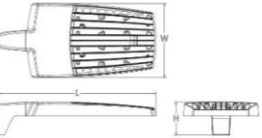
EPA (ft²@0°): 0.70 ft² (0.07 m²)

Length: 33.8" (85.9 cm)
(SPA mount)

Width: 16.1" (40.9 cm)

Height: 3.0" (7.6 cm) Main Body
7.2" (18.3 cm) Arm

Weight (max): 48.0 lbs (21.8 kg)



W

H

Catalog Number

Notes

Type **TYPE S2A,S2B, S2C**

Hit the Tab key or mouse over the page to see all interactive elements.


Introduction

The new RSX LED Area family delivers maximum value by providing significant energy savings, long life and outstanding photometric performance at an affordable price. The RSX3 delivers 25,000 to 41,000 lumens allowing it to replace 400W to 1000W HID luminaires.

The RSX features an integral universal mounting mechanism that allows the luminaire to be mounted on most existing drill hole patterns. This "no-drill" solution provides significant labor savings. An easy-access door on the bottom of mounting arm allows for wiring without opening the electrical compartment. A mast arm adaptor, adjustable integral slipfitter and other mounting configurations are available.

1

TYPE S1
NOT TO SCALE



D-Series Size 2
LED Wall Luminaire

BAA

Specifications Luminaire

Width: 18-1/2"
(47.0 cm)

Depth: 10"
(25.4 cm)

Height: 7-5/8"
(19.4 cm)

Weight: 21 lbs
(9.5 kg)

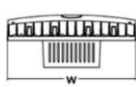
Back Box (BBW)

Width: 5-1/2"
(14.0 cm)


Depth: 1-1/2"
(3.8 cm)

Height: 4"
(10.2 cm)

BBW Weight: 1 lbs
(0.5 kg)

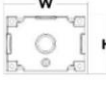


W



D

H



W

H

For 3/4" NPT side-entry conduit

D

Catalog Number

Notes

Type **TYPE S3**

Hit the Tab key or mouse over the page to see all interactive elements.

A+ Capable Luminaire

This item is an A+ capable luminaire, which has been designed and tested to provide consistent color appearance and system-level interoperability.

- All configurations of this luminaire meet the Acuity Brands' specification for chromatic consistency
- This luminaire is A+ Certified when ordered with DTL controls marked by a shaded background. DTL DLL equipped luminaires meet the A+ specification for luminaire to photocontrol interoperability!
- This luminaire is part of an A+ Certified solution for ROAM® or XPoint™ Wireless control networks, providing out-of-the-box control compatibility with simple commissioning, when ordered with drivers and control options marked by a shaded background.


To learn more about A+, visit www.acuitybrands.com/aplus.

1. See ordering tree for details.

2. A+ Certified Solutions for ROAM require the order of one ROAM node per luminaire. Sold Separately. [Link to Roam](#); [Link to DTL DLL](#)

2

TYPES S2A,S2B, S2C
NOT TO SCALE



VCPG LED
Parking Garage


BAA

Specifications

Diameter: 19"

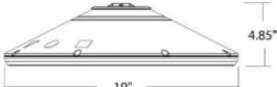
Height: 3.75"
(4.83" with tip-light)

Weight (max, with no options): 18 lbs



3.75"

19"



4.85"

19"

Catalog Number

Notes

Type **TYPE S4**

Hit the Tab key or mouse over the page to see all interactive elements.

Introduction

The all new VCPG LED (Visually Comfortable Parking Garage) luminaire is designed to bring glare control, optical performance and energy savings into one package. The recessed lens design of VCPG LED minimizes high angle glare, while its precision molded acrylic lens eliminates LED pixilation and delivers the required minimums, verticals and uniformity. The dedicated up-light module option reduces the contrast between the luminaire and the ceiling creating a more visually comfortable environment.

The VCPG LED delivers up to 87% in energy savings when replacing 175W metal halide luminaires. With over 100,000 hour life expectancy (12+ years of 24/7 continuous operation), the VCPG LED luminaire provides significant maintenance savings over traditional luminaires.

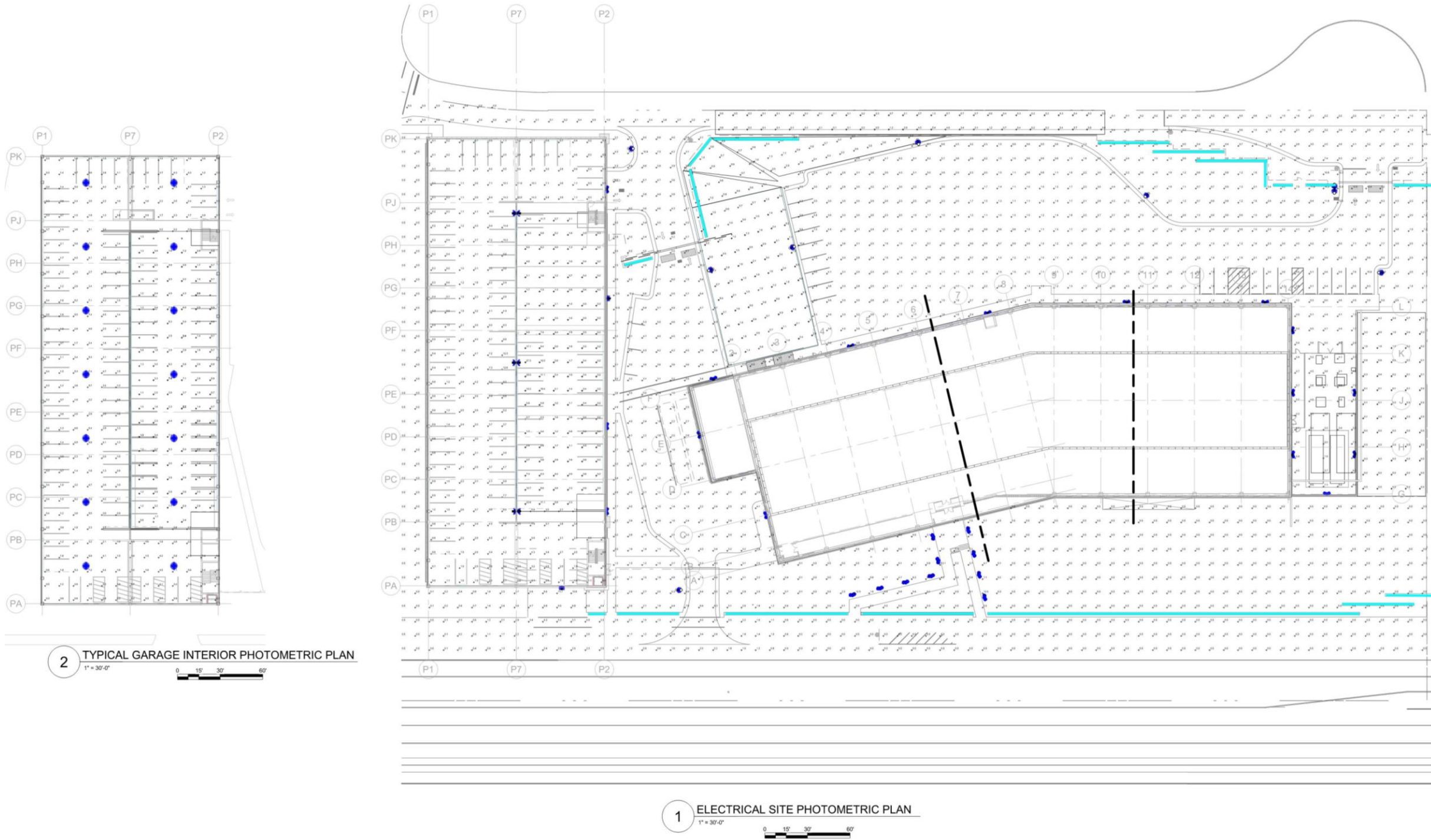
3

TYPE S3
NOT TO SCALE

4

TYPE S4
N.T.S.

EXTERIOR LIGHTING PLANS



REVISED



HGA