



# **Wauwatosa, WI**

## **Design Review Board**

### **Meeting Agenda - Final**

7725 W. North Avenue  
Wauwatosa, WI 53213

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**Thursday, February 5, 2026**

**7:00 PM**

**Committee Room #1**

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#### **ROLL CALL**

#### **NEW BUSINESS**

|    |  |                                |
|----|--|--------------------------------|
| 1. | 3920 N 102nd Street - New Residential Home   | <a href="#"><u>26-0262</u></a> |
| 2. | 1615 Wauwatosa - Return to Board - St Matthews - Windows                                       | <a href="#"><u>25-2340</u></a> |
| 3. | 6927 North Avenue - Lyss and Littles - Windows & Door  | <a href="#"><u>26-0264</u></a> |
| 4. | 999 N 92nd St - WI State Crime Lab / County Medical Examiner & Office of Emergency - Screening | <a href="#"><u>26-0277</u></a> |

#### **ADJOURNMENT**

##### **NOTICE TO PERSONS WITH A DISABILITY**

Persons with a disability who need assistance to participate in this meeting should call the City Clerk's office at (414) 479-8917 or send an email to [tclerk@wauwatosa.net](mailto:tclerk@wauwatosa.net), with as much advance notice as possible.



# Wauwatosa, WI

7725 W. North Avenue  
Wauwatosa, WI 53213

## Staff Report

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**File #:** 26-0262

**Agenda Date:** 2/5/2026

**Agenda #:** 1.

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3920 N 102<sup>nd</sup> Street - New Residential Home

RENDERED FRONT ELEVATION

NEW BERLIN, WI 53151  
P: 414-248-5636  
E: STEVE@REDLEAFWI.COM

## PERMIT PLANS

| Revisions |            |                         |
|-----------|------------|-------------------------|
| No.       | Date       | Description             |
|           | 08-08-2025 | CONCEPT 1               |
|           | 10-17-2025 | CONCEPT 2               |
|           | 12-09-2025 | FOR STRUCTURAL ANALYSIS |
|           | 01-15-2026 | PERMIT PLANS            |
|           | 01-27-2026 | RENDERING               |
|           |            |                         |
|           |            |                         |
|           |            |                         |
|           |            |                         |
|           |            |                         |

# VANDE BERG RESIDENCE RE-BUILD

3902 N 102ND ST  
WAUWATOSA, WI 53222

Scale: 22x34 3/8" = 1'-0"  
11x17 3/16" = 1'-0"

## FRONT / WEST ELEVATION

heet No. —

A-5

## **VANDEBERG RESIDENCE EXTERIOR SELECTIONS**

3920 N 102nd Street, Wauwatosa, WI 53222

**ROOFING INFORMATION:** See Exterior Elevations for all roof material locations.

- **Asphalt Shingles:** GAF Timberline Dimensional

**Color:** Weathered Wood



**FASCIA & SOFFIT:** LP SmartSide Pre-vented Soffit & Fascia

**Color:** Snowscape



**GUTTER INFORMATION:** Prefinished K-Style 5" Aluminum seamless

**Color:** ABC Rainware 80 White



**DOWNSPOUT INFORMATION:** 4" Aluminum Rectangular

**Color:** Match Gutters

**SIDING INFORMATION:** See Exterior Elevations for locations.

- **Lap Siding:** 8" SmartSide Lap Siding with 6" Exposed

**Texture:** Cedar

**Color:** Rapids Blue



- **Board & Batten Siding:** LP SmartSide Panel with 1x2 LP SmartSide Battens @ 16" O.C.

**Texture:** Cedar

**Color:** Rapids Blue

- **Corner Trim:** 3 1/2" LP SmartSide Trim

**Texture:** Cedar

**Color:** Rapids Blue

- **Door & Window Trim:** 3 1/2" LP SmartSide Trim

**Texture:** Cedar

**Color:** Snowscape

**FRONT BEAM & BRACKET, WINDOW & GARAGE DOOR HEADERS:**

**Material:** Douglas Fir

**Texture:** Rough



**Stain:** Custom Brown Ash, See sample

**WINDOW INFORMATION:** Marvin Essentials Double Hung Windows

**Exterior/Interior:** Ebony



**Divided Lite Style:** GBR - Grilles -Between-the-Glass



**FRONT DOOR INFORMATION:** Simpson # 36812 SDL

**Material:** Doug Fir (Stain Grade) - **Glass:** Clear

**Stain:** Match Doug Fir Front Beam & Bracket (Custom Brown Ash)

**Hardware Information:** To be selected with all other hardware with Neu's Hardware

**GARAGE DOOR INFORMATION:** (1) 16X8' CHI Raised Panel Model #4283 OHD

**Color:** Black

**Windows:** Raised Panel Long



**Window Inserts:** Madison – Long

**Glass:** Plain/No Design

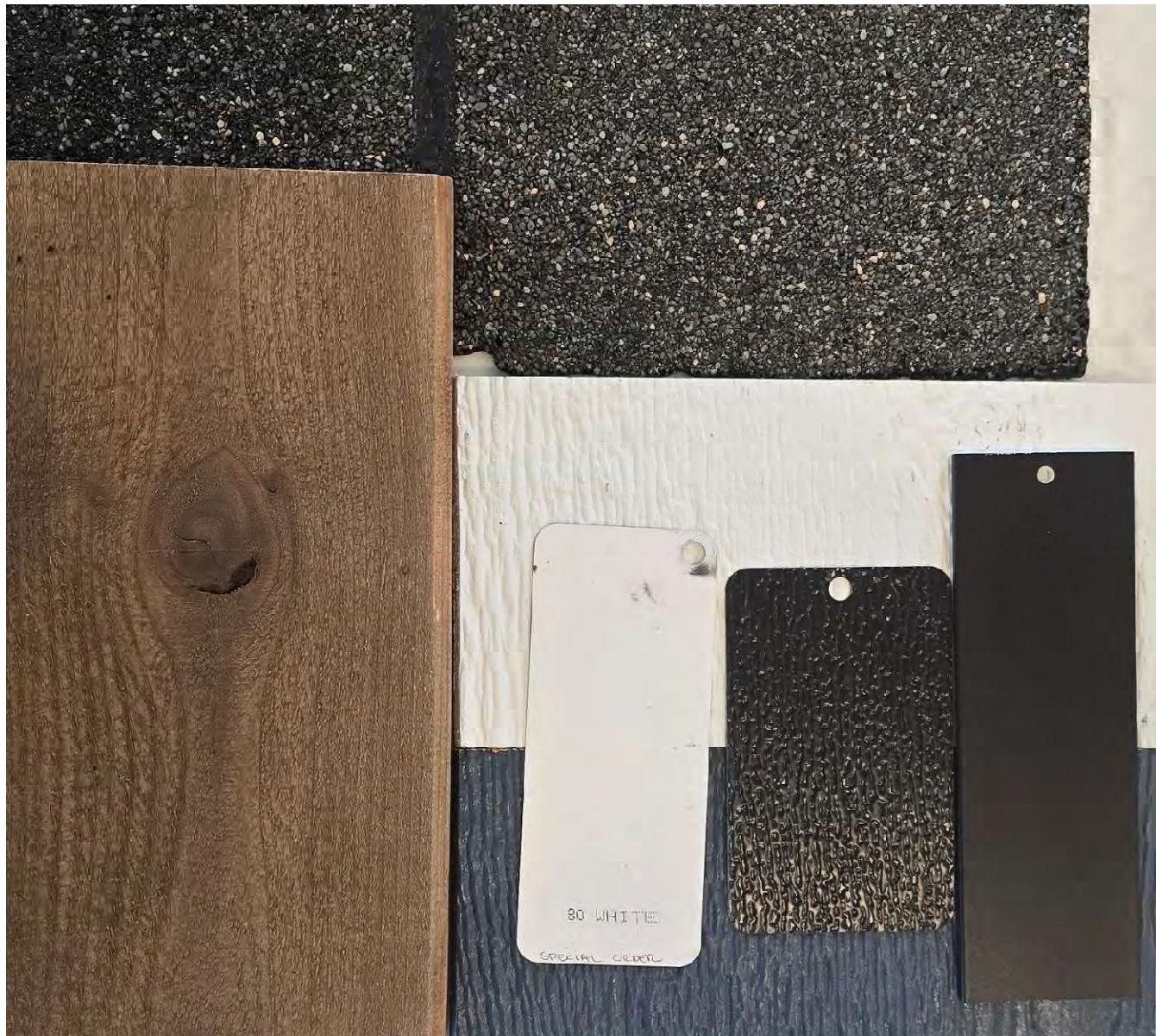
**Exterior Hardware (Permanent):** N/A

Exterior Selections - VandeBerg Residence

Page 1 of 2

**VANDEBERG RESIDENCE PHOTO OF PHYSICAL EXTERIOR SAMPLES**

3920 N 102nd Street, Wauwatosa, WI 53222



## LIGHT FIXTURE A &amp; B



## TROYER

## 1195BK

## LARGE WALL MOUNT BARN LIGHT

Troyer's authentic outdoor collection captures the enduring allure of American farmhouse lighting. Constructed in solid aluminum, Troyer's warm and inviting heritage details combine with unique ribbed glass accent and timeless finishes for a classic silhouette.

| DETAILS   |   |
|-----------|---|
| FINISH:   | Black                                   |
| MATERIAL: | Aluminum                                |
| GLASS:    | Clear Ribbed                            |
| DIMMABLE: | YES - WITH DIMMABLE LAMP (NOT INCLUDED) |

| DIMENSIONS     |         |
|----------------|---------|
| WIDTH:         | 14"     |
| HEIGHT:        | 11.5"   |
| WEIGHT:        | 2.5lb   |
| BACK PLATE:    | 6" Dia. |
| EXTENSION:     | 24"     |
| TOP TO OUTLET: | 6.25"   |

| LIGHT SOURCE  |                             |
|---------------|-----------------------------|
| LIGHT SOURCE: | Socketed                    |
| WATTAGE:      | 1-12w Med. LED, 100w Equiv. |
| VOLTAGE:      | 120v                        |

| SHIPPING       |      |
|----------------|------|
| CARTON LENGTH: | 17   |
| CARTON WIDTH:  | 11   |
| CARTON HEIGHT: | 22.5 |
| CARTON WEIGHT: | 4.5  |

## PRODUCT DETAILS:

- Wet Rated
- Outdoor finishes carry a 2-year warranty
- Angular lines, a bold finish and robust details create an industrial edge to add flair to any type of facade
- Aluminum material ensures this piece can withstand strenuous outdoor conditions
- Mounted at a point of entry, wall mount lights provide safety and security with a welcoming element

HINKLEY

HINKLEY  
33000 Pin Oak Parkway  
Avon Lake, OH 44012

PHONE: (440) 653-5500  
Toll Free: 1 (800) 446-5539

hinkley.com

## LIGHT FIXTURE C: VAXCEL LIGHTING HIGHLAND PARK 10" TALL LED OUTDOOR WALL SCONCE MODEL: T0804

Finish: Matte Black

Features: Constructed from steel  
Comes with steel shade  
Uses medium (E26) bulbs  
ETL for wet locations  
Title 24 compliant

Dimensions: Height: 9-1/2"  
Extension: 11-1/4"  
Shade Height: 3-7/8"  
Shade Depth: 9"  
Backplate Width: 4-3/4"

Width: 9"  
Product Weight: 2.16 lbs  
Shade Width: 9"  
Backplate Height: 4-3/4"  
Backplate Depth: 13/16"

### Electrical Specifications:

Max Wattage: 60.0 watts  
Watts Per Bulb: 60 watts  
Bulb Type: LED

Number of Bulbs: 1  
Bulb Base: Medium (E26)  
Voltage: 120 volts



THREE LIGHTS IN ONE

1. MOTION SENSOR



2. DUSK TO DAWN



3. SWITCH CONTROLLED



MULTI 3-IN-1 FUNCTION

VARIABLE LIGHT ACTIVATION VIA 3 UNIQUE MODES

FULLY CUSTOMIZABLE SETTINGS

CONVENIENT CONTROL ACCESS



MOTION SHUT-OFF DELAY  
5 sec - 3 min

MOTION SENSITIVITY  
30 ft

MODES OF OPERATION  
4 modes



LOW LEVEL STAND-BY

MOTION

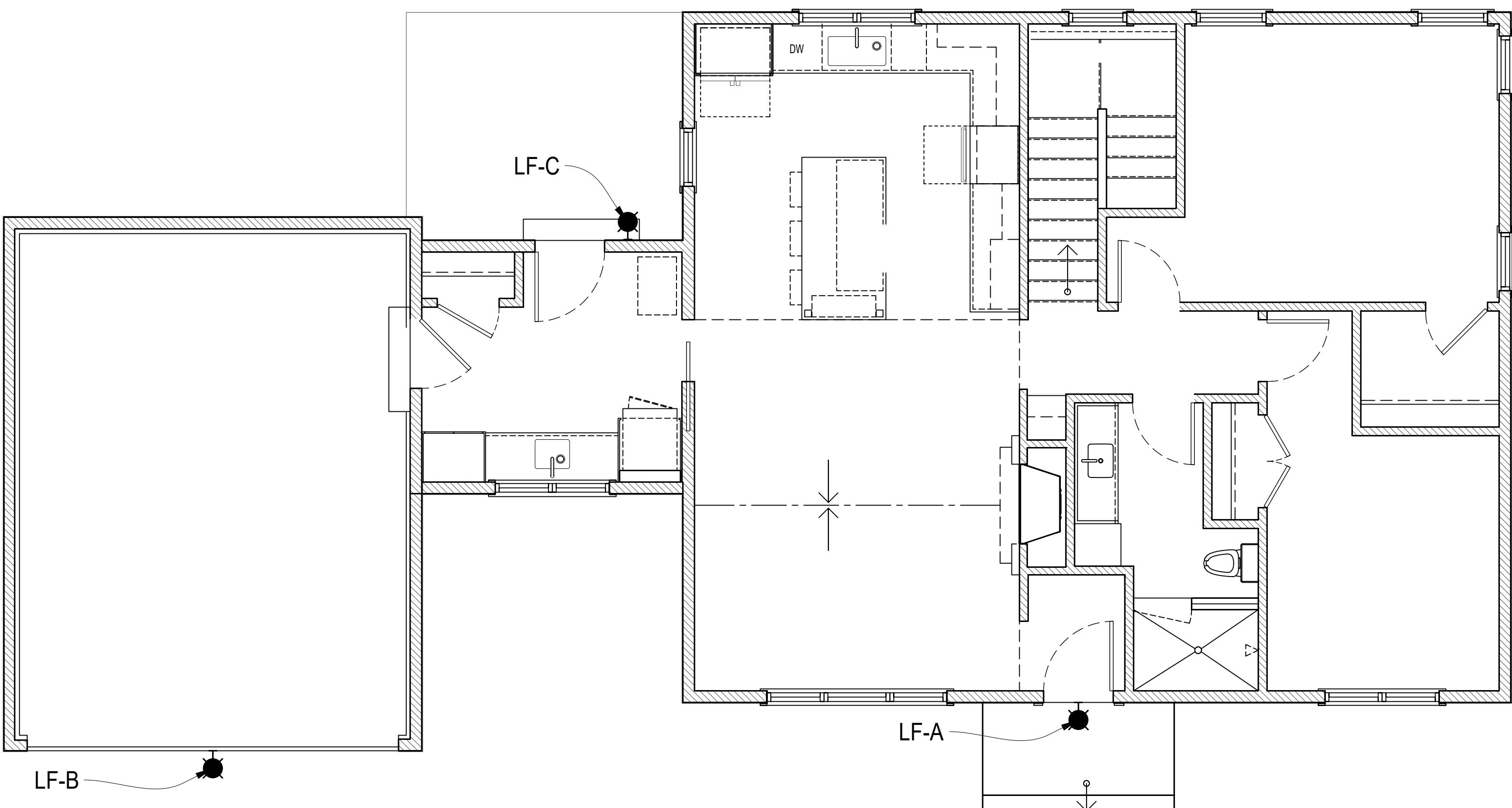
HOW DUALUX WORKS



SECURITY OPTIONS TO FIT YOUR LIFESTYLE

Sheet Title

**EXTERIOR LIGHTING PLAN  
AND LIGHT FIXTURE KEY**



**EXTERIOR LIGHTING PLAN**

Scale: 22x34 1/4" = 1'-0"  
 11x17 1/8" = 1'-0"

**LIGHT FIXTURE KEY**

**LF-A & LF-B:**  
 FINISH: BLACK



ITEM NUMBER: 1195DZ  
 BRAND: Hinkley Lighting  
 MATERIAL: Aluminum  
 GLASS: Ribbed Clear  
 HEIGHT: 11.5"  
 WIDTH: 14.0"  
 VOLTAGE: 120v  
 WATTAGE: 1-100w Med.  
 CERTIFICATION: C-US Wet Rated  
 EXTENSION: 24.0"  
 TOP TO OUTLET: 6.3"  
 BACK PLATE: 6" Dia.

- Suitable for use in wet (interior direct splash and outdoor direct rain or sprinkler) locations as defined by NEC and CEC.
- Meets United States UL Underwriters Laboratories & CSA Canadian Standards Association Product Safety Standards
- For complete warranty information visit ([hyperlink](#))
- 2 year finish warranty
- 12 year warranty on electrical wiring and components
- Angular lines, a bold finish and robust details create an industrial edge to add flair to any type of façade
- Rich gray tone

**FEATURES AND  
BENEFITS**

**LF-C:**

**VAXCEL LIGHTING HIGHLAND PARK 10" TALL LED OUTDOOR WALL Sconce**  
**MODEL: T0804**

Finish: Matte Black

Features: Constructed from steel  
 Comes with steel shade  
 Uses medium (E26) bulbs  
 ETL for wet locations  
 Title 24 compliant

Dimensions: Height: 9-1/2"  
 Extension: 11-1/4"  
 Shade Height: 3-7/8"  
 Shade Depth: 9"  
 Backplate Width: 4-3/4"

Electrical Specifications:  
 Max Wattage: 60.0 watts  
 Watts Per Bulb: 60 watts  
 Bulb Type: LED

Width: 9"  
 Product Weight: 2.16 lbs  
 Shade Width: 9"  
 Backplate Height: 4-3/4"  
 Backplate Depth: 13/16"



**VANDE BERG  
RESIDENCE**

RE-BUILD  
 3920 N 102ND ST  
 WAUWATOSA, WI 53222

Sheet No.

**E-1**

**DRAWING ONLY**

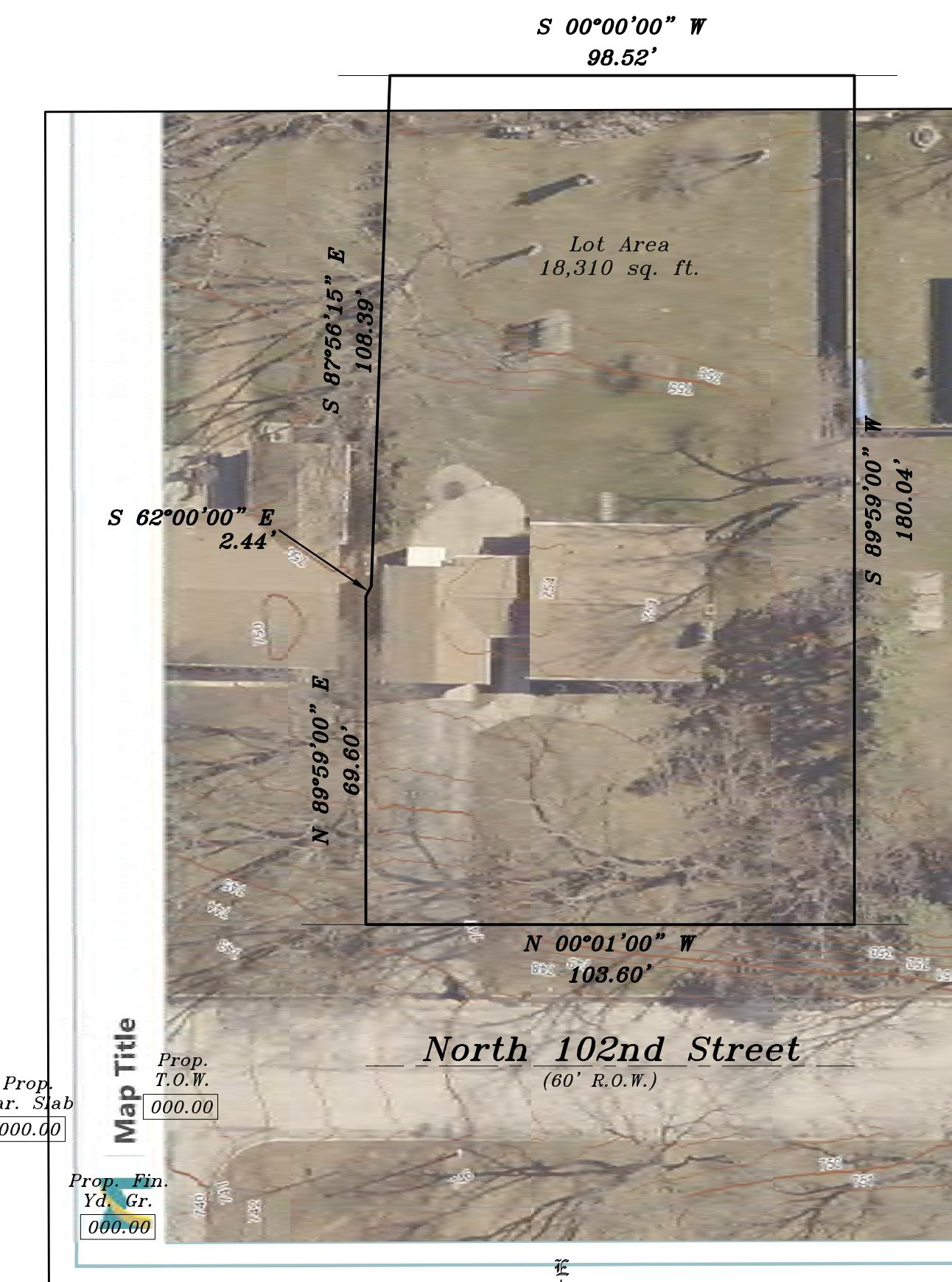
**LOCATION:** 3920 North 102nd Street, Wauwatosa, Wisconsin

**LEGAL DESCRIPTION:**

That part of the Northwest 1/4 of Section 8, Town 7 North, Range 21 East, in the City of Wauwatosa, Milwaukee County, Wisconsin, bounded and described as follows: Commencing at the Northeast corners of said 1/4 Section, thence South  $89^{\circ}41'00''$  West along the North line of said 1/4 Section, 698.07 feet to a point; thence South  $00^{\circ}01'00''$  East 459.28 feet to the Northwest corner of land to be described; thence North  $89^{\circ}59'00''$  East 99.59 to a point; thence South  $62^{\circ}00'00''$  East, 2.44 feet; thence South  $87^{\circ}56'15''$  East, 108.39 feet; thence due South, 98.52 feet; thence South  $89^{\circ}59'00''$  West, 210.04 feet; thence North  $00^{\circ}01'00''$  West, 103.60 feet to the point of beginning. Excepting therefrom the West 30.00 feet for road right-of-way. Continuing 18,310.4 square feet (.42 acres) of land.

August 26, 2025 (Drawing Only)

Survey No. 116223



**Proposed finished yard, 1st floor or top of foundation grade shown on this drawing is a suggested grade and should be verified by the owner, builder or municipality.**

**METROPOLITAN SURVEY SERVICE, INC.**

**PROFESSIONAL LAND SURVEYORS**

8482 South 76th Street

Franklin, Wisconsin 53132

PHONE (414) 529-5380

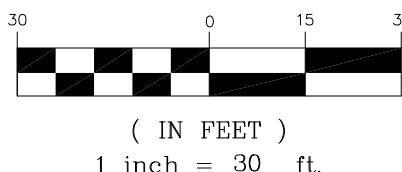
[survey@metropolitansurvey.com](mailto:survey@metropolitansurvey.com)

[www.metropolitansurvey.com](http://www.metropolitansurvey.com)



- — Denotes Iron Pipe Found
- — Denotes Iron Pipe Set
- 000.0 — Denotes Proposed Grade
- Denotes Proposed Silt Screen

**GRAPHIC SCALE**



I HEREBY CERTIFY THAT I HAVE SURVEYED THE ABOVE DESCRIBED PROPERTY AND THAT THE ABOVE MAP IS A TRUE REPRESENTATION THEREOF AND SHOWS THE SIZE AND LOCATION OF THE PROPERTY, ITS EXTERIOR BOUNDARIES, THE LOCATION OF ALL VISIBLE STRUCTURES AND DIMENSIONS OF ALL PRINCIPAL BUILDINGS THEREON, BOUNDARY FENCES, APPARENT EASEMENTS AND ROADWAYS AND VISIBLE ENCROACHMENT, IF ANY.

THIS SURVEY IS MADE FOR THE EXCLUSIVE USE OF THE PRESENT OWNERS OF THE PROPERTY, AND ALSO THOSE WHO PURCHASE, MORTGAGE, OR GUARANTEE THE TITLE THERETO WITHIN ONE (1) YEAR FROM THE DATE HEREOF.

SIGNED \_\_\_\_\_

**Dennis C. Sauer**  
Professional Land Surveyor S-2421

## PLAT OF SURVEY

**LOCATION:** 3920 North 102nd Street, Wauwatosa, Wisconsin

**LEGAL DESCRIPTION:**

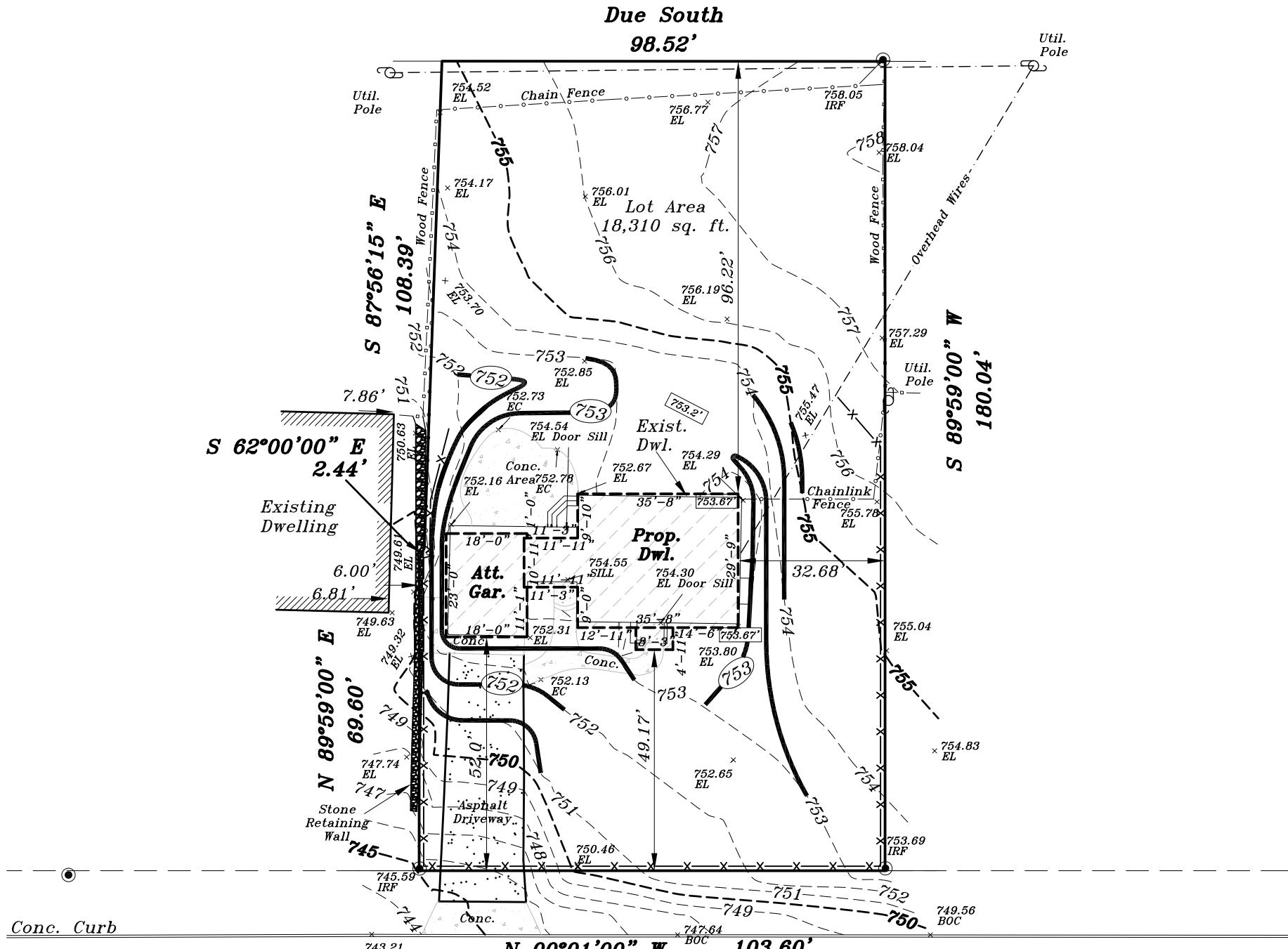
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September 15, 2025

Survey No. 116223

January 16, 2026 Added Foundation Plan (Not Staked)

January 21, 2026 Added Proposed Grading (Not Staked)



*Proposed finished yard, 1st floor or top of foundation grade shown on this drawing is a suggested grade and should be verified by the owner, builder or municipality.*

METROPOLITAN SURVEY  
SERVICE, INC.

PROFESSIONAL LAND SURVEYORS

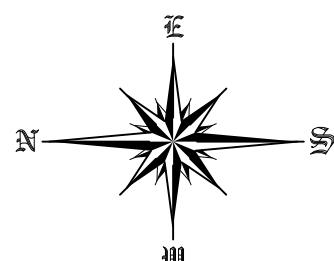
**8482 South 76th Street  
Franklin, Wisconsin 53132  
PHONE (414) 529-5380  
[survey@metropolitansurvey.com](mailto:survey@metropolitansurvey.com)**

**www.metropolitansurvey.com**

○ — Denotes Iron Pipe Set  
000.0 — Denotes Proposed Grade  
..... Denotes Proposed Gilt Copper

I HEREBY CERTIFY THAT I HAVE SURVEYED THE ABOVE DESCRIBED PROPERTY AND THAT THE ABOVE MAP IS A TRUE REPRESENTATION THEREOF AND SHOWS THE SIZE AND LOCATION OF THE PROPERTY, ITS EXTERIOR BOUNDARIES, THE LOCATION OF ALL VISIBLE STRUCTURES AND DIMENSIONS OF ALL PRINCIPAL BUILDINGS THEREON, BOUNDARY FENCES, APPARENT EASEMENTS AND ROADWAYS AND VISIBLE ENCROACHMENT, IF ANY.

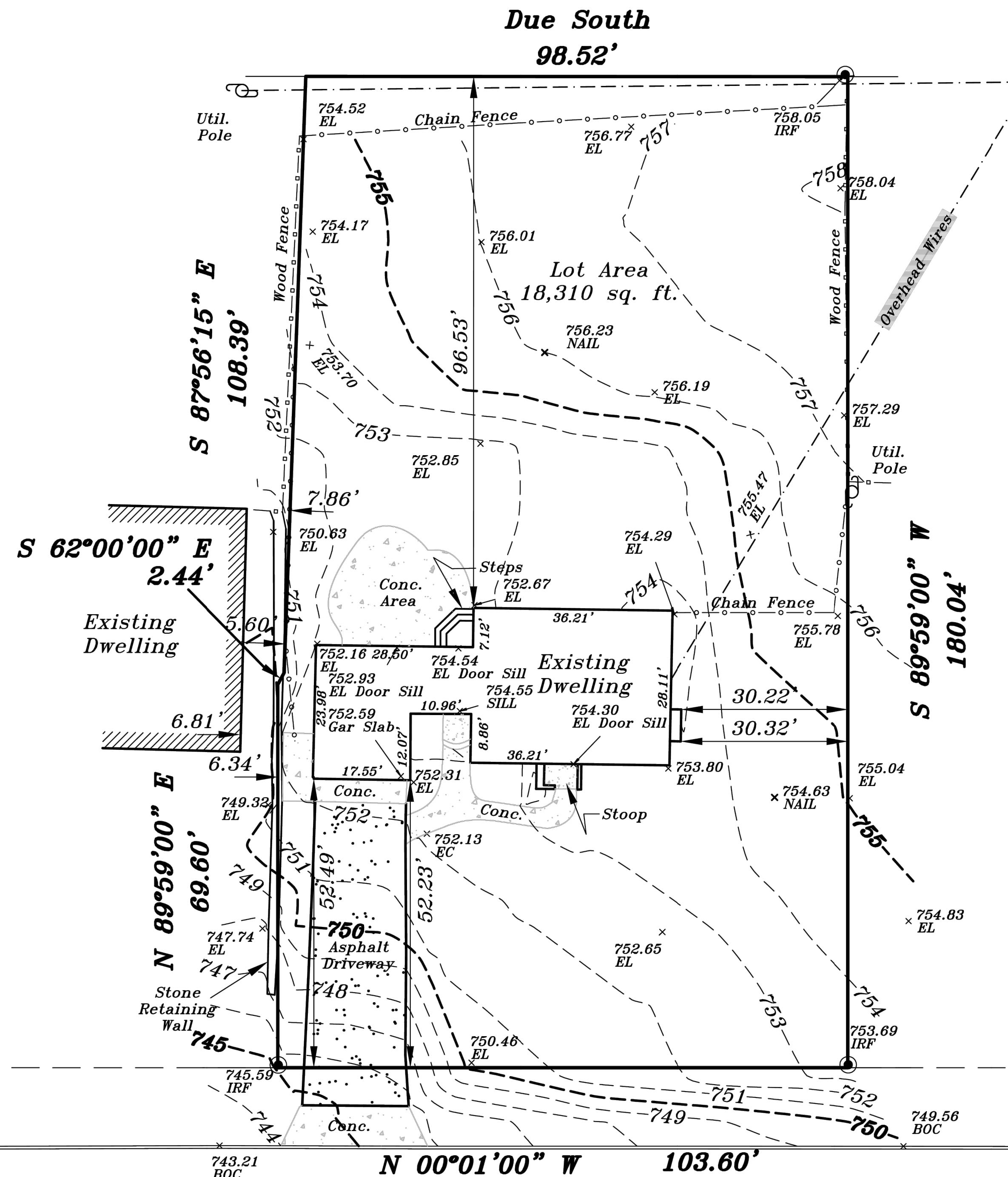
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ONE (1) YEAR FROM THE DATE HEREOF.**



**SIGNED**

**Dennis C. Sauer**  
Professional Land Surveyor S-2421

Professional Land Surveyor 3-2421



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 8482 South 76th Street  
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 survey@metropolitansurvey.com  
 www.metropolitansurvey.com

○ — Denotes Iron Rod Found  
 ○ — Denotes Iron Pipe Set

**PLAN NOTES:**

- SEE SHEET A-0 FOR STRUCTURAL INFORMATION.
- ALL MECHANICAL LOCATIONS ARE SCHEMATIC. VERIFY LOCATIONS WITH CONSTRUCTION MANAGER AND OWNER BEFORE INSTALL.
- DO NOT SCALE DIMENSIONS FROM DRAWING.
- PLACEMENT OF BUILDING COMPONENTS, MECHANICAL EQUIPMENT, APPLIANCES, AND ELECTRICAL COMPONENTS ARE SUBJECT TO FIELD ADJUSTMENT.
- CONSTRUCTION MEANS AND METHODS MUST FOLLOW ANY APPLICABLE CODES.
- ANY MAJOR DEVIATIONS FROM PLAN MUST BE APPROVED BY RED LEAF HOMES.
- ALL INTERIOR WALLS ARE  $4\frac{1}{2}$ " UNLESS NOTED OTHERWISE (U.N.O.).
- ALL EXTERIOR WALLS ARE  $6\frac{1}{2}$ " UNLESS NOTED OTHERWISE (U.N.O.).

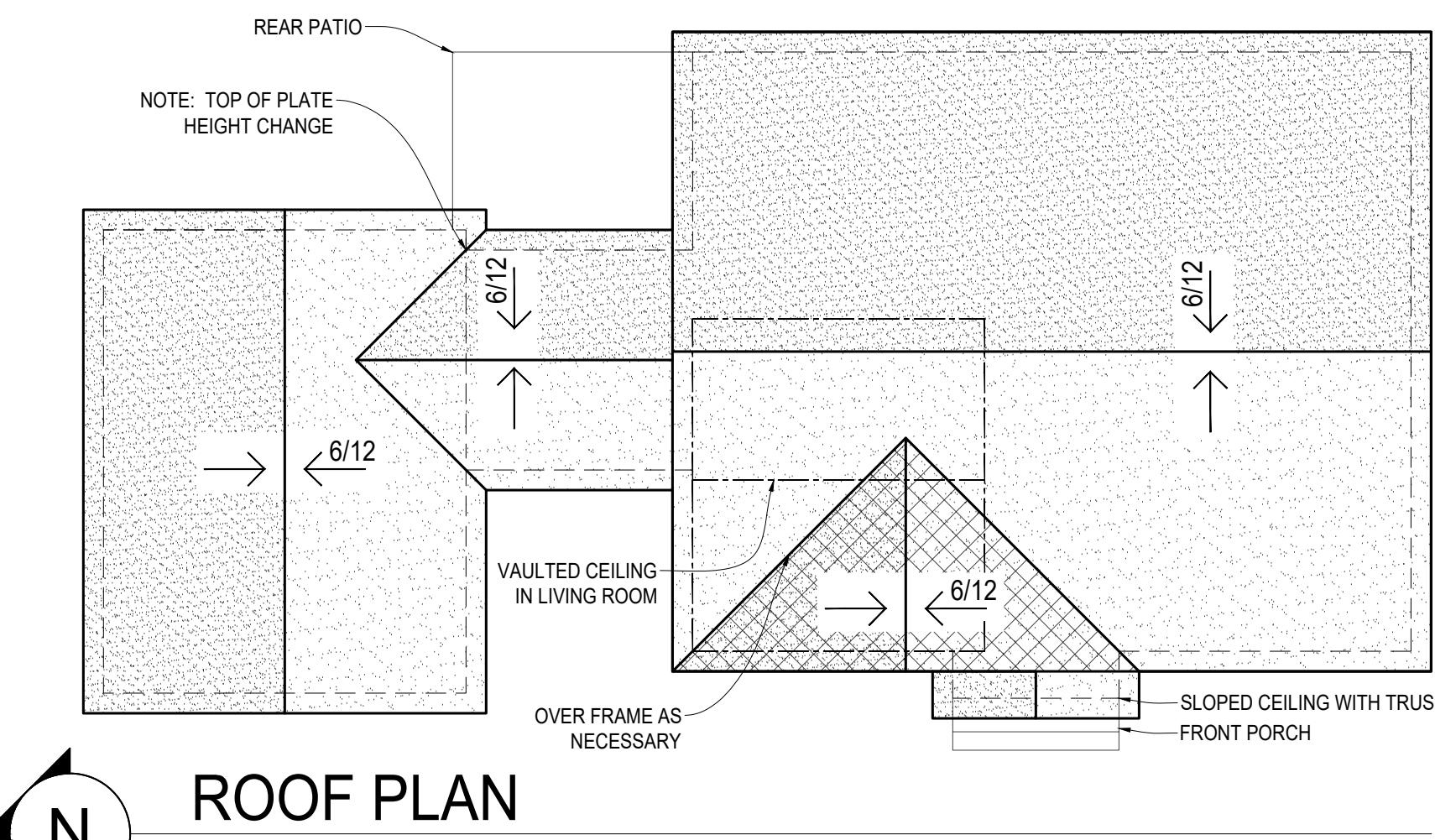
**DRAWING SCOPE:**

THESE DRAWINGS INDICATE THE GENERAL SCOPE OF THE PROJECT IN TERMS OF ARCHITECTURAL DESIGN INTENT INCLUDING THE DIMENSIONS OF THE BUILDING, MAJOR ARCHITECTURAL ELEMENTS, AND THE TYPE OF STRUCTURAL, MECHANICAL, AND ELECTRICAL SYSTEMS. THE DRAWINGS DO NOT NECESSARILY INDICATE OR DESCRIBE ALL THE WORK REQUIRED FOR THE FULL PERFORMANCE AND COMPLETION OF THE REQUIREMENTS OF THE CONTRACT. ON THE BASIS OF GENERAL SCOPE INDICATED OR DESCRIBED, THE TRADE CONTRACTORS SHALL FURNISH ALL ITEMS REQUIRED FOR THE PROPER EXECUTION AND COMPLETION OF WORK INTENDED.

**BUILDING INFORMATION:**

|                |             |
|----------------|-------------|
| BASEMENT       | 1,191 SQ FT |
| -FINISHED      | 571 SQ FT   |
| -UNFINISHED    | 620 SQ FT   |
| FIRST FLOOR*   | 1,191 SQ FT |
| -FRONT PORCH** | 41 SQ FT    |
| -PATIO         | 110 SQ FT   |
| GARAGE         | 405 SQ FT   |

NOTES:  
 \* INCLUDES STAIRS TO BASEMENT  
 \*\* INCLUDES STAIR



**SHEET INDEX**

- T-1 CONCEPT SITE PLAN, ROOF PLAN, BUILDING INFORMATION AND SHEET INDEX
- A-0 FOUNDATION PLAN AND STRUCTURAL KEY
- A-1 BASEMENT PLAN
- A-2 FIRST FLOOR PLAN
- A-3 FRONT AND SIDE ELEVATIONS AND ENTRY PORCH DETAILS A
- A-4 REAR AND GARAGE ELEVATIONS
- S-0 STRUCTURAL FLOOR PLANS, STRUCTURAL KEY AND NOTES
- S-1 GARAGE WALL SECTION AND WINDOW WELL WALL SECTION
- S-2 LIVING ROOM WALL SECTION AND FIREPLACE INTERIOR ELEVATION
- S-3 STAIR ELEVATION AND STRUCTURAL DESIGN DATA
- S-4 STRUCTURAL DETAILS

| Revisions |            |                         |
|-----------|------------|-------------------------|
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**VANDE BERG  
 RESIDENCE**  
 RE-BUILD

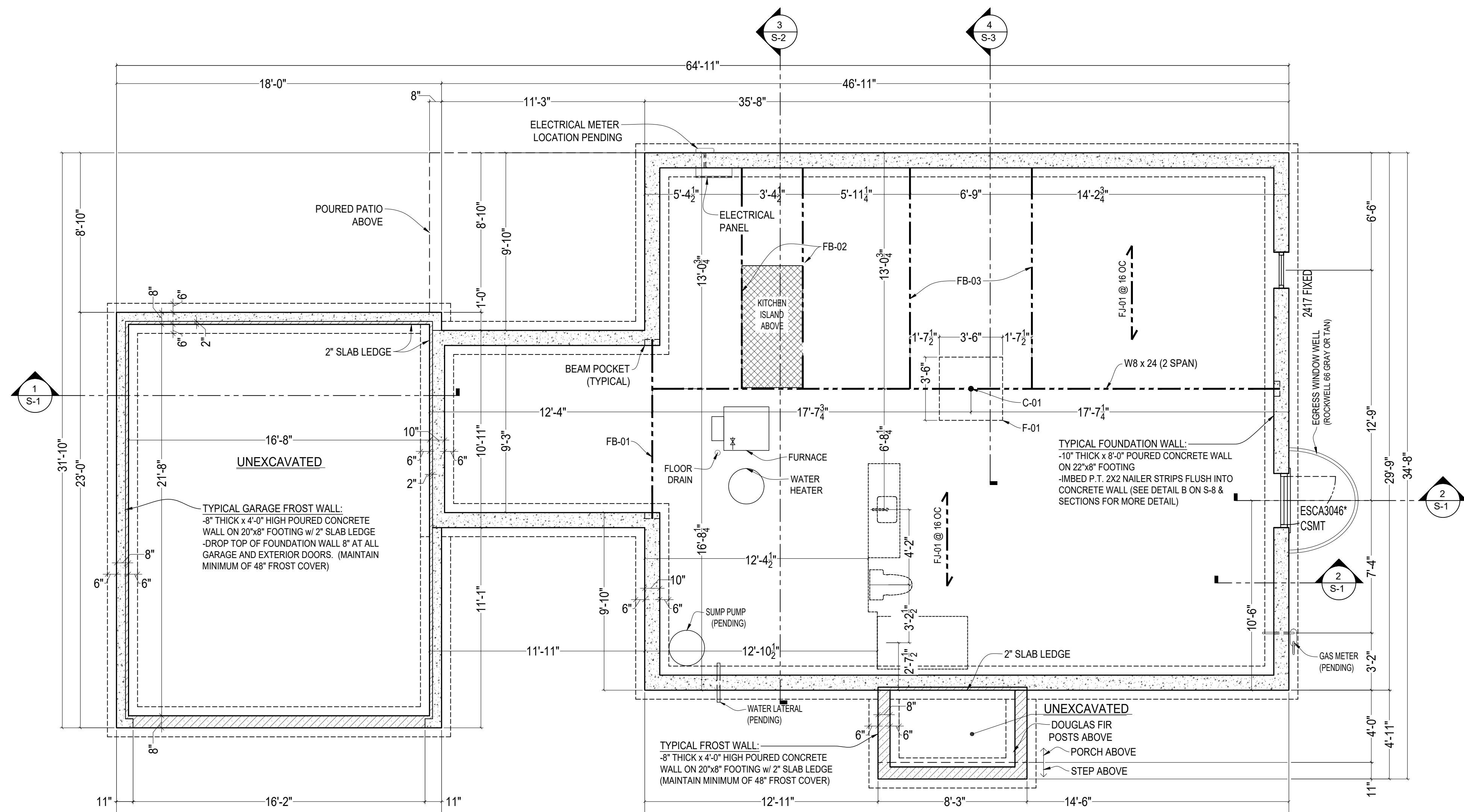
3902 N 102ND ST  
 WAUWATOSA, WI 53222

Sheet No.

**T-1**

| STRUCTURAL KEY:   |  |
|---|--|
| FOOTINGS:   |  |
| F-01: 42"x 42" x 12" W/ (3) #5 E. W.  |  |
| FLOOR FRAMING:  |  |
| FJ-01: (2) 11-7/8" LVL  |  |
| BEAMS:  |  |
| FB-01: W8 x 18  |  |
| FB-02: (2) 11-7/8" LVL  |  |
| FB-03: (2) 11-7/8" LVL  |  |
| HEADERS-WINDOW & DOOR:  |  |
| H-01: SEE SHEET S-0   |  |
| STEEL COLUMNS:  |  |
| C-01: 3" DIAMETER STANDARD PIPE COLUMN  |  |
| ROOF FRAMING:   |  |
| PRE-ENGINEERED TRUSS DESIGNED BY TRUSS COMPANY  |  |
| WALL BRACING:   |  |
| <b>WSP:</b> WOOD STRUCTURAL PANEL SHEATHING, MIN. 48" LONG, MIN. 7/16" OSB OR PLYWOOD SHEATHING FASTENED WITH 8d NAILS @ 6" O.C. ALONG ALL PANEL EDGES AND 12" O.C. IN THE FIELD. PROVIDE BLOCKING AT ALL PANEL JOINTS.   |  |
| <b>PF:</b> PORTAL FRAME (NARROW WALL BRACING) PER WISCONSIN UNIFORM DWELLING CODE (UDC) FIGURE 321.25-A.  |  |
| <b>CS-WSP:</b> CONTINUOUSLY SHEATHED SHEARWALL WITH WOOD STRUCTURAL PANEL SHEATHING ON ENTIRE LENGTH OF WALL, FULL HEIGHT DIMENSIONS AS SHOWN ON PLAN. MIN 7/16" OSB OR PLYWOOD SHEATHING FASTENED WITH 8d NAILS @ 6" O.C. ALONG ALL PANEL EDGES & 12" O.C. IN THE FIELD. PROVIDE BLOCKING AT ALL PANEL JOINTS. |  |

| BUILDING INFORMATION:         |             |
|-------------------------------|-------------|
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| -PATIO                        | 110 SQ FT   |
| GARAGE                        | 405 SQ FT   |
| NOTES:                        |             |
| * INCLUDES STAIRS TO BASEMENT |             |
| ** INCLUDES STAIR             |             |



## FOUNDATION PLAN

NOTE: ALL WINDOW, MECHANICAL AND STRUCTURAL INFORMATION SCHEMATIC IN NATURE.

Scale: 22x34 1/4" = 1'-0"  
 11x17 1/8" = 1'-0"

Sheet Title  
**FOUNDATION PLAN** **PERMIT PLANS**

| Revisions |            |                         |
|-----------|------------|-------------------------|
| No.       | Date       | Description             |
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**VANDE BERG RESIDENCE**  
 RE-BUILD  
 3902 N 102ND ST  
 WAUWATOSA, WI 53222

Sheet No. **A-0**

PERMIT PLANS

Sheet Title

| Revisions |            |                         |
|-----------|------------|-------------------------|
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**VANDE BERG RESIDENCE**  
 RE-BUILD  
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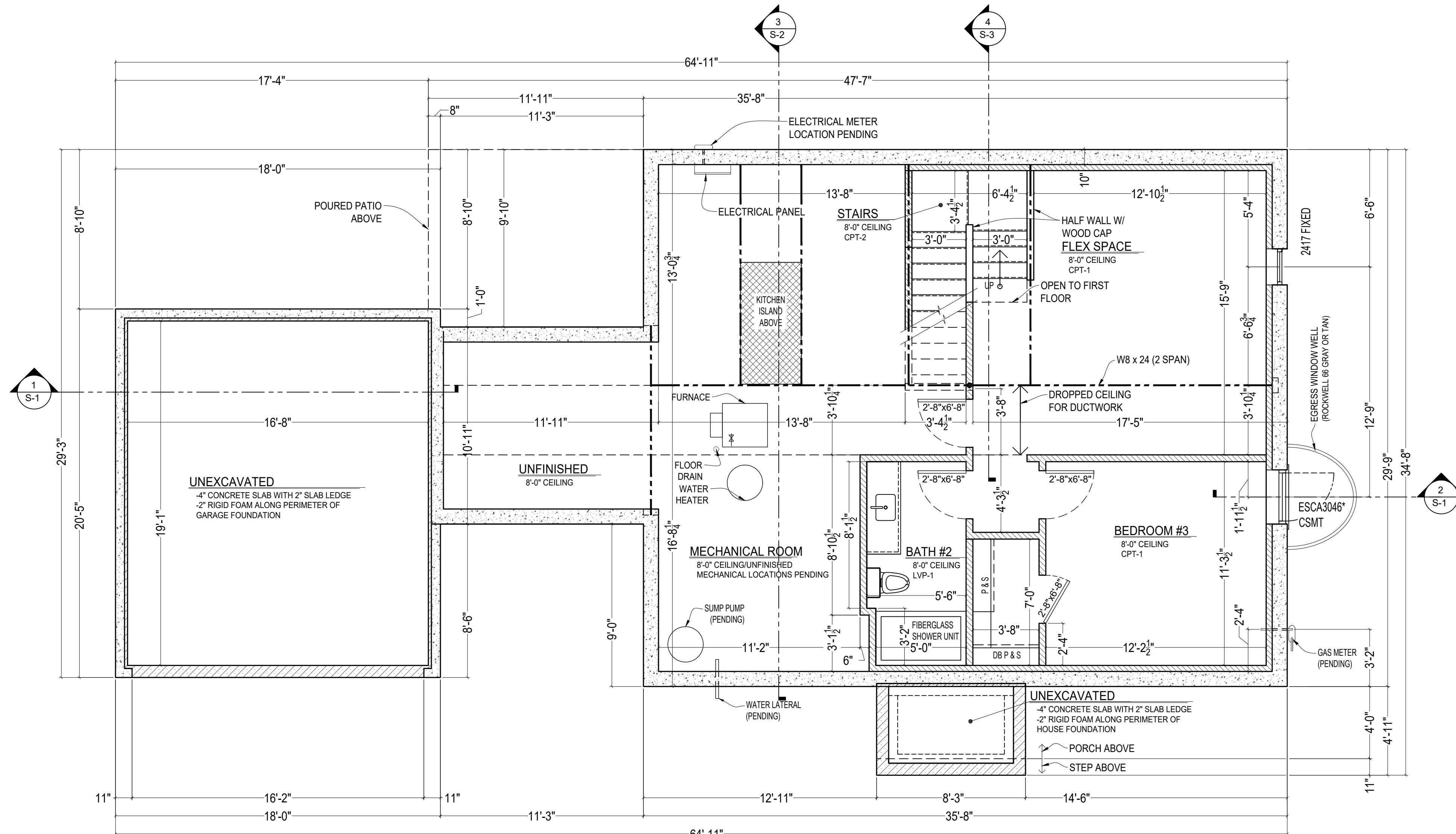
Sheet No.

**A-1**

| VENTILATION & LIGHT CODE CALCULATIONS: |             |
|--|-------------|
| BEDROOM #3:                            | 137.85 S.F. |
| AREA:                                  | 137.85 S.F. |
| VENTILATION REQUIRED (3.5%):           | 4.82 S.F.   |
| GLASS/LIGHT REQUIRED (8%):             | 11.03 S.F.  |
| WINDOW GLASS PROPOSED:                 | 11.97 S.F.  |

| EGRESS WINDOW REQUIRED FOR ALL BEDROOMS IN LOWER LEVEL & 2ND FLOOR                           |  |
|--|--|
| -OPERABLE WINDOW CLEAR OPENING OF 20"x24" MINIMUM (WINDOW SIZE LARGER)                       |  |
| -MAX HT. A.F.F. TO BE 60" TO CLEAR OPENING   |  |
| -IF 46" A.F.F. OR LESS, PERMANENT PLATFORM NOT REQUIRED                                      |  |
| -IF ABOVE 46" A.F.F., PLATFORM OF 20"(w)x9"(d) TO BE LOCATED DIRECTLY BELOW CLEAR OPENING.   |  |
| *VENTILATION AND LIGHT REQUIREMENTS OF 3.5%/8% ALLOW REQUIRED TO MEET CODE FOR ALL BEDROOMS. |  |

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| GARAGE                        | 405 SQ FT   |
| NOTES:                        |             |
| * INCLUDES STAIRS TO BASEMENT |             |
| ** INCLUDES STAIR             |             |



**BASEMENT FLOOR PLAN**

NOTE: ALL WINDOW, MECHANICAL AND STRUCTURAL INFORMATION SCHEMATIC IN NATURE.

Scale: 22x34 1/4" = 1'-0"  
 11x17 1/8" = 1'-0"

| WALL LEGEND:                        |   |
|-------------------------------------|---|
| <input type="checkbox"/>            | NEW WALL  |
| <input checked="" type="checkbox"/> | BEARING WALL  |
| <input type="checkbox"/>            | FROST WALL WALL   |
| <input type="checkbox"/>            | FOUNDATION WALL-EXISTING TO REMAIN                      |
| <input type="checkbox"/>            | FULL EXPOSURE FROST WALL                                |
| <input checked="" type="checkbox"/> | (1) LAYER OF CONCRETE BLOCK TO EXISTING FOUNDATION WALL |

NOTE: ALL WINDOW, MECHANICAL AND STRUCTURAL INFORMATION SCHEMATIC IN NATURE.

Sheet No.

**A-1**

## VENTILATION & LIGHT CODE CALCULATIONS

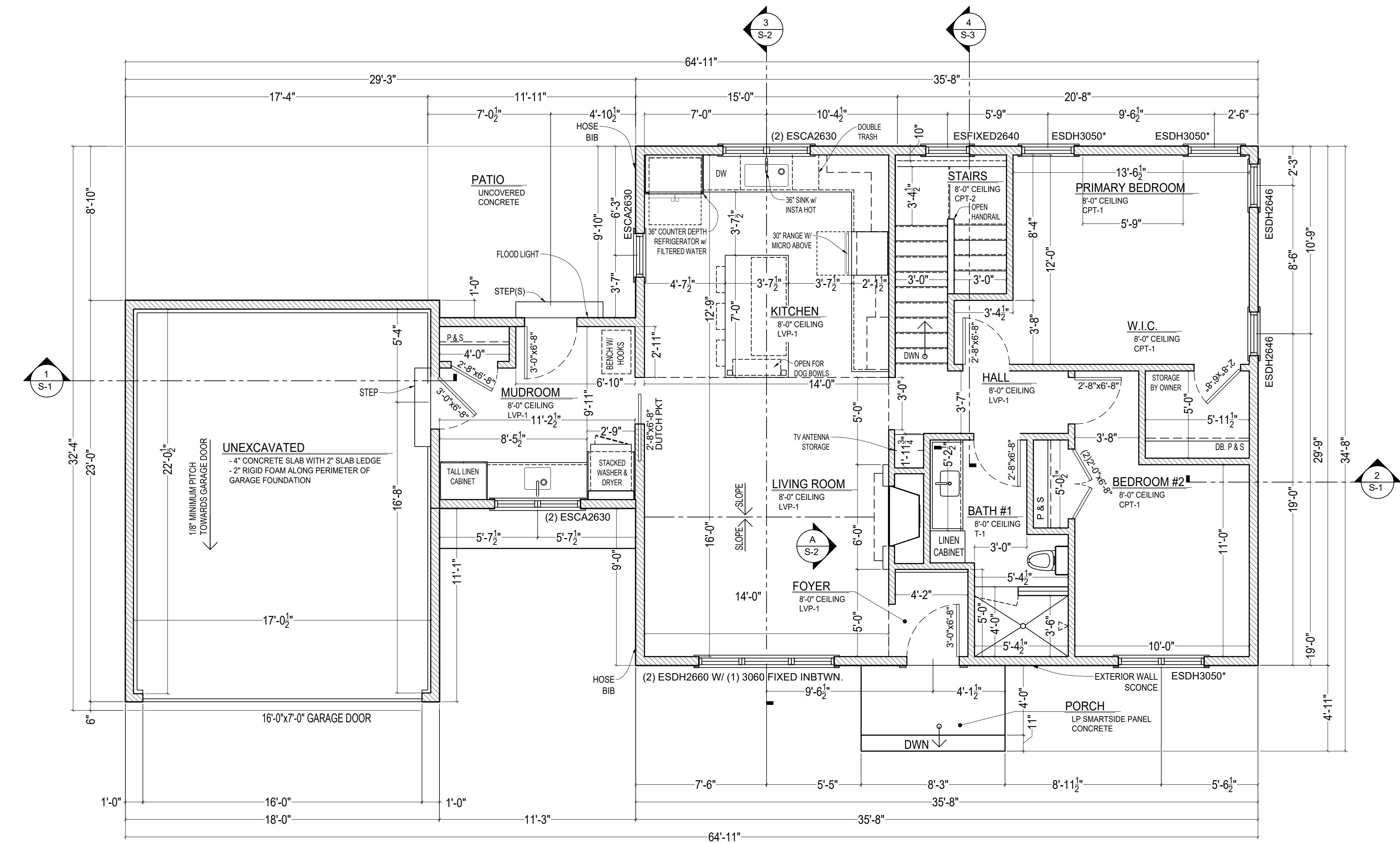
|                              |            |
|------------------------------|------------|
| <b>PRIMARY BEDROOM:</b>      |            |
| AREA:                        | 174.9 S.F. |
| VENTILATION REQUIRED (3.5%): | 6.1 S.F.   |
| GLASS/LIGHT REQUIRED (8%):   | 14.0 S.F.  |
| WINDOW GLASS PROPOSED:       | 38.3 S.F.  |
| <br><b>BEDROOM #2:</b>       |            |
| AREA:                        | 129.7 S.F. |
| VENTILATION REQ.'D (3.5%):   | 4.5 S.F.   |
| GLASS/LIGHT REQ'D (8%):      | 10.3 S.F.  |
| WINDOW GLASS PROPOSED:       | 22.4 S.F.  |

## BUILDING INFORMATION:

|                               |           |             |
|-------------------------------|-----------|-------------|
| BASEMENT                      |           | 1,191 SQ FT |
| -FINISHED                     | 571 SQ FT |             |
| -UNFINISHED                   | 620 SQ FT |             |
| <br>                          |           |             |
| FIRST FLOOR*                  |           | 1,191 SQ FT |
| -FRONT PORCH**                | 41 SQ FT  |             |
| -PATIO                        | 110 SQ FT |             |
| <br>                          |           |             |
| GARAGE                        |           | 405 SQ FT   |
| <br>                          |           |             |
| NOTES:                        |           |             |
| * INCLUDES STAIRS TO BASEMENT |           |             |
| ** INCLUDES STAIR             |           |             |

NOTES:

- \* INCLUDES STAIRS TO BASEMENT
- \*\* INCLUDES STAIR



## FIRST FLOOR PLAN

NOTE: ALL WINDOW, MECHANICAL AND STRUCTURAL INFORMATION SCHEMATIC IN NATURE.

Scale: 22x34 1/4" = 1'-0"  
11x17 1/8" = 1'-0"

Sheet No.

# A-2

# VANDE BERG RESIDENCE RE-BUILD

3902 N 102ND ST  
WAUWATOSA, WI 53222

Sheet No.

17035 W. GREENFIELD AVENUE  
NEW BERLIN, WI 53151  
214-242-5333

P: 414-248-5636  
E: STEVE@REDLEAFWI.COM

1000

## PERMIT PLANS

# FIRST FLOOR PLAN AND FRONT ELEVATION

| Date       | Description             |
|------------|-------------------------|
| 08-08-2025 | CONCEPT 1               |
| 10-17-2025 | CONCEPT 2               |
| 12-09-2025 | FOR STRUCTURAL ANALYSIS |
| 01-15-2026 | PERMIT PLANS            |

# VANDE BERG RESIDENCE

# REAR & SIDE ELEVATIONS AND FRONT PORCH ROOF DETAILS

17035 W. GREENFIELD AVENUE  
NEW BERLIN, WI 53151  
P: 414-248-5636  
E: STEVE@REDLEAFWI.COM

10

## PERMIT PLANS

This architectural cross-section diagram illustrates the exterior and foundation details of a house. The roof is a gabled structure with a 6/12 pitch. The exterior features LP SmartSide lap siding with 6" exposed edges, board and batten siding, and a frieze board. The house includes a front porch, a gas meter, and two window wells. Foundation details like existing house footings and a concrete pier are shown.

Annotations in the diagram include:

- 6 12
- 5/4 x 4 LP SMARTSIDE FRIEZE BOARD
- LP SMARTSIDE BOARD & BATTEN SIDING (1x2 BATTENS @ 16" O.C. ON 10' PANELS)
- 5/4 x 4 LP SMARTSIDE BAND BETWEEN LAP SIDING AND BOARD & BATTEN
- K-STYLE 5" ALUMINUM SEAMLESS GUTTERS WITH GUTTER GUARDS & RECTANGULAR DOWNSPOUTS
- 8'-0" CEILING HEIGHT
- 6'-8" WINDOW HEIGHT
- ALUMINUM FASCIA & SOFFIT NOTE SOFFIT FLUSH WITH EXTERIOR WALL
- 5/4 x 4 LP SMARTSIDE TRIM BOARDS @ CORNERS & WINDOWS
- 1ST FLOOR
- 8" LP SMARTSIDE LAP SIDING W/ 6" EXPOSED
- 2'-2½"
- FRONT PORCH
- 2'-0"
- 3'-0"
- GAS METER
- WINDOW WELL
- EGRESS WINDOW WELL (ROCKWELL 66 GRAY OR TAN)
- EXISTING HOUSE FOOTING AND FOUNDATION

# DOUGLAS FIR BEAM & BRACKET DETAILS

Scale: 22x34 1/2" = 1'-0"  
11x17 1/4" = 1'-0"

## SOUTH ELEVATION

---

Scale: 22x34 1/4" = 1'-0"  
11x17 1/8" = 1'-0"

This architectural drawing provides a detailed view of the exterior of a two-story house. The left portion of the drawing shows a garage with a 16'-0" x 7'-0" CHI #4283 garage door featuring raised long panels and clear glass Madison window inserts. The garage is built on a concrete foundation. The right portion shows the main house, which includes a front entrance with a porch and a large living area. The house is covered in LP SmartSide lap siding with 6" exposed. Trim details include 5/4 x 4 LP SmartSide trim boards at corners and windows, and 5/4 x 4 LP SmartSide frieze board. The roof is covered with GAF Timberline dimensional HD shingles with a continuous ridge vent. The drawing also shows exterior wall sconces and Douglas fir beam and bracket supports. Various dimensions are provided, such as 8'-1 1/8" plate height, 12' and 6' widths for the roof sections, 3'-8 1/2" for the window height, and 1'-8 1/2" for the porch height. The overall height of the house is 8'-0" ceiling height, and the window height is 6'-0" window height. The drawing also indicates garage footing and foundation details.

EXTERIOR WALL SCONCE

DOUGLAS FIR BEAM & BRACKET SUPPORTS, SEE DETAIL A ON SHEET A-3

GAF TIMBERLINE DIMENSIONAL HD SHINGLES W/ CONTINUOUS RIDGE VENT AS REQUIRED

5/4 x 4 LP SMARTSIDE FRIEZE BOARD

5/4 x 4 LP SMARTSIDE BAND BETWEEN LAP SIDING AND BOARD & BATTEN

8"x2" DOUGLAS FIR HEADER

5" ALUMINUM SEAMLESS GUTTER GUARDS & TANGULAR DOWNSPOUTS

8'-1 1/8" PLATE HEIGHT

FASCIA & SOFFIT. NOTE SH WITH EXTERIOR WALL

5/4 LP SMARTSIDE TRIM BOARDS @ CORNERS & WINDOWS

8" LP SMARTSIDE LAP SIDING W/ 6" EXPOSED

16'-0" x 7'-0" CHI #4283 GARAGE DOOR w/ RAISED LONG PANELS w/ CLEAR GLASS MADISON WINDOW INSERTS ALONG TOP

GARAGE FOOTING AND FOUNDATION

12

6

12

6

3'-8 1/2"

8 1/2"

1'-8 1/2"

8'-0" CEILING HEIGHT

6'-0" WINDOW HEIGHT

5/4 x 4 LP SMARTSIDE TRIM BOARDS @ WINDOWS & CORNERS

CONCRETE FRONT PORCH

1ST FLOOR

## WEST ELEVATION

Scale: 22x34 1/4" = 1'-0"  
11x17 1/8" = 1'-0"

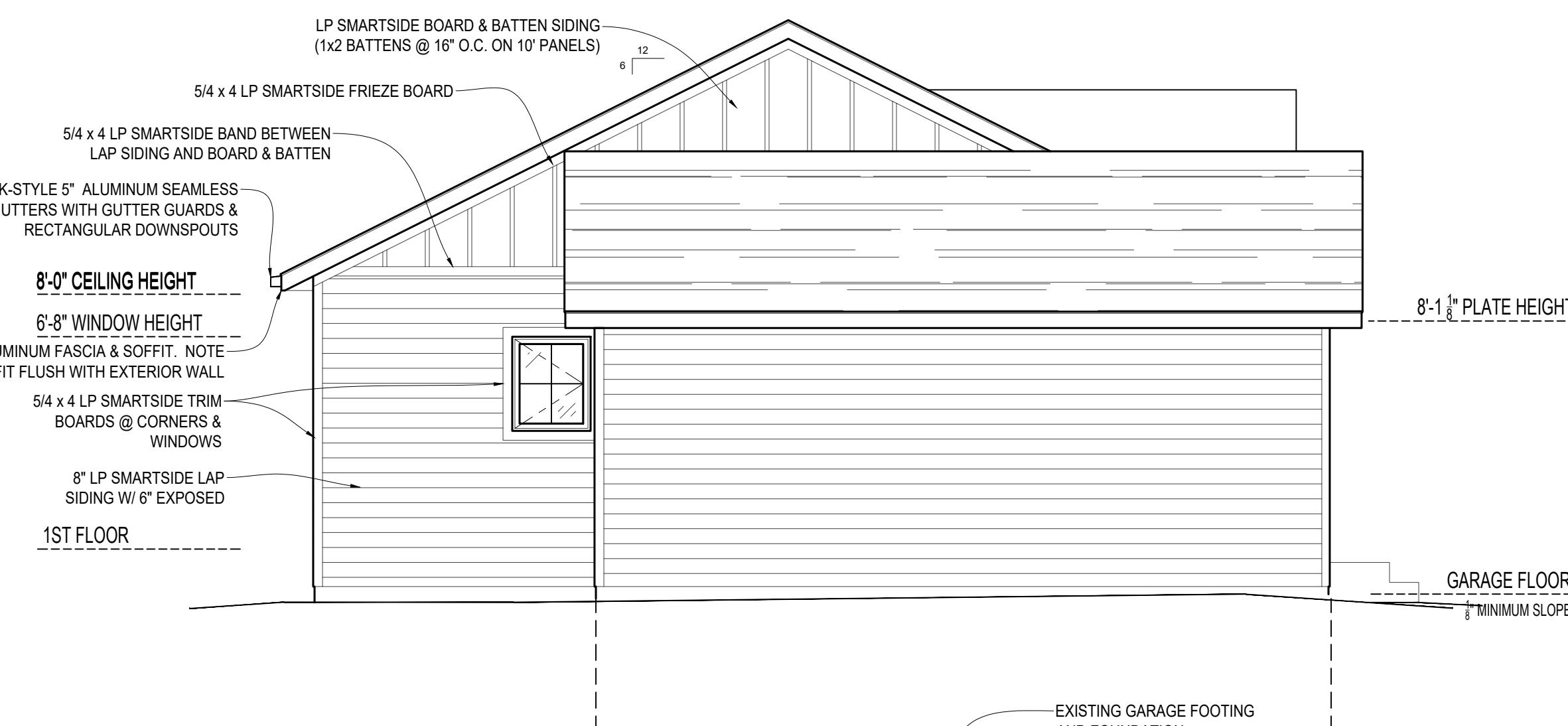
# VANDE BERG RESIDENCE

RE-BUILD  
3902 N 102ND ST  
WALWATOSA, WI 53222

Sheet No.

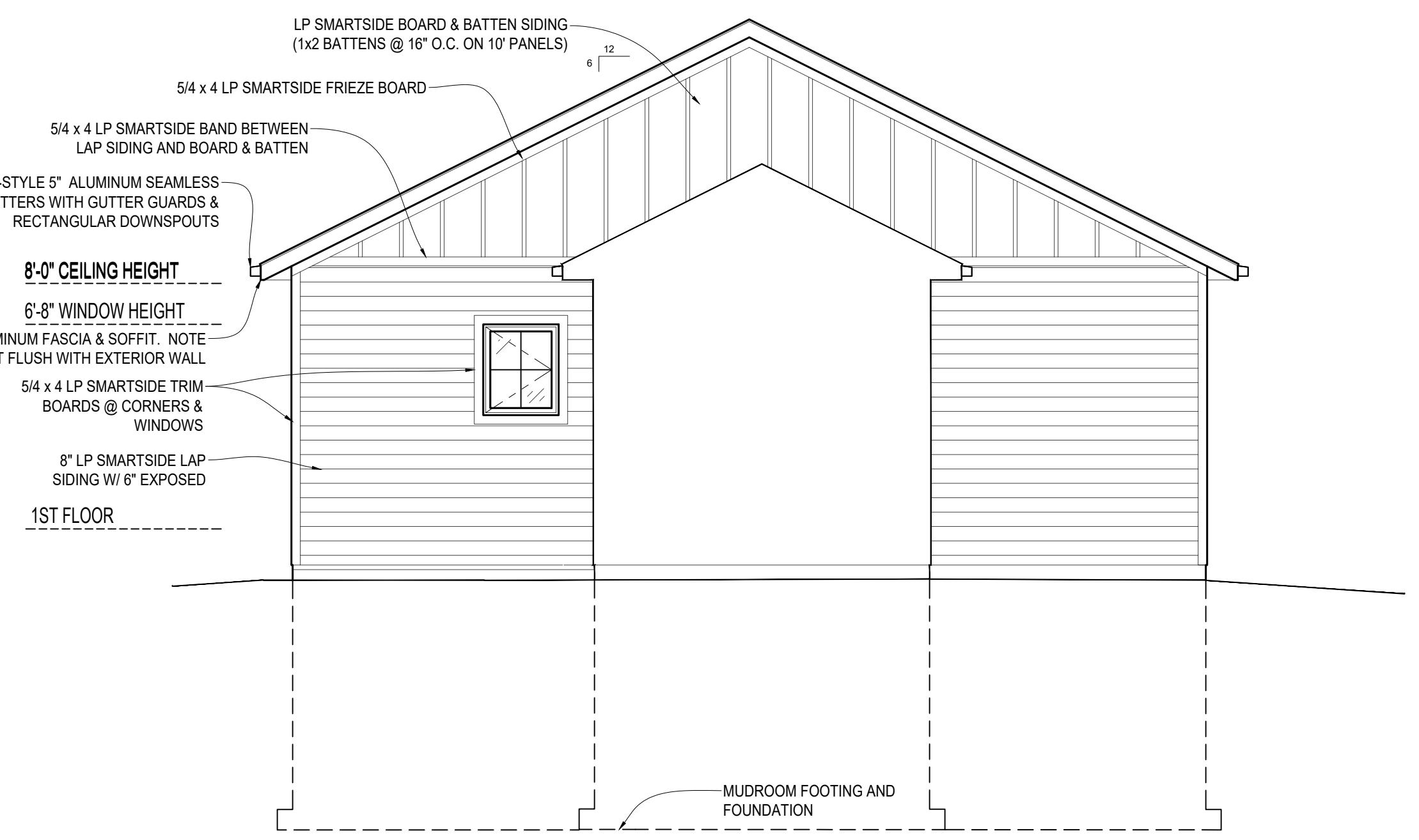
**A-3**

Sheet Title  
**REAR & GARAGE ELEVATIONS**  
**PERMIT PLANS**



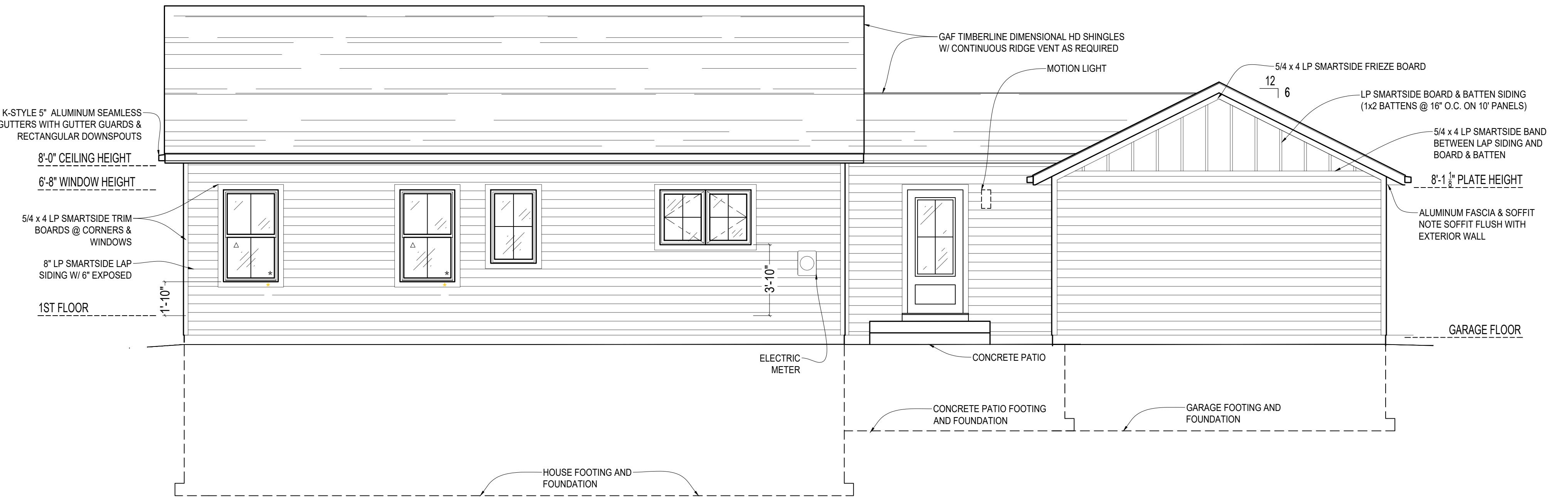
**NORTH ELEVATION**

Scale: 22x34 1/4" = 1'-0"  
 11x17 1/8" = 1'-0"



**NORTH ELEVATION W/O GARAGE**

Scale: 22x34 1/4" = 1'-0"  
 11x17 1/8" = 1'-0"



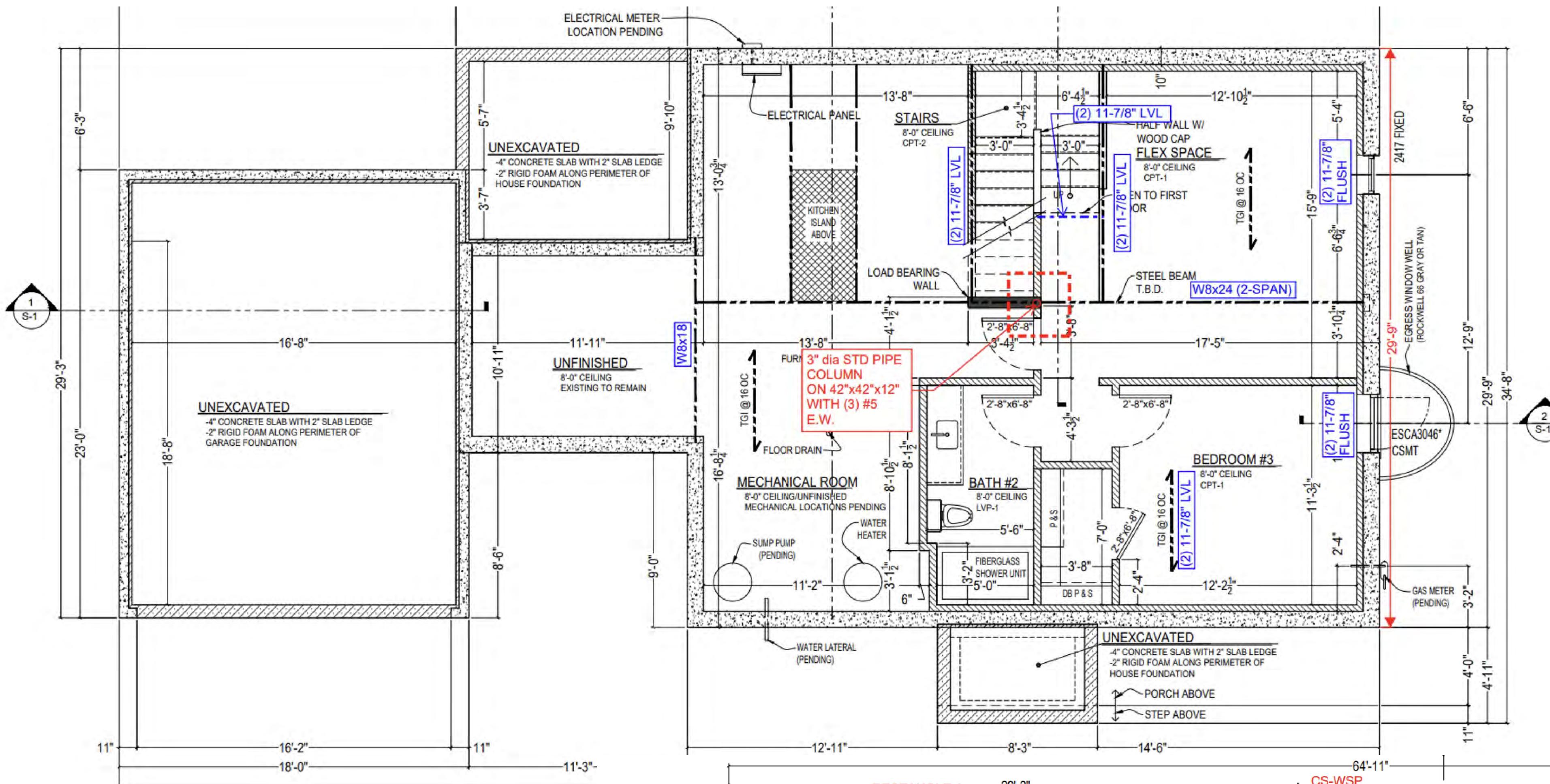
**EAST ELEVATION**

Scale: 22x34 1/4" = 1'-0"  
 11x17 1/8" = 1'-0"

| Revisions |            |                         |
|-----------|------------|-------------------------|
| No.       | Date       | Description             |
|           | 08-08-2025 | CONCEPT 1               |
|           | 10-17-2025 | CONCEPT 2               |
|           | 12-09-2025 | FOR STRUCTURAL ANALYSIS |
|           | 01-15-2026 | PERMIT PLANS            |

**VANDE BERG RESIDENCE**  
 RE-BUILD  
 3902 N 102ND ST  
 WAUWATOSA, WI 53222

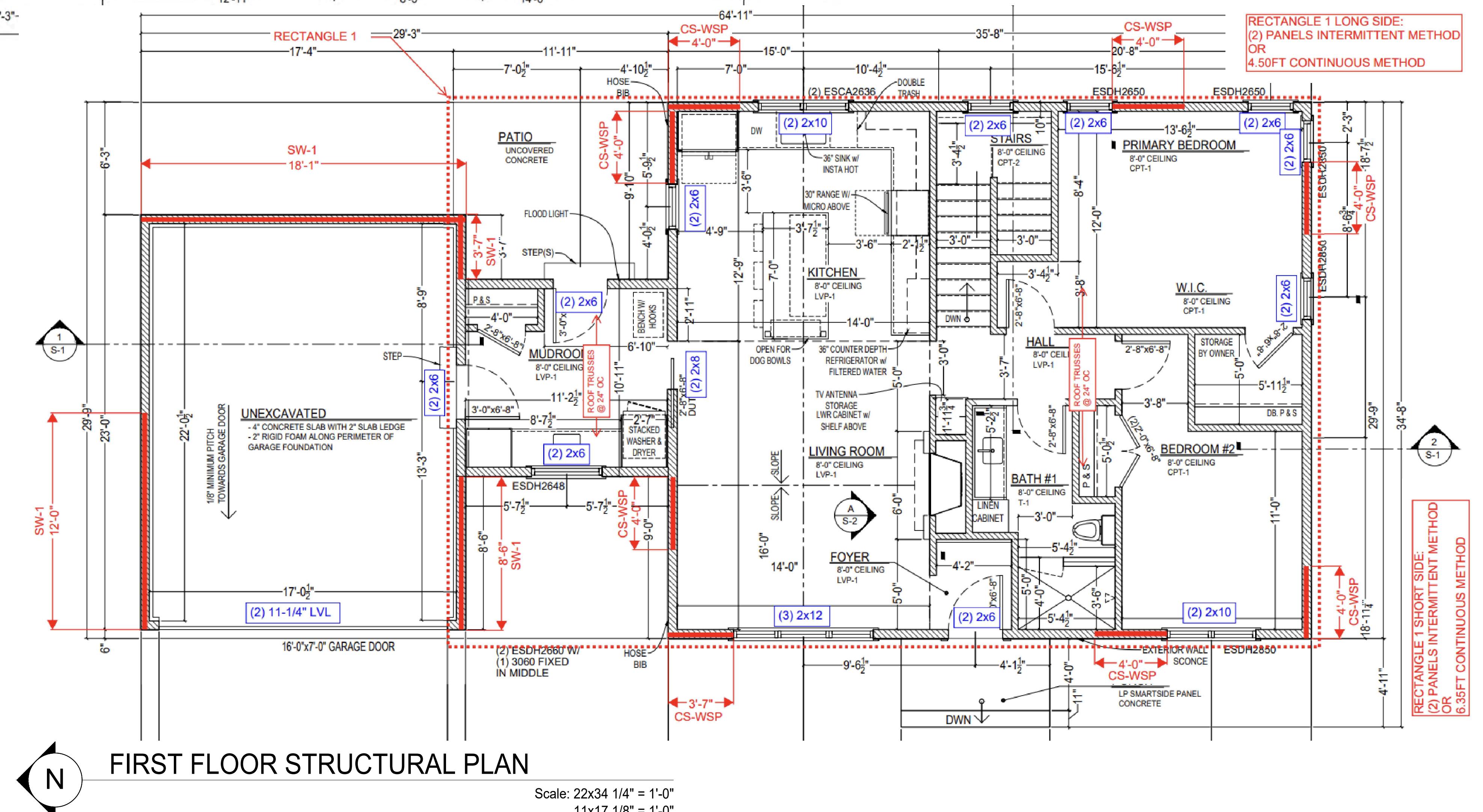
Sheet No.  
**A-4**

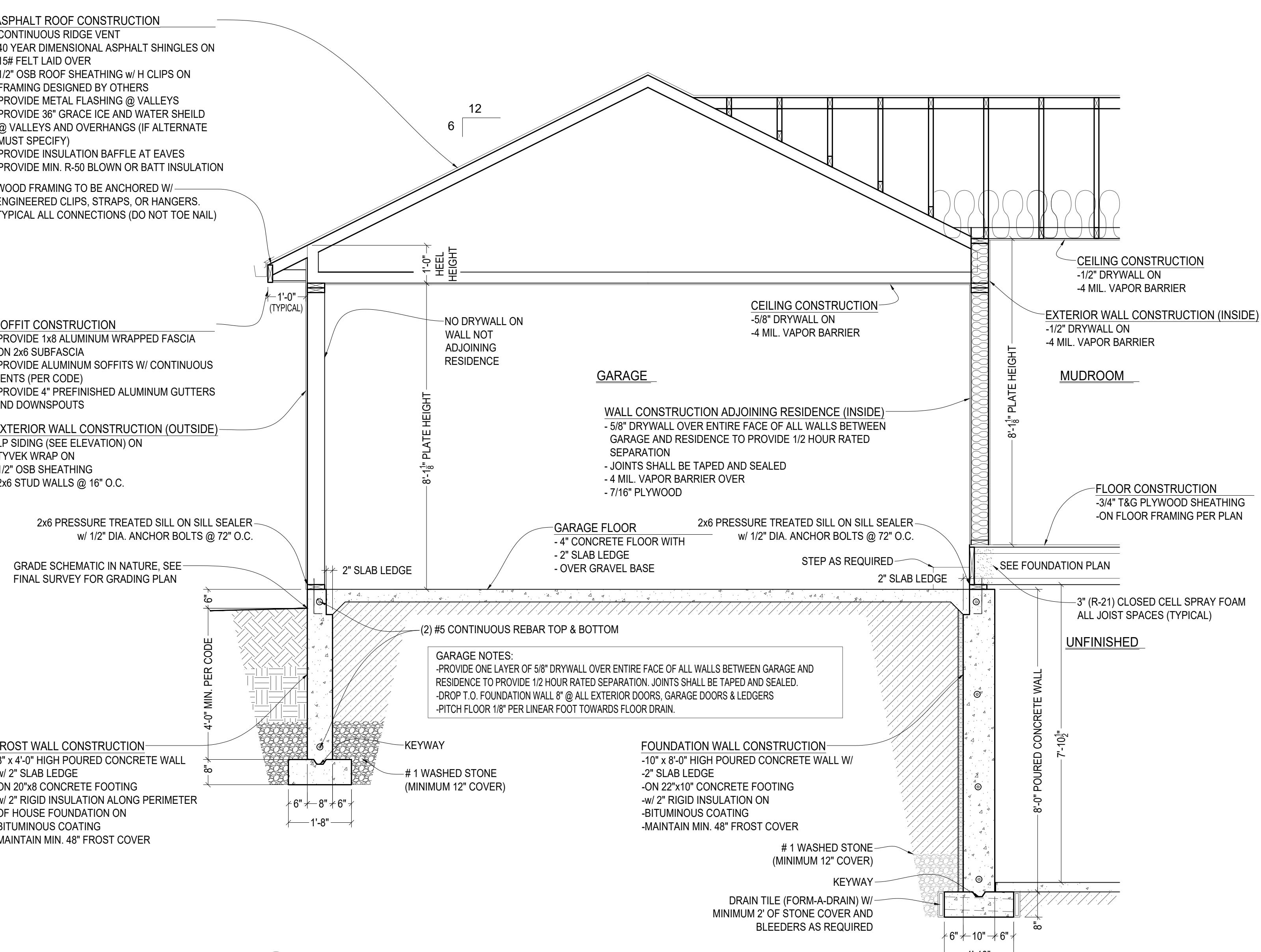


BASEMENT STRUCTURAL PLAN

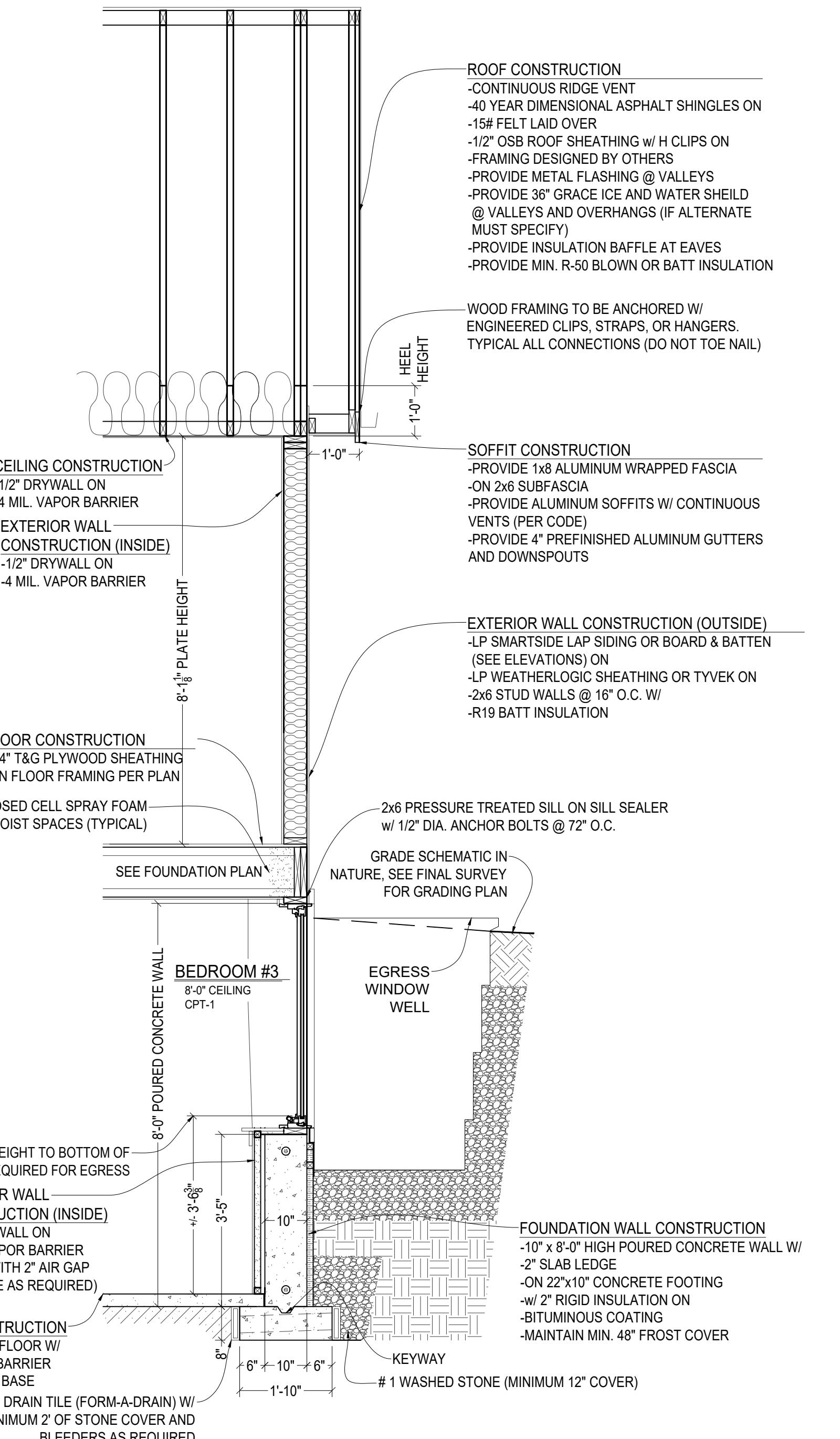
Scale: 22x34 1/4" = 1'-0"  
11x17 1/8" = 1'-0"

| STRUCTURAL KEY:        |  |  |
|------------------------|--|--|
| FOOTINGS:              | F-01: 42" x 42" x 12" W/ (3) #5 E. W.  |  |
| FLOOR FRAMING:         | FJ-01: (2) 11-7/8" LVL   |  |
| BEAMS:                 | FB-01: W8 x 18<br>FB-02: (2) 11-7/8" LVL<br>FB-03: (2) 11-7/8" LVL   |  |
| HEADERS-WINDOW & DOOR: | H-01: SEE SHEET S-0  |  |
| STEEL COLUMNS:         | C-01: 3" DIAMETER STANDARD PIPE COLUMN   |  |
| ROOF FRAMING:          | PRE-ENGINEERED TRUSS DESIGNED BY TRUSS COMPANY   |  |
| WALL BRACING:          | WSP: WOOD STRUCTURAL PANEL SHEATHING, MIN. 48" LONG, MIN. 7/16" OSB OR PLYWOOD SHEATHING FASTENED WITH 8d NAILS @ 6" O.C. ALONG ALL PANEL EDGES AND 12" O.C. IN THE FIELD. PROVIDE BLOCKING AT ALL PANEL JOINTS.   |  |
| PF:                    | PORTAL FRAME (NARROW WALL BRACING) PER WISCONSIN UNIFORM DWELLING CODE (UDC) FIGURE 321.25-A.  |  |
| CS-WSP:                | CONTINUOUSLY SHEATHED SHEARWALL WITH WOOD STRUCTURAL PANEL SHEATHING ON ENTIRE LENGTH OF WALL, FULL HEIGHT DIMENSIONS AS SHOWN ON PLAN. MIN 7/16" OSB OR PLYWOOD SHEATHING FASTENED WITH 8d NAILS @ 6" O.C. ALONG ALL PANEL EDGES & 12" O.C. IN THE FIELD. PROVIDE BLOCKING AT ALL PANEL JOINTS. |  |





1 GARAGE TO MUDROOM SECTION



2 WALL SECTION WITH WINDOW WELL

**GARAGE WALL SECTION, STAIR WALL SECTION AND 1 STORY WALL SECTION PERMIT PLANS**

| Revisions |            |                         |
|-----------|------------|-------------------------|
| No.       | Date       | Description             |
|           | 08-08-2025 | CONCEPT 1               |
|           | 10-17-2025 | CONCEPT 2               |
|           | 12-09-2025 | FOR STRUCTURAL ANALYSIS |
|           | 01-15-2026 | PERMIT PLANS            |

**VANDE BERG RESIDENCE**  
 RE-BUILD  
 3902 N 102ND ST  
 WAUWATOSA, WI 53222

Sheet No.

**S-1**

# R E D L E A F

— H O M E S —



17035 W. GREENFIELD AVENUE  
NEW BERLIN, WI 53151  
P: 414-248-5636  
E: STEVE@REDLEAFWI.COM

Sheet Title

---

LIVING ROOM WALL SECTION  
AND FIREPLACE ELEVATION

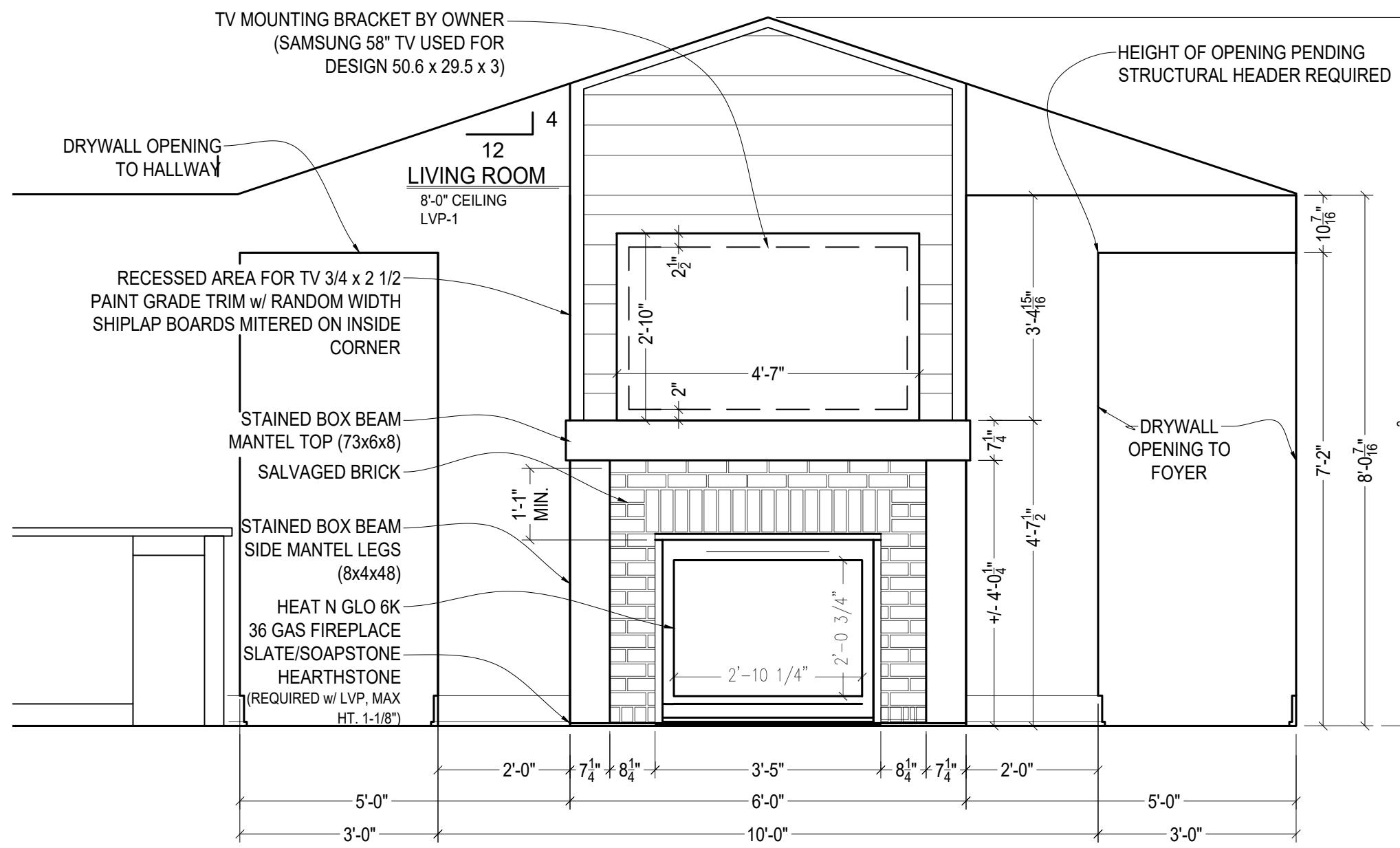
PERMIT PLANS

Description  
CONCEPT 1  
CONCEPT 2  
FOR STRUCTURAL  
ANALYSIS  
PERMIT PLANS

# WANDE BERG RESIDENCE RE-BUILD

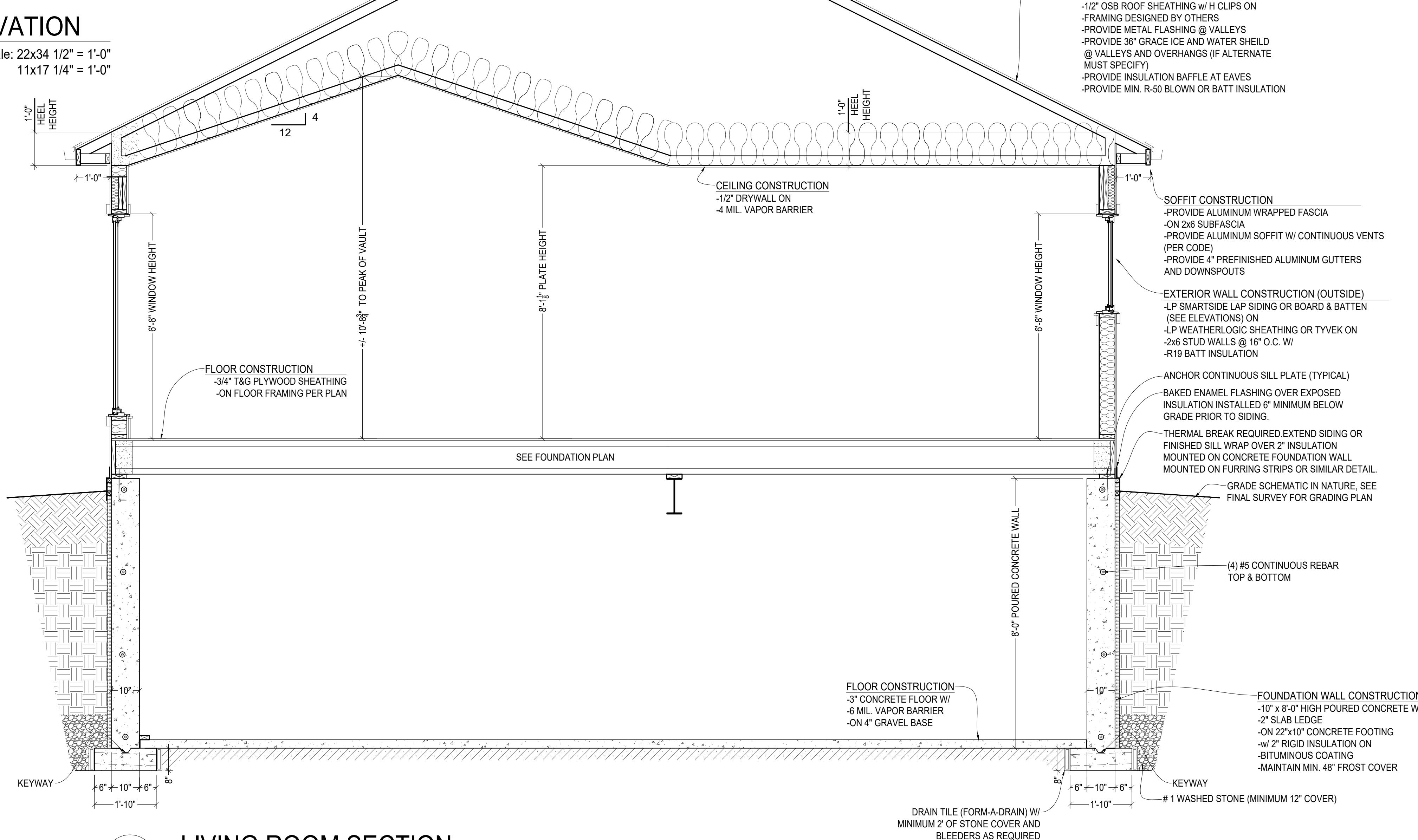
Sheet No. \_\_\_\_\_

**S-2**



# FIREPLACE INTERIOR ELEVATION

Scale: 22x34 1/2" = 1'-0"  
11x17 1/4" = 1'-0"



3

## LIVING ROOM SECTION

Scale: 22x34 1/2" = 1'-0"  
11x17 1/4" = 1'-0"

# — H O M E S —



## DESIGN DATA

NEW BERLIN, WI 53151  
P: 414-248-5636  
E: STEVE@REDLEAFWI.COM

## Title

\_\_\_\_\_

## PERMIT PLANS

# ANDE BERG RESIDENCE

-BUILD

Street No.

# S-3

This detailed architectural drawing shows a cross-section of a house, focusing on the roof, exterior wall, and foundation. The roof is a gabled structure with a 6/12 pitch. The exterior wall is a 2x6 stud wall with an R19 batt insulation. The foundation wall is a 10" x 8'-0" high poured concrete wall with a 2" slab ledge, 2x10 joists @ 16" O.C., and (4) #5 continuous rebar. The drawing includes dimensions for plate height (8'-1 1/8"), window height (6'-8"), and various room heights (8'-0" for Hall, Primary Bedroom, and Stairs; 7'-2 7/8" for Flex Space; 8'-0" for Bedroom #3). It also shows the layout of the stairs, including the keyway and stone cover. Numerous callouts provide detailed construction specifications for various components, such as roof construction (continuous ridge vent, 40-year dimensional asphalt shingles, 15# felt, 1/2" OSB roof sheathing with h-clips, metal flashing at valleys, 36" Grace Ice and Water Shield, insulation baffle at eaves, and R-50 blown or batt insulation), soffit construction (aluminum wrapped fascia, continuous vents, and 4" prefinished aluminum gutters and downspouts), exterior wall construction (LP SmartSide lap siding or board & batten, LP WeatherLogic sheathing or Tyvek, 2x6 stud walls @ 16" O.C. with R19 batt insulation), and foundation wall construction (10" x 8'-0" high poured concrete wall with 2" slab ledge, 2x10 joists @ 16" O.C., and (4) #5 continuous rebar). The drawing also includes a note to see the foundation plan and a grade schematic.

12

6

ROOF CONSTRUCTION

- CONTINUOUS RIDGE VENT
- 40 YEAR DIMENSIONAL ASPHALT SHINGLES ON
- 15# FELT LAID OVER
- 1/2" OSB ROOF SHEATHING w/ H CLIPS ON
- FRAMING DESIGNED BY OTHERS
- PROVIDE METAL FLASHING @ VALLEYS
- PROVIDE 36" GRACE ICE AND WATER SHEILD @ VALLEYS AND OVERHANGS (IF ALTERNATE MUST SPECIFY)
- PROVIDE INSULATION BAFFLE AT EAVES
- PROVIDE MIN. R-50 BLOWN OR BATT INSULATION

CEILING CONSTRUCTION

- 1/2" DRYWALL ON
- 4 MIL. VAPOR BARRIER

FLOOR CONSTRUCTION

- 3/4" T&G PLYWOOD SHEATHING
- ON FLOOR FRAMING PER PLAN

SEE FOUNDATION PLAN

8'-1 1/8" PLATE HEIGHT

1'-0"

6'-8" WINDOW HEIGHT

HALL  
8'-0" CEILING  
LVP-1

PRIMARY BEDROOM  
8'-0" CEILING  
CPT-1

STAIRS  
8'-0" CEILING  
CPT-2

CEILING LOWER DUE TO  
MECHANICALS T.B.D.

BEDROOM #3  
8'-0" CEILING  
CPT-1

FLEX SPACE  
8'-0" CEILING  
CPT-1

W8 x 24 (2 SPAN)

7'-2 7/8"

3'-4 1/2"

11 1/4"

10 1/2"

10"

2x10 JOISTS @ 16" O.C.

10"

6"

10"

6"

1'-10"

KEYWAY

#1 WASHED STONE (MINIMUM 12" COVER)

FOUNDATION WALL CONSTRUCTION

- 10" x 8'-0" HIGH POURED CONCRETE WALL W/
- 2" SLAB LEDGE
- ON 22"x10" CONCRETE FOOTING
- w/ 2" RIGID INSULATION ON
- BITUMINOUS COATING
- MAINTAIN MIN. 48" FROST COVER

DRAIN TILE (FORM-A-DRAIN) W/  
MINIMUM 2' OF STONE COVER AND  
BLEEDERS AS REQUIRED

GRADE SCHEMATIC IN NATURE, SEE  
FINAL SURVEY FOR GRADING PLAN

(4) #5 CONTINUOUS REBAR  
TOP & BOTTOM

**DESIGN DATA:**

---

LIVE LOAD ROOF: 30#/SQ. FT.

LIVE LOAD FLOOR: 40#/SQ. FT.

LIVE LOAD STAIRS: 40#/SQ. FT.

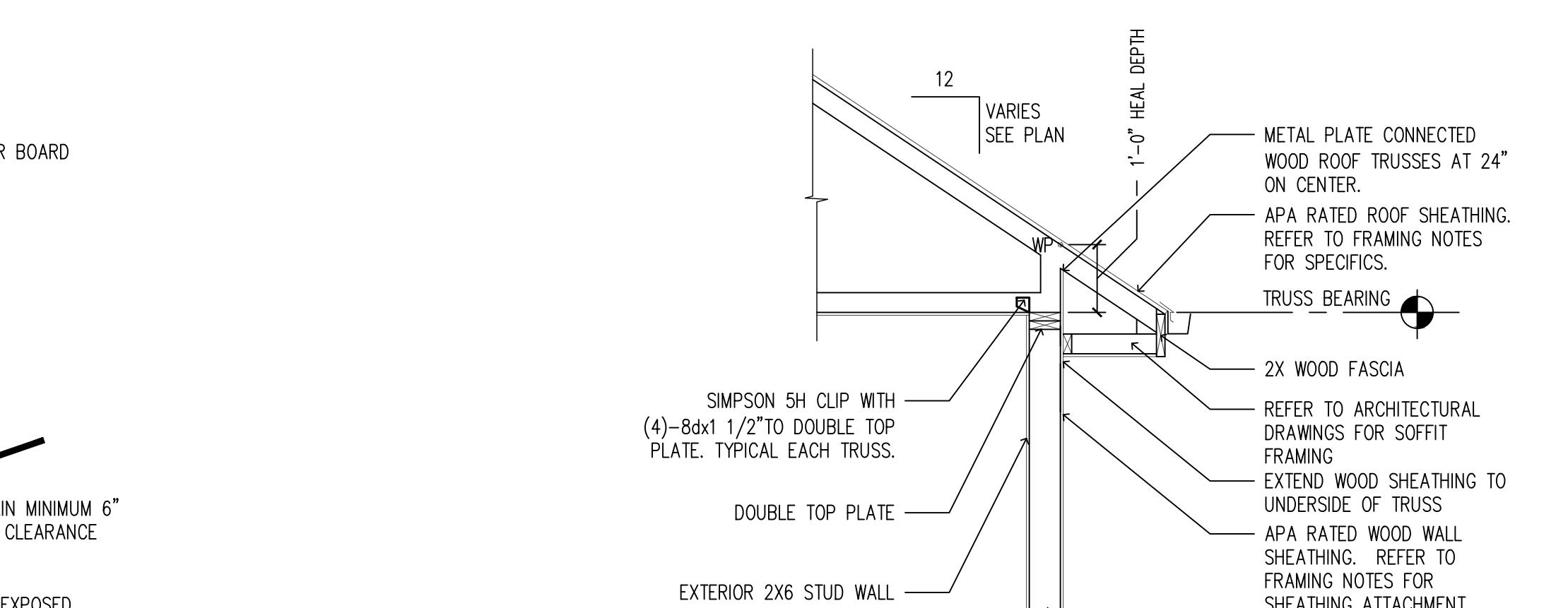
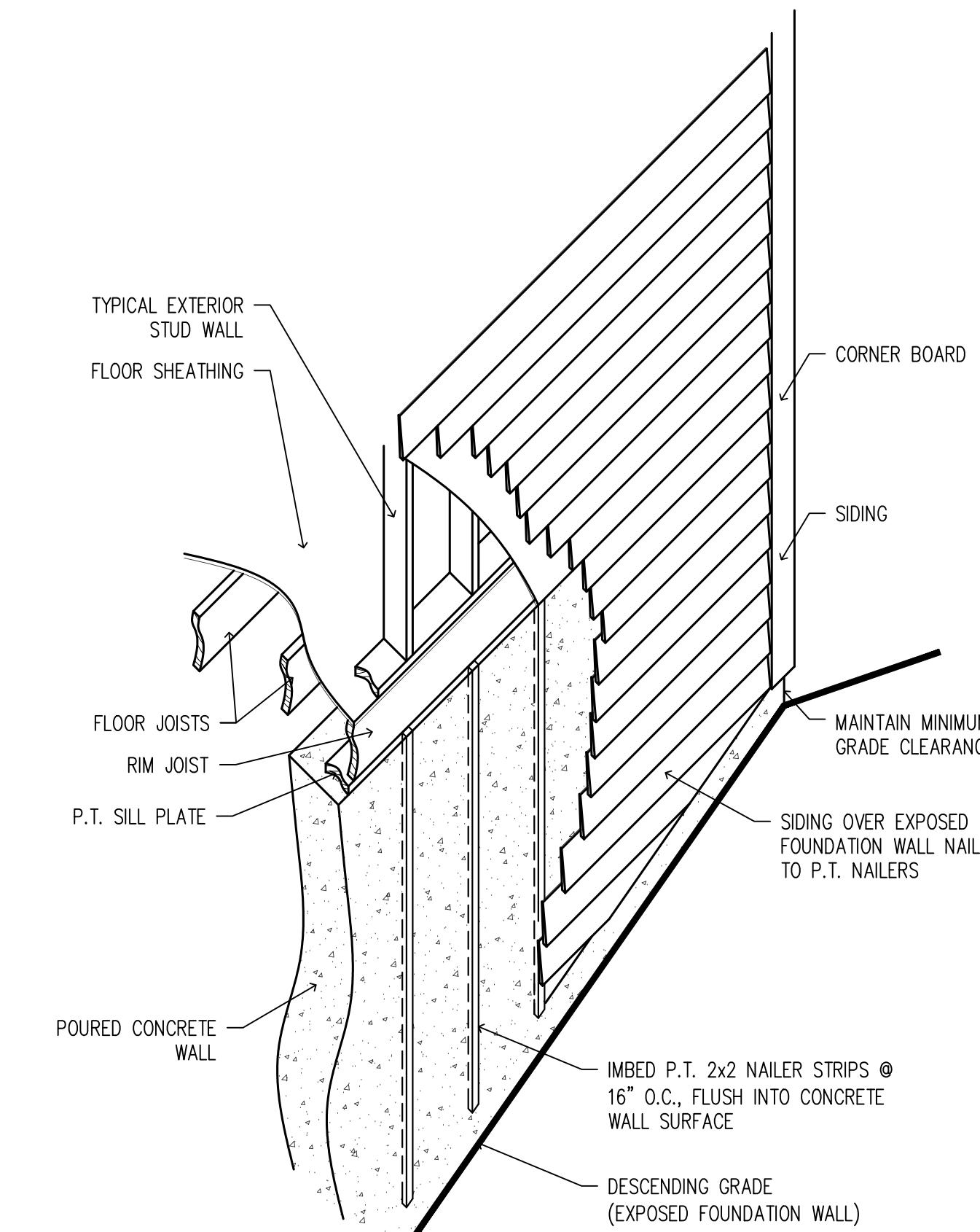
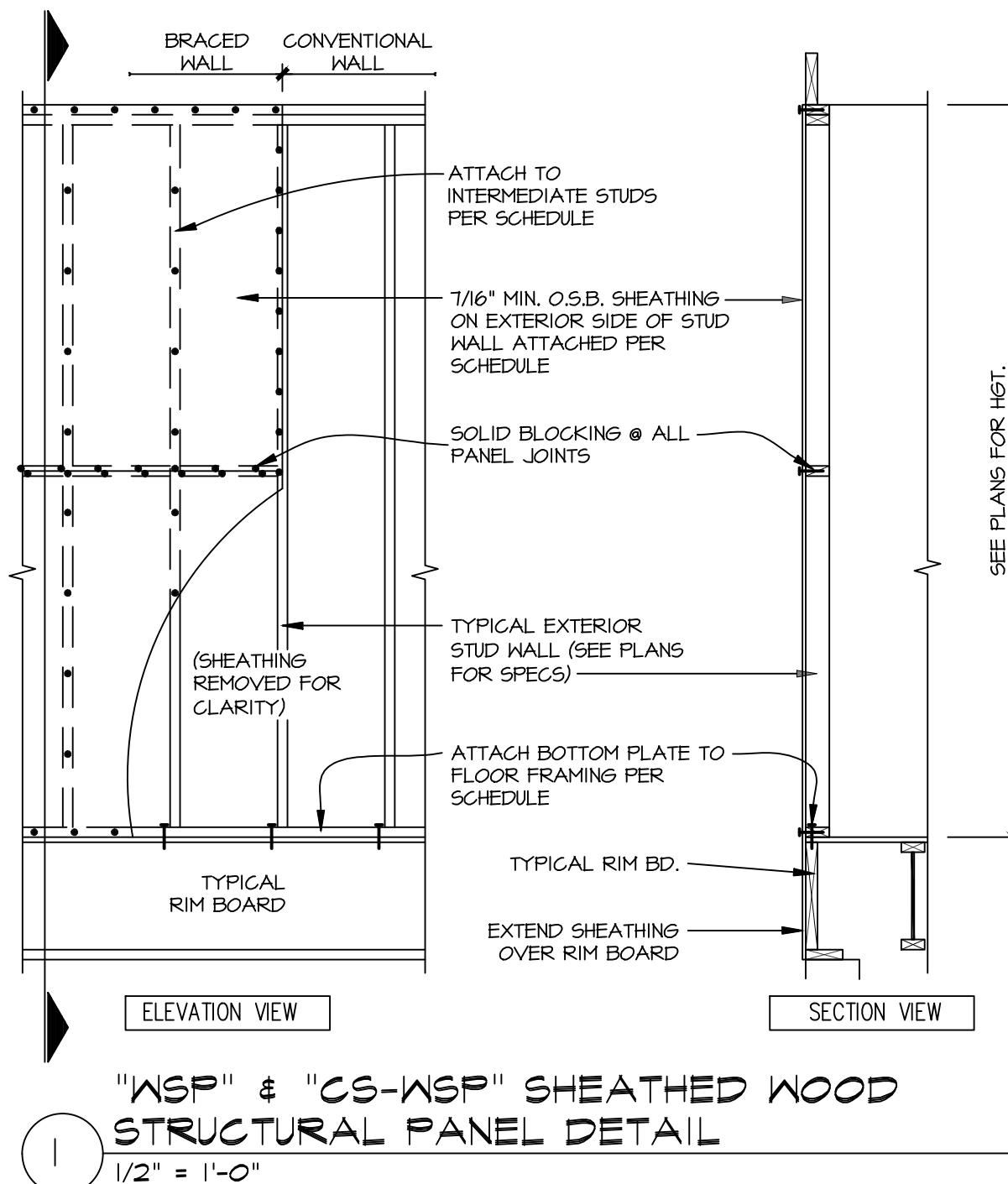
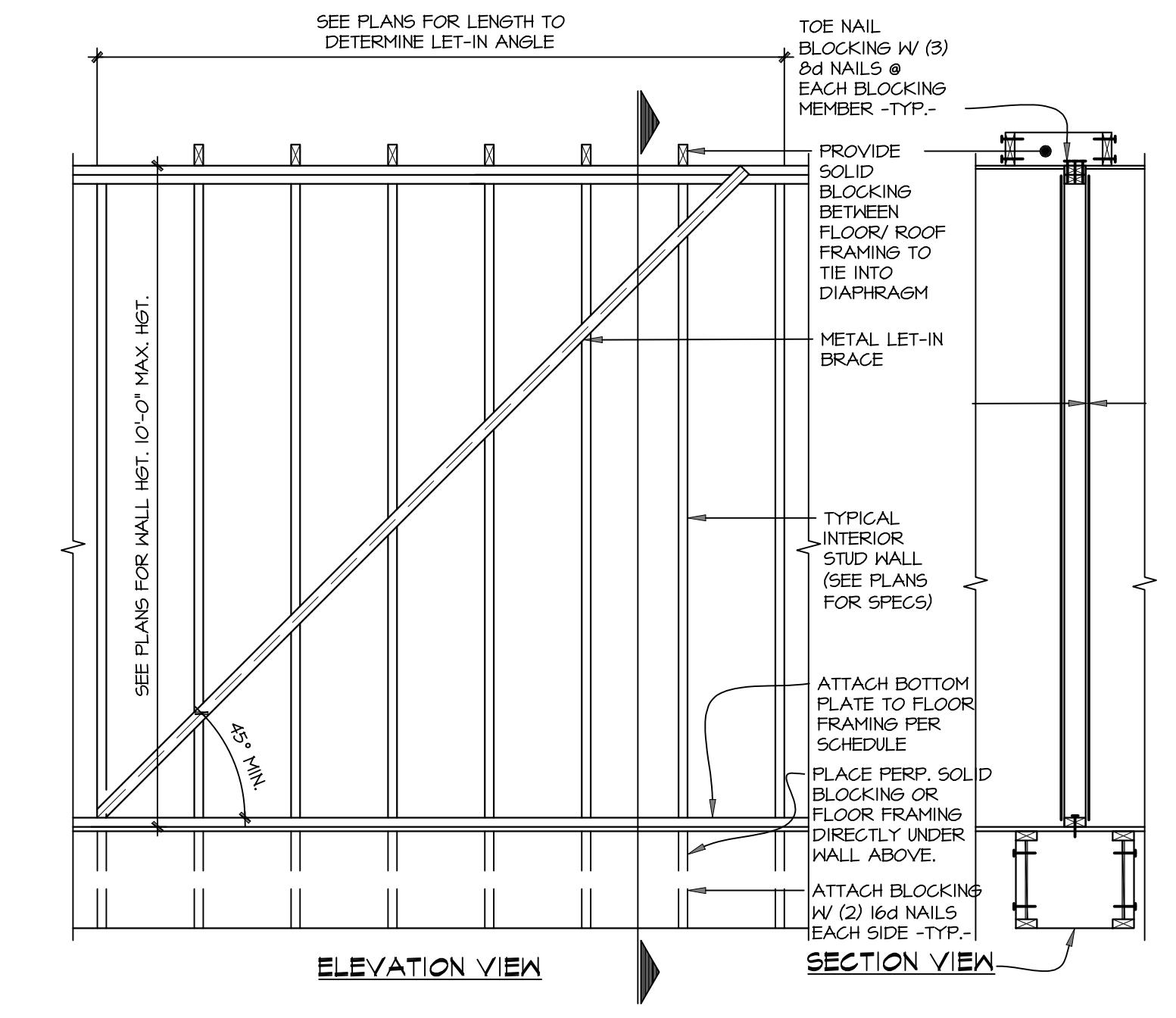
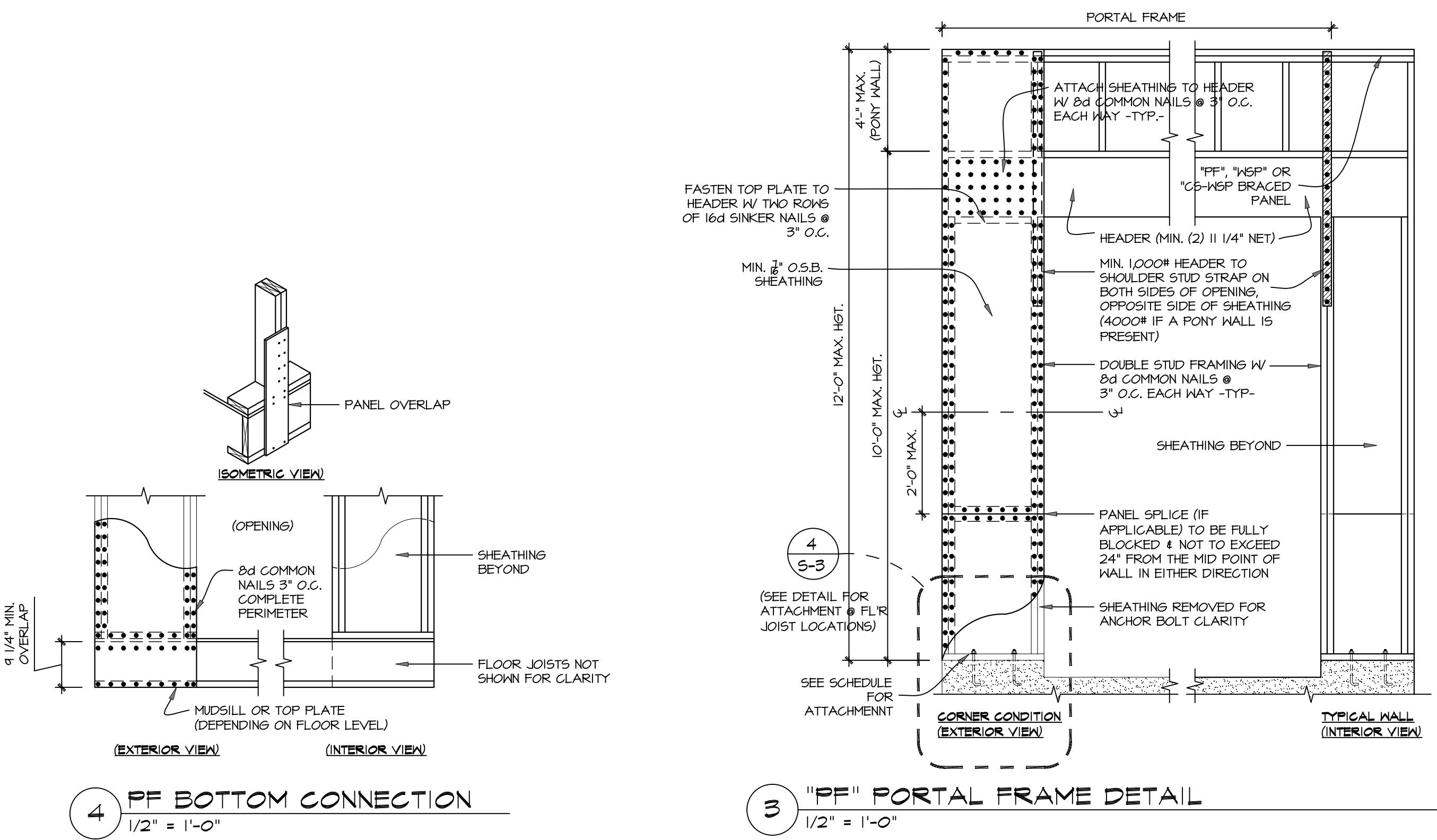
WIND LOAD: 20#/SQ. FT.

CONCRETE: 3,000 PSI

REINFORCED STEEL YIELD: 60,000 PSI.

**CRSI SPECIFICATIONS.**

COMPACTION OF ANY FILL REQUIRED UNDER FLOOR SHALL BE TO 95% MAXIMUM DENSITY AS DETERMINED BY MODIFIED PROCTOR TEST (ASTM 1557). THIRD PARTY TESTS SHALL BE REQUIRED TO BE FURNISHED TO DESIGNER TO INSURE THAT THE COMPACTION IS PER



| Revisions |            |                         |
|-----------|------------|-------------------------|
| No.       | Date       | Description             |
|           | 08-08-2025 | CONCEPT 1               |
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|           | 12-09-2025 | FOR STRUCTURAL ANALYSIS |
|           | 01-15-2026 | PERMIT PLANS            |

**VANDE BERG RESIDENCE**  
 RE-BUILD  
 3902 N 102ND ST  
 WAUWATOSA, WI 53222

Sheet No. **S-4**

Scale: 22x34 1/2" = 1'-0"  
 11x17 1/4" = 1'-0"

NOT TO SCALE



# Wauwatosa, WI

7725 W. North Avenue  
Wauwatosa, WI 53213

## Staff Report

---

**File #:** 25-2340

**Agenda Date:** 2/5/2026

**Agenda #:** 2.

---

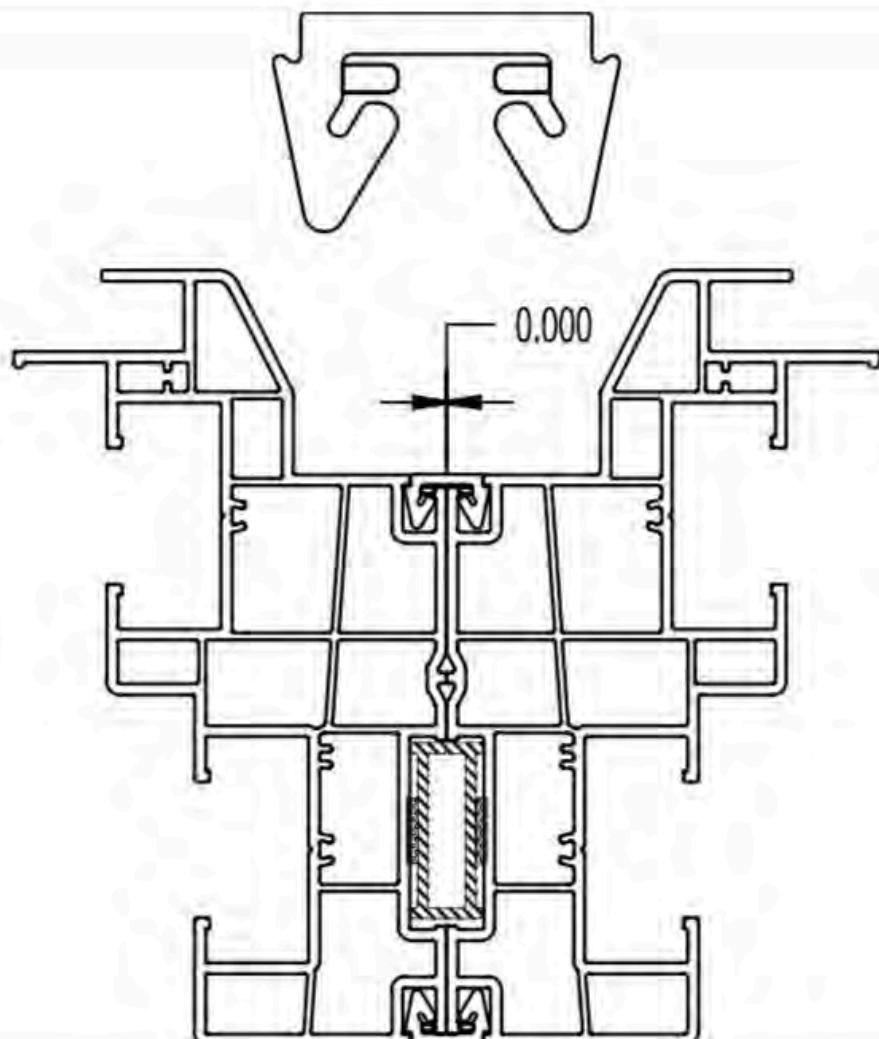
1615 Wauwatosa - Return to Board - St Matthews - Windows





## Joining Mullion

### 0° Mullion





# St. Matthew's Proposed Window Replacements 2026



# Exterior of St. Matthew's Church South Side





# Exterior of St. Matthew's Church South Side





# Exterior of South Side classrooms and offices





# Interior of South Side classrooms and offices



- We do not have air conditioning in this part of the building.
- The reason for changing from a casement to a hung window is that we had to create a makeshift set-up (pictured) to allow us to install temporary A/C units in each divider room
- The frames need to be drilled into the window frames to stay in place. The window sills are now deteriorated and are falling apart.

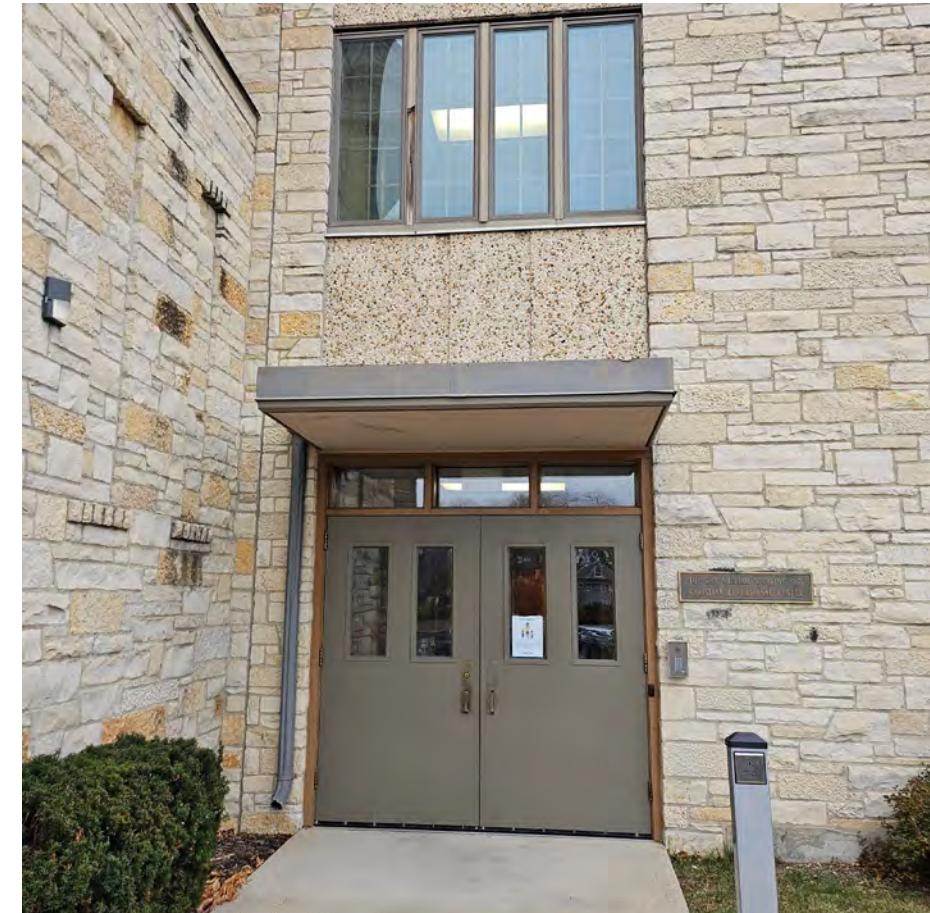


- This is another view of a different window *without* the wood piece above. The wood piece covers the entire window for two reasons.
- 1. The top portion is open to the elements and eliminates the positive effect of the air conditioning.
- 2. Safety feature to stop entry from the outside.



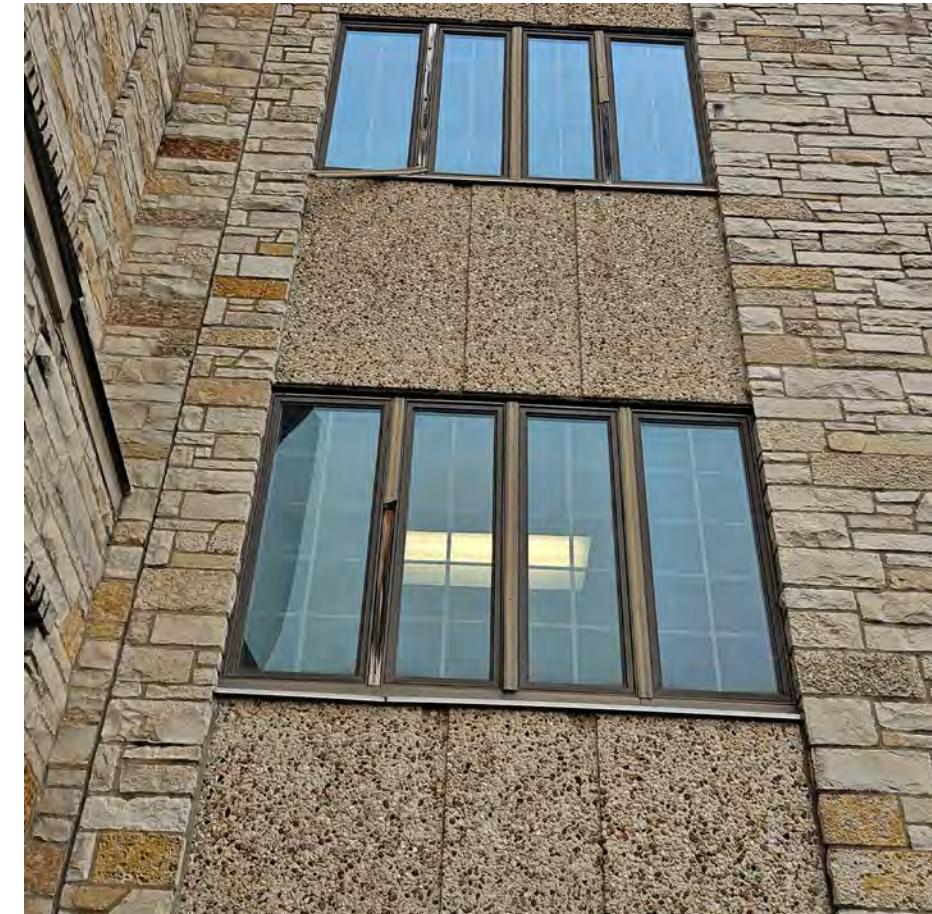
- By installing hung windows, we can bring hung windows down to the A/C openings while providing security inside the building.

# Exterior of St. Matthew's Church, South Side



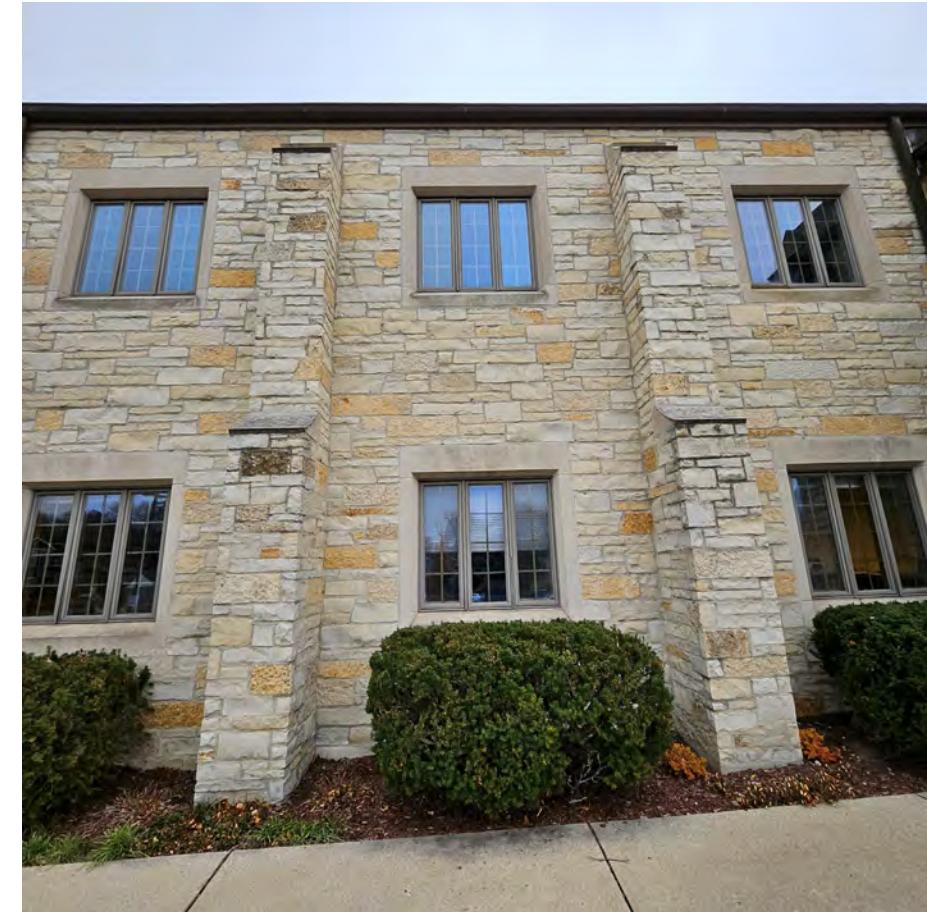


# SW Corner of Building from Parking Lot





# West Side of Church





# West Side of Church



# North Side of Church



# North Side of Church



# Parking lot view of adjacent middle school to the north.





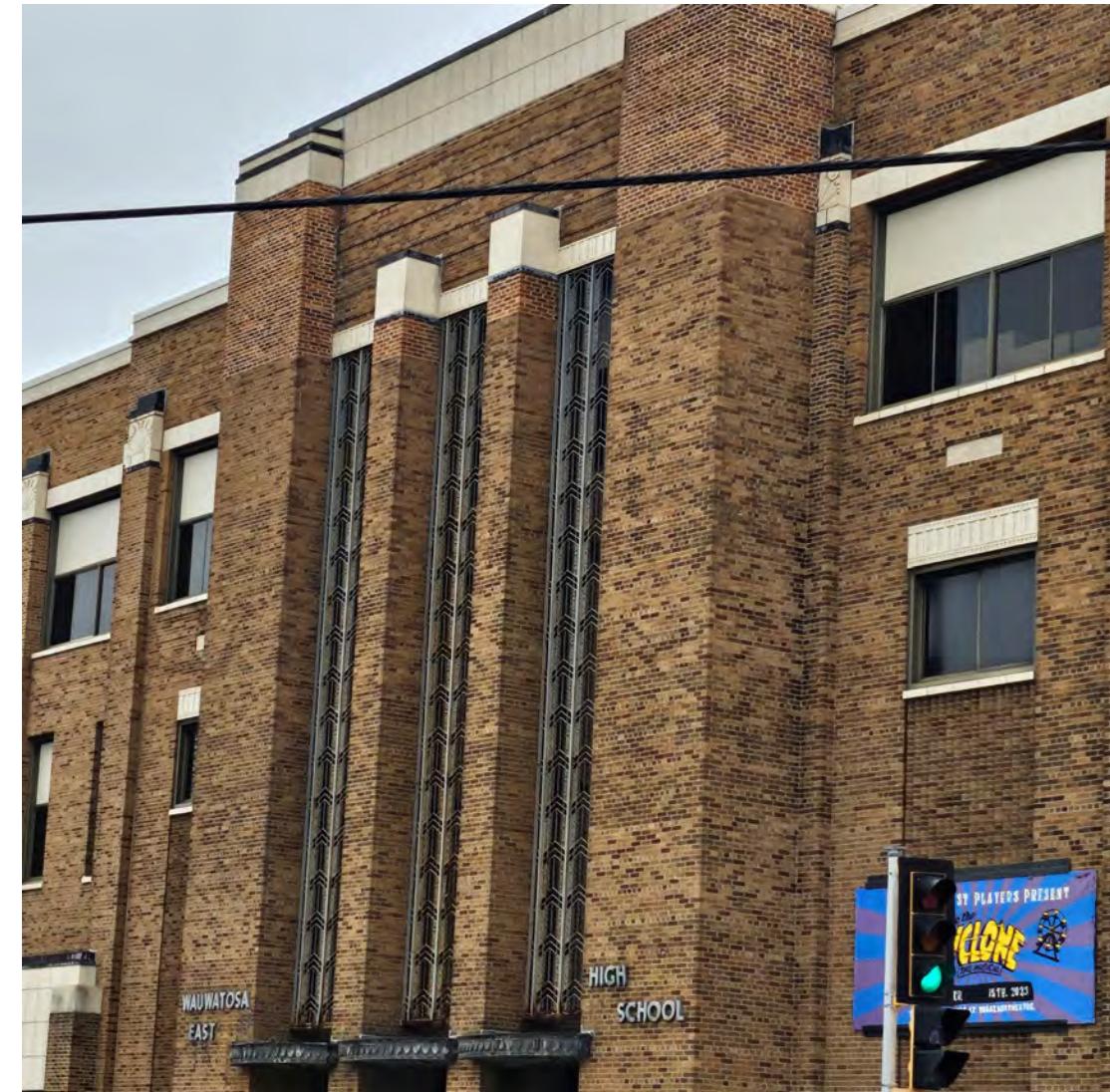
# Parking lot view of United Methodist to the south.



- This is a view of the windows facing the south side classrooms at St. Matthews.
- These are single-hung windows installed in 2004.



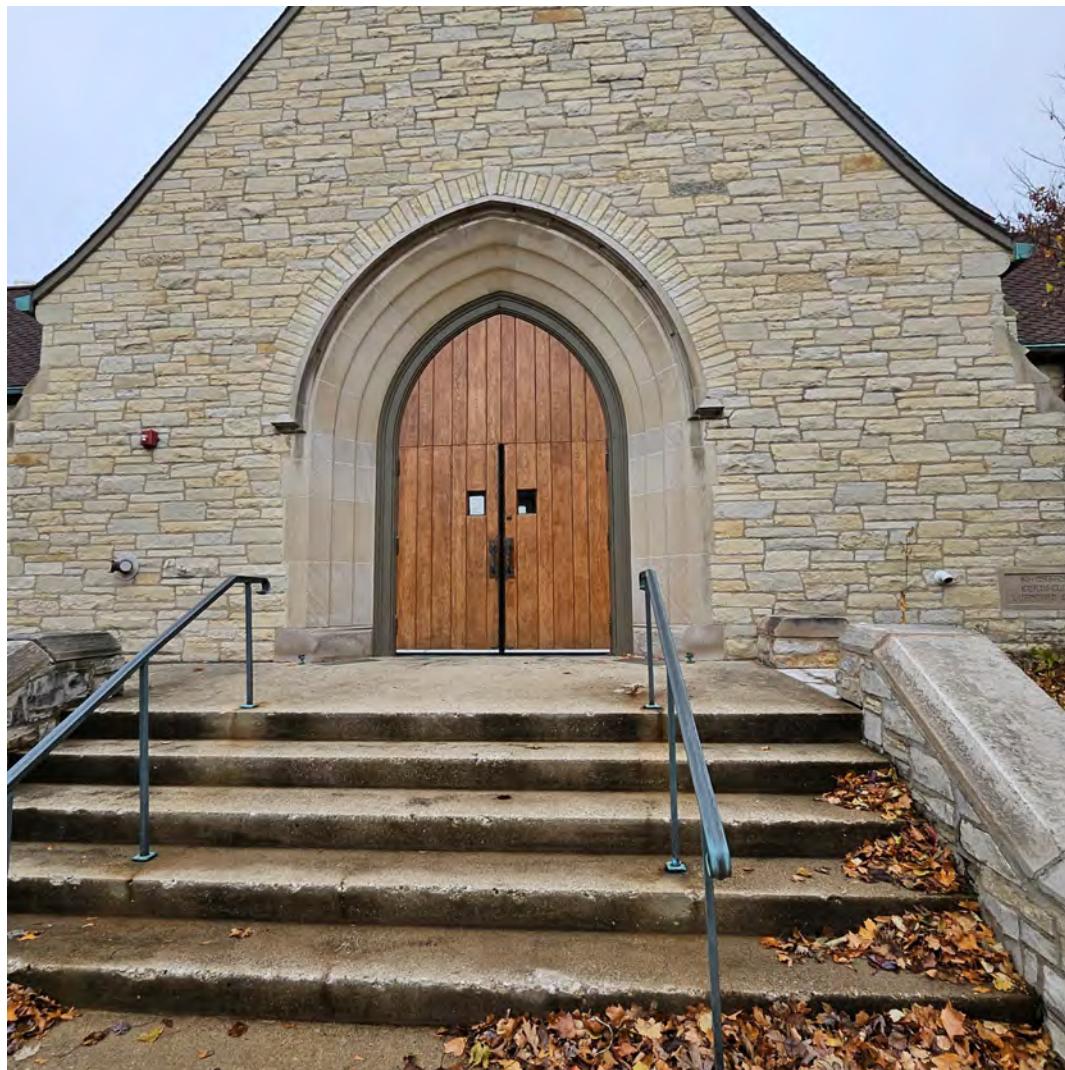
# Exterior of East High School NE Corner (Wauwatosa Ave)



# SE Corner & Across the Street (Wauwatosa AV)

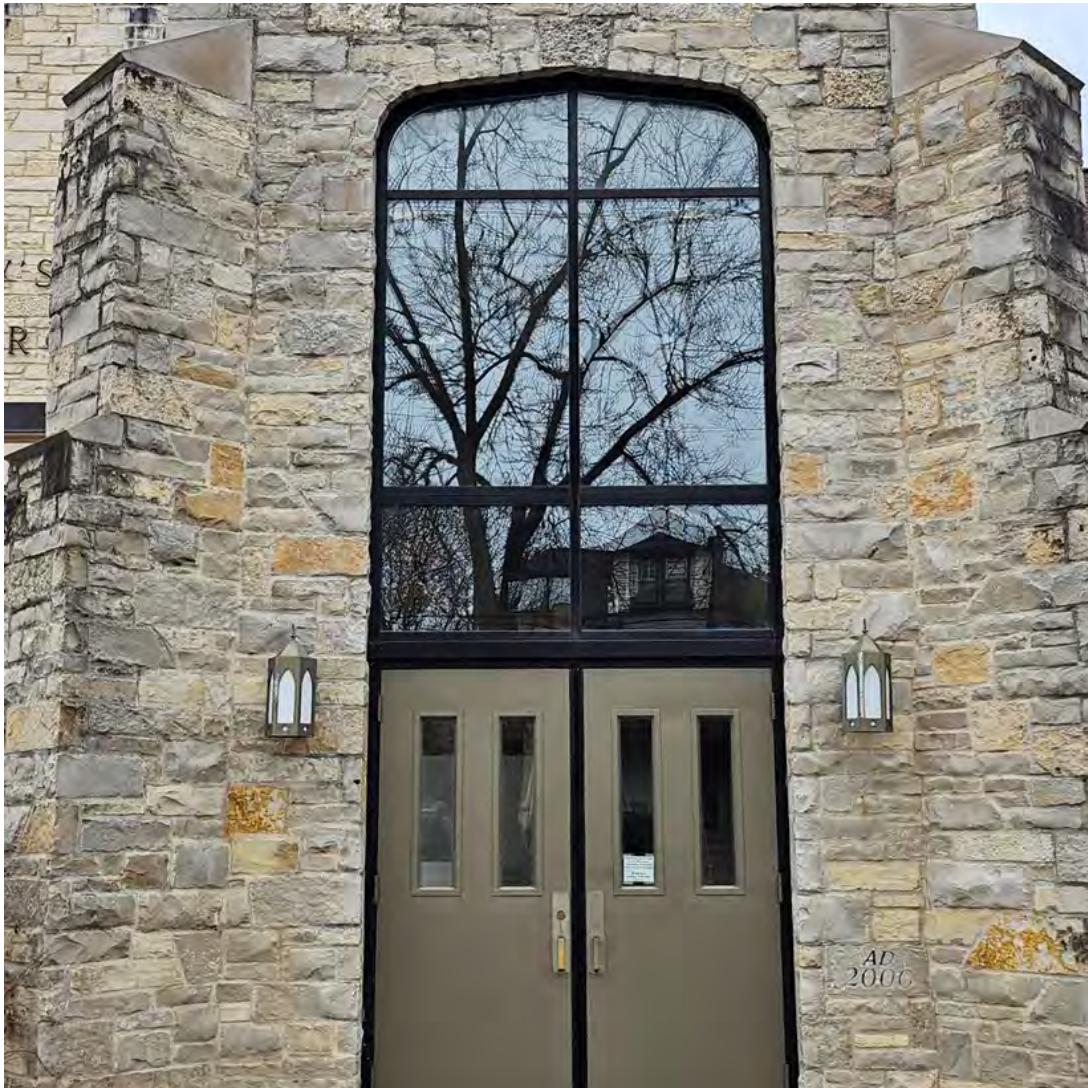


# Front View of Church (Wauwatosa AV)





# Front View of Church (Wauwatosa AV)





# Wauwatosa, WI

7725 W. North Avenue  
Wauwatosa, WI 53213

## Staff Report

---

**File #:** 26-0264

**Agenda Date:** 2/5/2026

**Agenda #:** 3.

---

6927 North Avenue - Lyss and Littles - Windows & Door



## FIRST FLOOR PLANS

11

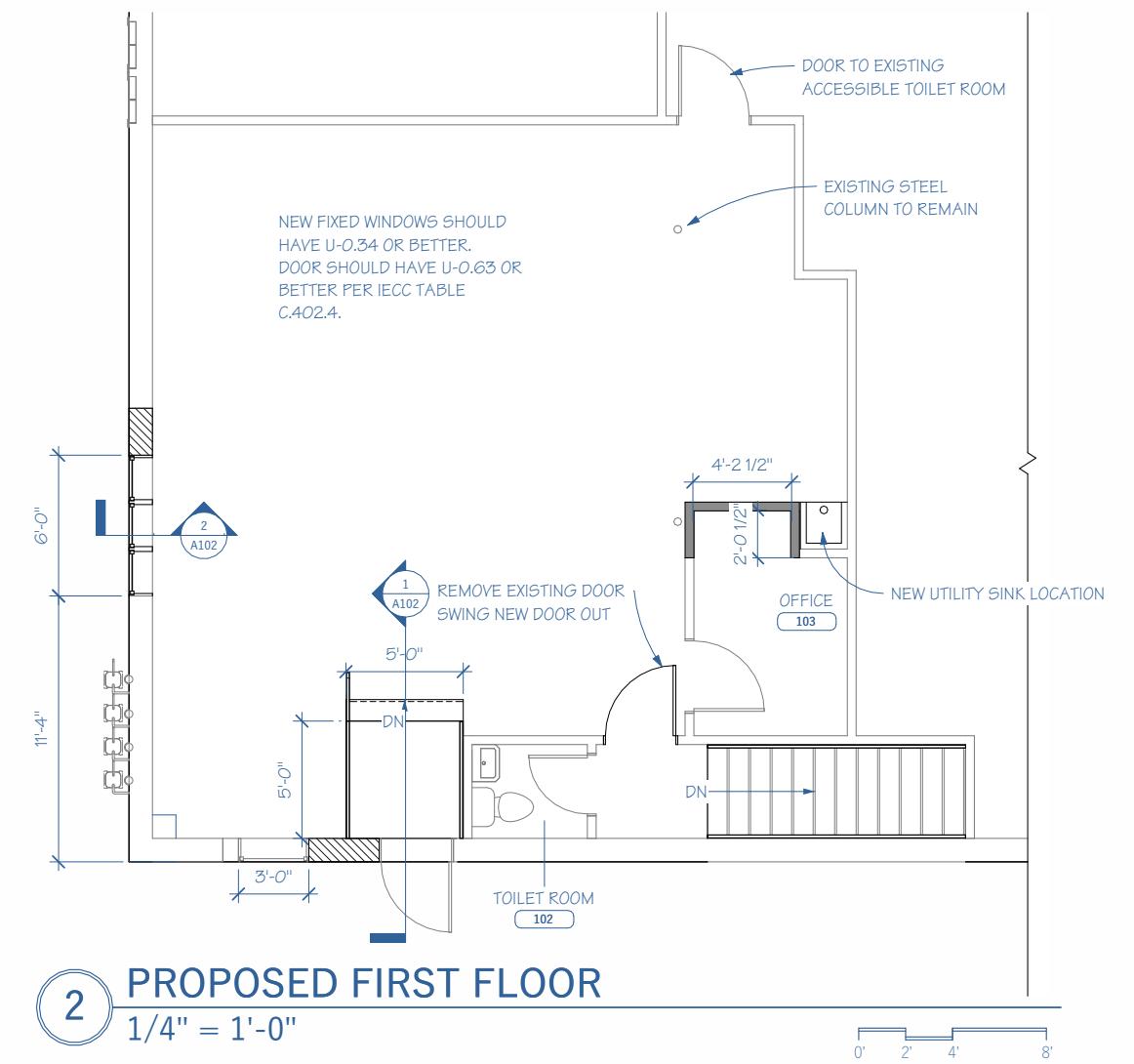
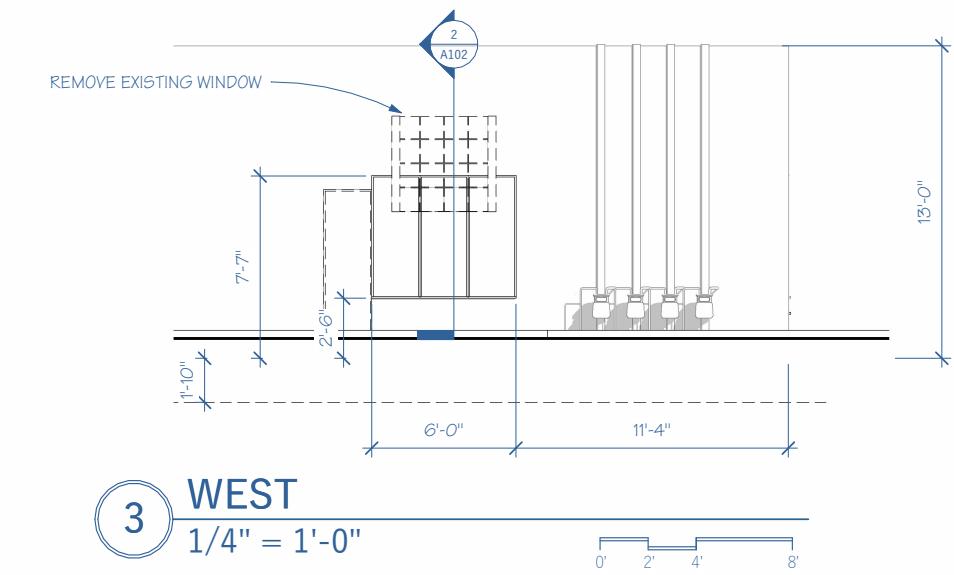
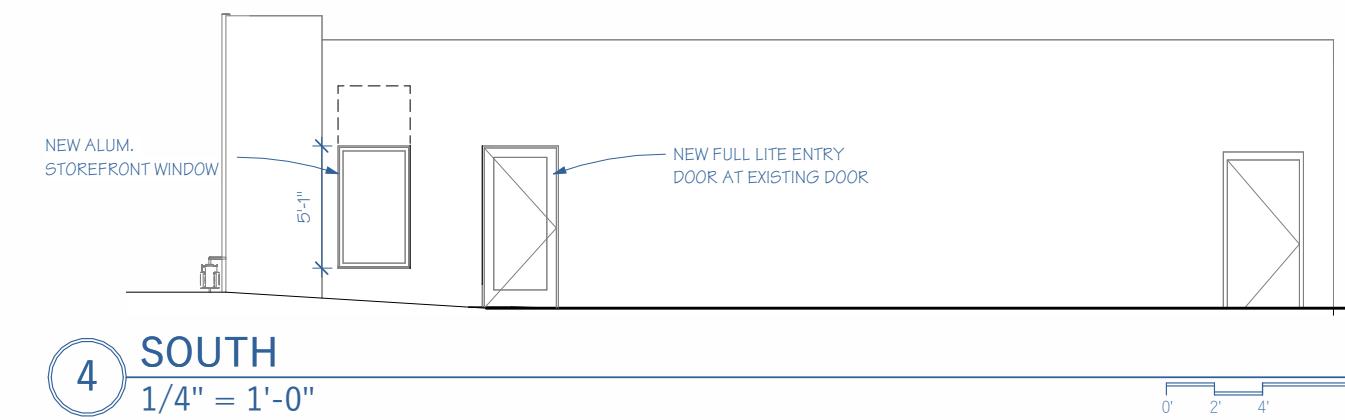
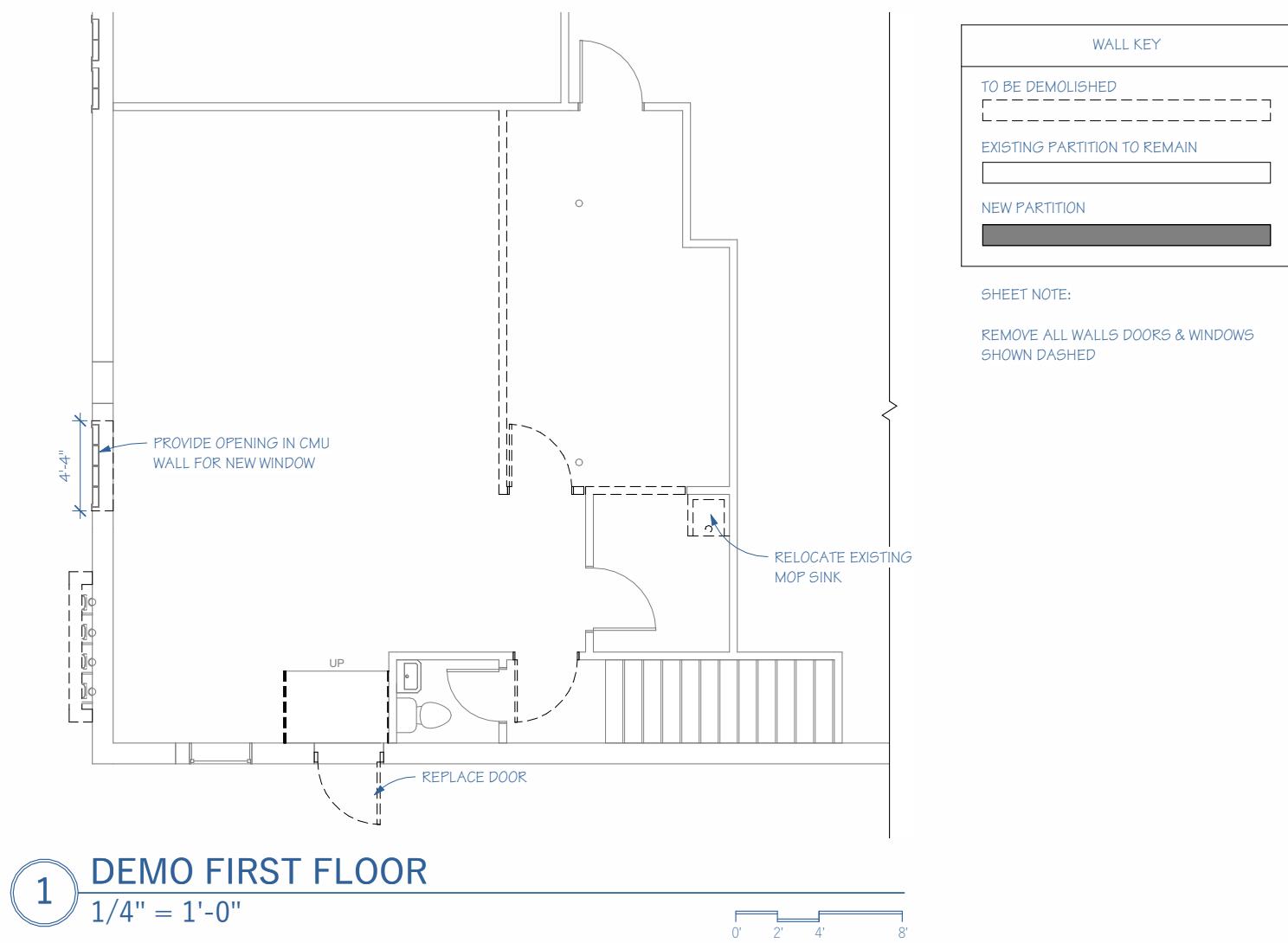
# PROPOSED PLANS FOR

**PROPOSED PLANS**  
*FOR*  
**Lyss & Littles**  
6927 W North Ave Wauwatosa, WI  
53213

| REVISIONS    |      |
|--------------|------|
| 12.22.25     | Date |
| Prelim. Plan | Date |
| Const. Docs  | Date |
| Approval     | Date |
| Revision 1   | Date |
| Revision 2   | Date |

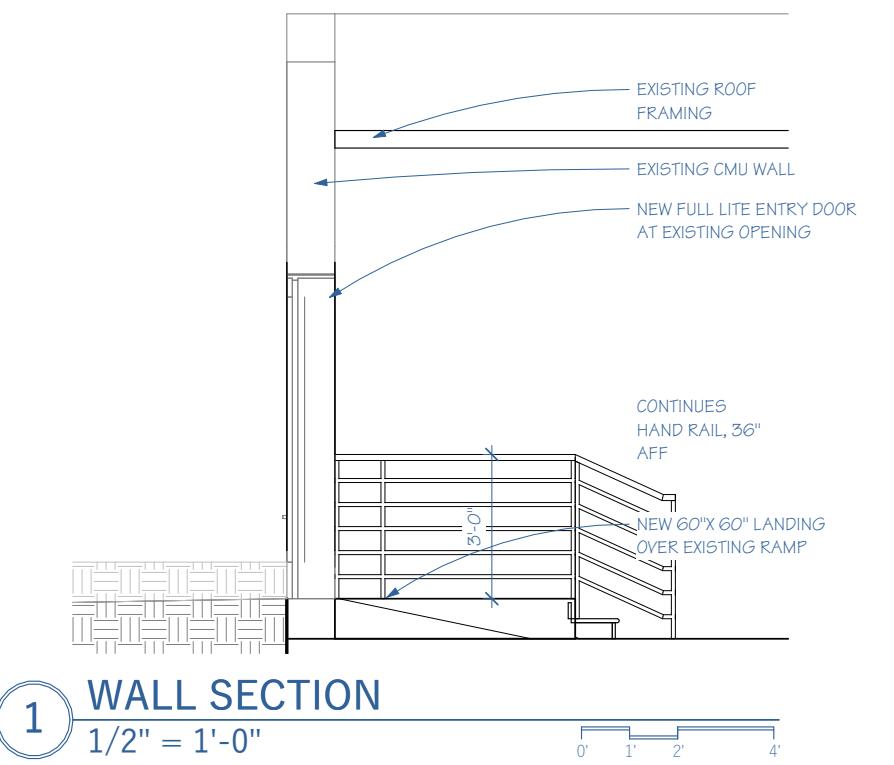
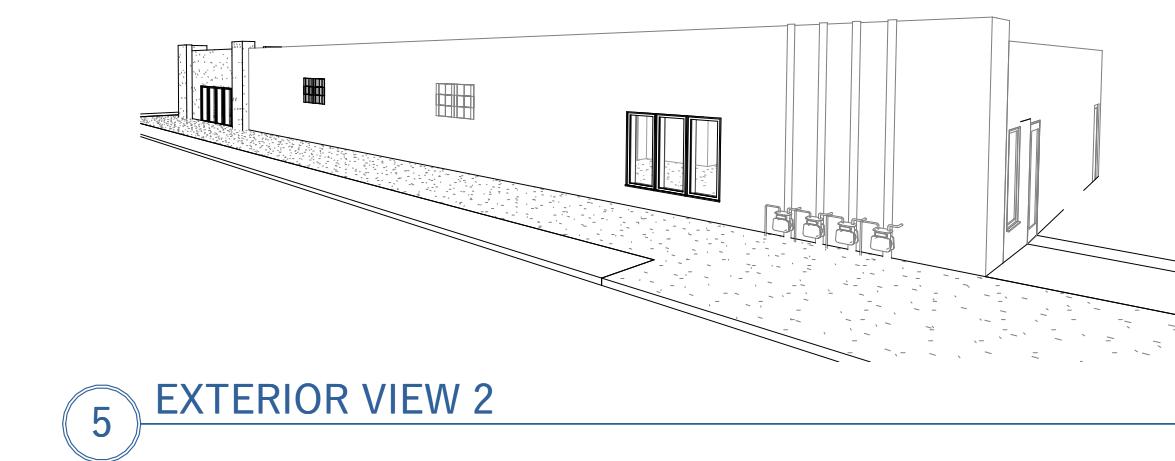
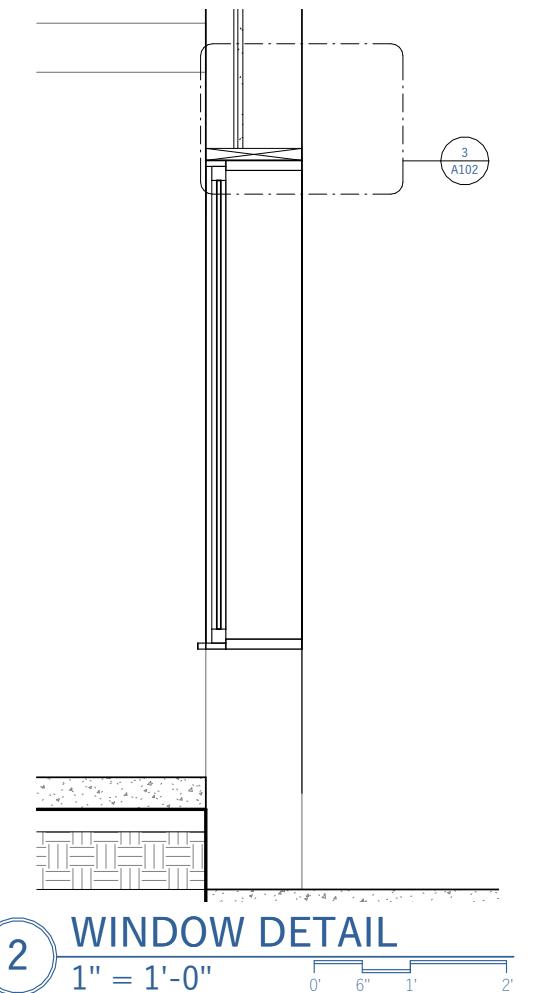
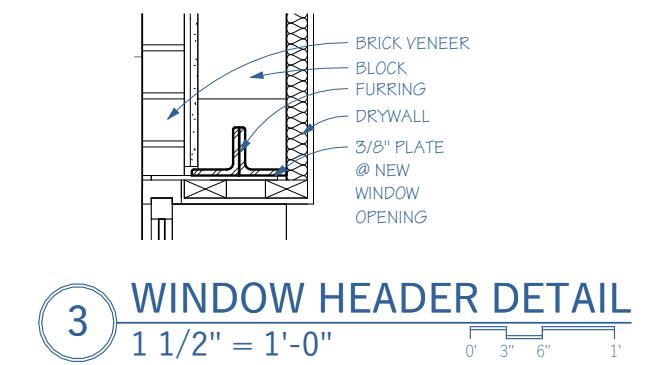
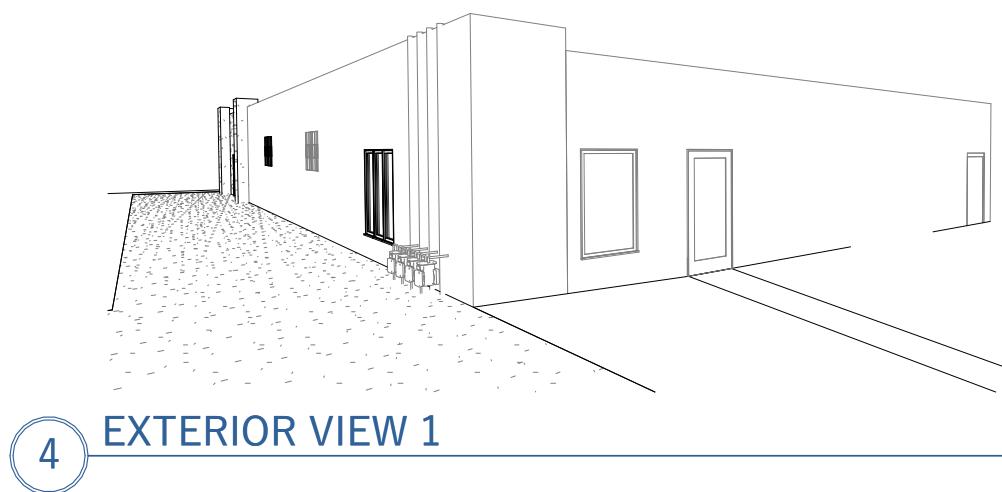
DATE  
12.22.25  
PROJECT NO.  
25105

A101



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ALL DRAWINGS ARE TO THE SCALE SHOWN ON THE SHEETS. THEY ARE INTENDED TO BE PRINTED ON 24x36" SHEETS. IF THEY ARE PRINTED ON A DIFFERENT SIZE SHEET THE SCALE NEEDS TO BE ADJUSTED ACCORDINGLY.



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# Wauwatosa, WI

7725 W. North Avenue  
Wauwatosa, WI 53213

## Staff Report

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**File #:** 26-0277

**Agenda Date:**

**Agenda #:** 4.

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999 N 92nd St - WI State Crime Lab / County Medical Examiner & Office of Emergency - Screening

WISCONSIN STATE CRIME LAB  
MILWAUKEE COUNTY MEDICAL EXAMINER OFFICE &  
OFFICE OF EMERGENCY MANAGEMENT FACILITY

HGA

WAUWATOSA DRB RE-SUBMISSION

May 4, 2023

# PROJECT VISION

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- The project represents extensive planning and shared support from Milwaukee County and the State of WI, to create a shared facility in support of forensic science advancement.
- The Project is a shared facility between the Milwaukee State Crime Lab, the County Medical Examiner and Milwaukee County Office of Emergency Management.
- The collaboration of these entities will welcome the greater community and will be an ecosystem of experts to support recruiting and education in the fields.
- The project location is idea for our unified vision for inter-division collaboration, proximity to the region's resources and ease of access, and for synergies with the MRCM.

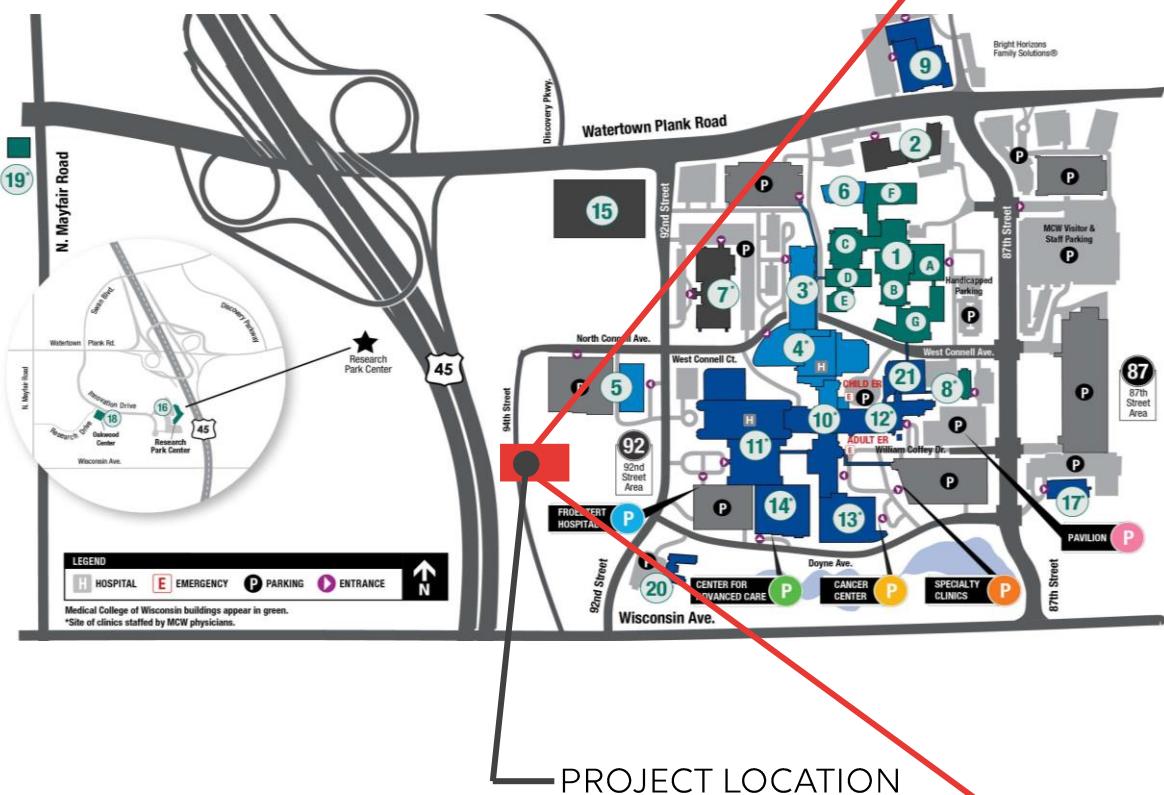
# PROJECT DESCRIPTION OVERVIEW

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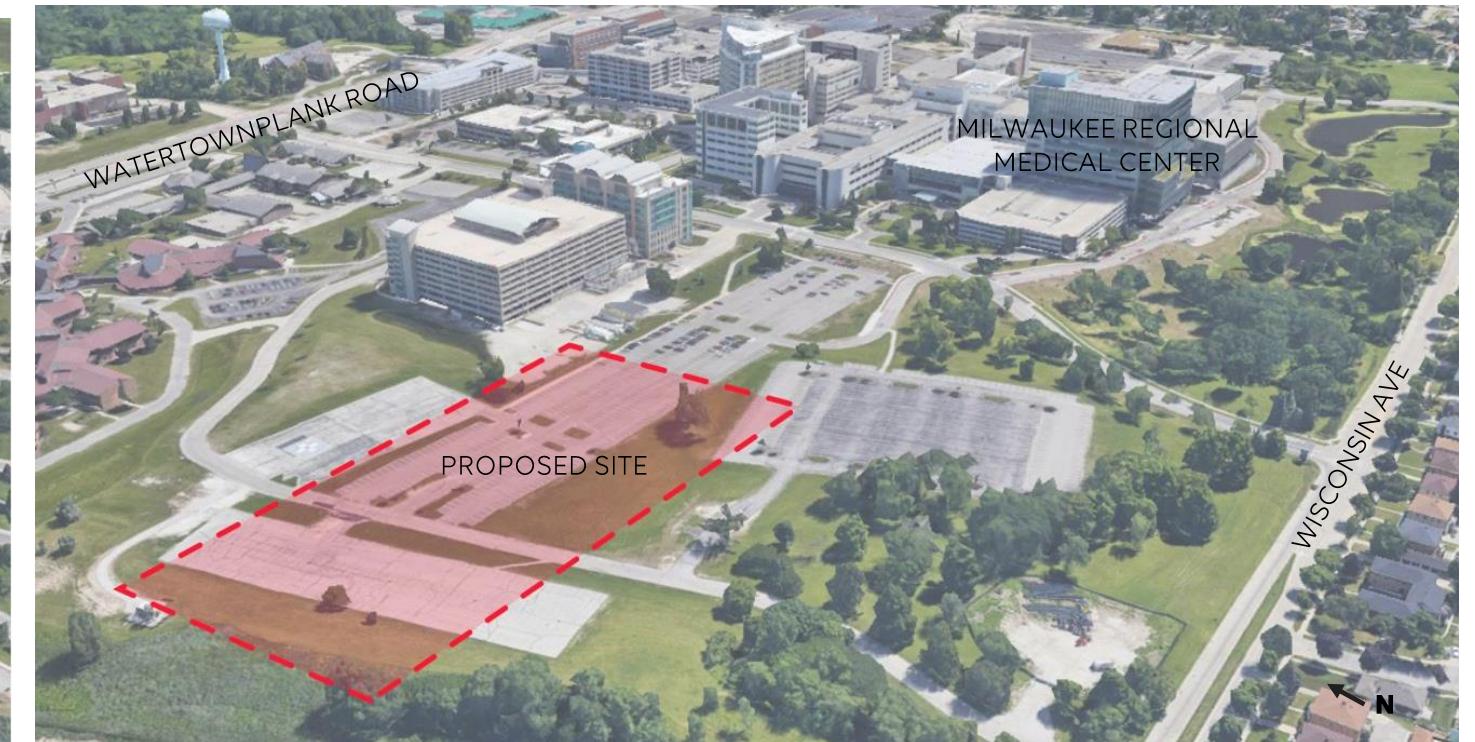
- Project Scope:
  - ~220,000 GSF with 3 floors above grade, a mechanical penthouse and a lower level service yard.
  - Spaces include offices, laboratories, support spaces, a shared lobby and a Training Facility.
  - A three story parking structure on the same parcel, accommodating visitors and secured parking for staff
- The site has been designed to accommodate multiple security requirements based on the needs of the various users in the building, while presenting a similar land use pattern as the other structures on the MRCM.

# SITE LOCATION AND CONTEXT

MCW CAMPUS MAP



# SITE LOCATION AND CONTEXT



# PHOTOGRAPHS OF AREA



Looking East at site on 94th



Looking East at site on 94th



Looking Northeast at site on 94th



Looking Northeast at site on 94th

# PHOTOGRAPHS OF AREA



Looking South at site on 94th



Looking Southwest at site on 94th

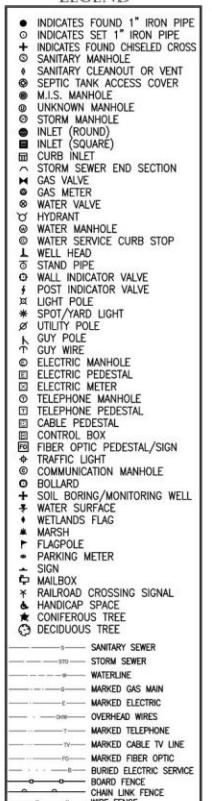
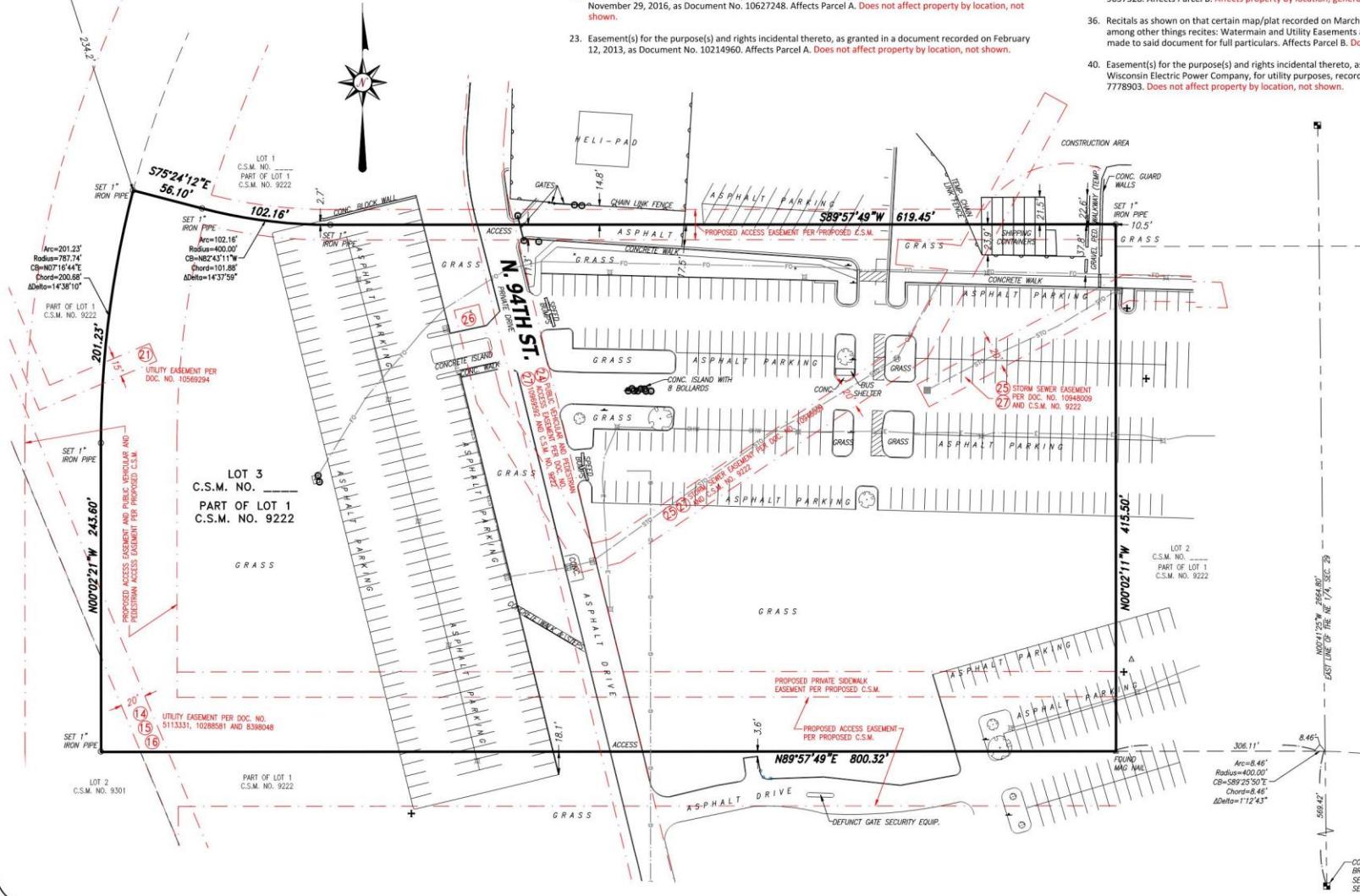
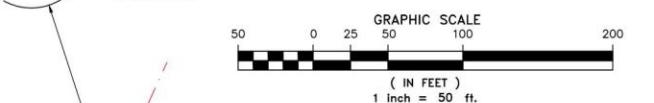


Looking Southwest at site on 94th

# SURVEY

**TITLE COMMITMENT**  
 This survey was prepared based on Chicago Title Insurance Company Commitment No. CO-13063, effective date of July 29, 2022 which lists the following easements and/or restrictions from schedule B-II:

- 1, 6, 7, 8 & 10 visible evidence shown, if any.
- 2, 3, 4, 5, 9, 30, 31 & 62 not survey related.
- 37-39, 41-61 & 63 intentionally deleted.
11. Easements, if any, of the public or any school district, utility, municipality or person, as provided in Section 66.1005(2) of the Statutes, for the continued use and right of entrance, maintenance, construction and repair of underground or overground structures, improvements or service in that portion of the subject premises which were formerly a part of Potter Road now vacated. **Does not affect property by location, not shown.**
12. Easement(s) for the purpose(s) and rights incidental thereto, as granted in a document recorded on May 2, 1957, as Document No. 3575475. Partial Release of Easement recorded October 12, 1978 as Document No. 5259465. Conveyance of Rights in Land recorded September 10, 2013 as Document No. 10291953. Notice of Assignment of County Rights recorded April 15, 2020 as Document No. 10969343. Affects Parcel A. **Affects property by location, general in nature cannot be plotted.**
13. Easement(s) for the purpose(s) and rights incidental thereto, as granted in a document recorded on July 29, 1971, as Document No. 4610350. Affects Parcel A. **Does not affect property by location, not shown.**
14. Easement(s) for the purpose(s) and rights incidental thereto, as granted in a document recorded on June 22, 1977, as Document No. 5113331. **Affects property by location, shown.** Quit Claim Deed by Utility recorded August 29, 2013 as Document No. 10288585. **Does not affect property by location, not shown.** Affects Parcel A.
15. Covenants, conditions, restrictions and easements set forth in Easement Agreement recorded December 3, 1996 as Document No. 7298264, amended by Partial Release of Easement recorded November 7, 2006 as Document No. 9335428. **Does not affect property by location, not shown.** Conveyance of Rights in Land recorded August 29, 2013 as Document No. 10288581, **Affects property by location, shown.** Quit Claim Deed by Utility recorded August 29, 2013 as Document No. 10288584, and Partial Release of Easement recorded September 18, 2013 as Document No. 1090810. **Does not affect property by location, not shown.** Notice of Assignment of County Rights recorded April 15, 2020 as Document No. 10969341. **Does not affect property by location, not shown.** and as modified by Release of portion of Steam and Chilled Water Easements recorded April 15, 2020 as Document No. 10969338. Affects Parcel A. **Does not affect property by location, not shown.**
16. Easement(s) for the purpose(s) and rights incidental thereto, as granted in a document recorded on November 29, 2002, as Document No. 8398048. **Affects property by location, shown.** Conveyance of Rights in Land recorded August 29, 2013 as Document No. 10288581. **Affects property by location, shown.** Quit Claim Deed by Utility recorded August 29, 2013 as Document No. 10288585. Affects Parcel A. **Does not affect property by location, not shown.**
17. Tunnel Easement Agreement recorded July 14, 2004 as Document No. 8821827. Affects Parcel A 18. Tunnel Easement Agreement recorded July 14, 2004 as Document No. 8821828. Affects Parcel A. **Does not affect property by location, not shown.**
18. Tunnel Easement Agreement recorded July 14, 2004 as Document No. 8821828. Affects Parcel A. **Does not affect property by location, not shown.**
19. Easement(s) for the purpose(s) and rights incidental thereto, as granted in a document recorded on April 6, 2005, as Document No. 8987389. Affidavit of Correction recorded August 2, 2005 as Document No. 9061102. Affidavit of Correction recorded August 1, 2012 as Document No. 10144525. Affects Parcel A. **Does not affect property by location, not shown.**
20. Easement(s) for the purpose(s) and rights incidental thereto, as granted in a document recorded on October 14, 2014, as Document No. 10403420. Affects Parcel A. **Does not affect property by location, not shown.**
21. Easement(s) for the purpose(s) and rights incidental thereto, as granted in a document recorded on June 1, 2016, as Document No. 10569294. Affects Parcel A. **Affects property by location, shown.**
22. Easement(s) for the purpose(s) and rights incidental thereto, as granted in a document recorded on November 29, 2016, as Document No. 10627248. Affects Parcel A. **Does not affect property by location, not shown.**
23. Easement(s) for the purpose(s) and rights incidental thereto, as granted in a document recorded on February 12, 2013, as Document No. 10214960. Affects Parcel A. **Does not affect property by location, not shown.**



# ALTA/NSPS LAND TITLE SURVEY

**CLIENT**  
 CD Smith Construction

**SITE ADDRESS**  
 N. 92nd Street, City of Wauwatosa, Milwaukee County, Wisconsin.

**LEGAL DESCRIPTION**

**PARCEL A:**  
 Lot 1 of Certified Survey Map No. 9222, recorded March 19, 2020 as Document No. 10961735, being that part of the Northwest 1/4, Northeast 1/4, Southwest 1/4 and the Southeast 1/4 of the Northeast 1/4 of Section 29 and the Northwest 1/4 and Southwest 1/4 of the Northeast 1/4 of Section 28, Township 7 North, Range 21 East, in the City of Wauwatosa and City of Milwaukee in Milwaukee County, State of Wisconsin. Tax Key No. 380-1001-00 Address: 995 N. 92nd Street

**PARCEL B:**  
 Lot 2 of Certified Survey Map No. 9301 recorded on March 12, 2021 as Document No. 11089798, in that part of the Southwest 1/4 and Southeast 1/4 of the Northeast 1/4 of Section 29, Town 7 North, Range 21 East, in the City of Wauwatosa, Milwaukee County, State of Wisconsin.

**LEGAL DESCRIPTION TO BE KNOWN AS:**  
 Lot 3 of Certified Survey Map No. recorded on 2022, as Document No. being a revision of Certified Survey Maps numbered 9222, 9227, and Lot 2 of 9301 in the Northeast 1/4, Northwest 1/4, Southeast 1/4, and Southwest 1/4 of the Northwest 1/4 of Section 28, and Northeast 1/4, Southeast 1/4, and Southwest 1/4 of the Northeast 1/4 of Section 29, all in Township 7 North, Range 21 East, in the City of Wauwatosa, Milwaukee County, Wisconsin.

**BASIS OF BEARINGS**  
 Bearings are referenced to Certified Survey Map 9222, in which the South line of the NE 1/4 bears N89°55'54"E.

**TABLE "A"**

3. According to the flood insurance rate map of the County of Milwaukee, Community Panel No.5507900007E, effective date of September 26, 2008, this site falls in Zone X (Areas determined to be outside the 0.2% annual chance floodplain).

4. The Land Area of the subject property is 333,069 square feet or 7.6462 acres.

9. There are 450 regular parking spaces and 0 handicap space marked on this site.

11(b). Evidence of underground utilities existing on or serving the surveyed property as determined by markings requested by the surveyor pursuant to a Diggers Hotline One-call center utility locate. Ticket Number 2023092320 and 20230302322. However, lacking excavation, the exact location of underground features cannot be accurately, completely, and reliably depicted. Client understands only utility lines with imbedded electric tracer wires or utilities made of materials capable of electric connectivity can be marked at the surface and located. Depth of utilities may prohibit their location even with electric connectivity.



**NOTE:**  
 SITE WAS SNOW COVERED AT THE TIME OF SURVEY

**TO:** CHILDRENS HOSPITAL OF WISCONSIN, INC., a Wisconsin non-stock corporation  
 MRMIC Land Bank, LLC, a Wisconsin limited liability company  
 Chicago Title Insurance Company

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1, 2, 3, 4, 5, 6, 7(a), 7(b)(1), 7(c), 8, 9, 11(b) and 19 of Table A thereof. The field work was completed on February 2, 2023.

Date of Map: February 8, 2023

**DONALD C. CHAPUT**  
 5-1316  
 MILWAUKEE  
 WI  
 LAND SURVEYOR  
 Donald C. Chaput  
 Professional Land Surveyor  
 Registration Number S-1316

|      |                      |
|------|----------------------|
| Date | Revision description |
|------|----------------------|

This document is an instrument of professional service, and may be protected by surveyor work product defense or surveyor client privilege. The information shown herein is intended solely for the use of the client and cleared third parties.

Drawing No. 4367-LPM/MEM

# SITE PLAN

## GENERAL NOTES:

SITE ADDRESS: 995 N. 92ND STREET  
TAX KEY NO. 380-1001-00  
1. REFER TO SHEET C010 EXISTING CONDITIONS FOR INFORMATION ON COORDINATES, SURVEY CONTROL, AND PROPERTY INFORMATION.  
2. ALL CURB RADII AND DIMENSIONS ARE MEASURED TO THE FACE OF CURB, EDGE OF PAVEMENT, FACE OF BUILDING OR PROJECT LIMIT WORK, UNLESS STATED OTHERWISE.  
3. CONTRACTOR TO ENSURE THAT ALL EXTERIOR CONCRETE SLABS ARE BROOM FINISHED.  
4. REFER TO LANDSCAPE PLANS FOR RESTORATION DETAILS IN LANDSCAPE AREAS.  
5. REFER TO GRADING PLAN FOR FINAL SURFACE GRADES.  
6. THE UNDERGROUND UTILITY INFORMATION AS SHOWN HEREON IS BASED, IN PART, UPON INFORMATION FURNISHED BY THE UTILITY COMPANIES, LOCAL MUNICIPALITIES, AND CHAPUT LAND SURVEYS. WHILE THIS INFORMATION IS BELIEVED TO BE RELIABLE, ITS ACCURACY AND COMPLETENESS CANNOT BE GUARANTEED NOR CERTIFIED TO.

## PLAN NOTES:

1. 5" CONCRETE SIDEWALK, SEE DETAIL 1, SHEET C500.  
2. PAVEMENT MARKINGS, SEE DETAILS 2, C500.  
3. HMA PAVEMENT, SEE DETAIL 3, SHEET C500.  
4. 30-INCH CONCRETE CURB AND GUTTER, SEE DETAIL 4, SHEET C500.  
5. REINFORCED CONCRETE SLAB, SEE DETAIL 5, SHEET C500.  
6. LANDSCAPE BLOCK STONE, SEE LANDSCAPE PLANS FOR DETAILS.  
7. TYPE-7A (MODIFIED) AMERICANS WITH DISABILITIES ACT (ADA) HANDICAP CURB RAMP, SEE DETAIL 6, SHEET C500.  
8. TYPE-3 AMERICANS WITH DISABILITIES ACT (ADA) HANDICAP CURB RAMP, SEE DETAIL 7, SHEET C500.  
9. TRUNCATED DOME AND DETECTABLE WARNING SURFACE, TYP.  
10. SIGN & TUBULAR STEEL POST, SEE DETAIL 8, SHEET C500. OWNER TO PROVIDE FINAL SIGNS & TUBULAR STEEL POSTS.  
11. FENCE, SEE ARCHITECTURAL PLANS FOR DETAILS.  
12. SECURED DUAL CANTILEVER GATES, SEE DETAIL 4, SHEET C501.  
13. 30" CONCRETE VALLEY CURB AND GUTTER, SEE DETAIL 4, SHEET C501.  
14. CONCRETE WHEEL STOP, SEE DETAIL 1, SHEET 501.  
15. CONCRETE RETAINING WALL.  
16. CAST-IN-PLACE CONCRETE RETAINING WALL, SEE ARCHITECTURAL PLANS FOR DETAILS.

17. ELECTRONIC GATE ENTRY CONTROL, SEE ELECTRICAL PLANS FOR DETAILS.  
18. RETRACTABLE BOLLARDS, SEE DETAIL 5, SHEET C501.  
19. RAISED REINFORCED CONCRETE SLAB, SEE DETAIL 2, SHEET C501.  
20. CURB CUT, SEE DETAIL 8, SHEET C502.  
21. RETRACTABLE VEHICLE BARRIER, SEE DETAIL 3, SHEET C501.  
22. SNOW STORAGE AREA.  
23. HMA PAVEMENT (UTILITY YARD), SEE DETAIL 9, SHEET 500.  
24. SCREENED FENCING, SEE ARCHITECTURAL PLANS FOR DETAILS.  
25. 6" CONCRETE SIDEWALK, SEE DETAIL 1, SHEET C500.  
26. GARBAGE DUMPSTER LOCATION.  
27. SHORT TERM BIKE PARKING LOCATION, SEE LANDSCAPING PLAN FOR DETAILS.

## SITE DATA:

TOTAL AREA OF DISTURBANCE = 254,320 S.F. = 5.84 ACRES  
PROPOSED IMPERVIOUS AREA WITHIN DISTURBANCE AREA = 173,026 S.F. = 3.97 ACRES  
EXISTING IMPERVIOUS AREA WITHIN DISTURBANCE AREA = 131,214 S.F. = 3.01 ACRES  
INCREASE IN IMPERVIOUS PROPOSED = 41,812 S.F. = 0.96 ACRES  
EXISTING OPEN SPACE WITHIN DISTURBANCE AREA = 123,106 S.F. = 2.83 ACRES = 48.4%  
PROPOSED OPEN SPACE WITHIN DISTURBANCE AREA = 81,294 S.F. = 1.87 ACRES = 32.0%

BUILDING FOOTPRINT LOWER LEVEL: 41,135 SF  
BUILDING FOOTPRINT LEVEL 1: 50,717 SF  
BUILDING FOOTPRINT LEVEL 2: 49,747 SF  
BUILDING FOOTPRINT LEVEL 3: 49,762 SF  
BUILDING FOOTPRINT LEVEL 4: 25,789 SF  
BUILDING FOOTPRINT TOTAL AREA: 217,150 SF

PROPOSED VISITOR PARKING: 91 SPACES  
STATE: 60 SPACES  
COUNTY: 31 SPACES

PROPOSED SECURED STAFF PARKING: 255 SPACES  
STATE: 145 SPACES  
COUNTY: 110 SPACES

PROPOSED REAR SERVICE YARD: 18 SPACES  
STATE: 10 SPACES  
COUNTY: 8 SPACES

ADA PARKING STALLS AND VAN ACCESSIBLE STALLS: SEE PARKING STRUCTURE PLANS

| LEGEND                                       |
|--|
| PROPOSED CONCRETE PAVEMENT/SIDEWALK          |
| LANDSCAPING, SEE LANDSCAPE PLANS FOR DETAILS |
| PROPOSED HMA PAVEMENT                        |
| DISTURBANCE LIMITS                           |
| PROPERTY LINE                                |
| ACCEPT CURB & GUTTER                         |
| REJECT CURB & GUTTER                         |
| VALLEY CURB & GUTTER                         |
| RETRACTABLE VEHICLE BARRIER SURFACE          |
| PROPOSED GRAVEL SURFACE                      |

| SIGN KEY:          |       |           |
|--------------------|-------|-----------|
| ① STOP             | RI-1  | 30" X 30" |
| ②                  | RI-6  | 12"X36"   |
| ③ RESERVED PARKING | R7-8A | 12"X18"   |

HGA

333 East Erie Street  
Milwaukee, Wisconsin 53202  
Telephone 414.278.8200

CD SMITH

Consultant

crime  
lab  
design

KSingh  
Engineers  
Scientists  
Consultants

new eden  
LANDSCAPE ARCHITECTURE

NOT FOR  
CONSTRUCTION

KEYPLAN

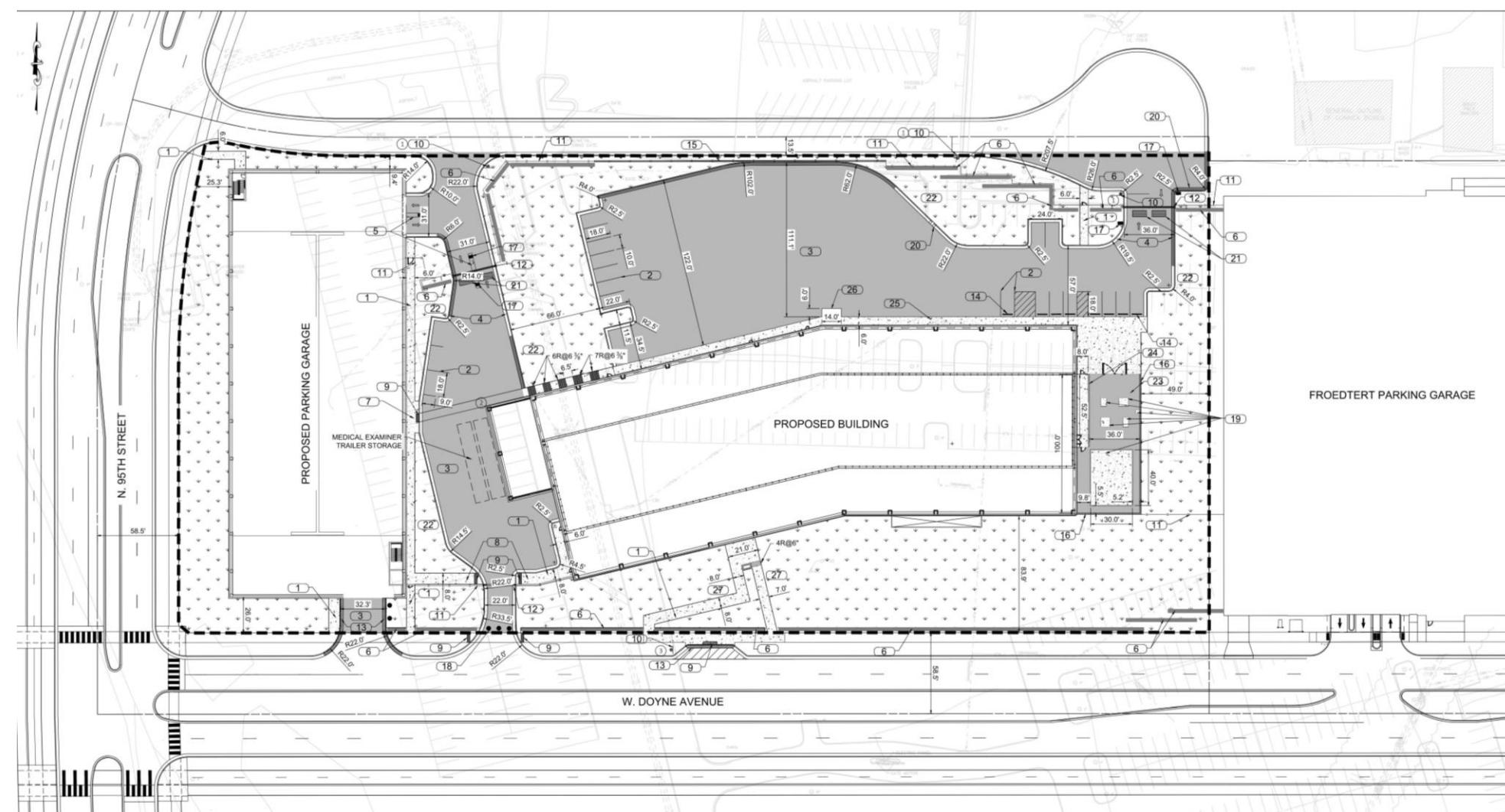
Milwaukee County  
Department of  
Administrative Services

State of Wisconsin  
Department of Administration  
Division of Facilities Development

PROJECT TITLE: CFSPI WI STATE CRIME LAB  
SITE ADDRESS: 995 N. 92ND STREET,  
WAUWATOSA, WI.  
TAX KEY NO. 380-1001-00  
SITE PLAN

| Revisions: | No. | Date | Description |
|------------|-----|------|-------------|
|            |     |      |             |
|            |     |      |             |
|            |     |      |             |
|            |     |      |             |

Graphic Scale: 0' 10' 20'  
DRAFTS Number: 22H1M  
Type: WAUWATOSA  
Date Issued: 4/25/2023  
Sheet Number: C200



# LANDSCAPE SITE PLAN

## PERIMETER FENCING - PRIVACY FOR VIEWSHED TO DECEDANT / EVIDENCE / EMERGENCY / SERVICE YARDS



CANTILEVERED GATE

HDP PRIVACY SCRIM

## VEHICLE BARRIER ELEMENTS



WEDGE VEHICLE BARRIER

LIMESTONE SITE EDGE

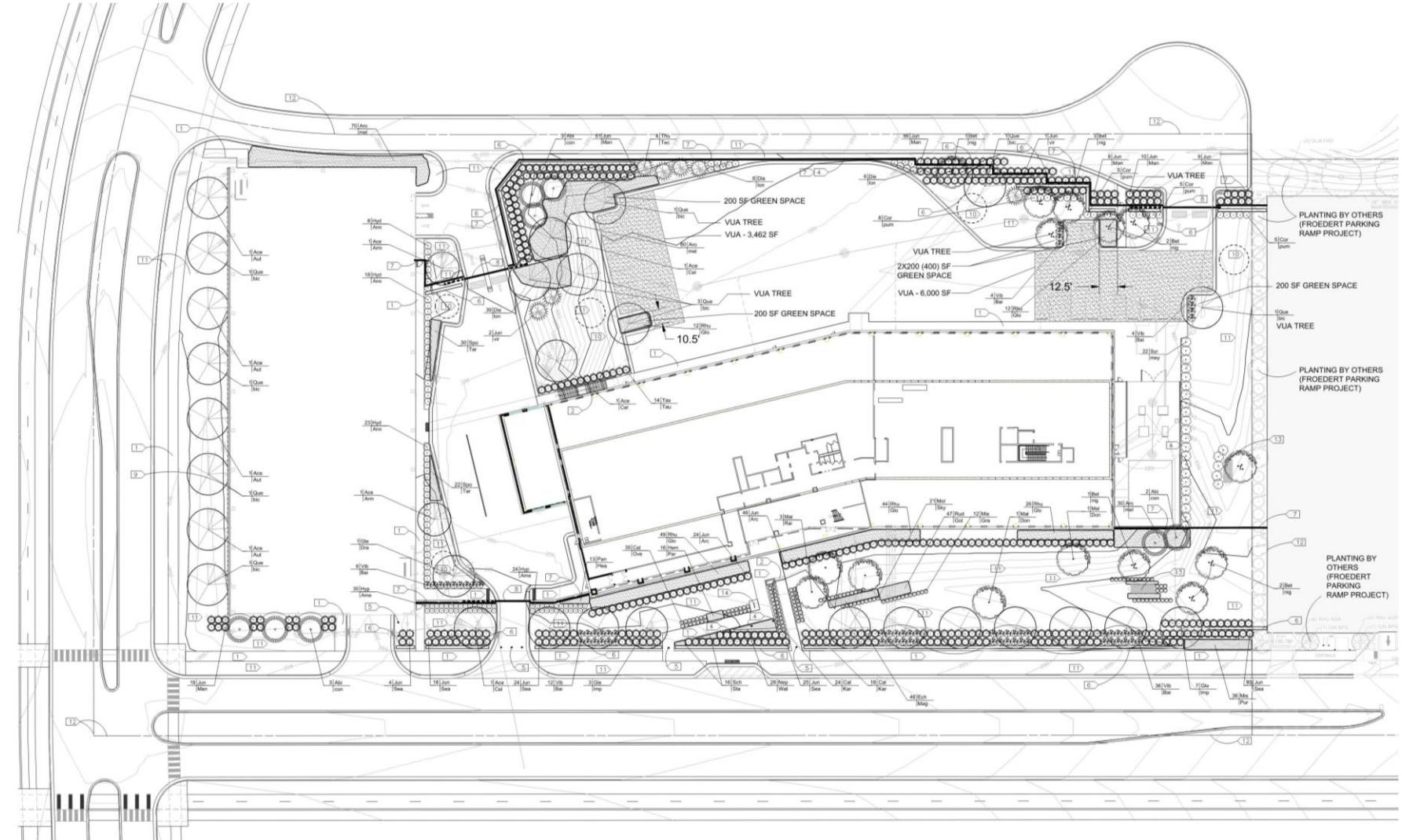
REVISED  
FULL SIZE  
DRAWING  
PROVIDED



VEHICLE BOLLARDS

## PLANT INSTALLATION SCHEDULE:

| QTY                       | BOTANICAL NAME                             | COMMON NAME                      | SIZE      | SPACING           | ROOT  | NOTES      |
|---------------------------|--|----------------------------------|-----------|-------------------|-------|------------|
| <b>Deciduous Trees</b>    |  |                                  |           |                   |       |            |
| 2                         | Acer x freemanii 'Armstrong'               | Armstrong Maple                  | 2.5"      | As shown          | BB    |            |
| 4                         | Acer x freemanii 'Jeffersend'              | Autumn Blaze Maple               | 2.5"      | As shown          | BB    |            |
| 3                         | Acer x freemanii 'Czelkam'                 | Celebration Maple                | 2.5"      | As shown          | BB    |            |
| 9                         | Betula nigra                               | River Birch                      | 10' ht.   | As shown          | BB    | multi-stem |
| 10                        | Gleditsia triacanthos 'Impcole'            | Imperial Honeylocust             | 2.5"      | As shown          | BB    |            |
| 1                         | Gleditsia triacanthos 'Draves'             | Street Keeper Honeylocust        | 2 1/2"-3" | BB                |       |            |
| 2                         | Malus 'Donald Wyman'                       | Donald Wyman Crabapple           | 2"        | As shown          | BB    |            |
| 3                         | Malus 'JFS-KW5'                            | Royal Raindrops Crabapple        | 2"        | As shown          | BB    |            |
| 10                        | Quercus bicolor                            | Swamp White Oak                  | 2"        | As shown          | BB    |            |
| <b>Evergreen Trees</b>    |  |                                  |           |                   |       |            |
| 8                         | Abies concolor                             | White Fir                        | 6' ht.    | As shown          | BB    |            |
| 3                         | Juniperus virginiana                       | Red cedar                        | 6' ht.    | As shown          | BB    |            |
| 6                         | Thuja occidentalis 'Techny'                | Techny Arborvitae                | 6' ht.    | As shown          | BB    |            |
| <b>Evergreen Shrubs</b>   |  |                                  |           |                   |       |            |
| 6                         | Juniperus chinensis 'Daub's Frosted'       | Daub's Frosted Juniper           | 7 gallon  | As shown          | Cont. |            |
| 172                       | Juniperus chinensis 'Maney'                | Maney Juniper                    | 7 gallon  | As shown          | Cont. |            |
| 6                         | Juniperus chinensis 'Pfitzeriana Kallay'   | Kallays Compact Juniper          | 7 gallon  | As shown          | Cont. |            |
| 168                       | Juniperus chinensis 'Sea Green'            | Sea Green Juniper                | 7 gallon  | As shown          | Cont. |            |
| 72                        | Juniperus sabina 'Arcadia'                 | Arcadia Juniper                  | 7 gallon  | As shown          | Cont. |            |
| 14                        | Taxus x media 'Tauntoni'                   | Taunton Yew                      | 7 gallon  | As shown          | Cont. |            |
| <b>Deciduous Shrubs</b>   |  |                                  |           |                   |       |            |
| 180                       | Aronia melanocarpa 'Morton'                | Iroquois Beauty Black Chokeberry | 3 gallon  | 5' o.c.           | Cont. |            |
| 23                        | Cornus pumila                              | Dwarf Dogwood                    | 3 gallon  | As shown          | Cont. |            |
| 54                        | Dierama lonicera                           | Dwarf Bush-honeysuckle           | 3 gallon  | As shown/4' o.c.  | Cont. |            |
| 49                        | Hydrangea arborescens 'Annabelle'          | Ames St. John's Wort             | 3 gallon  | As shown          | Cont. |            |
| 54                        | Hypericum calycinum 'Ames'                 | Sike's Dwarf Oakleaf Hydrangea   | 3 gallon  | As shown          | Cont. |            |
| 143                       | Rhus aromatica 'Gro-low'                   | Gro-low Sumac                    | 2 gallon  | 4.5' o.c.         | Cont. |            |
| 22                        | Syringa meyeri 'Palibin'                   | Dwarf Korean Lilac               | 3 gallon  | As shown (5' min) | Cont. |            |
| 65                        | Viburnum trilobum 'Bailey Compact'         | Bailey Compact Viburnum          | 2 gallon  | As shown (5' min) | Cont. |            |
| <b>Perennials</b>         |  |                                  |           |                   |       |            |
| 46                        | Echinacea purpurea 'Magnus'                | Magnus Purple Coneflower         | 1 gallon  | 24" o.c.          | Cont. |            |
| 16                        | Heuchera x 'Pardon Me'                     | Pardon Me Daylily                | 1 gallon  | 24" o.c.          | Cont. |            |
| 28                        | Nepea faassenii 'Walker's Low'             | Walker's Low Catmint             | 1 gallon  | 30" o.c.          | Cont. |            |
| 47                        | Rudbeckia fulgida 'Goldsturm'              | Goldsturm Black-Eyed Susan       | 1 gallon  | 24" o.c.          | Cont. |            |
| <b>Ornamental Grasses</b> |  |                                  |           |                   |       |            |
| 39                        | Calamagrostis acutiflora 'Karl Foerster'   | Karl Foerster Feather Reed Grass | 1 gallon  | 30" o.c.          | Cont. |            |
| 28                        | Calamagrostis acutiflora 'Overdam'         | Overdam Feather Reed Grass       | 1 gallon  | 30" o.c.          | Cont. |            |
| 12                        | Miscanthus sinensis 'Graziella'            | Graziella Maiden Grass           | 1 gallon  | 36" o.c.          | Cont. |            |
| 36                        | Miscanthus sinensis 'Purpurascens'         | Flame Grass                      | 1 gallon  | 36" o.c.          | Cont. |            |
| 22                        | Molinia caerulea arundinacea 'Skyracer'    | Molinia Skyracer                 | 1 gallon  | 30" o.c.          | Cont. |            |
| 13                        | Panicum virgatum 'Heavy Metal'             | Heavy Metal Switch Grass         | 1 gallon  | 30" o.c.          | Cont. |            |
| 16                        | Schizachyrium scoparium 'Standing Ovation' | Standing Ovation Little Bluestem | 1 gallon  | 24" o.c.          | Cont. |            |
| 52                        | Sporobolus heterolepis 'Tara'              | Dwarf Prairie Dropseed Tara      | 1 gallon  | 30" o.c.          | Cont. |            |



## LANDSCAPE CALCULATIONS IN INTERIOR VEHICULAR USE AREA:

9,462 SQUARE FEET (SF) TOTAL VEHICULAR USE AREA (VUA) (6,000 SF + 3,462 SF)

TOTAL MINIMUM INTERIOR LANDSCAPE AREA (TMLA) EQUALS 946 SF (5x200 SF CORNER ISLANDS)

PROVIDED GREEN SPACE AS PER THE CURRENT PLAN = 1,000 SF (5x200 SF CORNER ISLANDS)

PER CITY ORDINANCE: 24.12.030 INTERIOR VEHICULAR USE AREA LANDSCAPING:

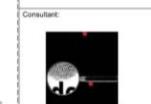
"LANDSCAPE ISLANDS AND MEDIAN MUST HAVE AN AREA OF AT LEAST 135 SQUARE FEET AND BE AT LEAST 10 FEET IN WIDTH."

"SHADE TREES MUST BE PROVIDED IN INTERIOR LANDSCAPE ISLANDS AT A MINIMUM RATE OF ONE TREE PER 160 SF OF REQUIRED INTERIOR LANDSCAPE AREA."

946 SF DIVIDED BY 160 SF = 5 TREES REQUIRED | TREES: 5 PROVIDED

HGA

333 East Erie Street  
Milwaukee, Wisconsin 53202  
Telephone 414.728.8200



NOT FOR CONSTRUCTION

## GENERAL NOTES:

1. ALL PLANTS SHALL BE MULCHED WITH SHREDDED HARDWOOD MULCH, U.N.O.

2. ALL PLANTS SHALL HAVE SPADED EDGE - 6" DEPTH.

3. ALL BIKE PARKING STALLS ARE LOCATED IN THE PARKING RAMP WITH EXCEPTION OF TWO (2) THAT ARE SHOWN ON THIS DRAWING (CLOSE TO THE MAIN ENTRY). REFER TO ARCHITECTURAL DWGS FOR ADDITIONAL LOCATIONS IN THE RAMP.

4. ALL LAWN AREAS SHALL BE SEEDED WITH NO MOW/LAWN FESCUE SEED MIX.

Reinders - No Mow/Lawn Grow Seed Mix:
 

- 45% Spartan II Hard Fescue
- 50% Quattro Sheep's Fescue
- 15% Turf Type Annual Rye Grass

## KEYNOTES:

- CONCRETE WALK, REFER TO CIVIL DWGS
- CONCRETE STAIR, REFER TO CIVIL
- RETAINING WALL
- FLAGPOLES
- SECURITY BOLLARDS
- SECURITY STONE WALL
- GATE
- MAINTENANCE EDGE
- SNOW STORAGE AREAS
- NO MOW PLANTING AREA
- PROPERTY LINE
- RIPRAP
- BIKE RACKS

WI STATE CRIME LAB  
MILWAUKEE COUNTY MEDICAL EXAMINER  
& OFFICE OF EMERGENCY MANAGEMENT  
Milwaukee, Wisconsin

LANDSCAPE PLAN

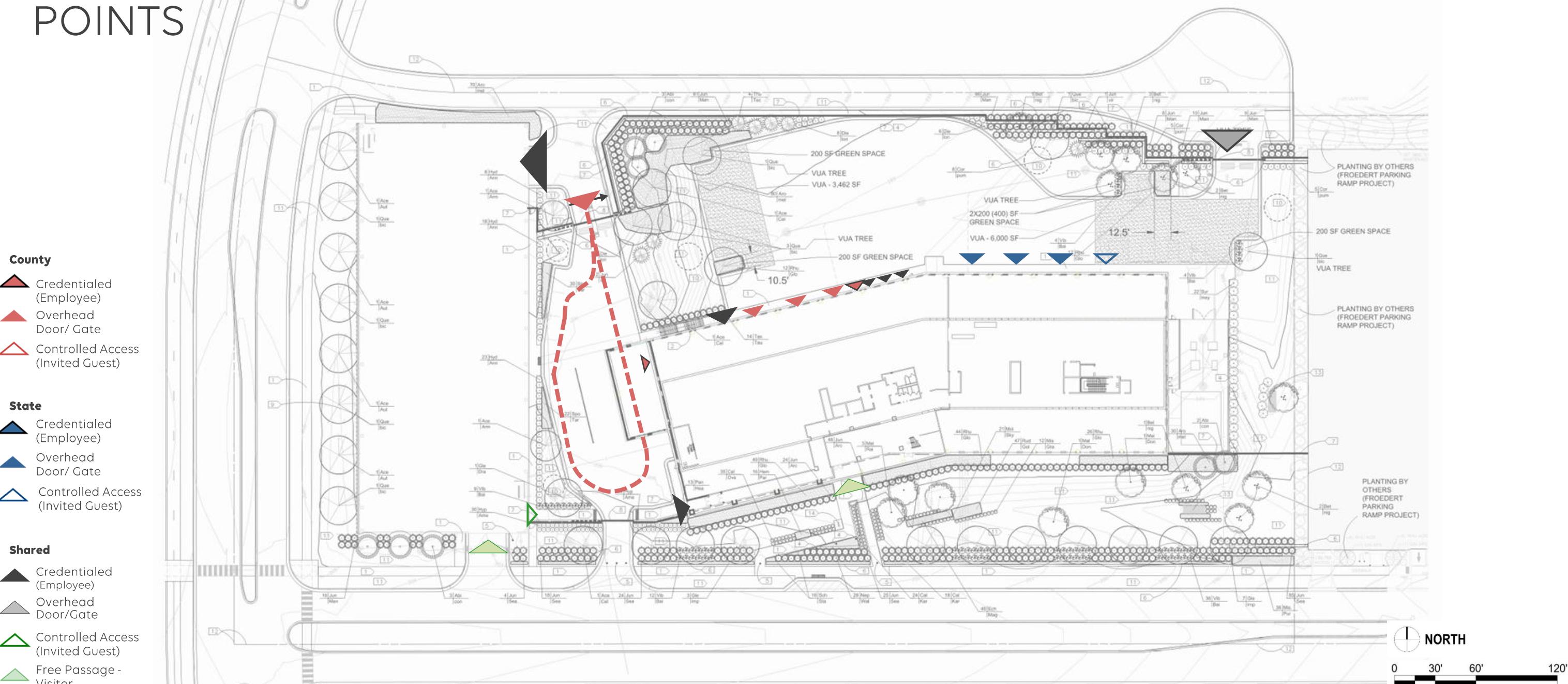
|   |                               |       |              |
|---|-------------------------------|-------|--------------|
| Revisions:  | No.:                          | Date: | Description: |
| WI STATE CRIME LAB<br>MILWAUKEE COUNTY MEDICAL EXAMINER<br>& OFFICE OF EMERGENCY MANAGEMENT<br>Milwaukee, Wisconsin |                               |       |              |
| LANDSCAPE PLAN  |                               |       |              |
| Graphic Scale: AS NOTED   |                               |       |              |
| DRD Number:   | 22H1M                         |       |              |
| Set Type:   | WAUWATOSA PARKING SITE PERMIT |       |              |
| Date Issued:  | 04/25/2023                    |       |              |
| Sheet Number:   | L100                          |       |              |



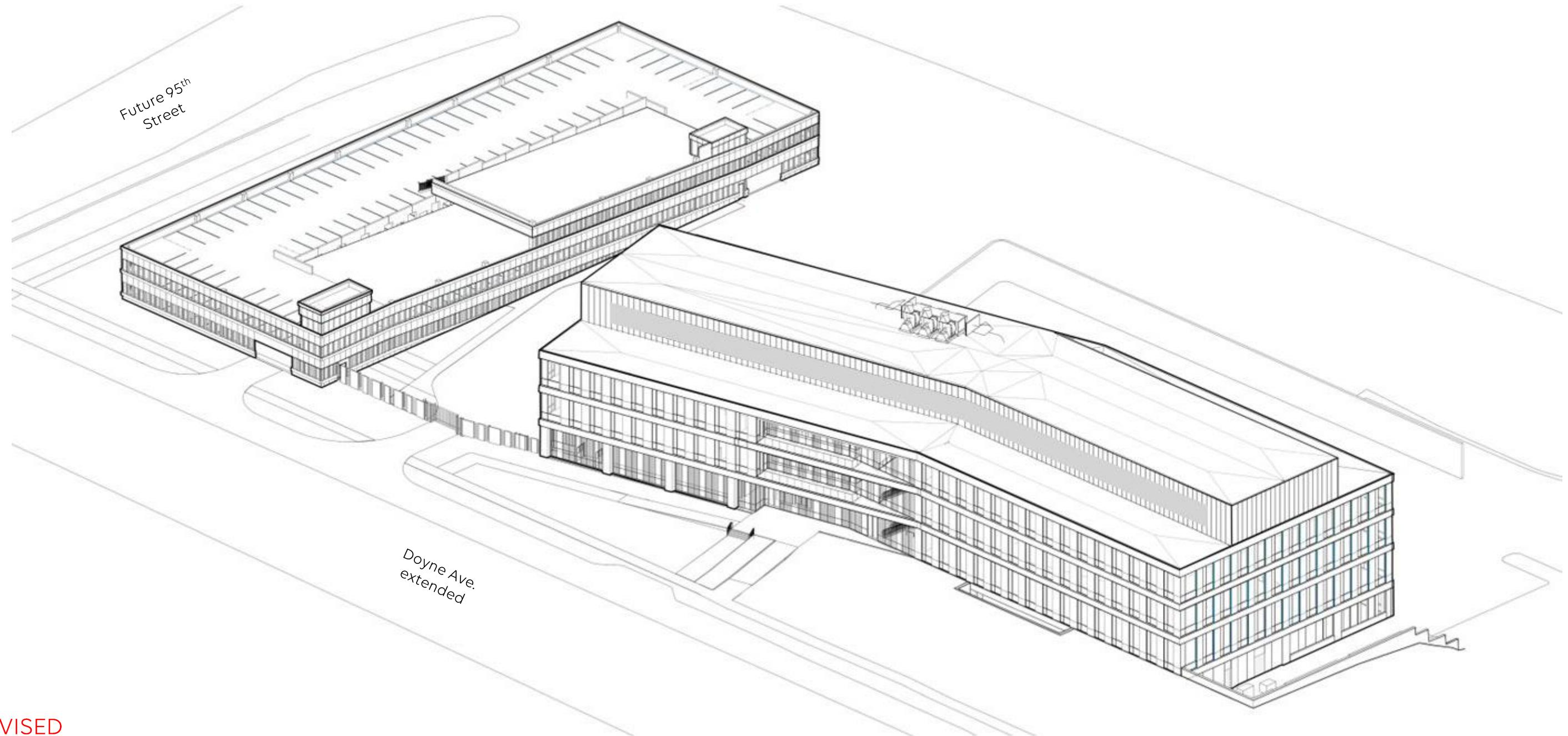
SCALE IN FEET

0 30 60

# CONCEPTUAL SITE PLAN – ACCESS POINTS



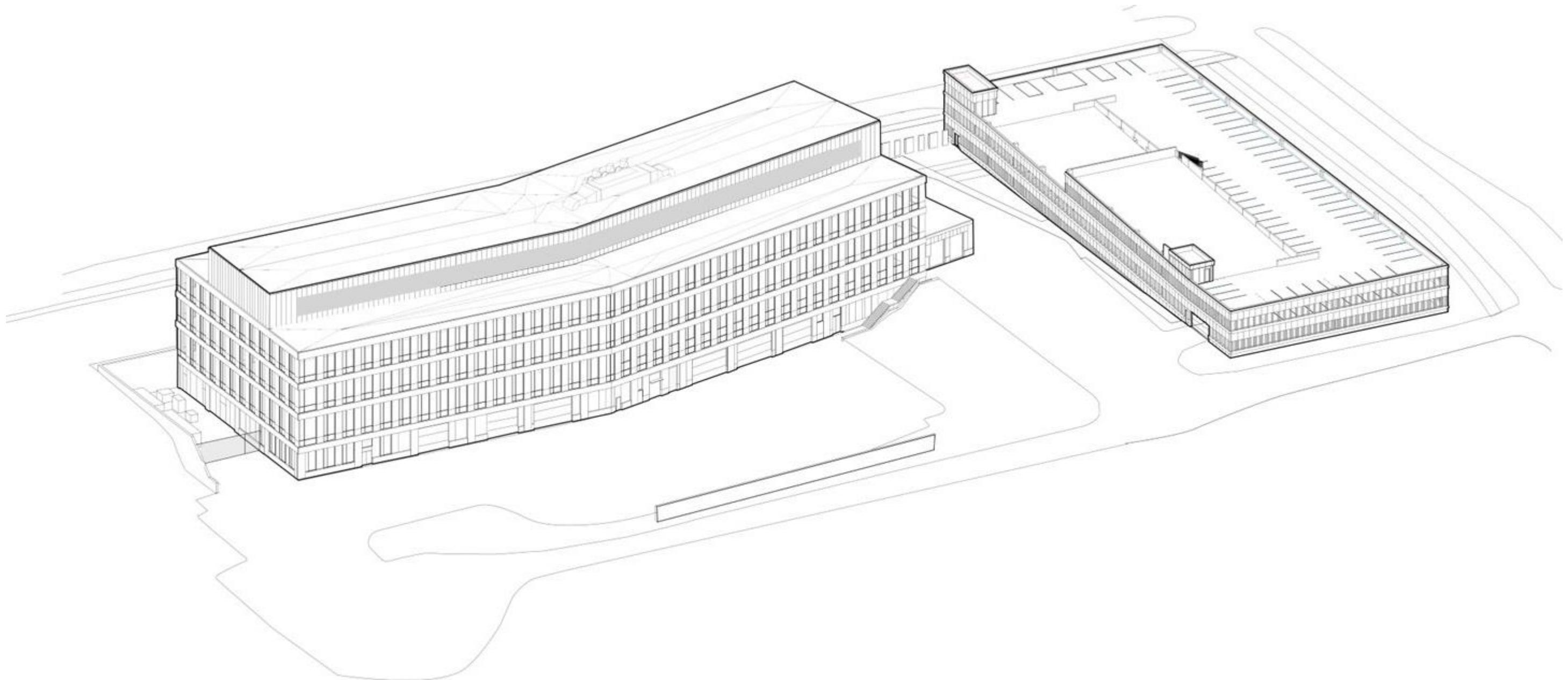
# MASSING



REVISED

# MASSING

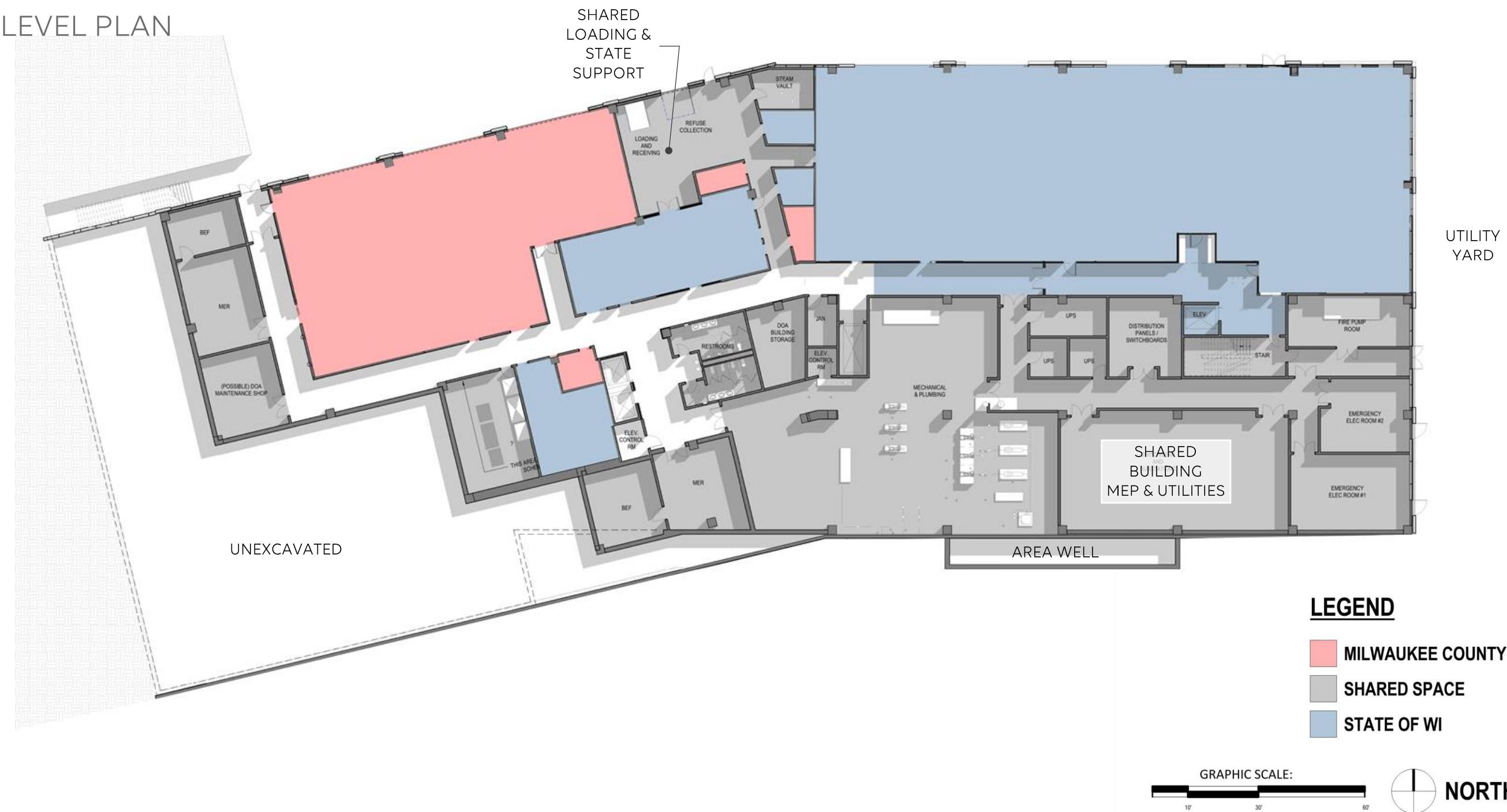
## NORTH & EAST ELEVATIONS



REVISED

# PLANS/BLOCK DIAGRAMS

## LOWER-LEVEL PLAN



# PLANS/BLOCK DIAGRAMS

## LEVEL 01 PLAN



### LEGEND

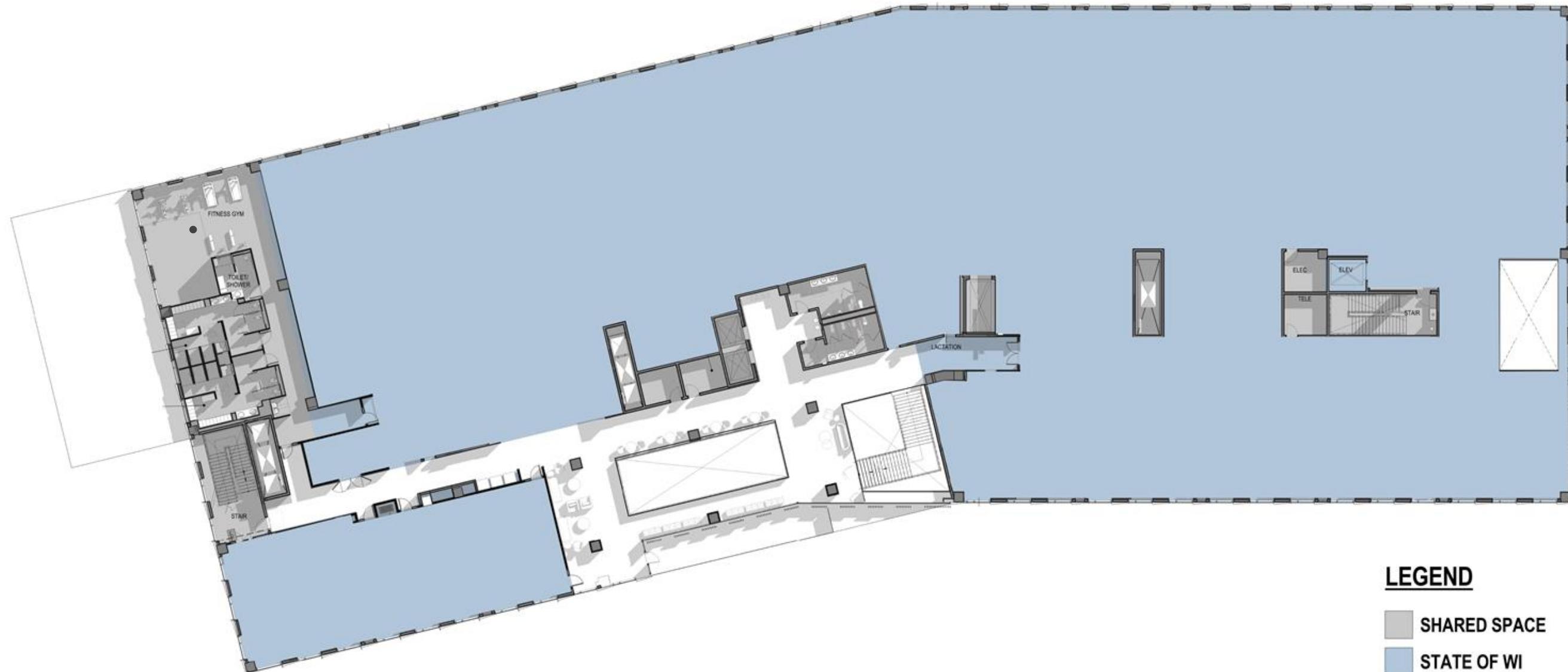
- MILWAUKEE COUNTY
- SHARED SPACE
- STATE OF WI

GRAPHIC SCALE:  
10' 30' 60'

NORTH

# PLANS/BLOCK DIAGRAMS

## LEVEL 02 PLAN

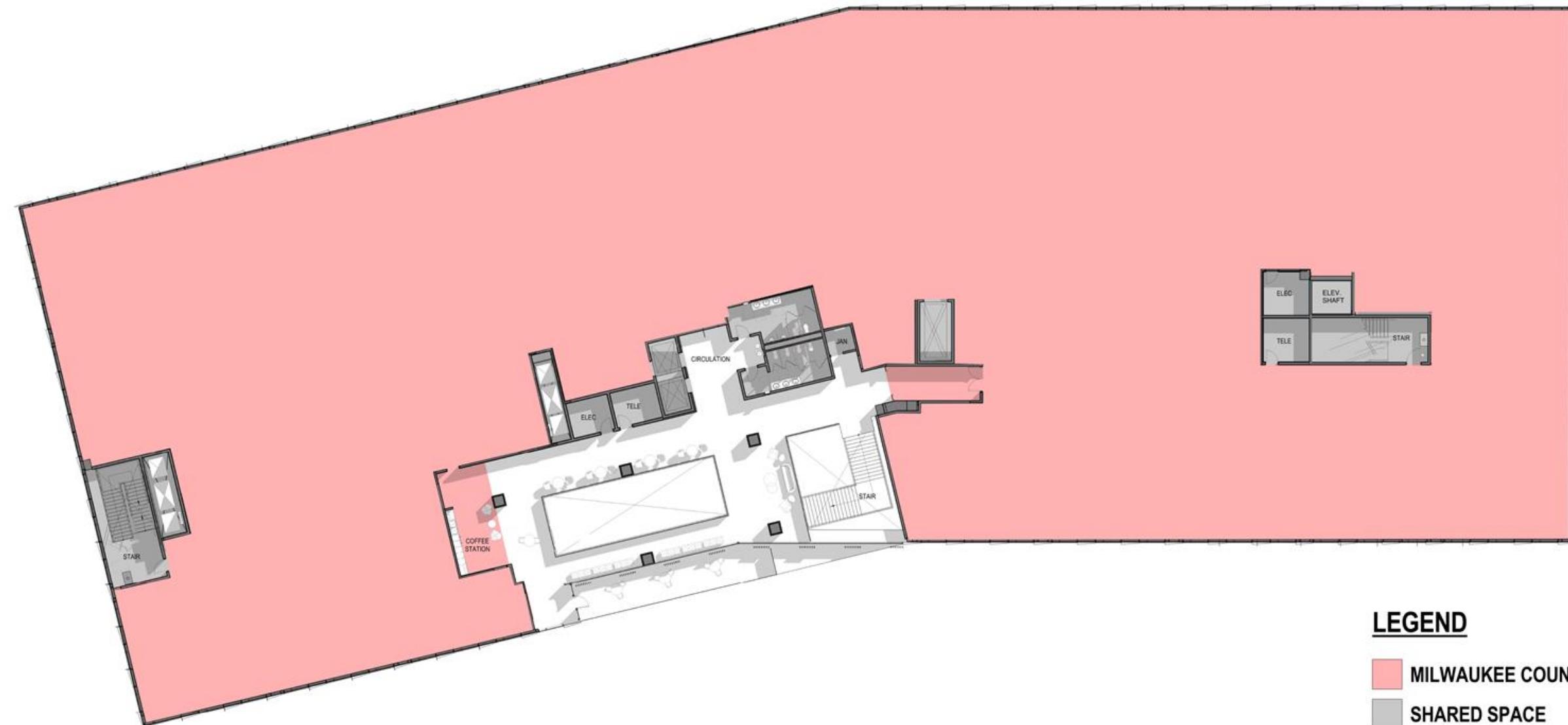


GRAPHIC SCALE:  
10' 30' 60'

NORTH

# PLANS/BLOCK DIAGRAMS

## LEVEL 03 PLAN



### LEGEND

- MILWAUKEE COUNTY (Pink)
- SHARED SPACE (Grey)
- STATE OF WI (Blue)

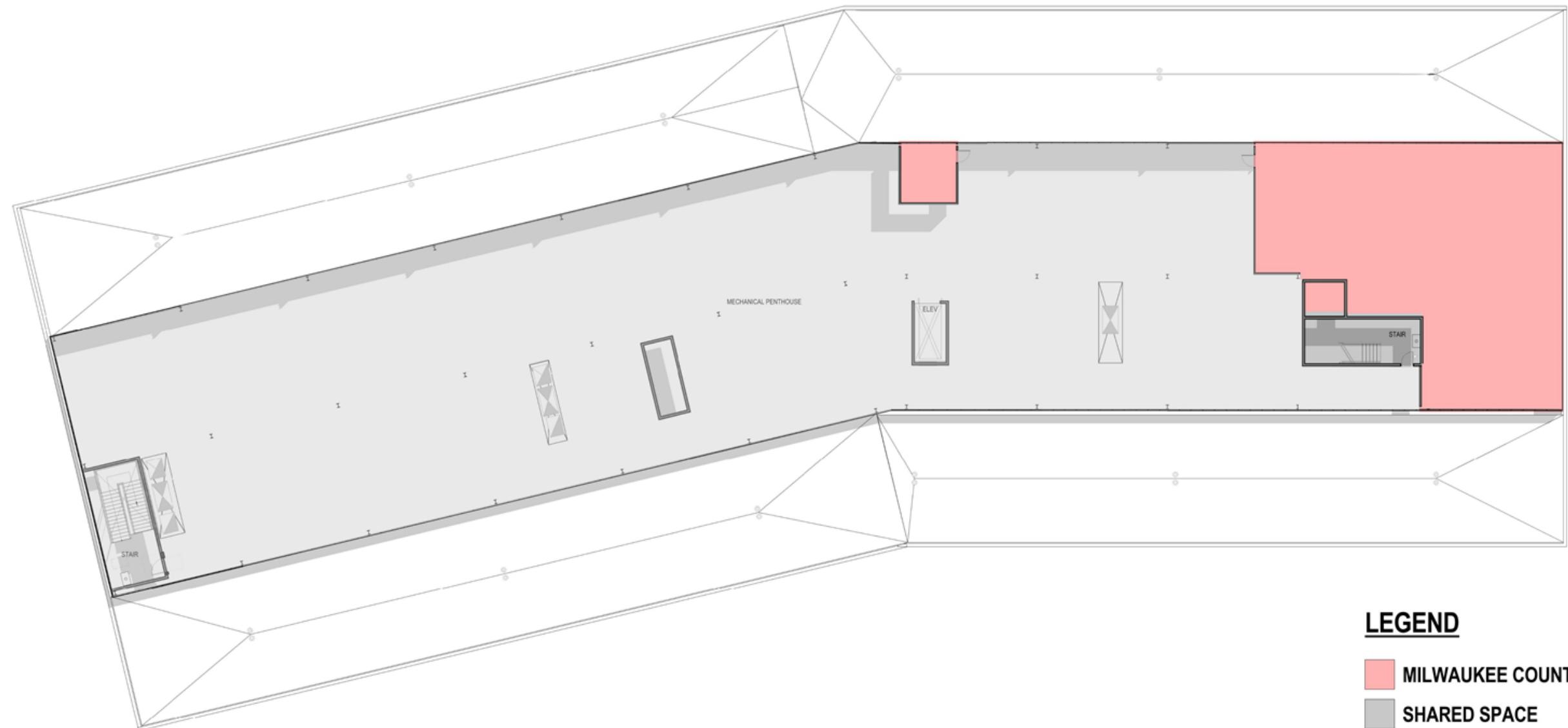
GRAPHIC SCALE:

10' 30' 60'



# PLANS/BLOCK DIAGRAMS

## MECHANICAL PENTHOUSE PLAN



GRAPHIC SCALE:  
10' 30' 60'

NORTH

# PLANS/BLOCK DIAGRAMS

## PARKING STRUCTURE PLANS

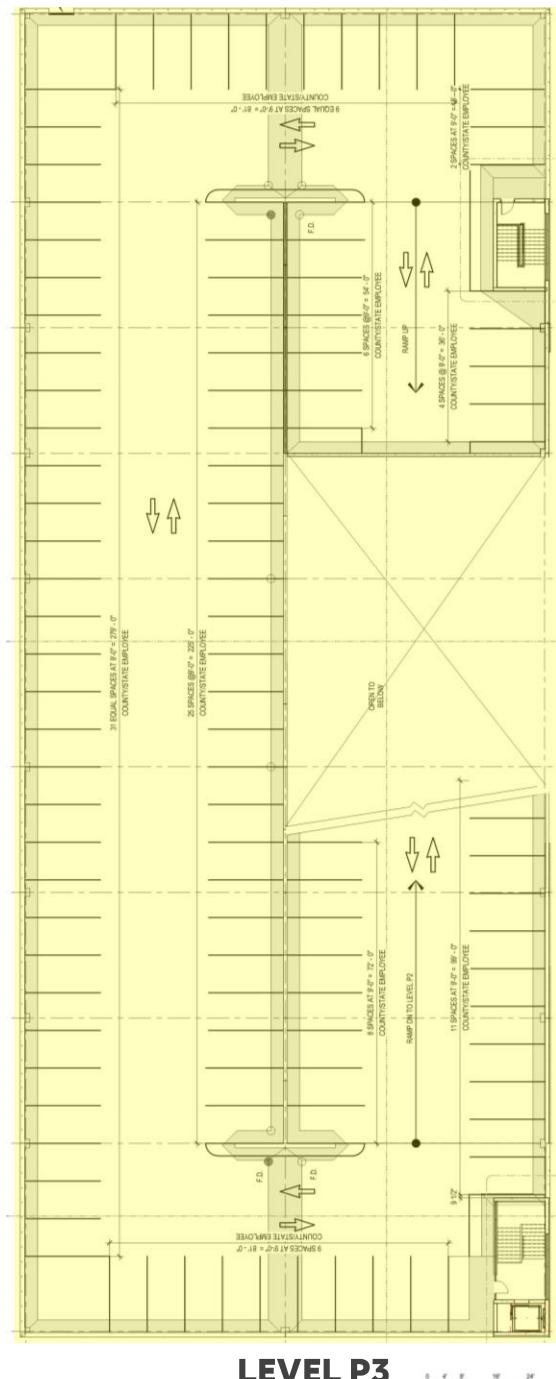
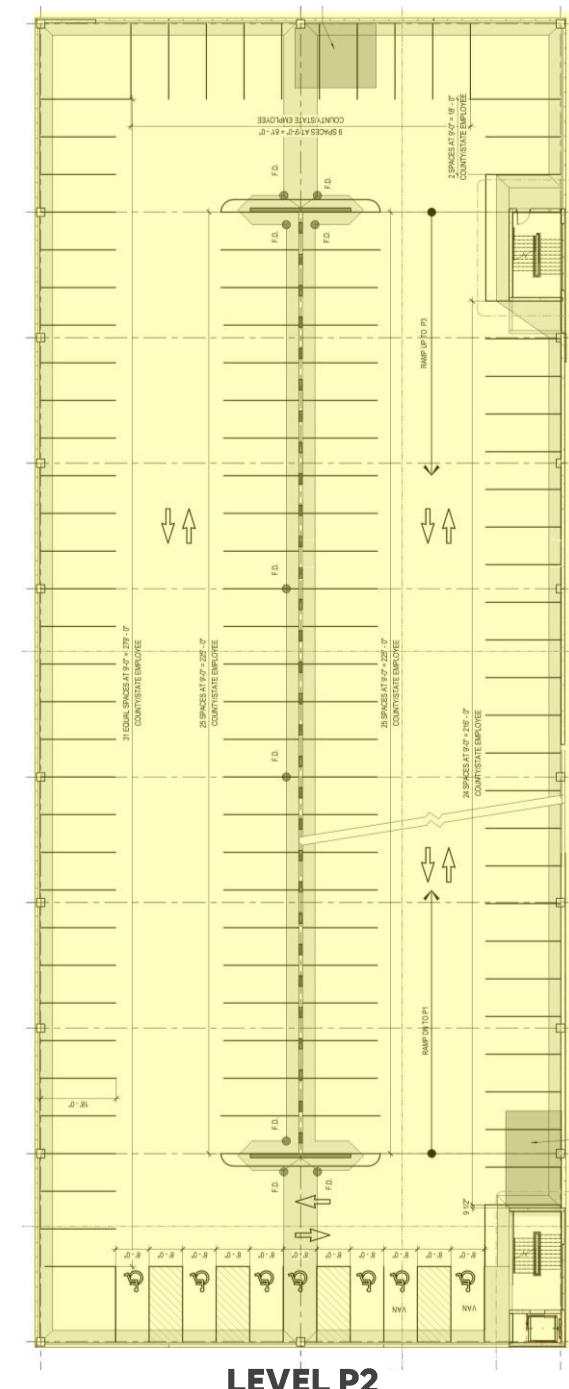
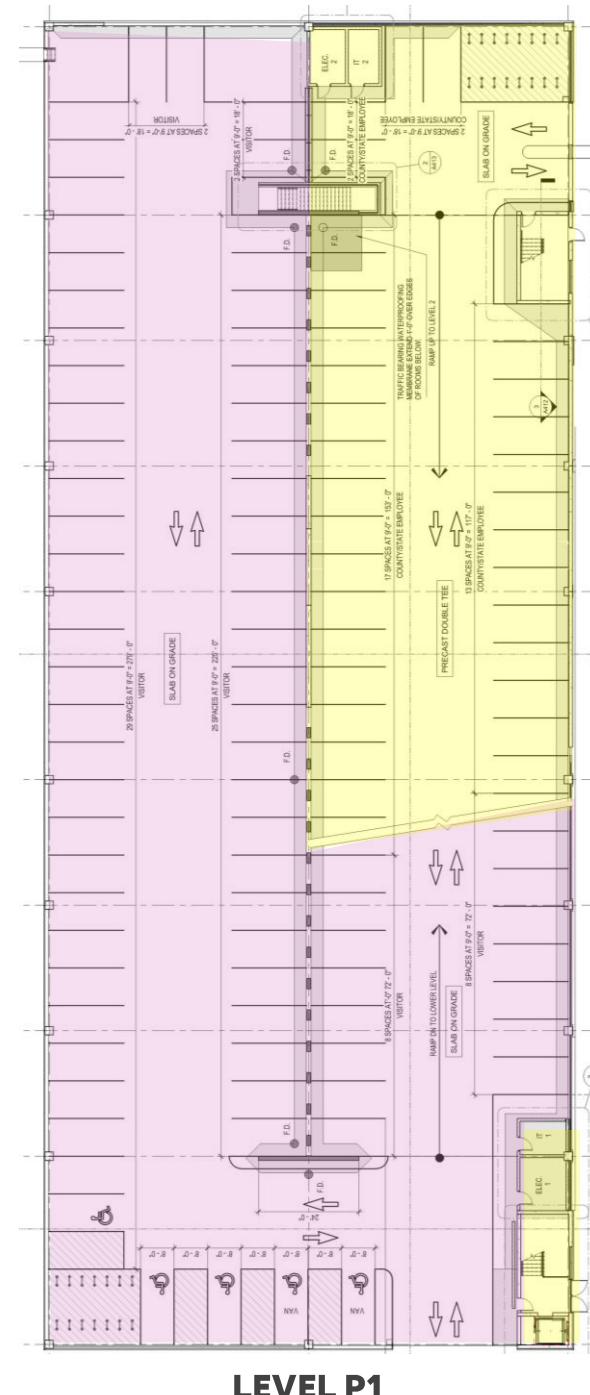
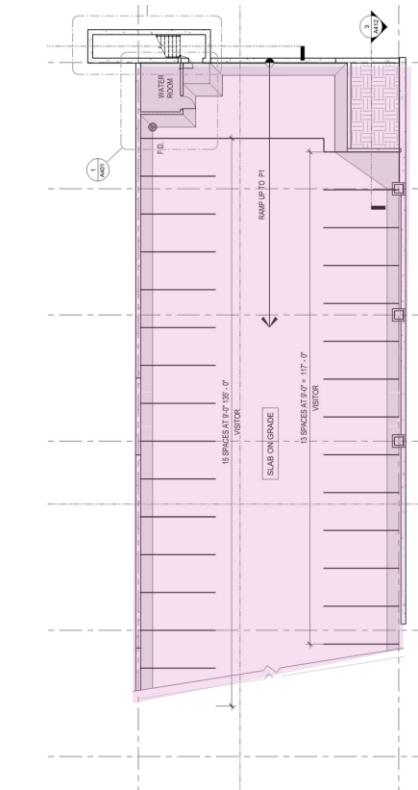
### VISITOR PARKING

**SUBTOTAL: 106**

### SECURED STAFF PARKING

**SUBTOTAL: 263**

**TOTAL: 369**



REVISED



NORTH

LOWER LEVEL

LEVEL P1

LEVEL P2

LEVEL P3

# SOUTHEAST PERSPECTIVE



REVISED

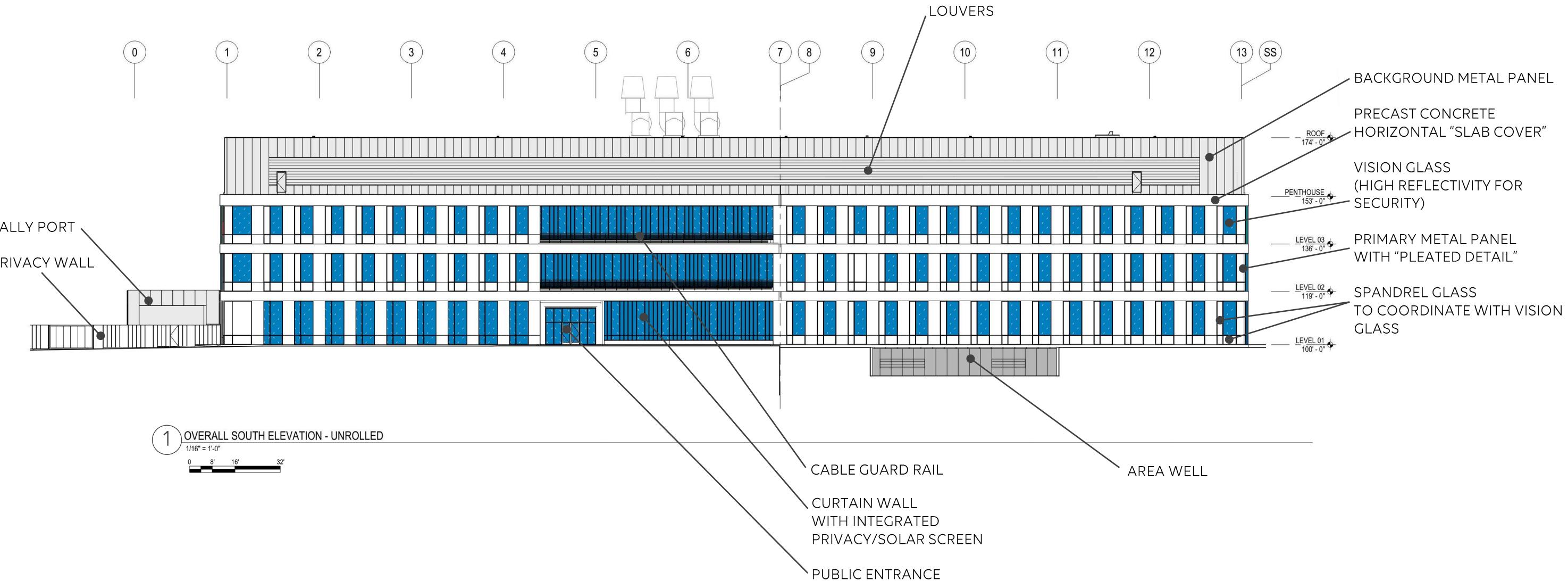
# SOUTHWEST PERSPECTIVE



REVISED

# BUILDING ELEVATIONS

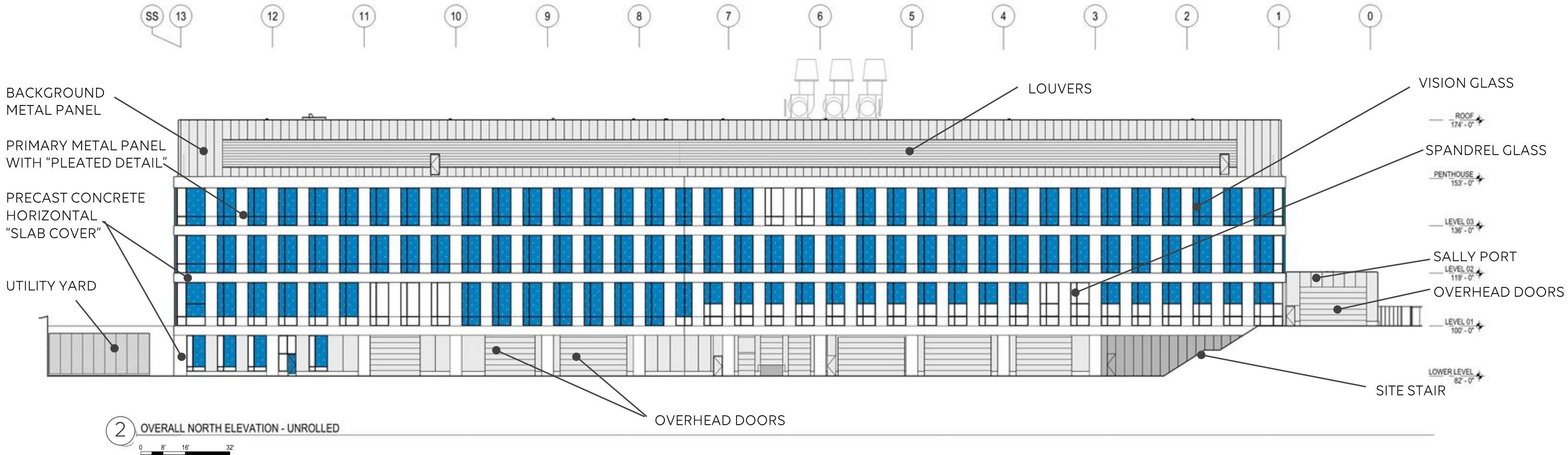
## SOUTH ELEVATION



REVISED

# BUILDING ELEVATIONS

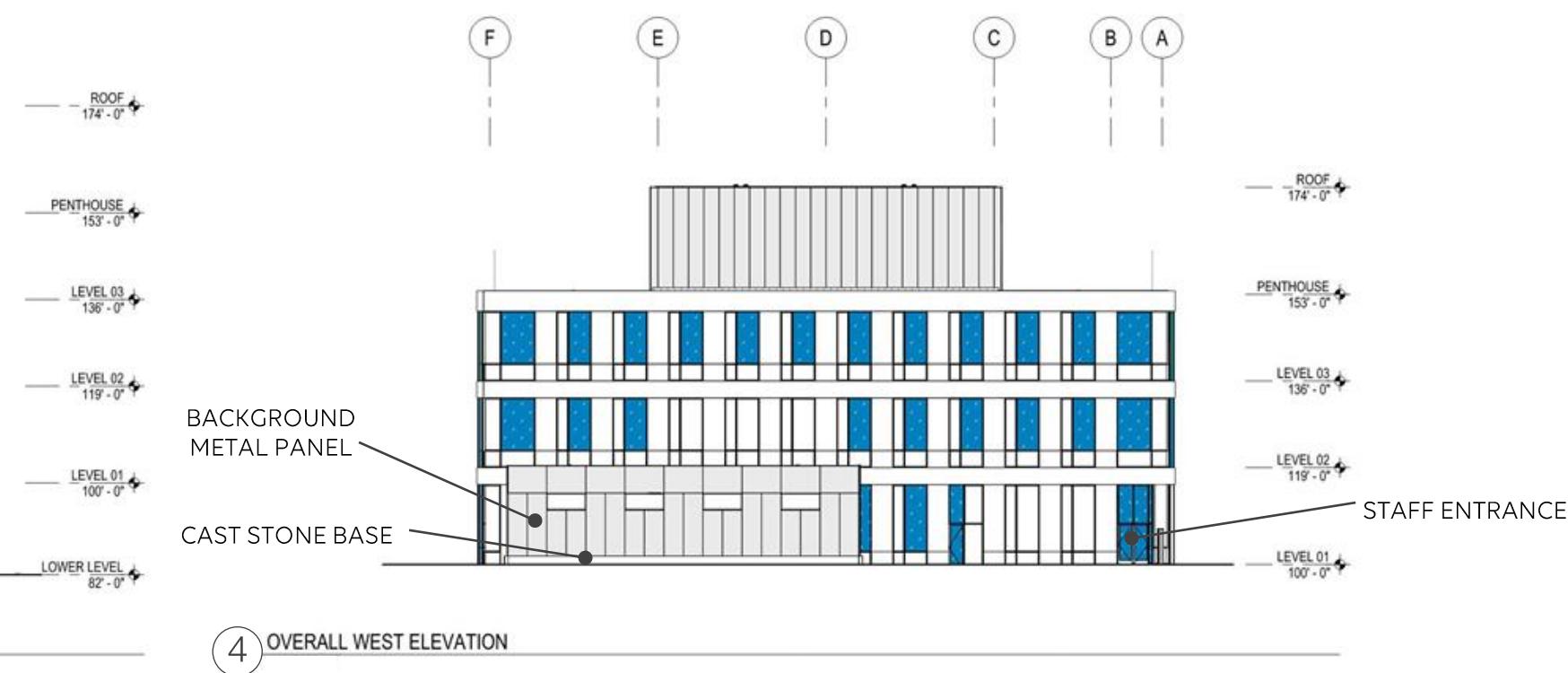
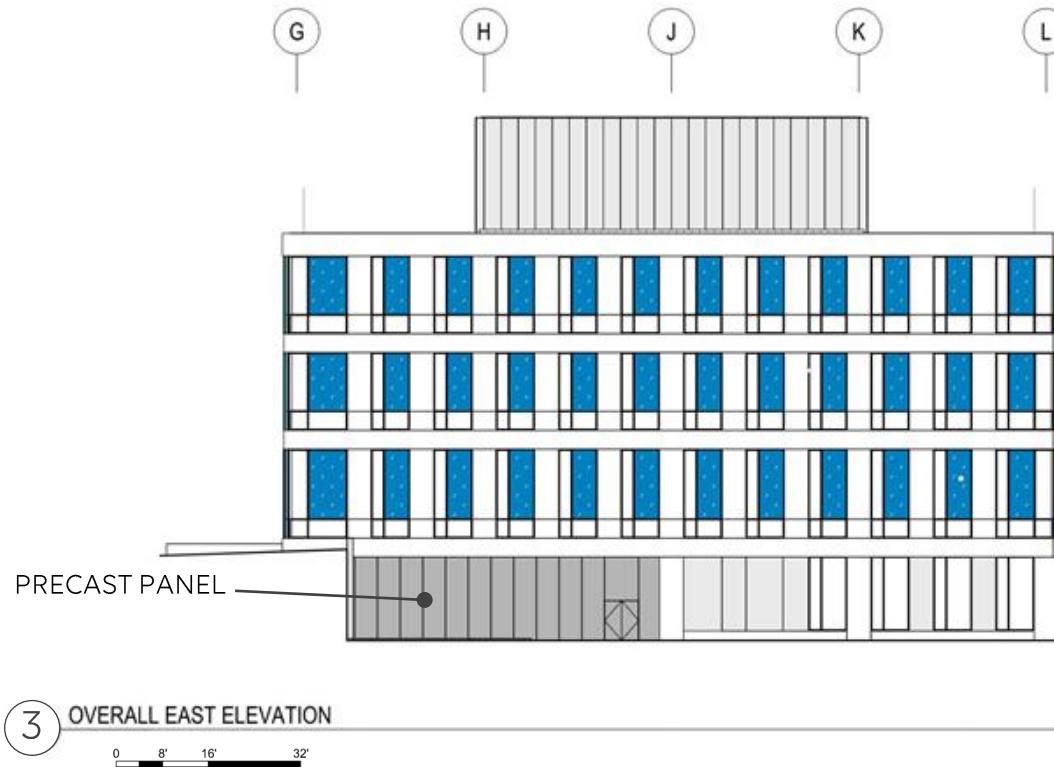
## NORTH ELEVATION



REVISED

# BUILDING ELEVATIONS

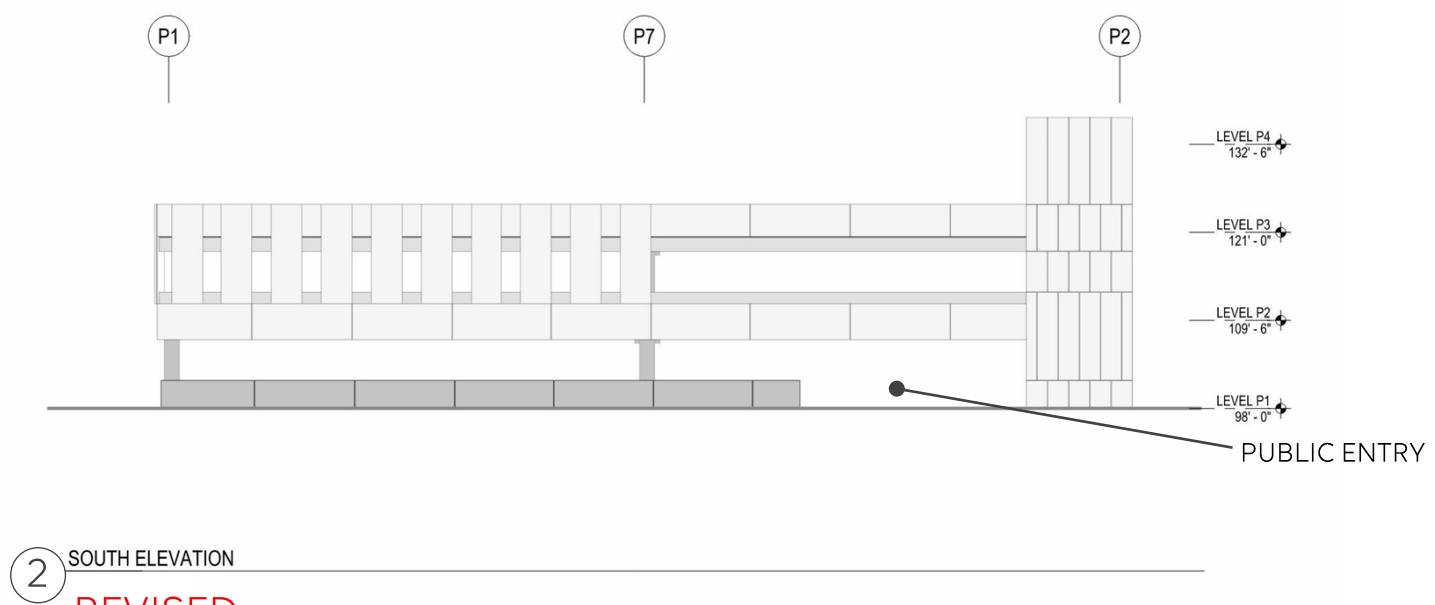
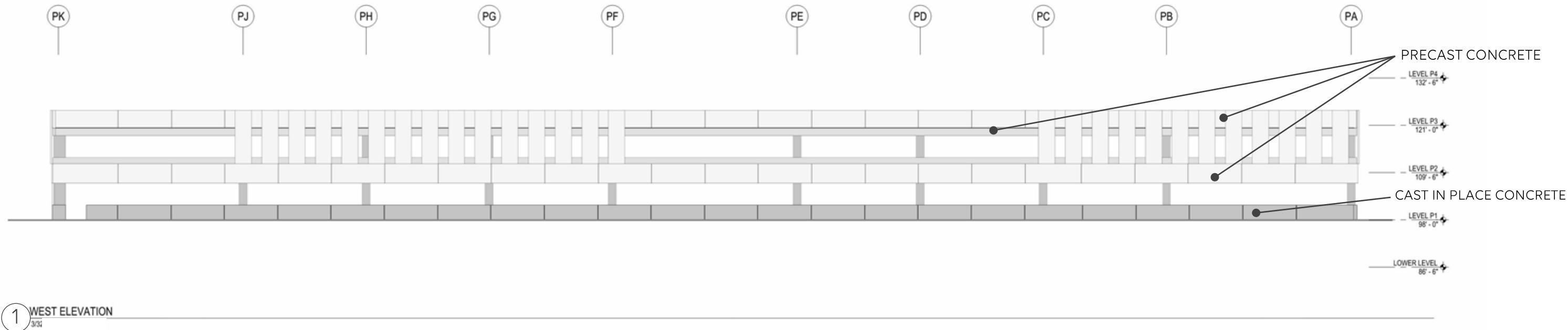
## EAST AND WEST ELEVATION



REVISED

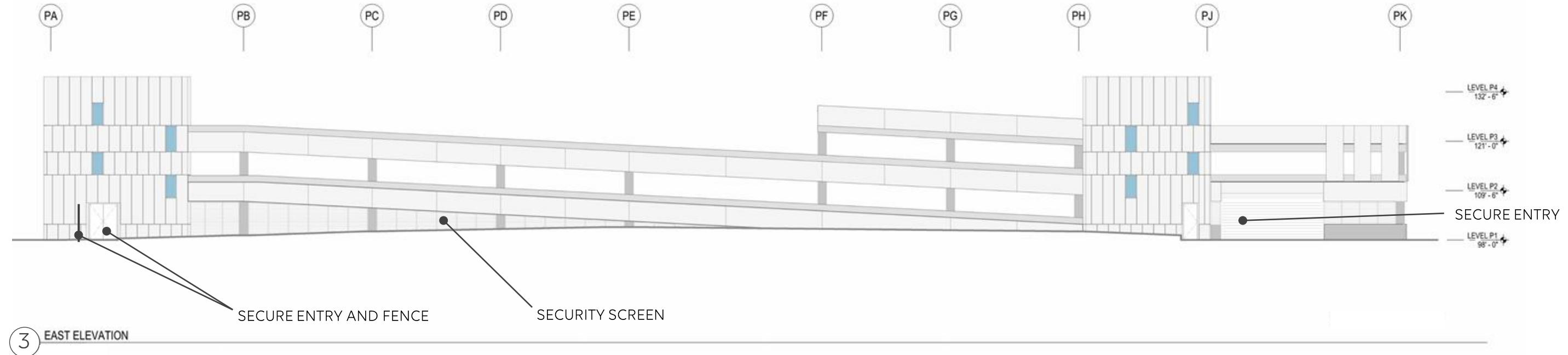
# BUILDING ELEVATIONS

## PARKING ELEVATIONS



# BUILDING ELEVATIONS

## PARKING ELEVATIONS



3 EAST ELEVATION

4 NORTH ELEVATION  
REVISED

# EXTERIOR MATERIALS



REVISED



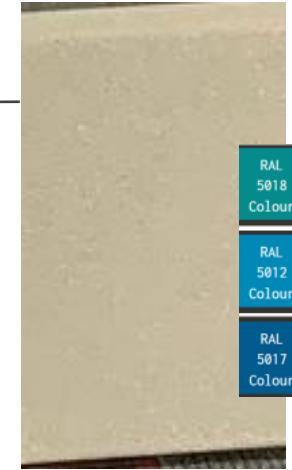
Exact Feature Colors TBD  
Details TBD



Solarban R100(2)  
Blue/grey tones  
High Reflectance  
Spandrel to match



Background metal panel  
Window Mullions – blue/grey  
color (exact TBD)



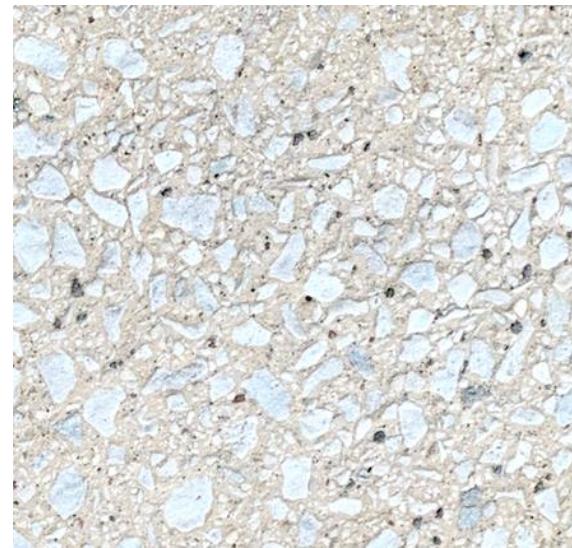
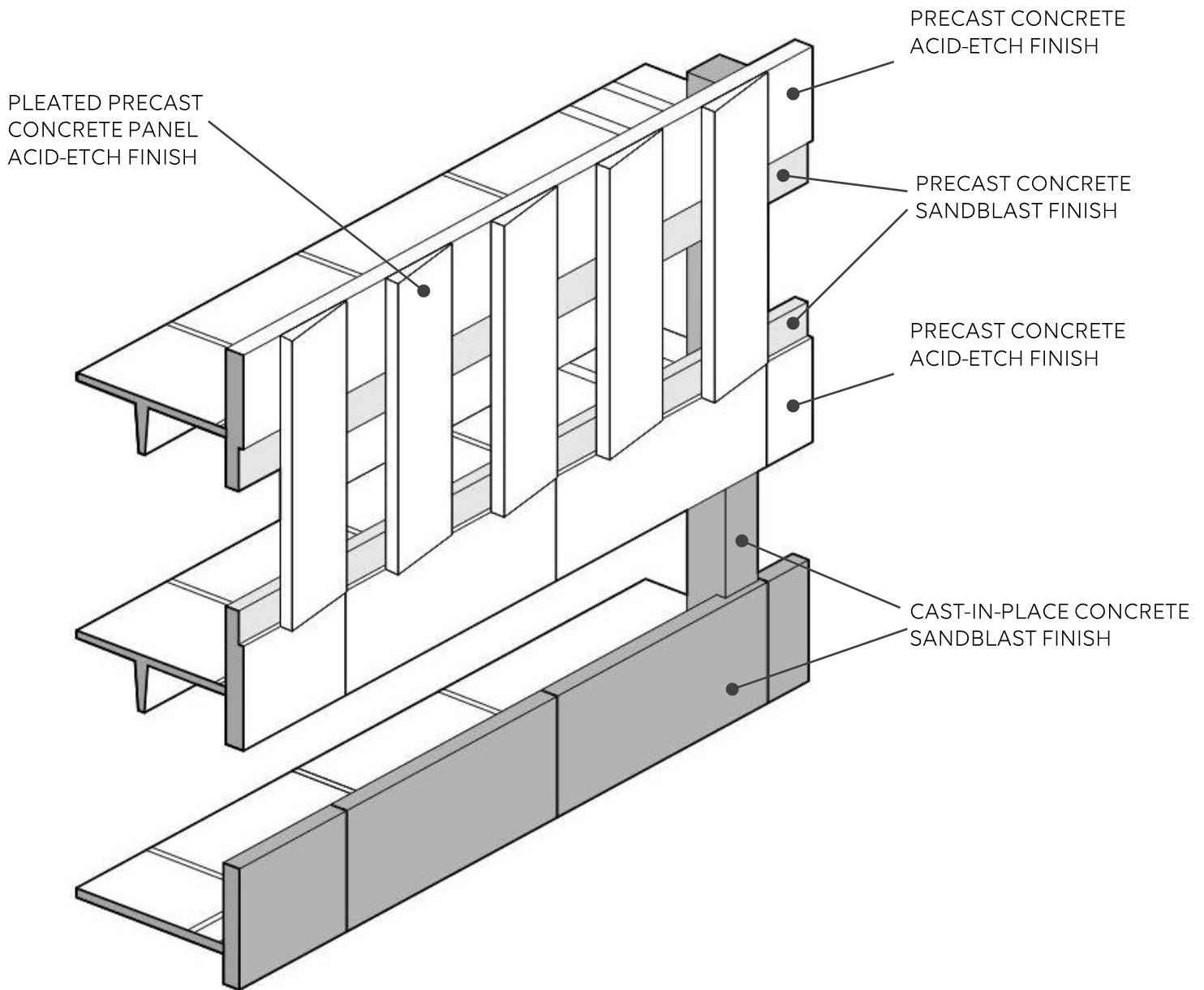
Precast Concrete  
Accent Metal Panel



Primary Metal Panel color  
Warm white  
High Gloss

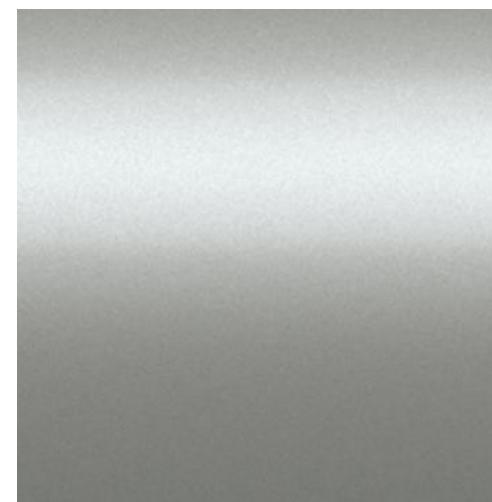
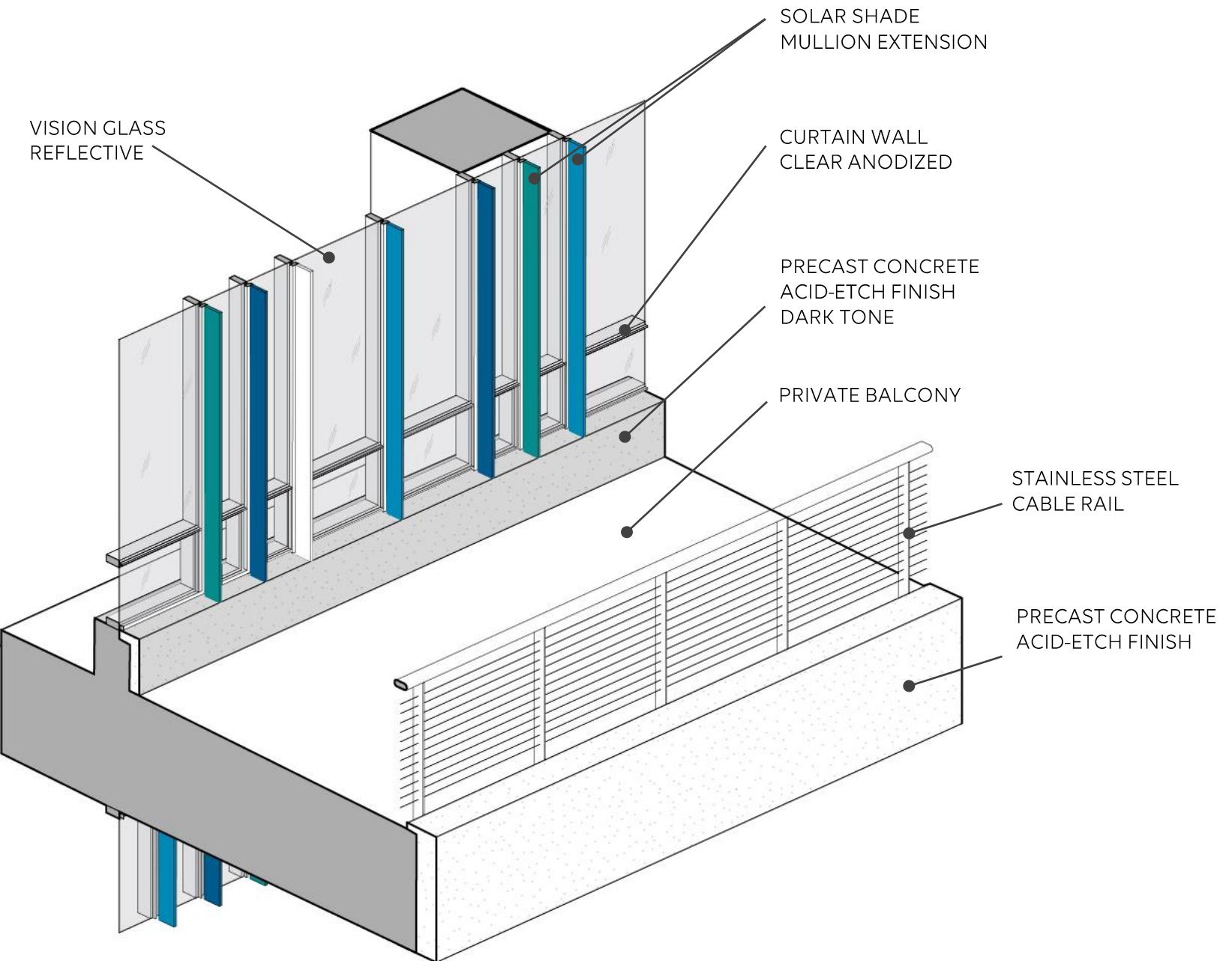
# EXTERIOR MATERIALS

## PARKING STRUCTURE



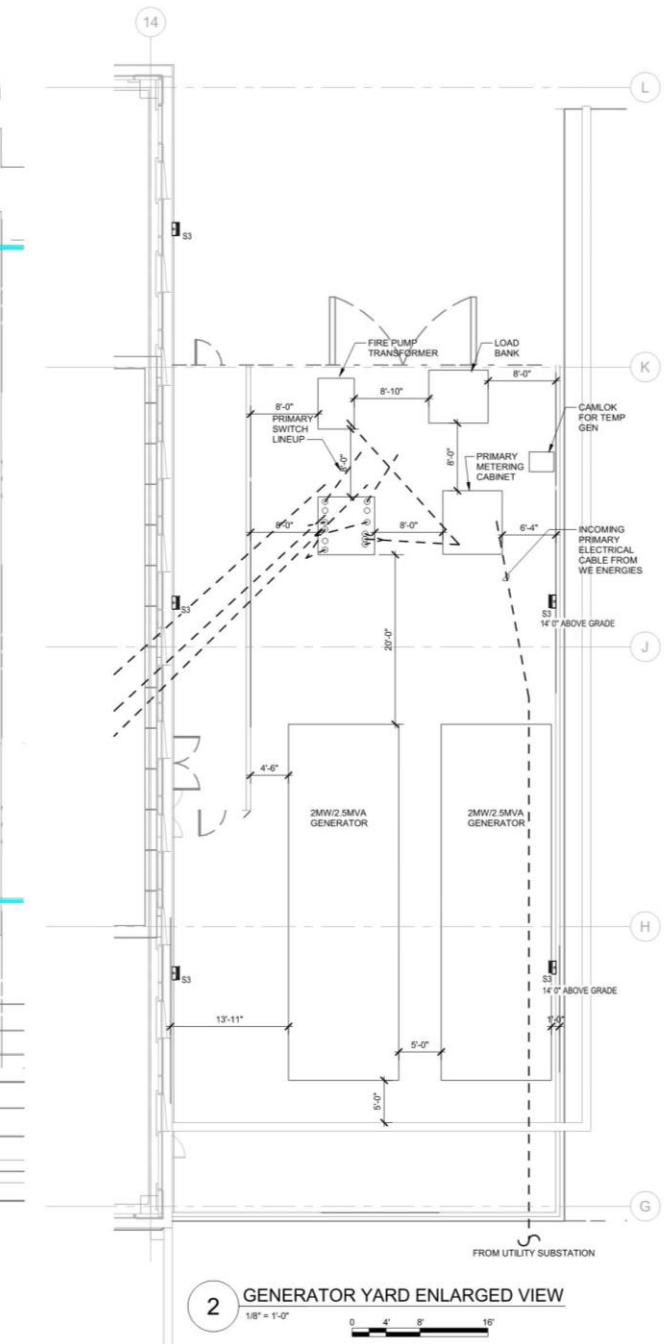
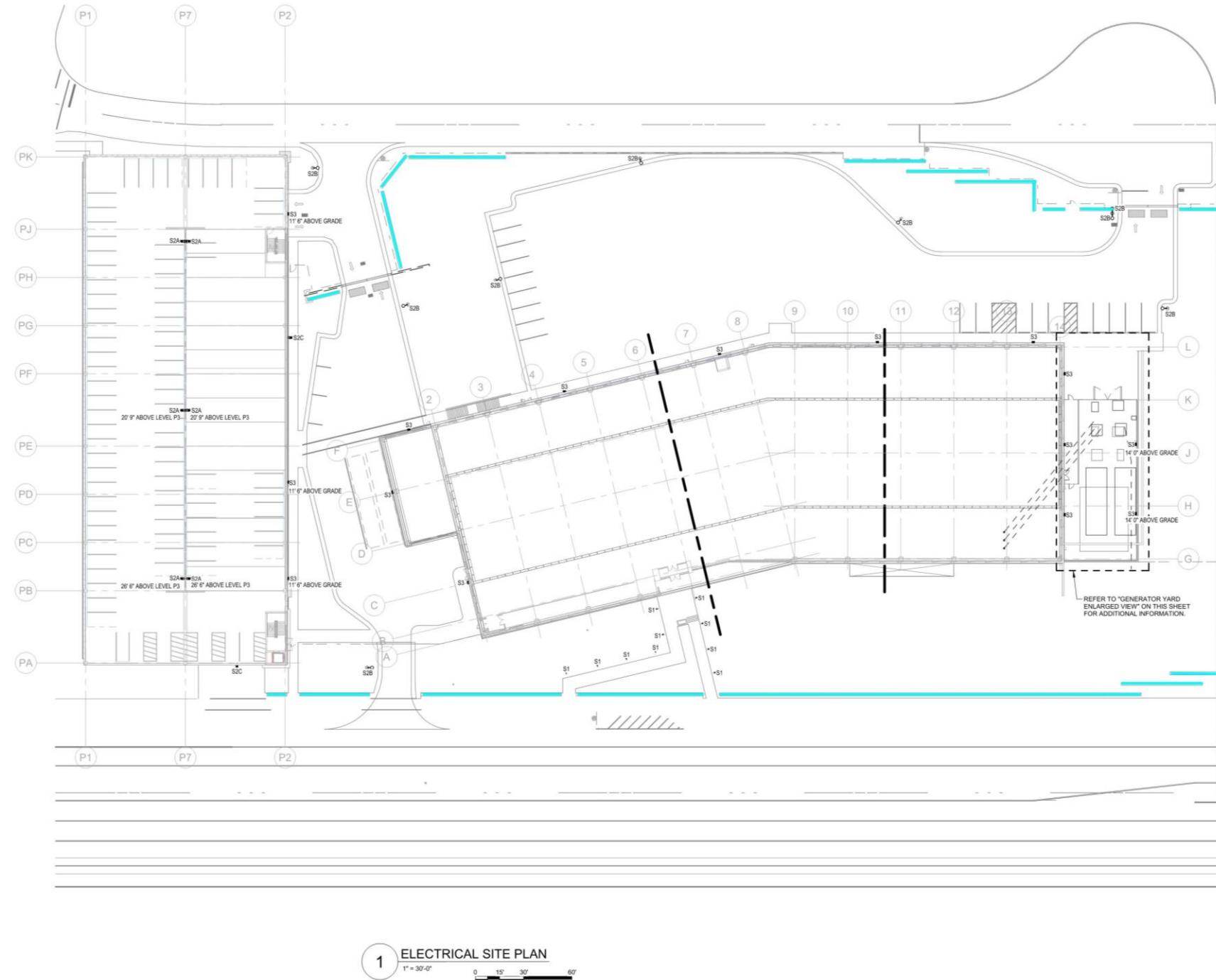
**NEW SHEET**

# EXTERIOR MATERIALS



NEW SHEET

# EXTERIOR LIGHTING PLANS



## REVISED

# EXTERIOR LIGHTING FIXTURES

| SITE LIGHTING SCHEDULE |   |              |   |          |               |              |       |     |                                    |                     |  |  |
|------------------------|---|--------------|---|----------|---------------|--------------|-------|-----|------------------------------------|---------------------|--|--|
| Fixture Type           | Description   | Manufacturer | Model                                       | Voltage  | Apparent Load | Lumen Output | CCT   | CRI | Mounting Height                    | Comments            |  |  |
| S1                     | 8" ROUND BOLLARD, 12 LEDS, ASYMMETRIC DISTRIBUTION, 36" HEIGHT, DARK BRONZE TEXTURED FINISH   | LITHONIA     | KBC8-LED-12C-700-40K-ASY-MVOLT-H36-DDBTXD   | 120-277V | 30.0 VA       | 1527 LM      | 4000K | 70  | N/A                                |                     |  |  |
| S2A                    | POLE-MOUNTED AREA LED, P3 PERFORMANCE PACKAGE, TYPE 3 WIDE DISTRIBUTION, SQUARE POLE MOUNTING, TEXTURED WHITE FINISH                | LITHONIA     | RSX3-LED-P3-30K-R3-MVOLT-SPA-DWHGXD         | 120-277V | 266.8 VA      | 32172 LM     | 3000K | 70  | 15' 0" ABOVE FINISHED FLOOR U.N.O. |                     |  |  |
| S2B                    | POLE-MOUNTED AREA LED, P4 PERFORMANCE PACKAGE, TYPE 4 WIDE DISTRIBUTION, SQUARE POLE MOUNTING, TEXTURED WHITE FINISH                | LITHONIA     | RSX3-LED-P4-30K-R4-MVOLT-SPA-DWHGXD         | 120-277V | 311.9 VA      | 37297 LM     | 3000K | 70  | 25' 0" ABOVE GRADE U.N.O.          |                     |  |  |
| S2C                    | WALL-MOUNTED AREA LED, P4 PERFORMANCE PACKAGE, TYPE 4 WIDE DISTRIBUTION, WALL BRACKET MOUNTING WITH SURFACE CONDUIT BOX...          | LITHONIA     | RSX3-LED-P4-30K-R4-MVOLT-WBASC-DWHGXD       | 120-277V | 311.9 VA      | 37297 LM     | 3000K | 70  | 22' 6" ABOVE GRADE U.N.O.          |                     |  |  |
| S3                     | WALL-MOUNTED LED WITH 3 LIGHT ENGINES, 30 LEDS, 1000mA DRIVER, TYPE 3 MEDIUM OPTIC, SURFACE-MOUNTED BACK BOX, TEXTURED WHITE FINISH | LITHONIA     | DSXW2-LED-30C-1000-30K-T3M-MVOLT-BBW-DWHD   | 120-277V | 109.0 VA      | 10505 LM     | 3000K | 70+ | 17' 0" ABOVE GRADE U.N.O.          |                     |  |  |
| S4                     | PARKING GARAGE INTERIOR LIGHTING FIXTURE, 4 LIGHT ENGINES, 4 LIGHT ENGINES, TYPE 5 WIDE DISTRIBUTION, TEXTURED DARK BRONZE FINISH   | LITHONIA     | VCPG-LED-V4-P4-30K-70CRI-T5W-MVOLT-BSW-DDBX | 120-277V | 56.0 VA       | 7414 LM      | 3000K | 70  | 8' 6" ABOVE FINISHED FLOOR U.N.O.  | INCLUDE BIRD SPIKES |  |  |



**KBC8 LED**  
LED Specification Bollard

BAA

## Specifications

8" Round  
(20.3 cm)  
Height: 42"  
(107.0 cm)  
Weight (max): 27lbs  
(12.25 kg)



Catalog Number  
Notes  
Type **TYPE S1**

## Introduction

The KBC8 Bollard is a stylish, fully integrated LED solution for walkways. It features a sleek, modern design and is carefully engineered to provide long-lasting, energy-efficient lighting with a variety of optical and control options for customized performance.

With an expected service life of over 20 years of nighttime use and up to 70% in energy savings over comparable 100W metal halide luminaires, the KBC8 Bollard is a reliable, low-maintenance lighting solution that produces sites that are exceptionally illuminated.

**1** **TYPE S1**  
NOT TO SCALE



**D-Series Size 2**  
LED Wall Luminaire

Nighttime  
Daytime  
BAA

d<sup>2</sup>series

## Specifications

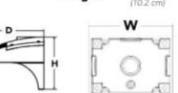
### Luminaire

Width: 18-1/2" (47.0 cm)  
Depth: 10" (25.4 cm)  
Height: 7-5/8" (19.4 cm)



### Back Box (BBW)

Width: 5-1/2" (14.0 cm)  
Depth: 1-1/2" (3.8 cm)  
Height: 4" (10.2 cm)



Catalog Number  
Notes  
Type **TYPE S3**

## A+ Capable Luminaire

This item is an A+ capable luminaire, which has been designed and tested to provide consistent color appearance and system-level interoperability.

- All configurations of this luminaire meet the Acuity Brands<sup>®</sup> specification for chromatic consistency
- This luminaire is A+ Certified when ordered with DTL<sup>®</sup> controls marked by a **shaded background**. DTL DLL equipped luminaires meet the A+ specification for luminaire to photocontrol interoperability!
- This luminaire is part of an A+ Certified solution for ROAM<sup>®</sup> or XPoint<sup>™</sup> Wireless control networks, providing out-of-the-box control compatibility with simple commissioning, when ordered with drivers and control options marked by a **shaded background**.

To learn more about A+, visit [www.acuitybrands.com/aplus](http://www.acuitybrands.com/aplus).

1. See ordering tree for details.

2. A+ Certified Solutions for ROAM require the order of one ROAM node per luminaire. Sold Separately: [Link to Roam](#); [Link to DTL DLL](#)

**3** **TYPE S3**  
NOT TO SCALE



**RSX3 LED**  
Area Luminaire



Catalog Number  
Notes  
Type **TYPE S2A,S2B, S2C**

## Introduction

The new RSX LED Area family delivers maximum value by providing significant energy savings, long life and outstanding photometric performance at an affordable price. The RSX3 delivers 25,000 to 41,000 lumens allowing it to replace 400W to 1000W HID luminaires.

The RSX features an integral universal mounting mechanism that allows the luminaire to be mounted on most existing drill hole patterns. This "no-drill" solution provides significant labor savings. An easy-access door on the bottom of mounting arm allows for wiring without opening the electrical compartment. A mast arm adaptor, adjustable integral slipfitter and other mounting configurations are available.

**2** **TYPES S2A,S2B, S2C**  
NOT TO SCALE



**VCPG LED**  
Parking Garage



Catalog Number  
Notes  
Type **TYPE S4**

## Introduction

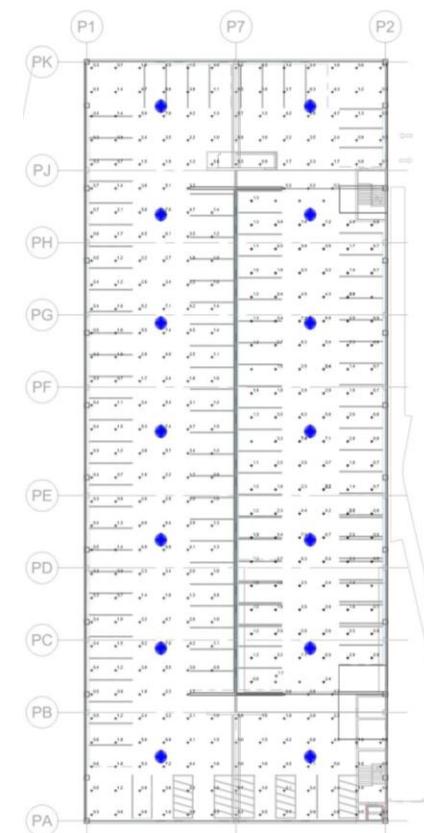
The all new VCPG LED (Visually Comfortable Parking Garage) luminaire is designed to bring glare control, optical performance and energy savings into one package. The recessed lens design of VCPG LED minimizes high angle glare, while its precision molded acrylic lens eliminates LED pixelation and delivers the required minimums, verticals and uniformity. The dedicated up-light module option reduces the contrast between the luminaire and the ceiling creating a more visually comfortable environment.

The VCPG LED delivers up to 87% in energy savings when replacing 175W metal halide luminaires. With over 100,000 hour life expectancy (12+ years of 24/7 continuous operation), the VCPG LED luminaire provides significant maintenance savings over traditional luminaires.

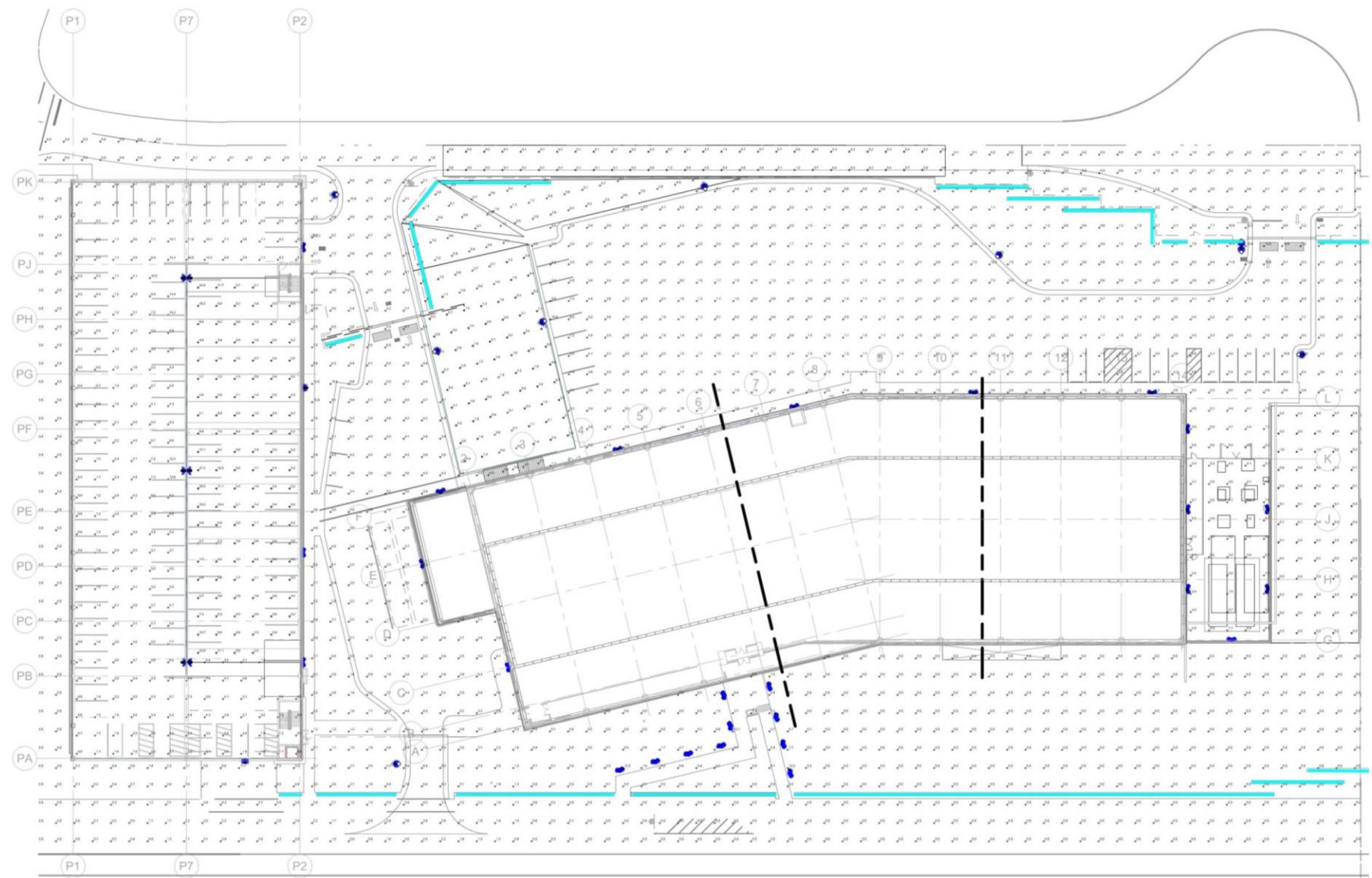
**4** **TYPE S4**  
N.T.S.

FULL SIZE  
DRAWING  
PROVIDED

# EXTERIOR LIGHTING PLANS



2 TYPICAL GARAGE INTERIOR PHOTOMETRIC PLAN  
1' = 30'-0"



1 ELECTRICAL SITE PHOTOMETRIC PLAN  
1' = 30'-0"

REVISED



HGA |