



Wauwatosa, WI

Design Review Board

Meeting Agenda

7725 W. North Avenue
Wauwatosa, WI 53213

Thursday, June 26, 2025

7:00 PM

Committee Room #1

CALL TO ORDER

NEW BUSINESS

- | | |
|---|--------------------------------|
| 7200 W North Avenue - New Tenant - Exterior Modifications | <u>25-1060</u> |
| 7105 W North Avenue - Flash Laundromat - Exterior Modifications | <u>25-1061</u> |
| 11020 W Plank Ct - Tenant Build-Out - Exterior Alterations | <u>25-1062</u> |
| 8100 Chestnut Street - New Residential Home | <u>25-1063</u> |

ADJOURNMENT

NOTICE TO PERSONS WITH A DISABILITY

Persons with a disability who need assistance to participate in this meeting should call the City Clerk's office at (414) 479-8917 or send an email to tclerk@wauwatosa.net, with as much advance notice as possible.



Wauwatosa, WI

Staff Report

7725 W. North Avenue
Wauwatosa, WI 53213

File #: 25-1060

Agenda Date: 6/26/2025

Agenda #:

7200 W North Avenue - New Tenant - Exterior Modifications

PROJECT

STRIEGEL AGACKI STUDIO
1430 UNDERWOOD
WAUWATOSA, WI 53213
TEL 414.793.3586

Owner:
North 7200, LLC
PO BOX 510932
MILWAUKEE, WI 53203

CONSULTANTS[illegible]

project name

TENANT
IMPROVEMENT

7200 W. NORTH AVENUE
WAUWATOSA, WI 53213

ISSUED FOR REVIEW
NOT FOR CONSTRUCTION

SCALE:
COMPUTER FILE:

DRAWN BY:

PLOT DATE:

JOB NUMBER:

TITLE:

SHEET

SHEET NUMBER

T100

© STRIEGEL AGACKI STUDIO, INC.



© STRIEGL, AGACKI STUDIO, INC.

GENERAL NOTES

1. PRIOR TO PENETRATION OF ANY EXTERIOR WALL SURFACE THE LOCATION OF THE PENETRATION MUST BE COORDINATED AND APPROVED BY THE ARCHITECT. FAILURE TO OBTAIN PERMISSION MAY RESULT IN RELOCATION OF THE INSTALLED ITEM AND REPAIR OF THE AFFECTED SURFACES AT NO COST TO THE OWNER.
2. NOTE ONE ABOVE APPLIES TO ALL PENETRATIONS INCLUDING BUT NOT LIMITED TO ROOF SCUPPERS, UTILITY CONNECTIONS, VENTS, AIR INTAKES, ETC.
3. ALL JOINTS IN EXTERIOR MATERIALS ARE AN INDICATION OF DESIGN INTENT ONLY. ALL JOINTS TO FOLLOW MANUFACTURERS RECOMMENDATIONS OR GOOD PRACTICE FOR INSTALLATION AND REQUIRED JOINT LOCATIONS. NOTIFY ARCHITECT OF ANY DEVIATION FROM JOINT PATTERN PRIOR TO EXECUTION.
4. REFER TO A300 SHEETS FOR WINDOWS AND DOORS AND ASSOCIATED NOTES.

ELEVATION KEY NOTES

- 1 EXISTING BRICK MASONRY
- 2 EXISTING BRICK SOLIDER COURSE
- 3 EXISTING CAST TRIM
- 4 EXISTING CLAY TILE ROOF
- 5 EXISTING WOOD BRACKET
- 6 EXISTING CLAY COPING
- 7 EXISTING STONE COPING
- 8 NEW 1x4 ENGINEERED COMPOSITE TRIM, PAINTED
- 9 NEW 1x6 ENGINEERED COMPOSITE TRIM, PAINTED
- 10 NEW SMOOTH FINISH FIBER CEMENT SIDING-1 ON COR-A-VENT SHIM SYSTEM, PAINTED
- 11 NEW FIBER CEMENT SIDING ALUMINUM REVEAL TRIM SYSTEM
- 12 NEW ALUMINUM STOREFRONT SYSTEM, PAINTED
- 13 NEW BRICK MASONRY TO MATCH EXISTING MASONRY AND GROUT
- 14 NEW CAST SILL

- ED EXISTING DOOR TO REMAIN
- EW EXISTING WINDOW TO REMAIN

EXTERIOR DOOR / WINDOW NOTES

1. ALL WINDOWS ARE TO MEET ALL CODE REQUIREMENTS - GC TO COORDINATE WITH SUPPLIER.
2. T = TEMPERED SAFETY GLASS PER CODE.
3. SWINGING DOORS WITH FULL LITES TO HAVE MINIMUM 10" HIGH BOTTOM RAIL PER ICC/ANSI A117.1 - 2009, 404.2.9.
4. REFER TO ELEVATION DRAWINGS FOR WINDOW OPERATION OR GROUPINGS.
5. GC TO VERIFY ALL WINDOW AND DOOR ROUGH OPENINGS IN FIELD PRIOR TO ORDERING WINDOW UNITS.
6. ALL GLAZING TO COMPLY WITH IBC 2015, CHAPTER 24 FOR SAFETY GLAZING MATERIALS, REQUIRED APPLICABLE TESTING AND LOCATIONS, GC AND SUPPLIER TO VERIFY.
7. CHANGES IN LEVEL GREATER THAN 1/4" IN HEIGHT AND NOT MORE THAN 1/2" MAXIMUM IN HEIGHT SHALL BE BEVELED WITH A SLOPE NOT STEEPER THAN 1:2. VERIFY WITH DOOR LOCATIONS AND COORDINATE WITH MANUFACTURER / SUPPLIER.
8. WINDOW AND DOOR SIZES ARE APPROXIMATE UNIT DIMENSIONS, NOT ROUGH OPENINGS. GC TO COORDINATE APPROVED WINDOW AND DOOR MANUFACTURER'S REQUIRED ADDITIONAL SHIM SPACE GIVEN POTENTIAL BUILDING SHRINKAGE AT WOOD FLOORS AND RESULTANT REQUIRED WINDOW AND DOOR ROUGH OPENINGS AND REPORT TO ARCH.
9. EXTERIOR DOOR CLEAR OPENING WITH DOOR SWING OPEN TO 90 DEGREES OR FULLY SLID OPEN TO BE MINIMUM 32" CLEAR WIDTH, GC AND SUPPLIER TO VERIFY AND REPORT TO ARCH.
10. REFER TO A3 SHEETS FOR EXTERIOR CLADDING MATERIALS ADJACENT TO WINDOW UNITS AND NUMBERED DETAILS.
11. 'EW' WINDOWS ARE UNITS TO BE REPLACED IN PLACE; VERIFY THESE UNIT SIZES IN FIELD.

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DATE	NO.	REVISION
04-10-25		PROGRESS SET

project name

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WALWATOSA, WI 53213

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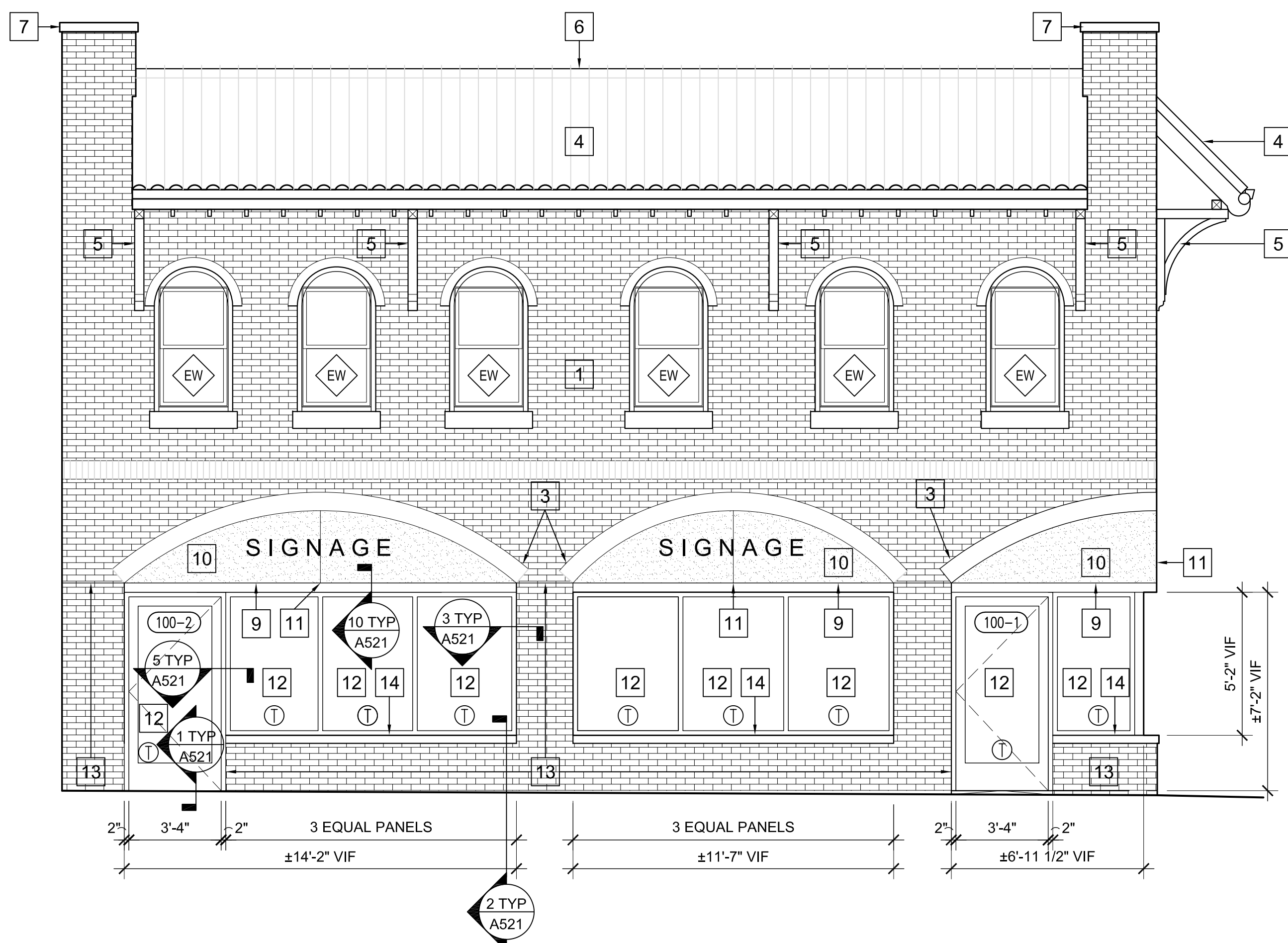
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TITLE:
EXTERIOR ELEVATIONS

SHEET NUMBER

A301

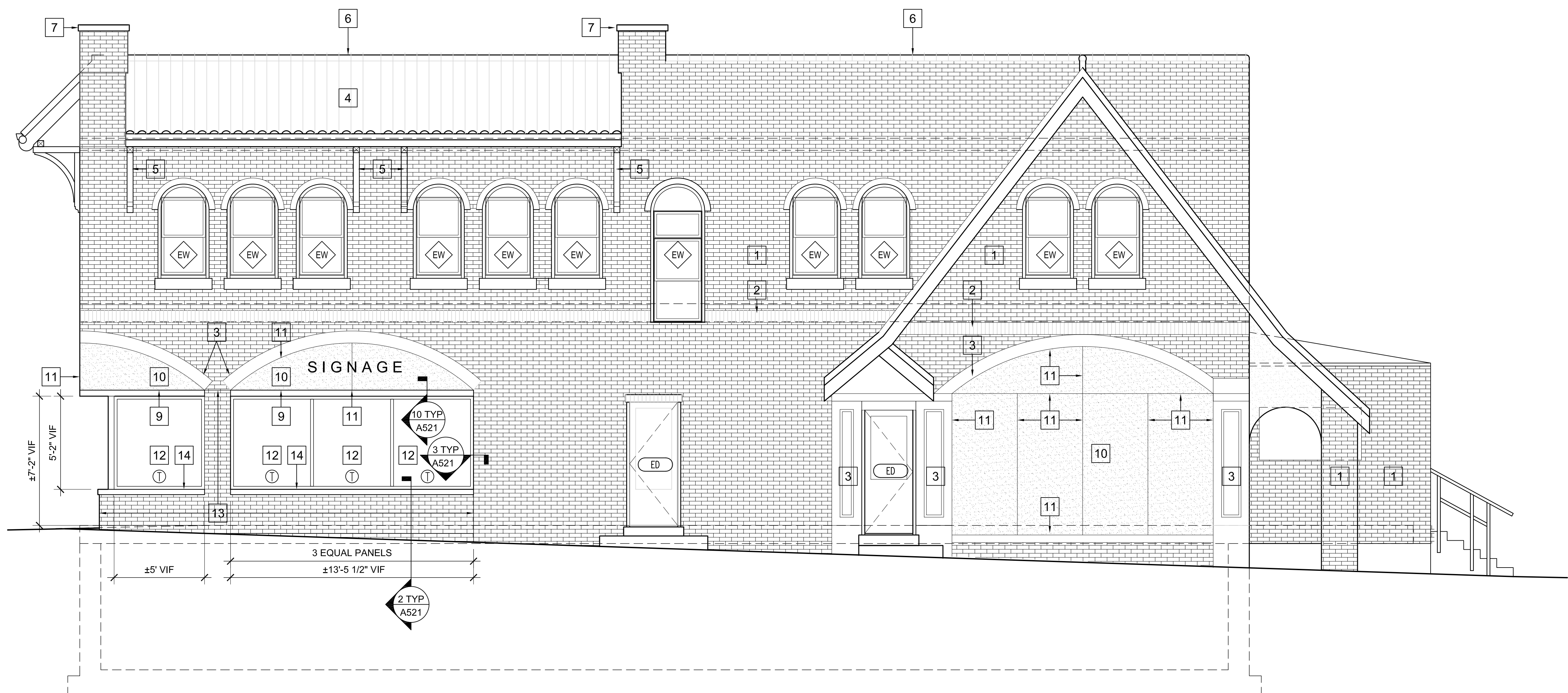
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SOUTH ELEVATION

1/4" = 1'-0"

2



EAST ELEVATION

1/4" = 1'-0"

1

UP / DOWN SCONCE,
TYPICAL



SOUTH ELEVATION

1/4" = 1'-0"

2



EAST ELEVATION

1/4" = 1'-0"

1

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EXTERIOR ELEVATIONS

SHEET NUMBER

A301

© STRIEGEL AGACKI STUDIO, INC.



Smooth finish, Tamlyn aluminum trim in lieu of battens

Statement
Collection®

Primed for
Paint

❓ Did not find the color you're looking for? [Click here.](#)

Select color

- Green
- Brown
- Gray
- Purple
- Blue
- Neutral
- White
- **Black**
- Yellow
- Red
- Orange

Find colors by name

Search by color name. E.g. "Linden Green"



Preferred color

Made specifically for you, products may incur additional cost and production time.

Shou Sugi Ban

Add sample to
cart | \$10



Visualize with Hardie™ Designer, powered
by Hover®



Individual colors may vary depending on display settings. Samples only available in Select Cedarmill® texture. Please check with your contractor or local dealer for availability in your area.

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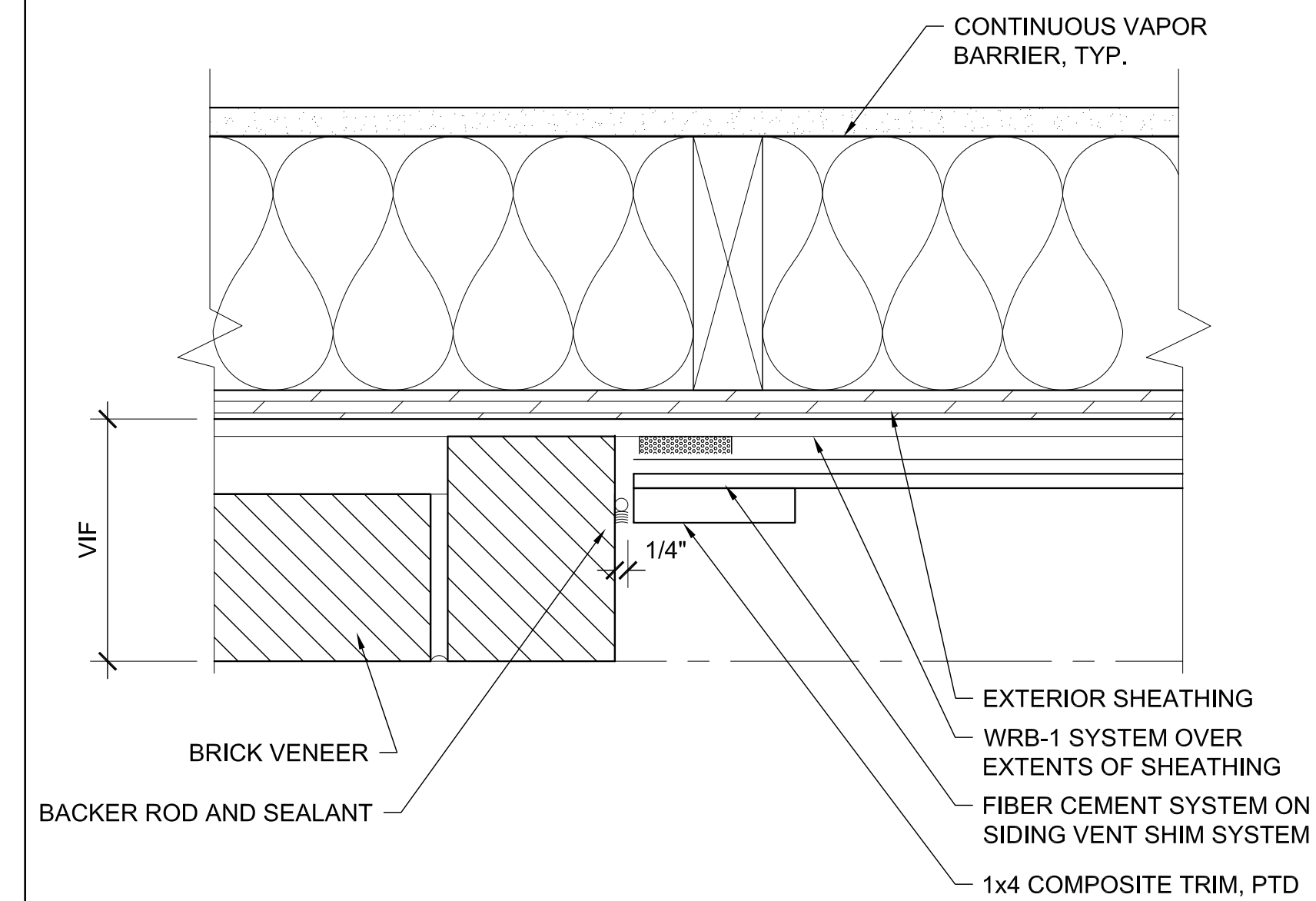
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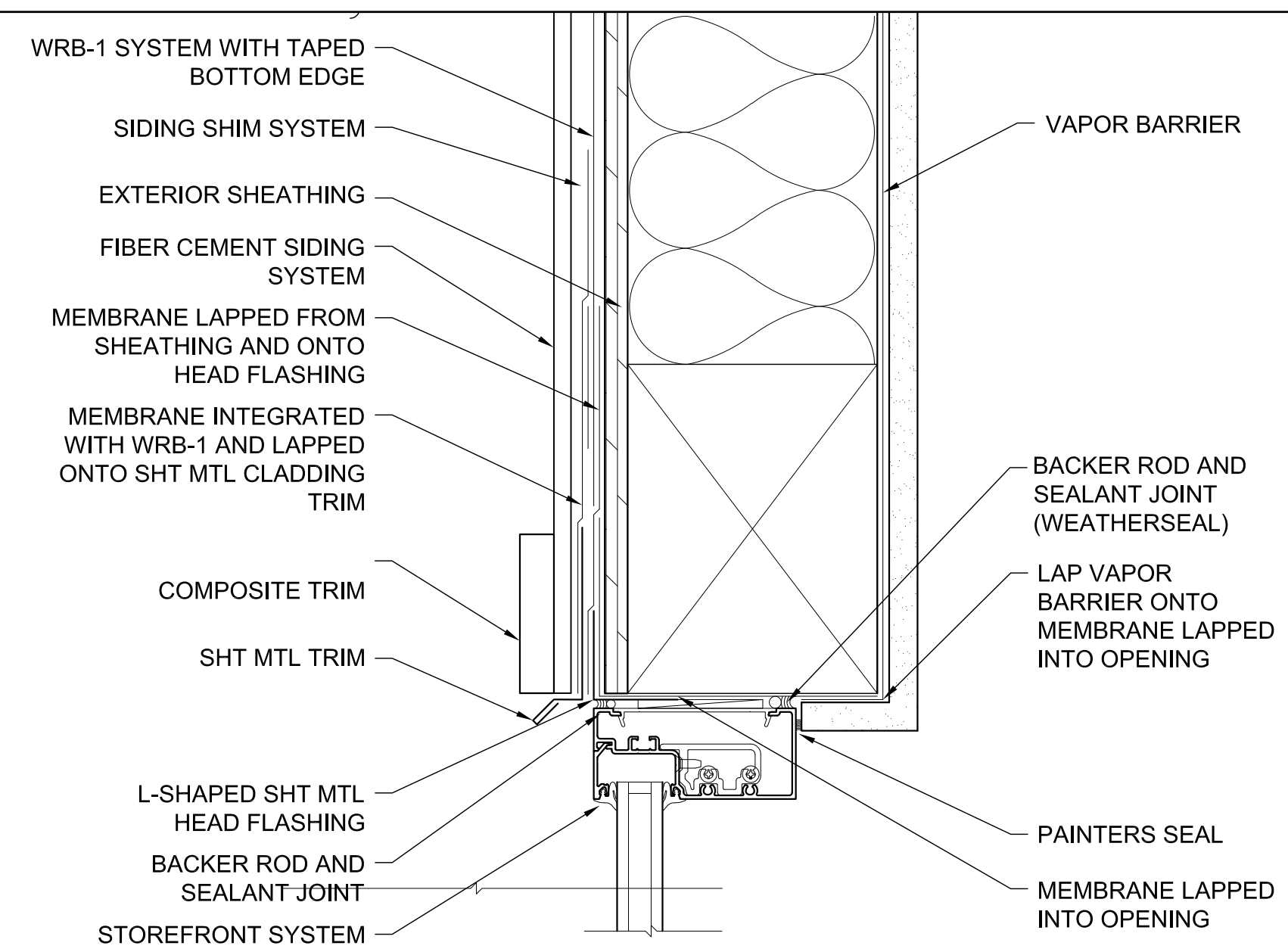
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JOB NUMBER:
TITLE:
EXTERIOR DETAILS

SHEET NUMBER
A521

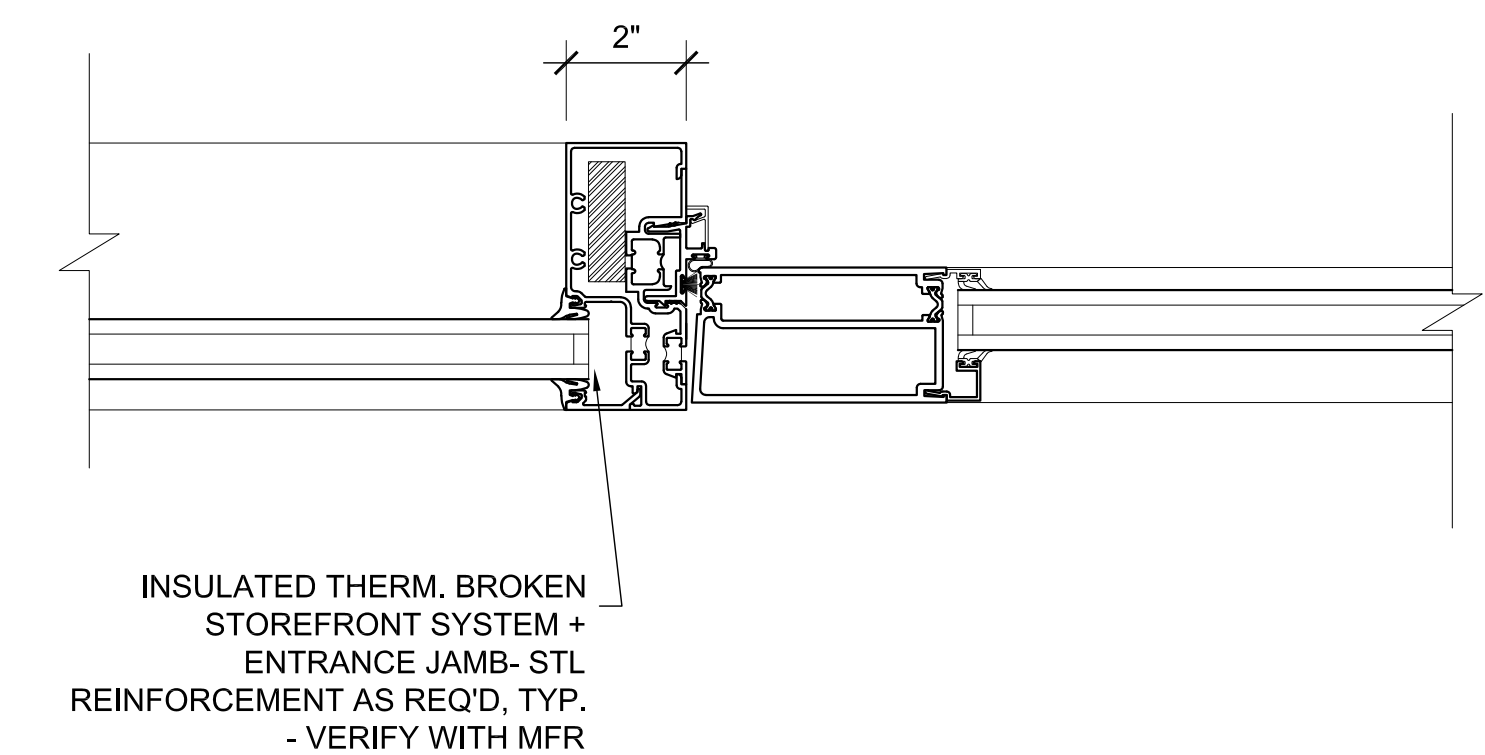
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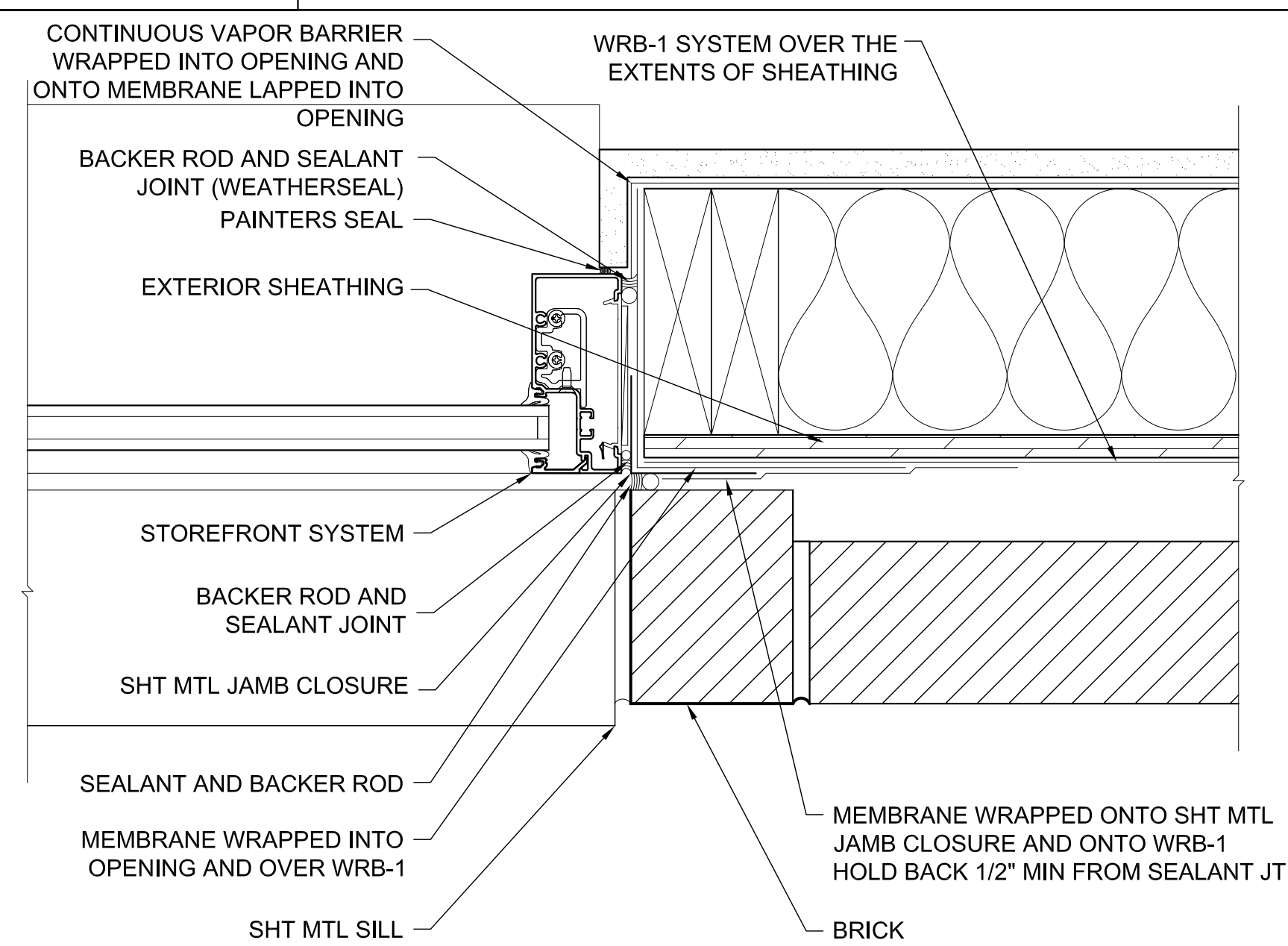
9 PLAN DETAIL - BRICK TO FIBER CEMENT
Scale: 3"=1'-0"



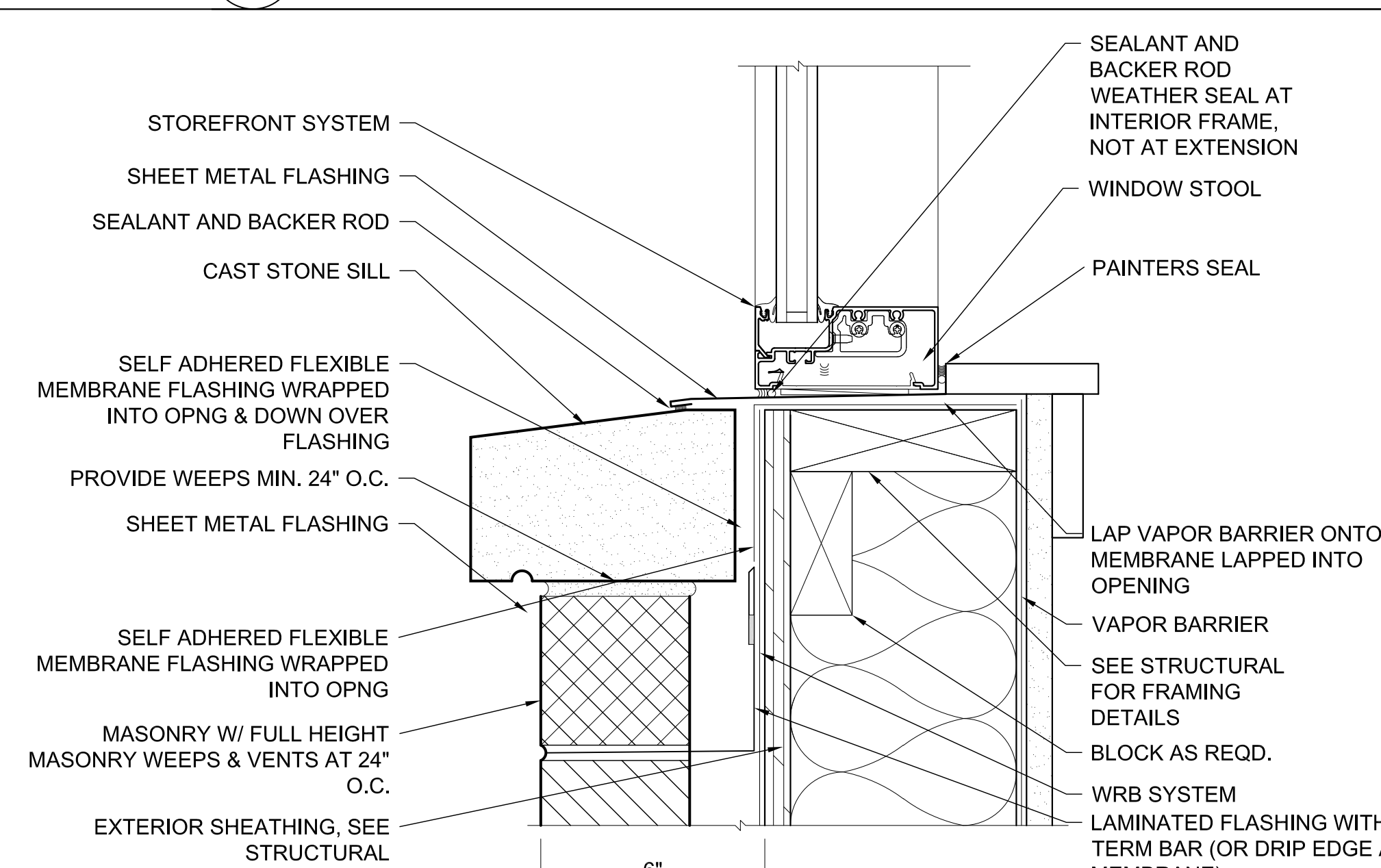
10 STOREFRONT FIBER CEMENT SIDING HEAD
Scale: 3"=1'-0"



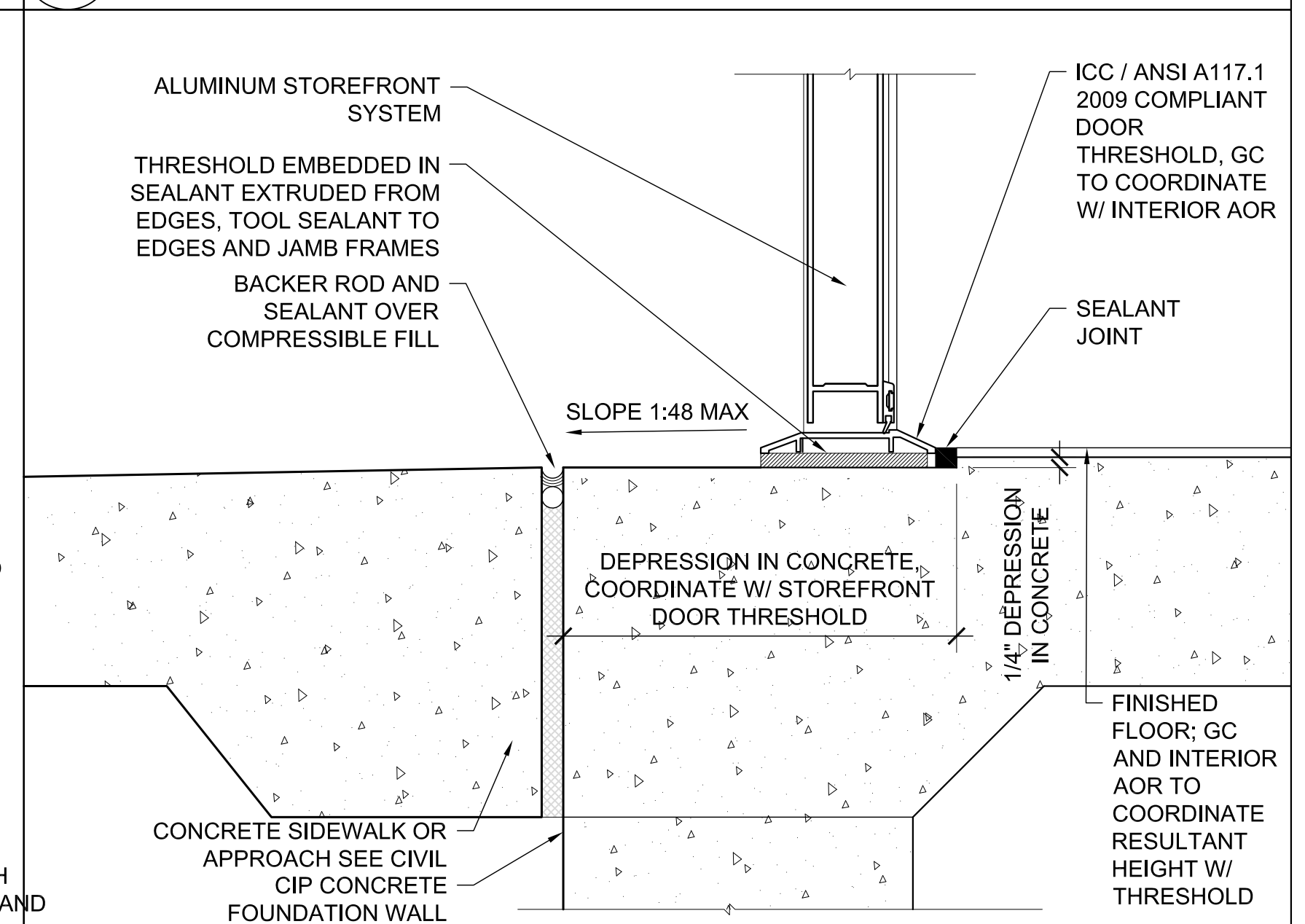
5 STOREFRONT JAMB DETAIL AT DOOR
Scale: 3"=1'-0"



3 STOREFRONT / MASONRY JAMB DETAIL
Scale: 3"=1'-0"



2 MASONRY STOREFRONT SILL DETAIL
Scale: 3"=1'-0"



1 STOREFRONT DOOR SILL
Scale: NTS



Wauwatosa, WI

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File #: 25-1061

Agenda Date: 6/26/2025

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7105 W North Avenue - Flash Laundromat - Exterior Modifications



SOUTHWEST CORNER

REPLACE EXISTING GARAGE DOOR WITH STOREFRONT DOORS



SOUTHEAST CORNER

ALIGN SOUTH WINDOWS WITH EAST WINDOWS TO PROVIDE REQUIRED EQUIPMENT INTAKE LOUVERS



NORTHEAST CORNER



FRONT FACE - NORTH AVE

REPLACE SIGNAGE

REPLACE EXISTING GARAGE DOOR WITH STOREFRONT DOORS

REMOVE SIGNAGE THAT NO LONGER APPLIES

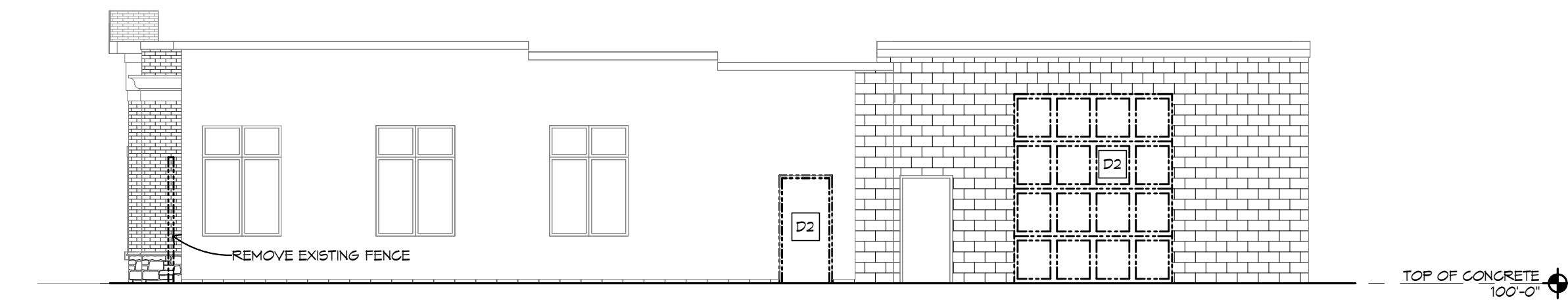


NORTHWEST CORNER

ALL EXISTING SITE LIGHTING TO REMAIN

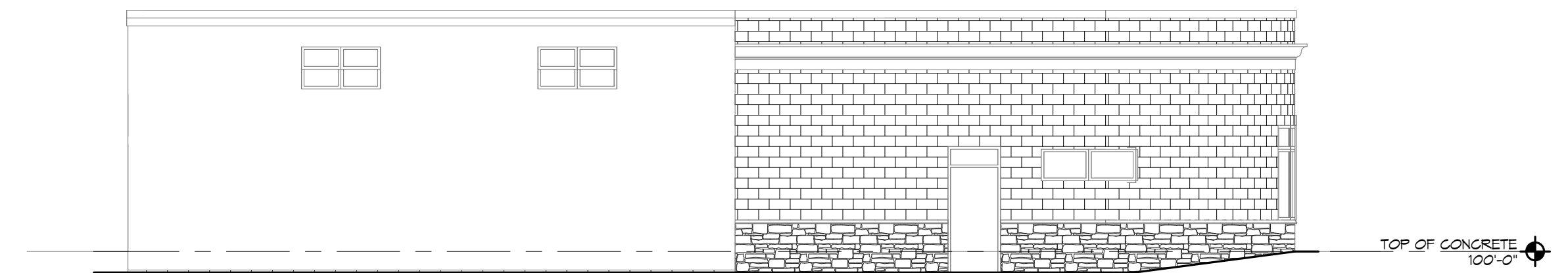
REMOVE EXISTING FENCE

REPLACE EXISTING DOOR WITH STOREFRONT DOOR



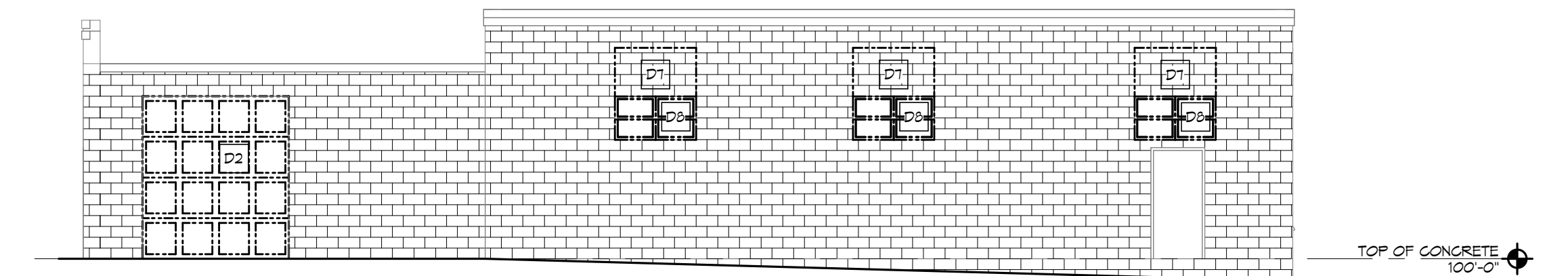
WEST ELEVATION

6
A100



EAST ELEVATION

4
A100



SOUTH ELEVATION

5
A100



NORTH ELEVATION

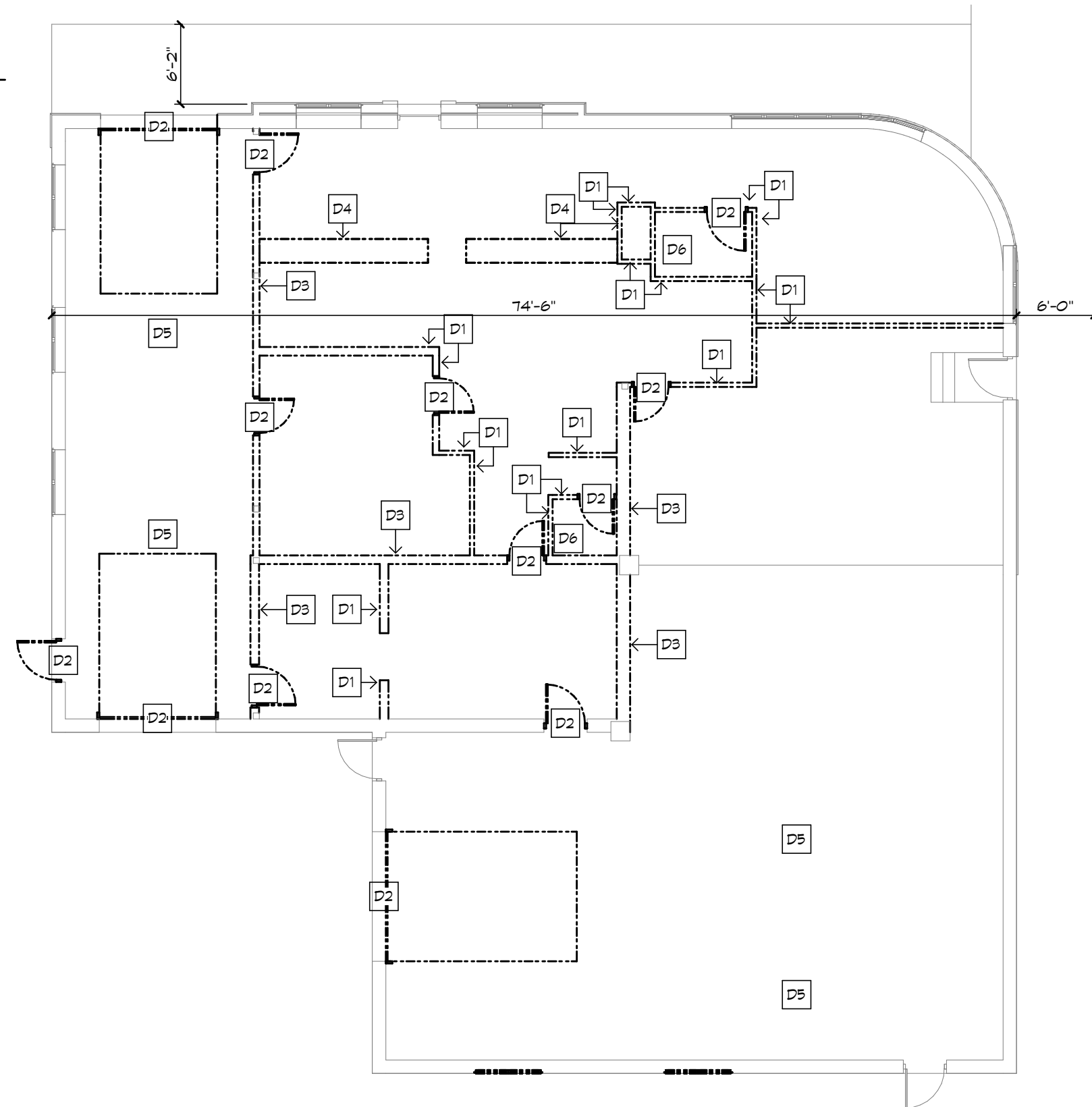
3
A100

DEMOLITION - GENERAL NOTES:

- A. CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS AND CONDITIONS AT JOB SITE. EXISTING DRAWINGS REPRESENTED THE INFORMATION AVAILABLE AT THE TIME OF DRAWING PREPARATION, HOWEVER THE EXISTING DRAWINGS MAY NOT REPRESENT ALL CURRENT CONDITIONS. BRING ALL CONFLICTS TO THE ATTENTION OF THE GENERAL CONTRACTOR.
- B. ALL EXISTING STRUCTURAL COMPONENTS TO REMAIN.
- C. REMOVE ALL EXISTING WALL COVERINGS AND MASTIC, WALL BASE, TRIM, WALL BUMPERS, CORNER GUARDS, ETC.; PATCH, REPAIR AND PREPARE SUBSTRATE AS REQUIRED TO RECEIVE NEW FINISHES AS SCHEDULED.
- D. EXISTING WALLS, DOORS, FRAMES, ETC. THAT ARE SCHEDULED TO BE REMOVED ARE DASHED LINE TYPES (SEE BELOW). SEE DEMOLITION PLANS KEY NOTES FOR SPECIFIC INSTRUCTIONS.
- E. EXISTING WALLS, DOORS, FRAMES ETC. THAT ARE SCHEDULED TO REMAIN ARE SHOWN IN A LIGHT LINE HEIGHT AND ARE TO BE PROTECTED FROM DAMAGE DURING DEMOLITION AND CONSTRUCTION. PATCH, REPAIR AND PREPARE SUBSTRATE AS REQUIRED TO RECEIVE NEW FINISHES AS SCHEDULED.
- F. ANY REQUIRED DEMOLITION OF PLUMBING, HVAC, AND ELECTRICAL EQUIPMENT / MATERIALS SHALL BE COORDINATED WORK WITH ASSOCIATED CONTRACTORS.
- G. ALL DEMOLITION TO BE PATCHED AND REPAIRED TO MATCH EXISTING OR TO ACCOMMODATE NEW CONSTRUCTION.
- INDICATES EXISTING BUILDING COMPONENT TO REMAIN
- - - - - INDICATES EXISTING BUILDING COMPONENT TO BE REMOVED

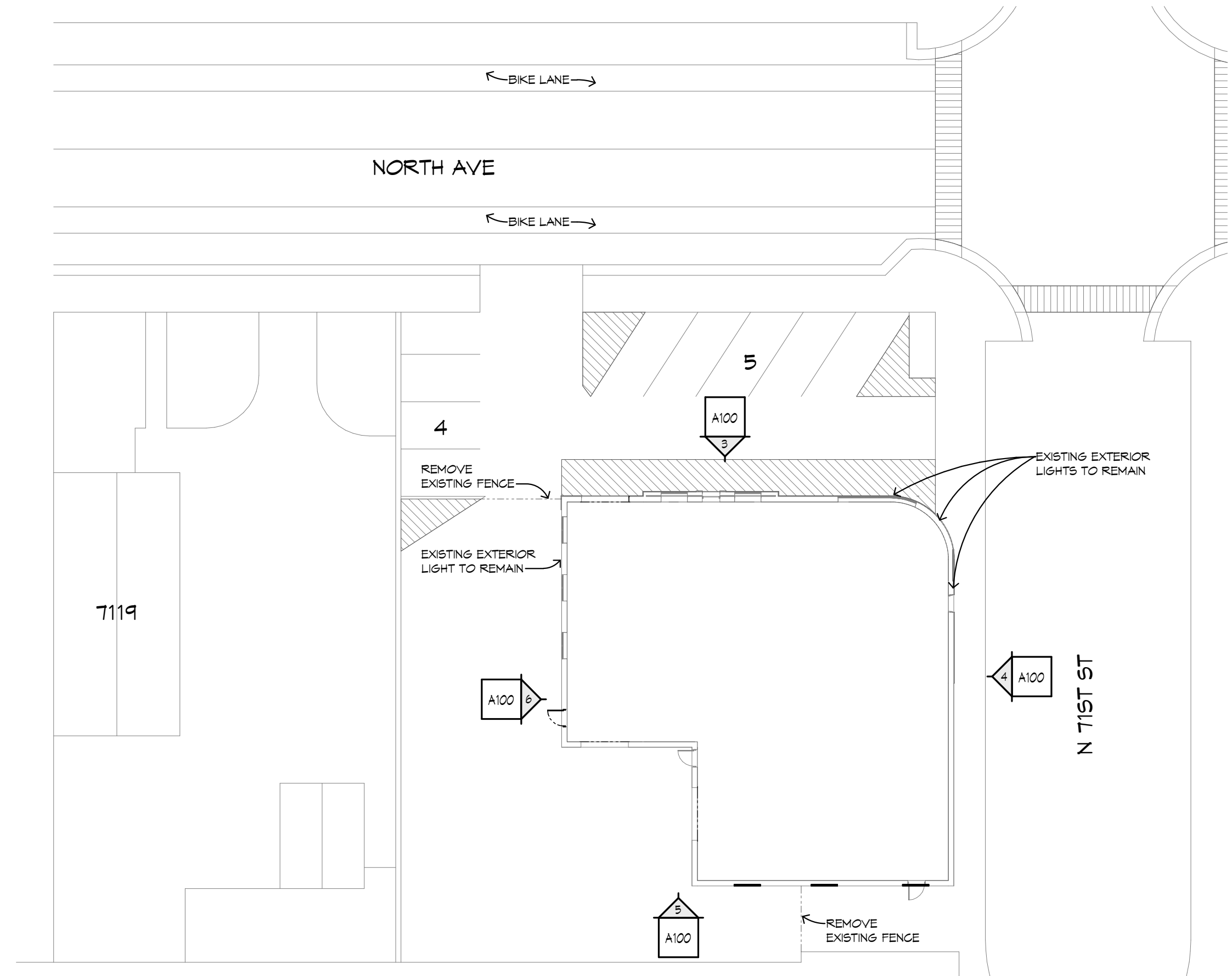
DEMOLITION PLANS KEY NOTES

- D1 REMOVE EXISTING NON-BEARING WALL ASSEMBLY IN ITS ENTIRETY UP TO CEILING OR ROOF FRAMING, AS APPLICABLE.
- D2 REMOVE EXISTING DOOR AND FRAME ASSEMBLY.
- D3 SANGUT AND REMOVE NON-LOAD BEARING PORTION OF BLOCK WALL.
- D4 REMOVE EXISTING COUNTER, MILLWORK, AND RELATED EQUIPMENT.
- D5 REMOVE EXISTING HYDRAULIC LIFT IN ITS ENTIRETY, PREPARE FLOOR FOR NEW SELF-LEVELING GYPCRETE.
- D6 REMOVE EXISTING BATHROOM FIXTURES, CAP ALL PIPES.
- D7 SANGUT AND REMOVE IDENTIFIED SECTION OF EXISTING EXTERIOR WALL, PREPARE OPENING FOR NEW INTEL TO MATCH EXISTING AND SALVAGED WINDOW BELOW.
- D8 SALVAGE EXISTING WINDOW TO BE REINSTALLED IN NEW OPENING ABOVE.



GROUND FLOOR DEMO PLAN

1" = 10'-0"



SITE DEMO PLAN

1" = 20'-0"

FLASH LAUNDROMAT

7105 W North Ave, Wauwatosa

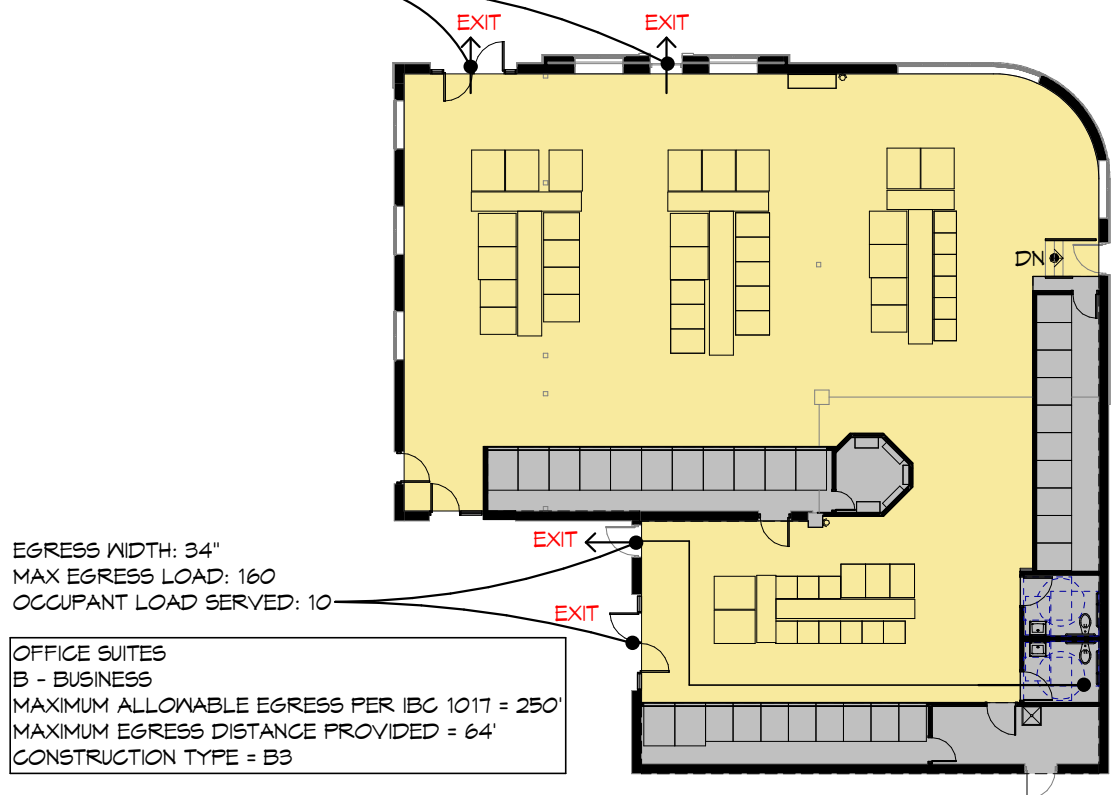
EXISTING CONDITIONS

6/17/2025

PROJECT STATISTICS

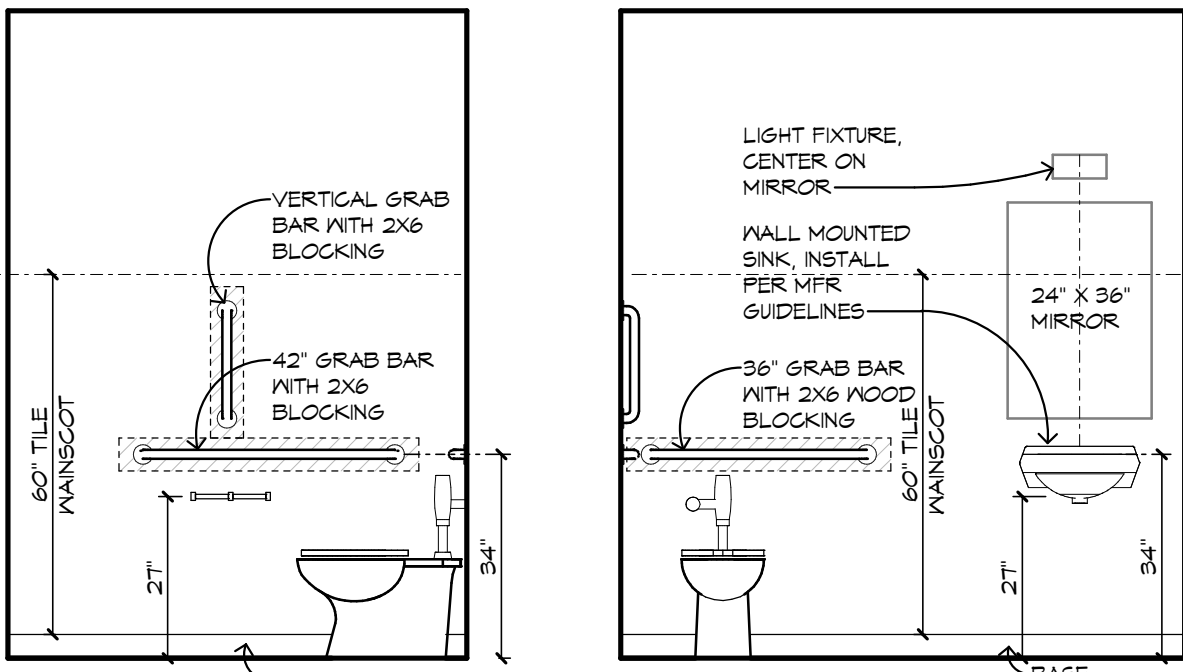
OCCUPANCY	B - BUSINESS (LAUNDRY)		
SPRINKLERS	NONE		
GROUND FLOOR AREA	4,577 SQ FT		
RENOVATION VOLUME	46,544 CU FT (2,542 SF X 4 + 1,430 SF X 12)		
APPLICABLE CODES	WISCONSIN EXISTING BUILDING CODE - 2015 IBC - WISCONSIN COMMERCIAL BUILDING CODE - 2015 IBC - WISCONSIN ACCESSIBILITY CODE - ICC/ANSI 117.1-2009 ENERGY - IECC 2009 - WISCONSIN ADOPTED IECC 2015 IV AMENDMENTS PLUMBING CODE - WISCONSIN SPS 381-387 MECHANICAL CODE - 2015 IMC - WISCONSIN SPS 364-365 ELECTRICAL CODE - NEC 2011 - SPS 316		
CONSTRUCTION TYPE	3B	FIRE RATING	
	CORRIDOR FIRE-RESISTANCE RATING	N/A	
	PRIMARY STRUCTURAL FRAME	0 HOUR	
	BEARING WALLS - EXTERIOR	2 HOUR	
	BEARING WALLS - INTERIOR	0 HOUR	
	NON-BEARING WALLS - EXTERIOR	0 HOUR	
	NON-BEARING WALLS - INTERIOR	0 HOUR	
OCCUPANT LOADS	FUNCTION	LOAD FACTOR	AREA
	BUSINESS	100 GROSS	9576 SQ FT
	ACCESSORY	300 GROSS	1001 SQ FT
	TOTAL OCCUPANTS	40	
PLUMBING FIXTURE CALCULATIONS (202.1)	OCCUPANCY	LOAD	WATER CLOSETS LAVATORIES SERVICE SINK
	BUSINESS	40	1.64
	MINIMUM REQUIRED	2	1
	NUMBER PROVIDED	2	1

EGRESS WIDTH: 34"
MAX EGRESS LOAD: 180
OCCUPANT LOAD SERVED: 10



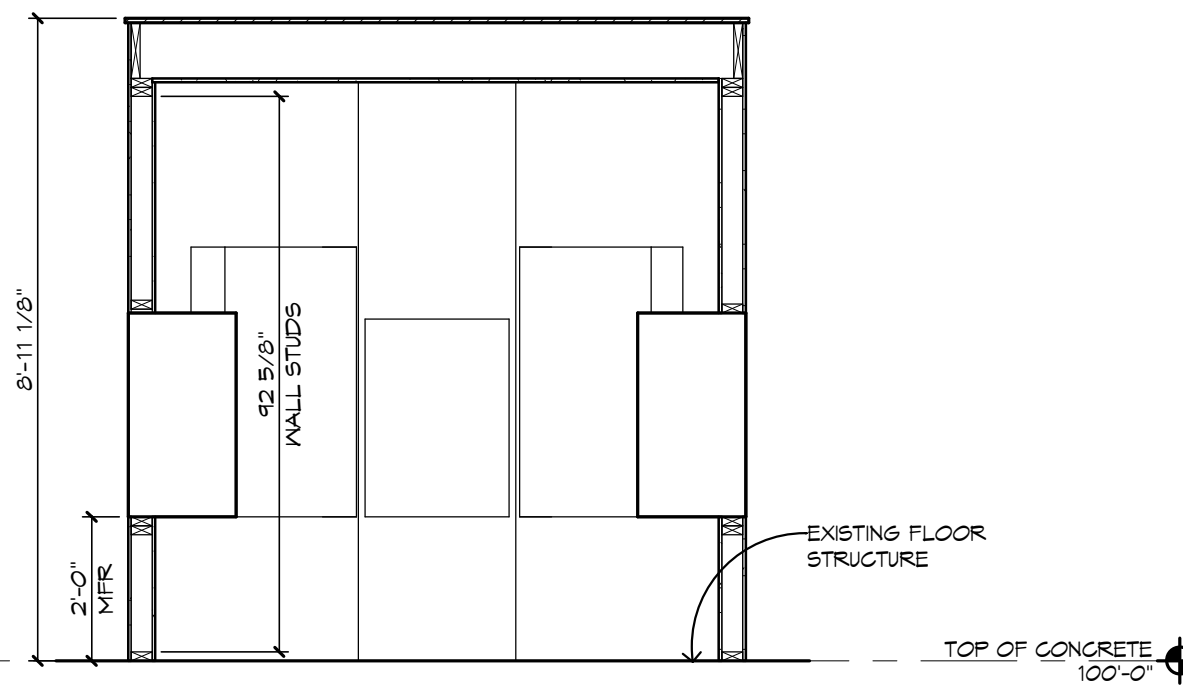
GROUND FLOOR LIFE SAFETY PLAN

1" = 20'-0"



TOILET

TOILET



SERVICE ROOM SECTION

3/8" = 1'-0"

NEW WORK GENERAL NOTES:

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- DIMENSIONS AT EXISTING INTERIOR AND EXTERIOR WALLS ARE TO FINISHED FACE OF EXISTING DRYWALL OR MASONRY.
- ALL OTHER DIMENSIONS ARE TO FACE OF STUD.
- ALL DEMOLITION TO BE PATCHED AND REPAIRED TO MATCH EXISTING OR TO ACCOMMODATE NEW CONSTRUCTION. PREPARE SUBSTRATES AS REQUIRED FOR NEW FINISHES.
- FILL DEPRESSIONS WHERE TILE, GROUT, MORTAR BEDS, ETC. WERE REMOVED WITH A CONCRETE THASSET (USE BONDING AGENTS) COMPATIBLE WITH THE FINISHED FLOORING.
- COORDINATE STUD LOCATION WITH ELECTRICAL AND MECHANICAL CONTRACTORS TO ALLOW FOR ELECTRICAL PANELS, VENTS, ETC.
- VERIFY WALL CONSTRUCTION WITH WALL TYPE.
- FIELD VERIFY EXISTING WALL CONSTRUCTION. PROVIDE 2X 6 WOOD BLOCKING AS REQUIRED WHERE NEW CONSTRUCTION, ETC. IS SHOWN ATTACHING TO EXISTING WALLS.

WALL TYPES

DOOR SCHEDULE

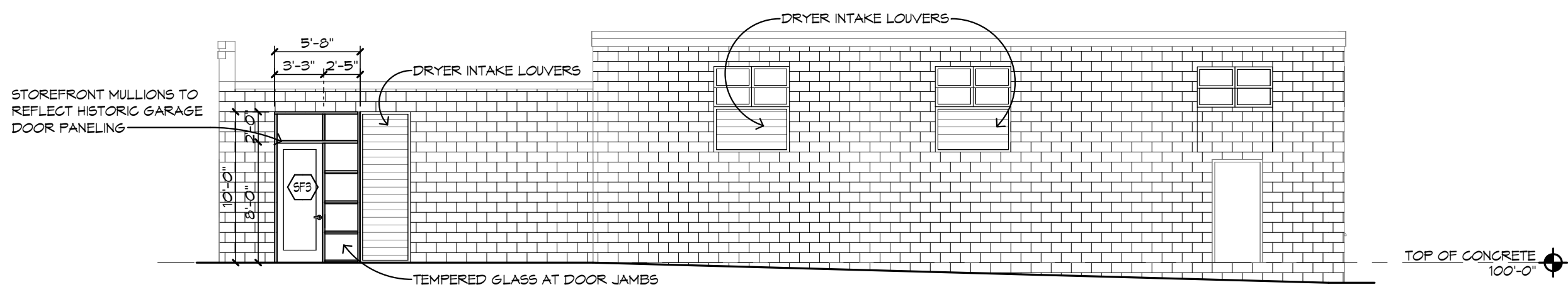
FE FIRE EXTINGUISHER WITH SURFACE MOUNTED BRACKET.
INDICATES EXISTING BUILDING COMPONENT TO REMAIN

INTERIOR ELEVATION NOTES

- MOUNT WASHROOM ACCESSORIES AT HEIGHTS AS RECOMMENDED BY MANUFACTURER FOR ADA COMPLIANCE.
- FIELD VERIFY ALL TOPS, MIRRORS AND CABINETRY DIMENSIONS.
- PROVIDE 2 X 6 WOOD BLOCKING FOR ALL GRAB BARS. PROVIDE 2 X 6 WOOD BLOCKING AS REQUIRED FOR MIRRORS, ETC.

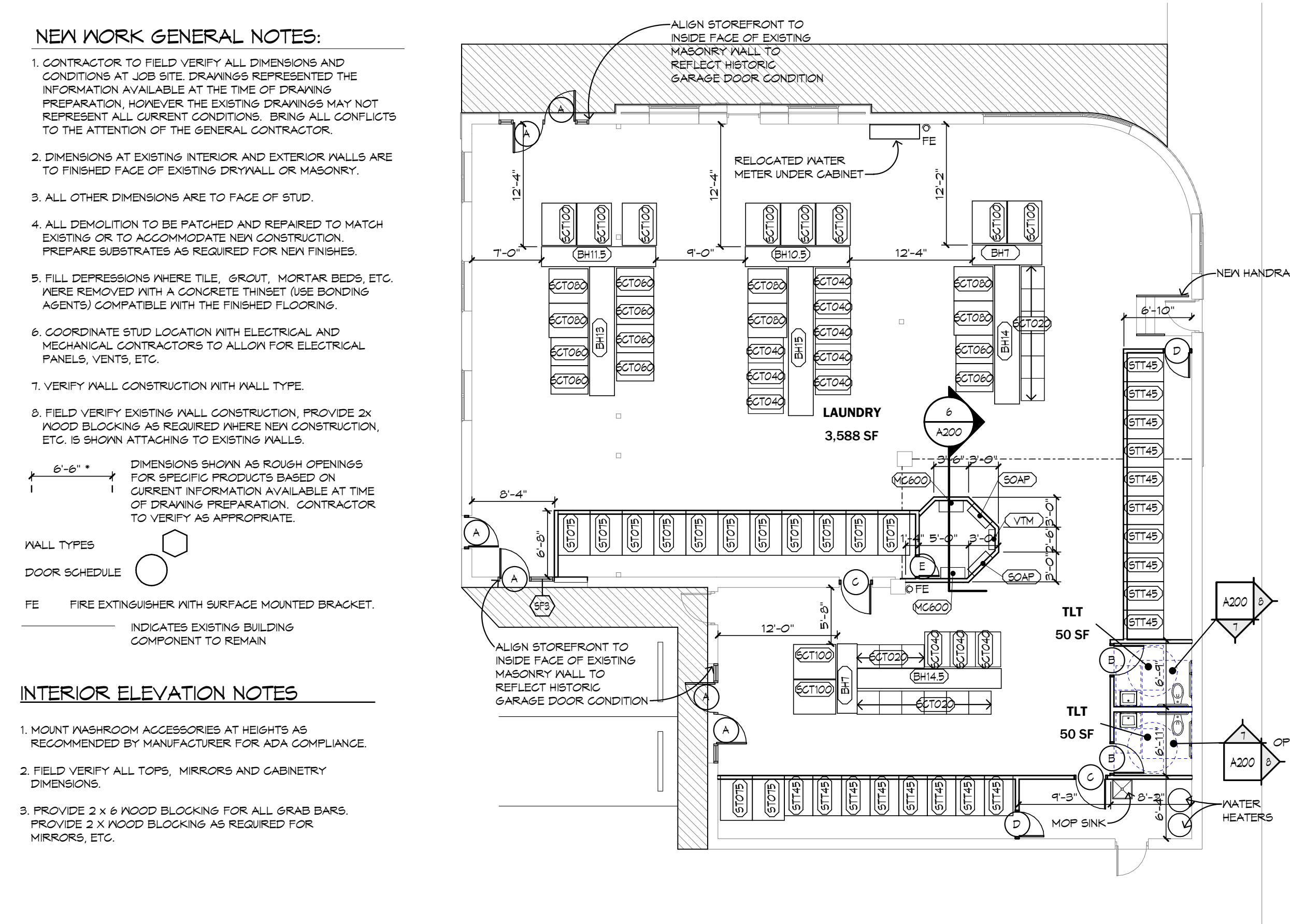
WEST ELEVATION

1/8" = 1'-0"



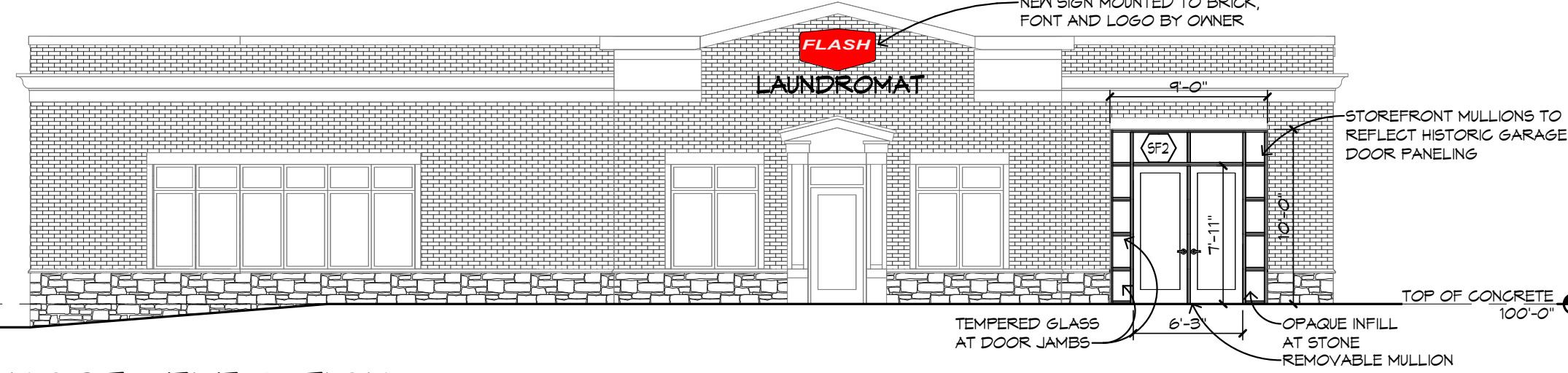
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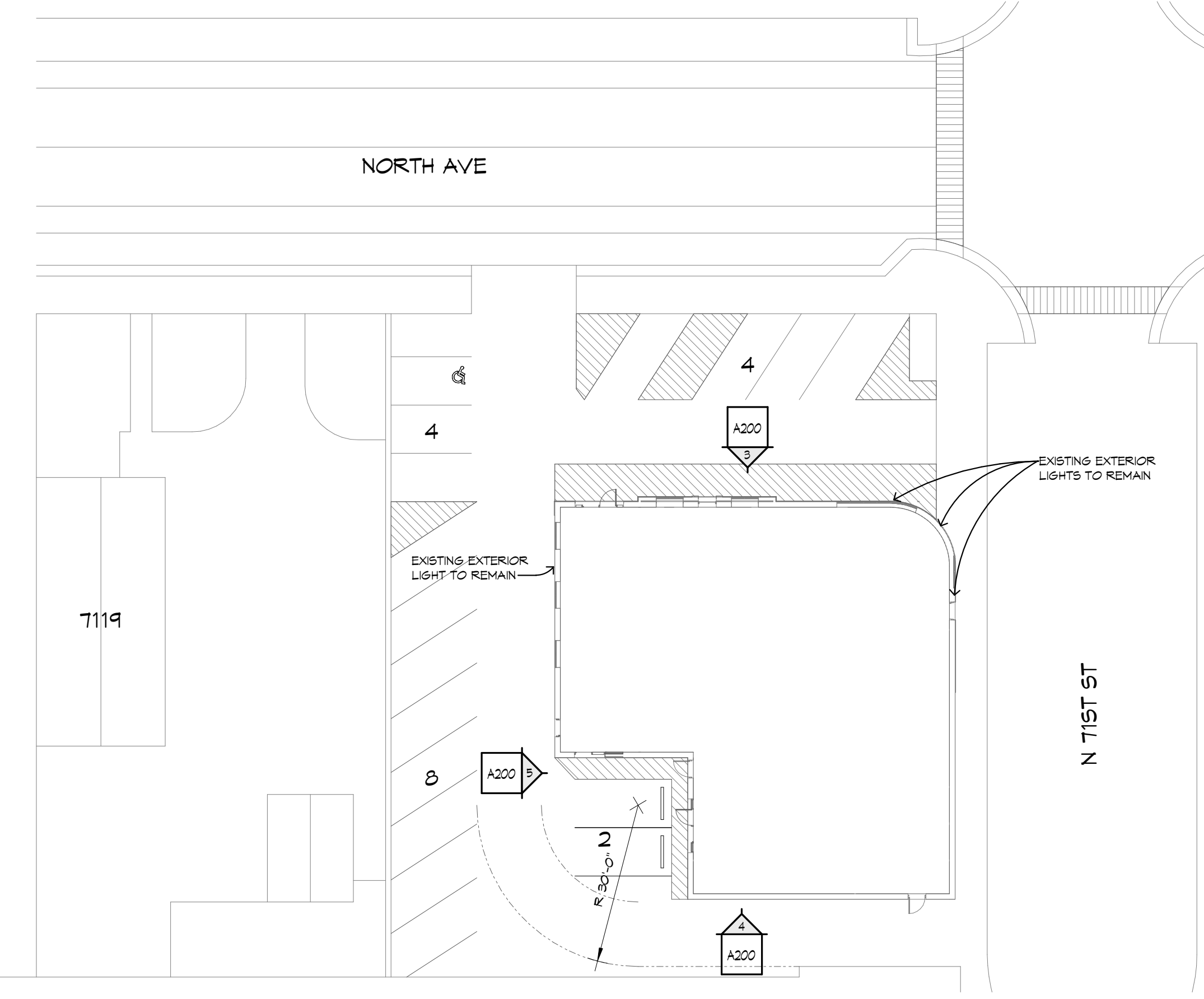
NEW GROUND FLOOR PLAN

1" = 10'-0"



NORTH ELEVATION

1/8" = 1'-0"



NEW SITE PLAN

1" = 20'-0"



FLASH LAUNDROMAT

7105 W North Ave, Wauwatosa

NEW CONSTRUCTION

6/17/2025



B

STOREFRONTS

- Series 400/450 Center Glaze
- Series 451/IT451 Center Glaze
- Flush Front™
- Accessory Hardware

Toll Free Phone Service
(800) 262-5151

Toll Free Fax Service
(866) 262-3299

U.S. and Canada



02-B1

STOREFRONTS

Specifications

SECTION 08 41 13 ALUMINUM STOREFRONTS

SERIES	FACE WIDTH	DEPTH	GLAZING INFILLS	GLAZING METHOD
400	1-3/4" (44.5)	4" (101.6)	1/4" (6) or 3/8" (10)	Exterior/Interior
450	1-3/4" (44.5)	4-1/2" (114.3)	1/4" (6) or 3/8" (10)	
451	2" (50.8)	4-1/2" (114.3)	1" (25)	

I. GENERAL DESCRIPTION
Work Included: Furnish all necessary materials, labor, and equipment for the complete installation of aluminum framing as shown on the drawings and specified herein. (Specifier Note: It is suggested that related items such as aluminum entrance doors, glass, and sealants be included whenever possible).
Work Not Included: Structural support of the framing system, interior closures, trim. (Specifier list other exclusions).
Related Work Specified Elsewhere: (Specifier list).

QUALITY ASSURANCE
Drawings and specifications are based on the Series (Specify) Center Glazed System as manufactured by U.S. Aluminum. Whenever substitute products are to be considered, supporting technical literature, samples, drawings, and performance data must be submitted 10 days prior to bid in order to make a valid comparison of the products involved. Test reports certified by an independent test laboratory must be made available upon request.

PERFORMANCE REQUIREMENTS
Air Infiltration: shall be tested in accordance with ASTM E 283. Infiltration shall not exceed .06 cfm per square foot (.0003m³/sm²) of fixed area when tested at 6.24 psf (300 Pa).
Water Infiltration: shall be tested in accordance with ASTM E 331. No water penetration at test pressure of

8 psf (384 Pa). When tested with the high performance sub sill.
Structural Performance: shall be tested in accordance with ASTM E 330 and based on:
• Maximum deflection of L/175 of the span
• Allowable stress with a safety factor of 1.65
The system shall perform to this criteria under a windload of (Specify) psf.
Testing Procedures -
ASTM 283, E 331, and E 330 - Laboratory performance testing. AAMA 503-08 - Newly installed storefronts. AAMA 511-08 - Installed storefronts after six months.

II. PRODUCTS MATERIALS
Extrusions shall be 6063-T5 alloy and temper (ASTM B221 alloy T5 temper). Fasteners, where exposed, shall be aluminum, stainless steel or zinc plated steel in accordance with ASTM A 164. Perimeter anchors shall be aluminum or steel, providing the steel is properly isolated from the aluminum. Glazing gaskets shall be E.P.D.M. elastomeric extrusions.

FINISH
All exposed framing surfaces shall be free of scratches and other serious blemishes. Aluminum extrusions shall be given a caustic etch followed by an anodic oxide treatment to obtain... (Specify one of the following):
— #11 Clear anodic coating
— #22 Dark Bronze anodic coating
— #33 Black anodic coating

A Fluoropolymer paint coating conforming with the requirements of AAMA 2605. Color shall be (Specify a U.S. Aluminum standard color).
FABRICATION
The framing system shall provide for flush glazing on all sides with no projecting stops. Vertical and horizontal framing members shall have a nominal face dimension of (Specify). Overall depth shall be (Specify). Entrance framing members shall be compatible with glass framing in appearance. Provide for internal drainage of infiltrated water into an extruded aluminum sub sill channel where it is drained to the exterior through weep slots.

III. EXECUTION INSTALLATION
All glass framing shall be set in correct locations as shown in the details and shall be level, square, plumb, and in alignment with other work in accordance with the manufacturer's installation instructions and approved shop drawings. All joints between framing and the building structure shall be sealed in order to secure a watertight installation.

PROTECTION AND CLEANING
After installation the General Contractor shall adequately protect exposed portions of aluminum surfaces from damage by grinding and polishing compounds, plaster, lime, acid, cement or other contaminants. The General Contractor shall be responsible for final cleaning.

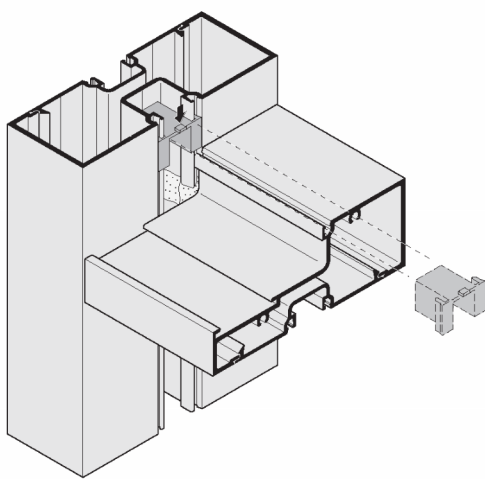
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B1



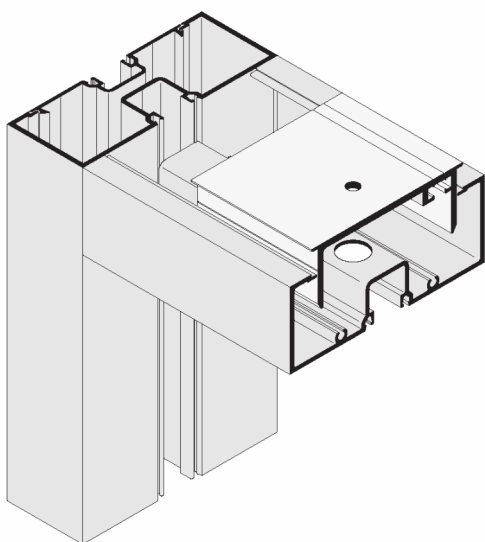
Special Features

Details show Series 450 members. Other Series are similar



Apply silicone to two sides of glazing pocket at vertical/horizontal joint and glazing reglets. Slide Water Deflector down into position. Seal over top edges of Water Deflector leaving a gap on outside edge allowing water to drain into Sub sill.

Stretch "W" Block and slide it between glass and mullion into deep glazing pocket. Push it all the way until it clears glass and locks into place. These blocks are used to prevent glass from "walking" out of the pocket caused by extreme vibration or minor earthquakes.



When optional Head Anchors are used, fasten them to structure through head member access hole. Anchors may be shimmed as required. Use AF400 or FF400 Sub sill when using option Head Anchors.

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B1

07-B1

STOREFRONTS

- Center Glazed
- Series 400 & 400-S
- Series 450 & 450-S
- Series 451 & 451-S
- Series IT451

16-B1

STOREFRONTS

Windload Charts

STANDARD WALL VERTICAL MULLIONS FOR 1/4" (6) OR 3/8" (10) GLAZING

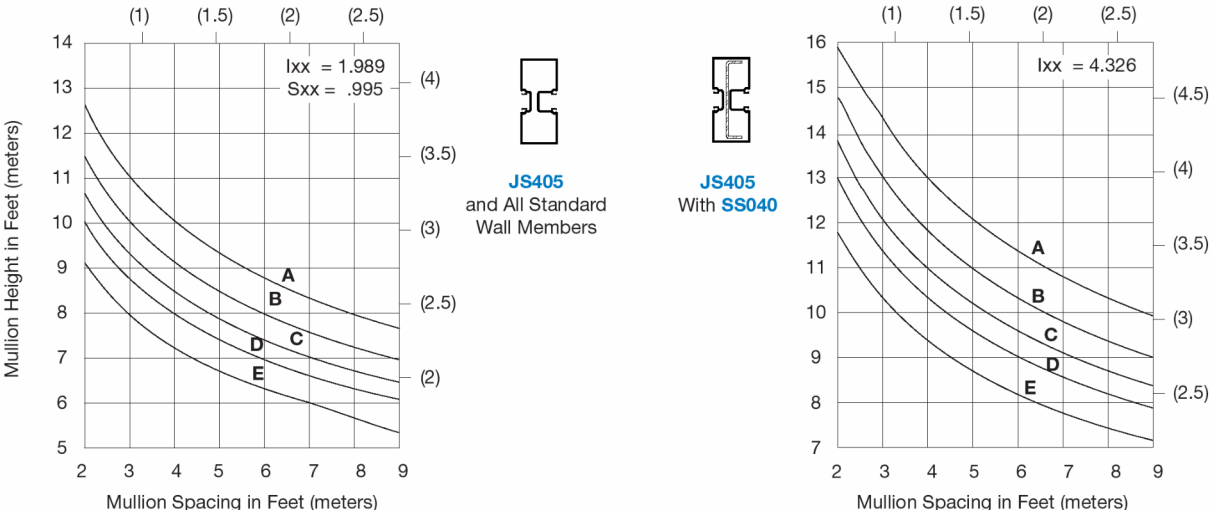
Deflection criteria to be in accordance with AAMA TIR-A11 - L/175 or L/240 + 1/4" (6.4 mm) for spans greater than 13'-6" (4.1 m) but less than 40'-0" (12.2 m). Codes and specifications may vary. No single lite of glass shall deflect more than 3/4" (19 mm). Glass is not considered as contributing to resistance of deflection. Aluminum alloy 6063-T6 allowable stress for windload is 15,200 psi. (89 MPa), and steel reinforcing allowable stress for windload is 21,600 psi. (150 MPa).

These charts include unbraced length analysis and are based on at least one horizontal being placed at the midpoint of the span. For other applications, please contact U.S. Aluminum Technical Sales at (800) 262-5151, or visit our web site at usalum.com.

JS401/RS200 I = 2,365 (98.44 x 10³) S = 1,180 (19.39 x 10³) IAL+STL = 4,702 (195.71 x 10³)	J-402/RS200 I = 2,054 (85.49 x 10³) S = 1,027 (16.83 x 10³) IAL+STL = 4,391 (182.77 x 10³)	JS402/RS200 I = 2,116 (88.07 x 10³) S = 1,058 (17.34 x 10³) IAL+STL = 4,453 (185.35 x 10³)
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JS405 I = 1,989 (82.79 x 10³) S = 985 (16.31 x 10³) IAL+STL = 4,326 (180.08 x 10³)	JS406 I = 1,970 (82 x 10³) S = 984 (16.29 x 10³) IAL+STL = 4,307 (179.27 x 10³)	JS410/JS419 I = 2,646 (110.13 x 10³) S = 1,320 (21.68 x 10³) IAL+STL = 4,301 (179.02 x 10³) (with SS469)
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Following charts are based on the section properties of JS405.



NOT TO SCALE

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B1



- Center Glazed
- Series 400
- Series 400-S



MECHANICAL LOUVERS



04-B1

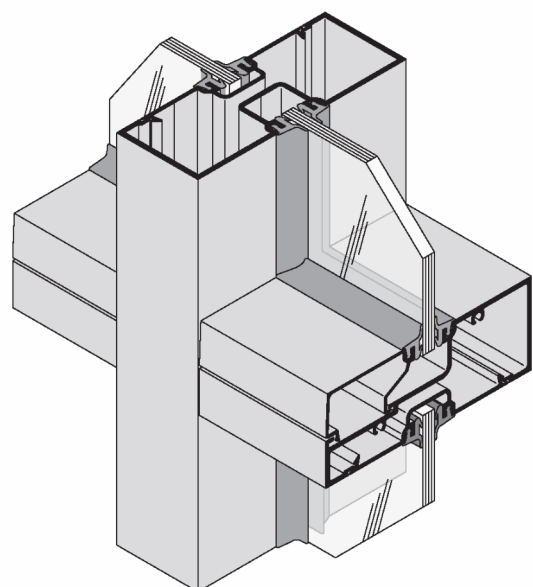
STOREFRONTS

Technical Data



- Center Glazed
- Series 400 & 400-S
- Series 450 & 450-S
- Series 451 & 451-S

Fabrication and installation labor costs have always been a decisive factor in selecting framing systems for storefront projects. U.S. Aluminum offers cost efficient versatile Center Glazed Systems with clean lines and superb performance. Series 400, 450, and 451 offer simple panel type installation. Series 400-S, 450-S, and 451-S feature stacking type installation. All series may be interior or exterior glazed. A top load E.P.D.M. gasket is used to position and weatherseal the glass in the aluminum pocket. Center Glazed Systems are compatible with most U.S. Aluminum Entrance Doors. See page 01-B3 for E.P.D.M. gasket options.



SERIES	WIDTH	DEPTH	GLAZING INFILLS	APPLICATION
400 or 400-S	1-3/4" (44.5)	4" (101.6)	1/4" (6) or 3/8" (10)	Retail Shopping Centers, Schools, Post Offices, Clinics or Any Ground Floor Application
450 or 450-S	1-3/4" (44.5)	4-1/2" (114.3)	1/4" (6) or 3/8" (10)	
451 or 451-S	2" (50.8)	4-1/2" (114.3)	1" (25)	

GLASS SIZES*	
For Series 400 and 450 Glass Width and Glass Height	= Daylight Opening + 5/8" (15.9)
For Series 451 Glass Width and Glass Height	= Daylight Opening + 7/8" (22.2)

* These formulas do not take into account glass tolerances. Consult glass manufacturer before ordering glass.

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B1

STOREFRONT

2
A300

FLASH LAUNDROMAT

7105 W North Ave, Wauwatosa

PROPOSED REFACE PYLON SIGN

FRONT VIEW

7'-7"

5'-0"

FLASH LAUNDROMAT WASH IN A FLASH OPEN 24HRS DAILY

THIS IS AN ORIGINAL UNPUBLISHED DRAWING CREATED BY L&S SUPPLY & SIGNS. IT IS SUBMITTED FOR YOUR PERSONAL USE ONLY. NO REPRODUCTION OR REUSE OF THIS DRAWING IS PERMITTED WITHOUT THE WRITTEN CONSENT OF L&S SUPPLY & SIGNS. THE SIGN IS INTENDED TO BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF ALL CITY, STATE AND FEDERAL APPLICABLE LOCAL CODES. THIS INCLUDES THE FOLLOWING: (1) THE SIGN SHALL BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF ALL CITY, STATE AND FEDERAL APPLICABLE LOCAL CODES. (2) THE SIGN SHALL BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF ALL CITY, STATE AND FEDERAL APPLICABLE LOCAL CODES. (3) THE SIGN SHALL BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF ALL CITY, STATE AND FEDERAL APPLICABLE LOCAL CODES. (4) THE SIGN SHALL BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF ALL CITY, STATE AND FEDERAL APPLICABLE LOCAL CODES. (5) THE SIGN SHALL BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF ALL CITY, STATE AND FEDERAL APPLICABLE LOCAL CODES. 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Wauwatosa, WI

7725 W. North Avenue
Wauwatosa, WI 53213

Staff Report

File #: 25-1062

Agenda Date: 6/26/2025

Agenda #:

11020 W Plank Ct - Tenant Build-Out - Exterior Alterations

GENERAL NOTES:

1.

THE GENERAL CONTRACTOR IS RESPONSIBLE TO VISIT THE SITE AND BECOME FAMILIAR WITH THE SITE CONDITIONS PRIOR TO THE START OF CONSTRUCTION.
2.

THE GENERAL CONTRACTOR IS RESPONSIBLE TO VERIFY ALL DIMENSIONS, ELEVATIONS AND CONDITIONS PRIOR TO BEGINNING ANY WORK. NOTIFY THE ARCHITECT OF ANY DISCREPANCIES. DO NOT SCALE DRAWINGS.
3.

REFER TO THE SOILS REPORT FOR SUBSURFACE CONDITIONS, BEARING CAPACITIES, ETC. NOTIFY THE ARCHITECT, ENGINEER AND OWNER OF ANY DISCREPANCY BETWEEN THIS REPORT AND THE PLANS, SPECIFICATIONS OR SITE CONDITIONS.
4.

ALL WORK AND MATERIALS SHALL CONFORM TO THE LATEST BUILDING CODES, ORDINANCES AND REGULATIONS OF THE CITY OR COUNTY WITH JURISDICTION.
5.

THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND PAYING FOR ALL PERMITS, LICENSES, INSPECTIONS AND TESTING AS REQUIRED BY THE CONTRACT DOCUMENTS OR ANY GOVERNMENT AGENCY.
6.

THE GENERAL CONTRACTOR IS RESPONSIBLE TO PROVIDE ALL LABOR, MATERIALS, EQUIPMENT, TOOLS, TRANSPORTATION, UTILITIES, OTHER SERVICES AND RELATED TASKS NECESSARY FOR PROPER EXECUTION OF THE CONSTRUCTION REQUIRED BY THE CONTRACT DOCUMENTS.
7.

THE GENERAL CONTRACTOR IS TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOBSITE CONDITIONS. COMPLY WITH SAFETY REGULATIONS AND RESTRICTIONS AS REQUIRED FOR WORKER AND PEDESTRIAN PROTECTION DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT. PROVIDE PROTECTION AS REQUIRED TO PREVENT ANY DAMAGE TO EXISTING CONSTRUCTION WITHIN AND ADJACENT TO THE JOBSITE. WHERE DAMAGE OCCURS, REPAIR OR REPLACE DAMAGED AREA AND/OR MATERIAL AS REQUIRED TO THE OWNER'S APPROVAL AT NO ADDITIONAL COST. THESE REQUIREMENTS SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL HOURS.
8.

UNLESS OTHERWISE SHOWN OR NOTED, THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE LOCATION AND THE PLACEMENT OF ANY INSERTS, HANGARS, PIPE SLEEVES, HOLES OR ANCHOR BOLTS THAT ARE REQUIRED BY THE MECHANICAL, PLUMBING, SPRINKLER OR ELECTRICAL EQUIPMENT.
9.

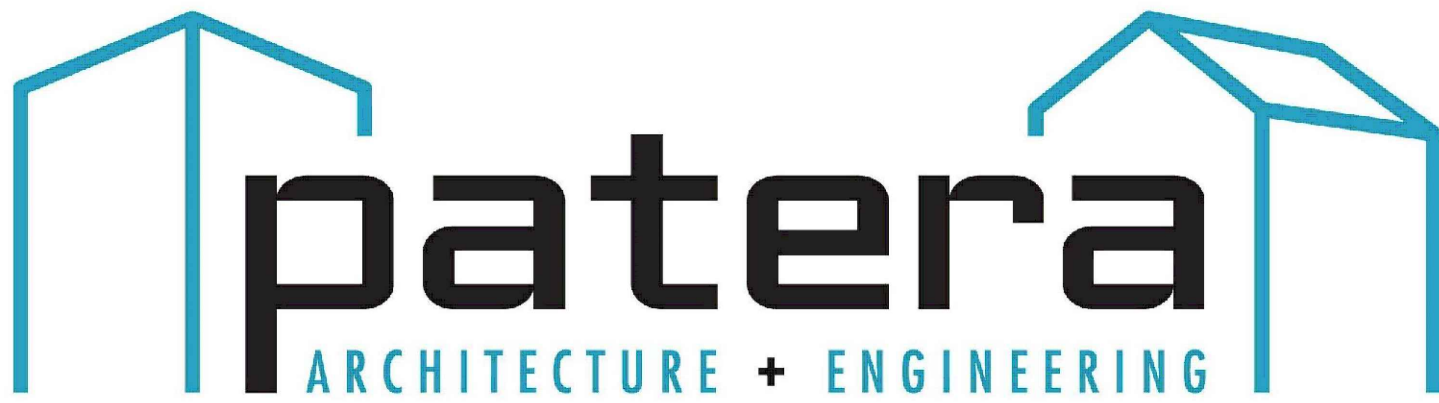
THE GENERAL CONTRACTOR SHALL BRING ANY REVISION OR ADDITIONAL WORK REQUIRED BY FIELD CONDITIONS OR LOCAL GOVERNING AUTHORITIES TO THE ATTENTION OF THE ARCHITECT AND OWNER BEFORE PROCEEDING.
10.

THE GENERAL CONTRACTOR IS RESPONSIBLE TO VERIFY THE SIZE AND LOCATION OF ALL UTILITY LINES AND STUBS TO THE BUILDING(S). BRING ALL UTILITY LINES (WATER, SEWER, GAS, STORM DRAIN, TELEPHONE AND ELECTRICAL, ETC.) INTO THE BUILDING AS INDICATED ON THE CONSTRUCTION DOCUMENTS. BRING ANY DISCREPANCIES TO THE ATTENTION OF THE ARCHITECT, OWNER & CIVIL ENGINEER.
11.

UNLESS NOTED OTHERWISE, ALL DETAILS, SECTIONS, AND NOTES ON THE DRAWINGS ARE INTENDED TO BE TYPICAL FOR SIMILAR SITUATIONS ELSEWHERE.
12.

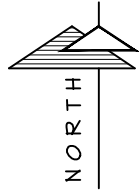
NO BUILDING OR PORTION OF A BUILDING SHALL BE OCCUPIED OR USED FOR STORAGE PRIOR TO THE ISSUANCE OF THE TEMPORARY CERTIFICATE OF OCCUPANCY. APPROVAL FOR OCCUPANCY IS ONLY GRANTED AFTER ACCEPTANCE BY GOVERNING AGENCIES.
13.

THE REMOVAL OF ALL HAZARDOUS CONTAINING MATERIALS IS THE SOLE RESPONSIBILITY OF THE OWNER. SHOULD ANY MATERIALS BE ENCOUNTERED DURING ANY PHASE OF CONSTRUCTION, OR SUSPECTED TO BE HAZARDOUS, THE CONTRACTOR SHALL STOP WORK IMMEDIATELY AND NOTIFY OWNER.



EXTERIOR ALTERATIONS

11020 W. PLANK CT.
WAUWATOSA, WI



1 SITE PLAN

SCALE: NTS

PROJECT INFORMATION:

GOVERNING CODE:	WISCONSIN ADOPTED 2015 IBC
SCOPE OF WORK: TENANT ALTERATION	
LEVEL OF ALTERATION	LEVEL 2
AREA OF WORK	21,009sf
TOTAL BUILDING AREA	50,803sf
CONSTRUCTION TYPE:	2 B
OCCUPANCY CLASSIFICATION: TENANT	S2 / B
SPRINKLER SYSTEM:	COMPLETE
FIRE EXTINGUISHERS:	PROVIDE PER IFC
ACCESSIBLE ROUTE:	EXISTING
ACCESSIBLE RESTROOMS & FIXTURES:	NEW

SHEET INDEX:

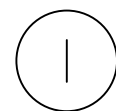
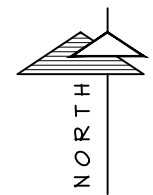
AO.1	TITLE SHEET
A1.1	FLOOR PLANS
A1.2	ELEVATIONS

ARCHITECTURAL

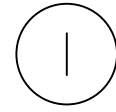


PROJECT TEAM:

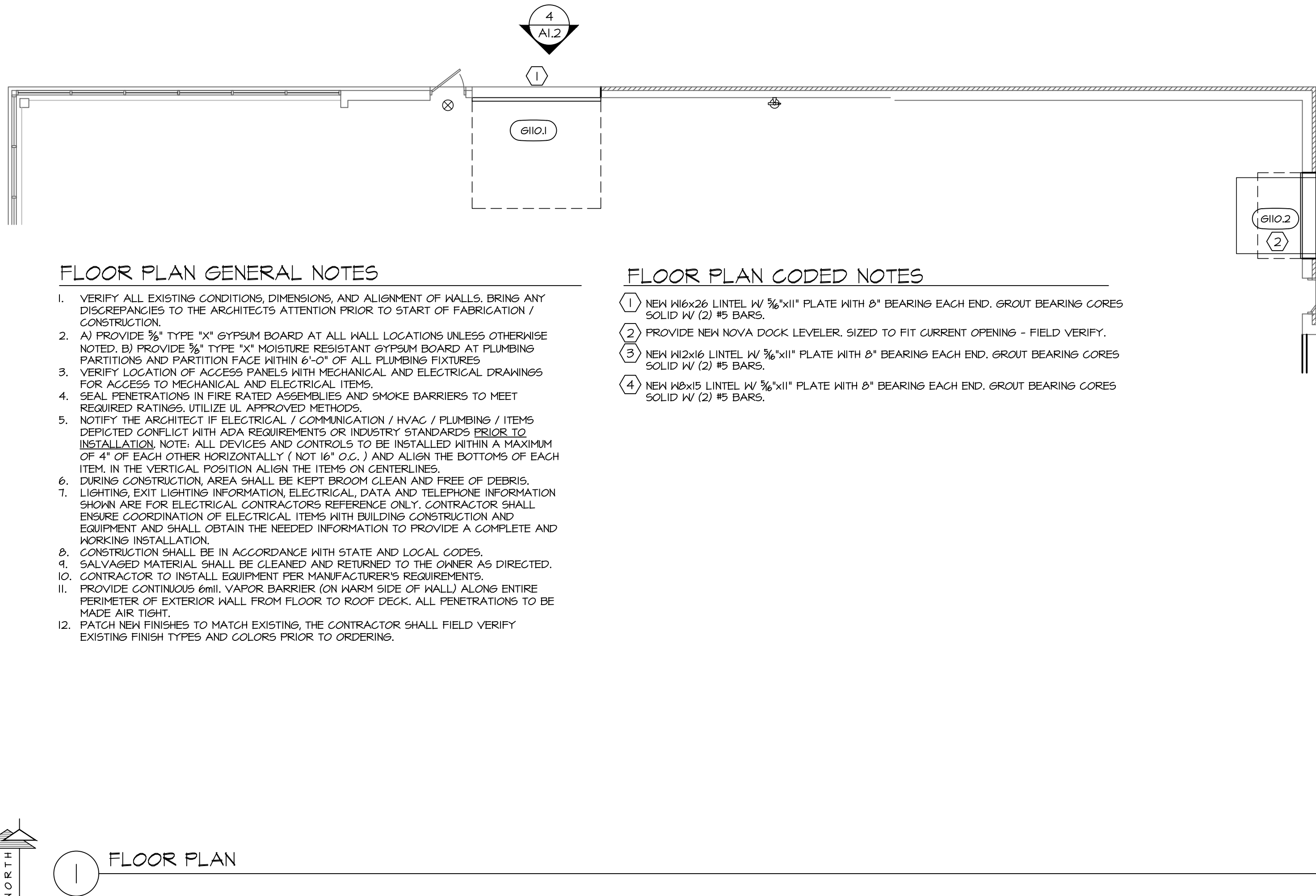
ARCHITECT:
PATERA, LLC
4040 N. CALHOUN RD, SUITE 200
BROOKFIELD, WI 53005
TEL: (262) 786-6776 ext 106
email steve@paterallc.com
ATTN: Steven M. Esser



FLOOR PLAN



EXISTING / DEMO FLOOR PLAN



FLOOR PLAN GENERAL NOTES

1. VERIFY ALL EXISTING CONDITIONS, DIMENSIONS, AND ALIGNMENT OF WALLS. BRING ANY DISCREPANCIES TO THE ARCHITECT'S ATTENTION PRIOR TO START OF FABRICATION / CONSTRUCTION.
2. A) PROVIDE 3/4" TYPE 'X' GYPSUM BOARD AT ALL WALL LOCATIONS UNLESS OTHERWISE NOTED. B) PROVIDE 3/4" TYPE 'X' MOISTURE RESISTANT GYPSUM BOARD AT PLUMBING PARTITIONS AND PARTITION FACE WITHIN 6'-0" OF ALL PLUMBING FIXTURES
3. VERIFY LOCATION OF ACCESS PANELS WITH MECHANICAL AND ELECTRICAL DRAWINGS FOR ACCESS TO MECHANICAL AND ELECTRICAL ITEMS.
4. SEAL PENETRATIONS IN FIRE RATED ASSEMBLIES AND SMOKE BARRIERS TO MEET REQUIRED RATINGS. UTILIZE UL APPROVED METHODS.
5. NOTIFY THE ARCHITECT IF ELECTRICAL / COMMUNICATION / HVAC / PLUMBING / ITEMS DEPICTED CONFLICT WITH ADA REQUIREMENTS OR INDUSTRY STANDARDS PRIOR TO INSTALLATION. NOTE: ALL DEVICES AND CONTROLS TO BE INSTALLED WITHIN A MAXIMUM OF 4" OF EACH OTHER HORIZONTALLY (NOT 16" O.C.) AND ALIGN THE BOTTOMS OF EACH ITEM, IN THE VERTICAL POSITION ALIGN THE ITEMS ON CENTERLINES.
6. DURING CONSTRUCTION, AREA SHALL BE KEPT BROOM CLEAN AND FREE OF DEBRIS.
7. LIGHTING, EXIT LIGHTING INFORMATION, ELECTRICAL, DATA AND TELEPHONE INFORMATION SHOWN ARE FOR ELECTRICAL CONTRACTORS REFERENCE ONLY. CONTRACTOR SHALL ENSURE COORDINATION OF ELECTRICAL ITEMS WITH BUILDING CONSTRUCTION AND EQUIPMENT AND SHALL OBTAIN THE NEEDED INFORMATION TO PROVIDE A COMPLETE AND WORKING INSTALLATION.
8. CONSTRUCTION SHALL BE IN ACCORDANCE WITH STATE AND LOCAL CODES.
9. SALVAGED MATERIAL SHALL BE CLEANED AND RETURNED TO THE OWNER AS DIRECTED.
10. CONTRACTOR TO INSTALL EQUIPMENT PER MANUFACTURER'S REQUIREMENTS.
11. PROVIDE CONTINUOUS 6mil. VAPOR BARRIER (ON WARM SIDE OF WALL) ALONG ENTIRE PERIMETER OF EXTERIOR WALL FROM FLOOR TO ROOF DECK. ALL PENETRATIONS TO BE MADE AIR TIGHT.
12. PATCH NEW FINISHES TO MATCH EXISTING, THE CONTRACTOR SHALL FIELD VERIFY EXISTING FINISH TYPES AND COLORS PRIOR TO ORDERING.

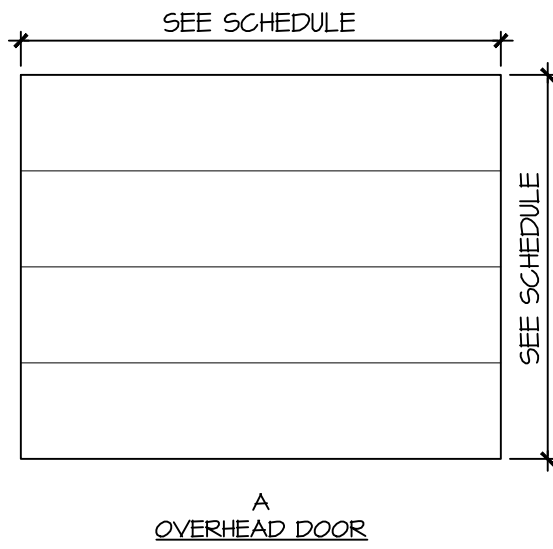
FLOOR PLAN CODED NOTES

- 1 NEW H16x26 LINTEL W/ 3/8"x11" PLATE WITH 8" BEARING EACH END. GROUT BEARING CORES SOLID W/ (2) #5 BARS.
- 2 PROVIDE NEW NOVA DOCK LEVELER, SIZED TO FIT CURRENT OPENING - FIELD VERIFY.
- 3 NEW H12x16 LINTEL W/ 3/8"x11" PLATE WITH 8" BEARING EACH END. GROUT BEARING CORES SOLID W/ (2) #5 BARS.
- 4 NEW H8x15 LINTEL W/ 3/8"x11" PLATE WITH 8" BEARING EACH END. GROUT BEARING CORES SOLID W/ (2) #5 BARS.

DOOR SCHEDULE

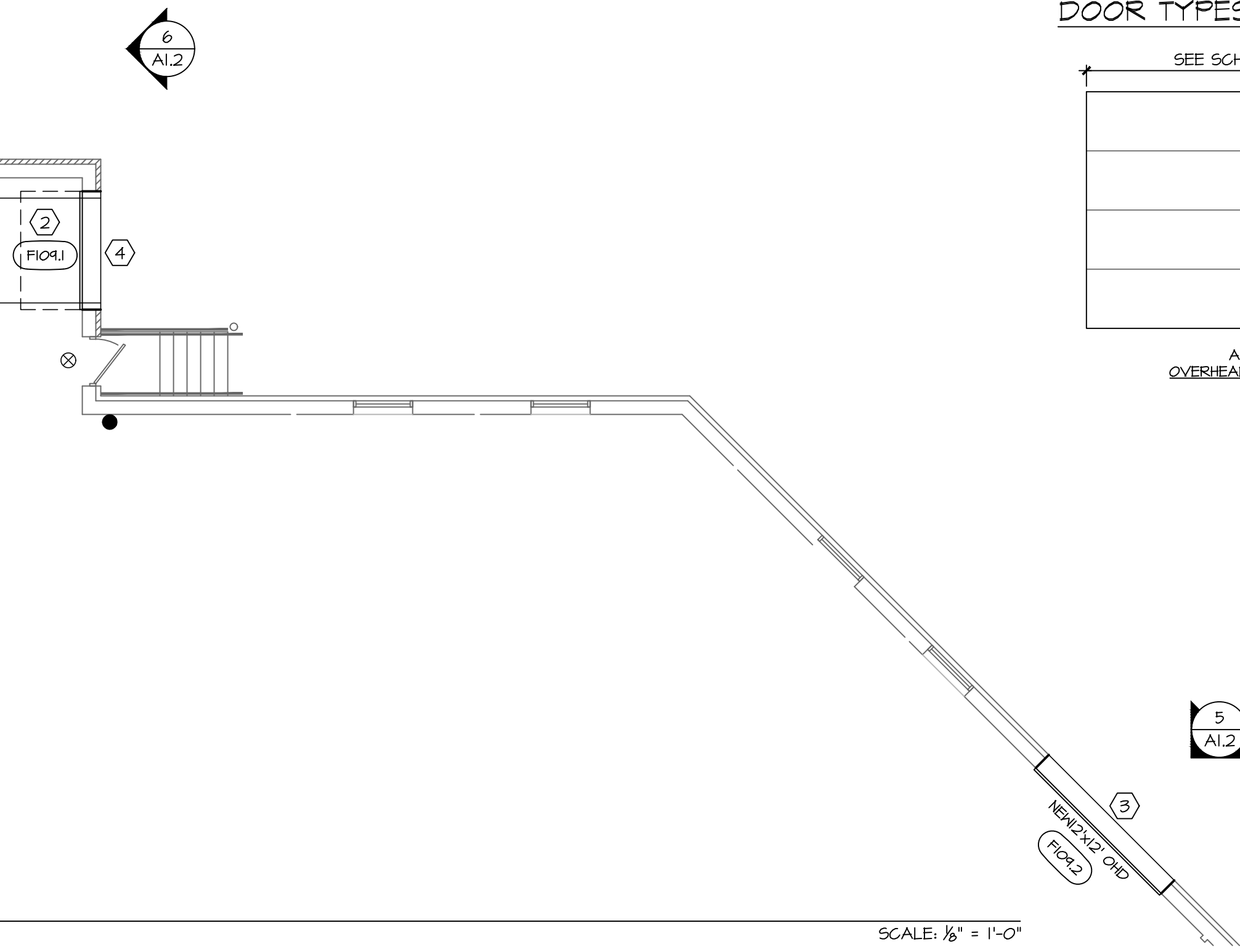
DOOR NUMBER	ROOM NAME	DOOR SIZE			DOOR INFORMATION			FRAME INFORMATION			HARDWARE	DETAILS	RATING (MIN.)	NOTES
		WIDTH	HEIGHT	THICKNESS	MATERIAL	TYPE	FINISH	MATERIAL	TYPE	FINISH				
FI04.1	WAREHOUSE	8'-0"	8'-0"	2"	INSL. METAL	A	PRE FINISHED	-	-	-	-	-	-	AUTO OPENER /EXST OPENING
FI04.2	WAREHOUSE	12'-0"	12'-0"	2"	INSL. METAL	A	PRE FINISHED	-	-	-	-	-	-	AUTO OPENER
GI10.1	WAREHOUSE	12'-0"	12'-0"	2"	INSL. METAL	A	PRE FINISHED	-	-	-	-	-	-	AUTO OPENER
GI10.2	WAREHOUSE	8'-0"	8'-0"	2"	INSL. METAL	A	PRE FINISHED	-	-	-	-	-	-	AUTO OPENER /EXST OPENING

DOOR TYPES



REVISIONS:

- X
-
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-



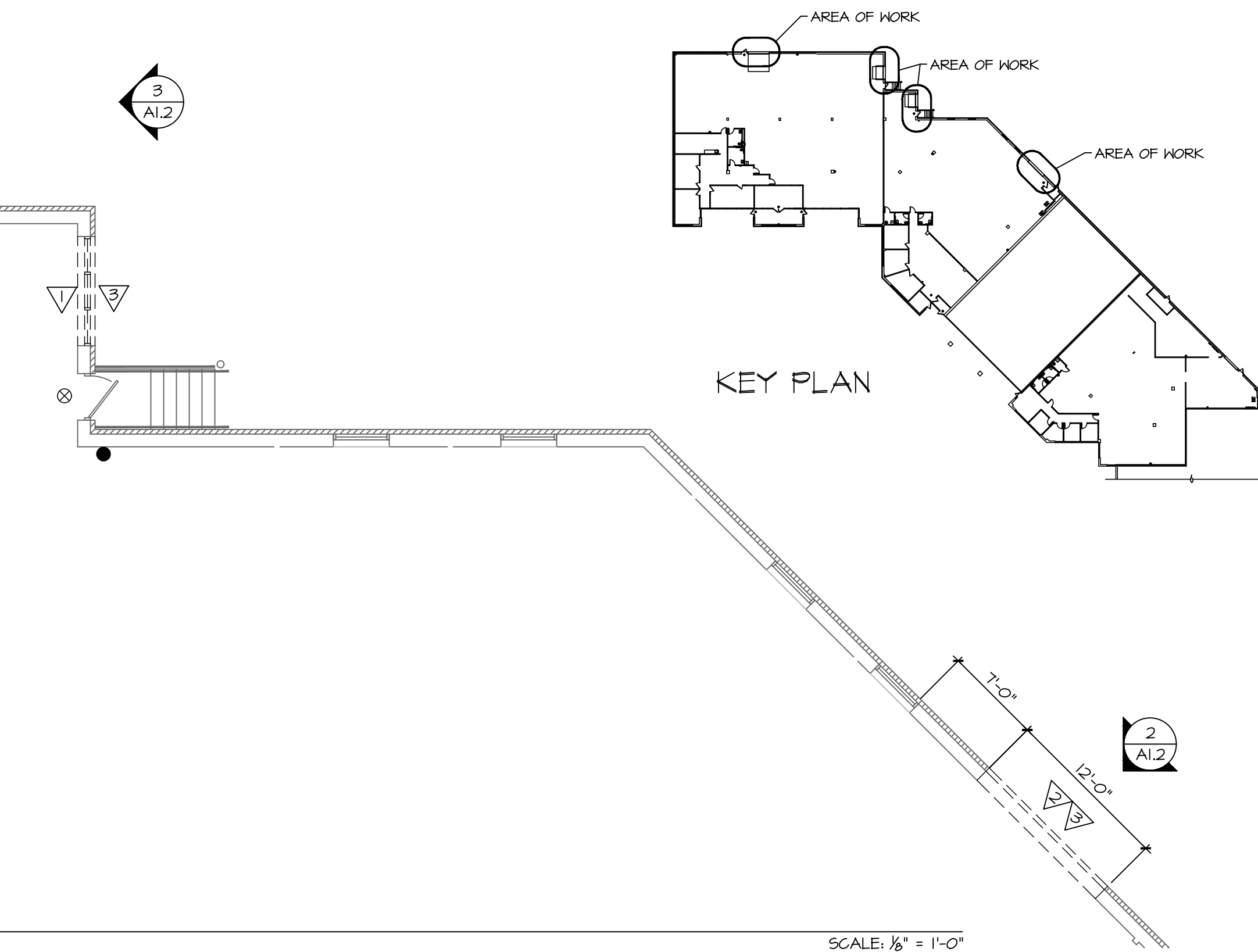
DEMOLITION GENERAL NOTES:

1. DEMO SECTION OF EXISTING PARTITION FROM FLOOR TO STRUCTURE ABOVE. REMOVE EXISTING ELECTRICAL OUTLETS, WIRING, AND CONDUIT BACK TO NEAREST JUNCTION BOX. REROUTE ALL NECESSARY WIRING AND CONDUIT AS REQUIRED TO MAINTAIN CIRCUITING. CAP WIRING PER APPLICABLE CODES. REMOVE EXISTING FLOOR FASTENERS TO BELOW FLOOR LINE; PATCH FLOOR LEVEL WITH FLOOR SURFACE. TAPE AND FINISH EXPOSED PARTITION SURFACES FLUMB AND SMOOTH.
2. REMOVE EXISTING FLOOR COVERING AS REQUIRED AND PREPARE FLOOR SURFACE FOR INSTALLATION OF NEW FLOOR FINISH UNLESS NOTED OTHERWISE. REFER TO FINISH SCHEDULE.
3. ASBESTOS DETECTION/REMOVAL (IF APPLICABLE) TO BE CONDUCTED BY BUILDING OWNER PRIOR TO START OF GENERAL DEMOLITION. GENERAL CONTRACTOR TO COORDINATE SCHEDULE WITH BUILDING OWNER.
4. GENERAL CONTRACTOR TO COORDINATE ALL DEMOLITION WORK (NOTED OR OTHERWISE REQUIRED) WITH NEW CONSTRUCTION. GENERAL CONTRACTOR TO COORDINATE ANY INTERRUPTIONS (ELECTRICAL, MECHANICAL, PLUMBING, ETC.) WITH BUILDING OWNER 12 HOURS IN ADVANCE.
5. DEMOLITION AREAS SHALL BE TERMINATED IN A NEAT & ORDERLY FASHION, CLEANED & PATCHED TO ALIGN WITH NEW AND EXISTING CONSTRUCTION, AND PREPARED TO RECEIVE NEW FINISHES.
6. REMOVE ALL EXISTING INCIDENTAL CONDITIONS AS REQUIRED TO ACCOMMODATE PROPOSED CONSTRUCTION WHETHER SHOWN ON PLAN, OR NOT, INCLUDING BUT NOT LIMITED TO FASTENERS CLIPS, MOLDINGS AND OTHER SYSTEMS AS REQUIRED.
7. PATCH ALL WALLS, FLOORS, AND CEILINGS WHERE PARTITIONS, CABINETS, PLATFORMS AND MOUNTED FURNITURE ARE TO BE REMOVED. ALL FINISHES TO EITHER MATCH EXISTING OR REFER TO ROOM FINISH SCHEDULE.
8. SEE PLUMBING, MECHANICAL, & ELECTRICAL DRAWINGS FOR ADDITIONAL COORDINATION ITEMS. COORDINATE ALL MEP ITEMS WITH SUB-CONTRACTORS.
9. REMOVE EXISTING PARTITIONS AS INDICATED, FROM FLOOR TO STRUCTURE ABOVE. DISPOSE OF DEMOLITION MATERIALS.
10. REMOVE AND RELOCATE EXISTING FIRE ALARMS AS REQUIRED. SEE ELECTRICAL DRAWINGS FOR COORDINATION.
11. PATCH ANY OPENINGS IN EXISTING FLOOR WALLS & STRUCTURE ABOVE, TO MAINTAIN FIRE AND/OR SMOKE RATINGS. UTILIZE "UL" DESIGN CONSTRUCTION, OR MATCH EXISTING RATED CONSTRUCTION.
12. LIFE SAFETY FEATURES ARE TO REMAIN IN OPERATION THROUGH ALL PHASES OF CONSTRUCTION INCLUDING SMOKE DETECTION, AND OTHERS SYSTEMS. VERIFY WITH OWNER A LIFE SAFETY PLAN FOR THE PROJECT.
13. PROVIDE A MIN. OF 1 SMOKE DETECTOR / 500 SQ FT TO COVER FIRE WATCH COVER DETECTORS DURING TIMES OF CONSTRUCTION UNCOVER AT NIGHT
14. REFER TO MECHANICAL DRAWINGS FOR REMOVAL OF PLUMBING PIPING / MECHANICAL EQUIPMENT.

DEMOLITION CODED NOTES:

- 1 EXISTING RECESSED LOADING DOCK. REMOVE INFILL WALL IN ITS ENTIRETY. REMOVE CONCRETE SLAB AND FILL IN DOCK LEVELER SPACE. PREP SURFACES FOR NEW DOOR AND DOCK LEVELER.
- 2 REMOVE EXISTING BRICK AND CMU FOR NEW OVERHEAD DOOR OPENING. SALVAGE BRICKS FOR COVERING NEW LINTEL.
- 3 REMOVE EXISTING LINTEL. SHORE OPENING AS NECESSARY FOR NEW LINTEL.

KEY PLAN



CONSTRUCTION SET

TENANT BUILD-OUT

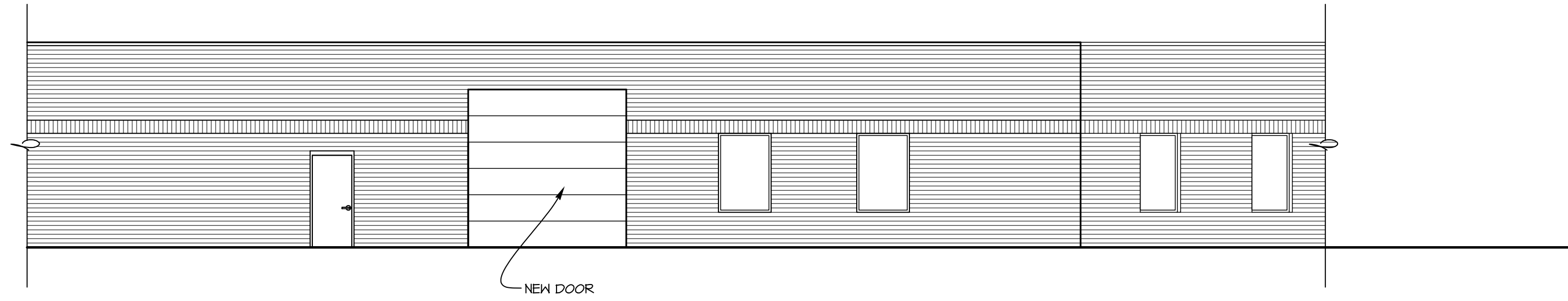
11020 W. PLANK CT.
WAUMATOSA, WI

SHEET TITLE:
FLOOR PLANS

A1.1

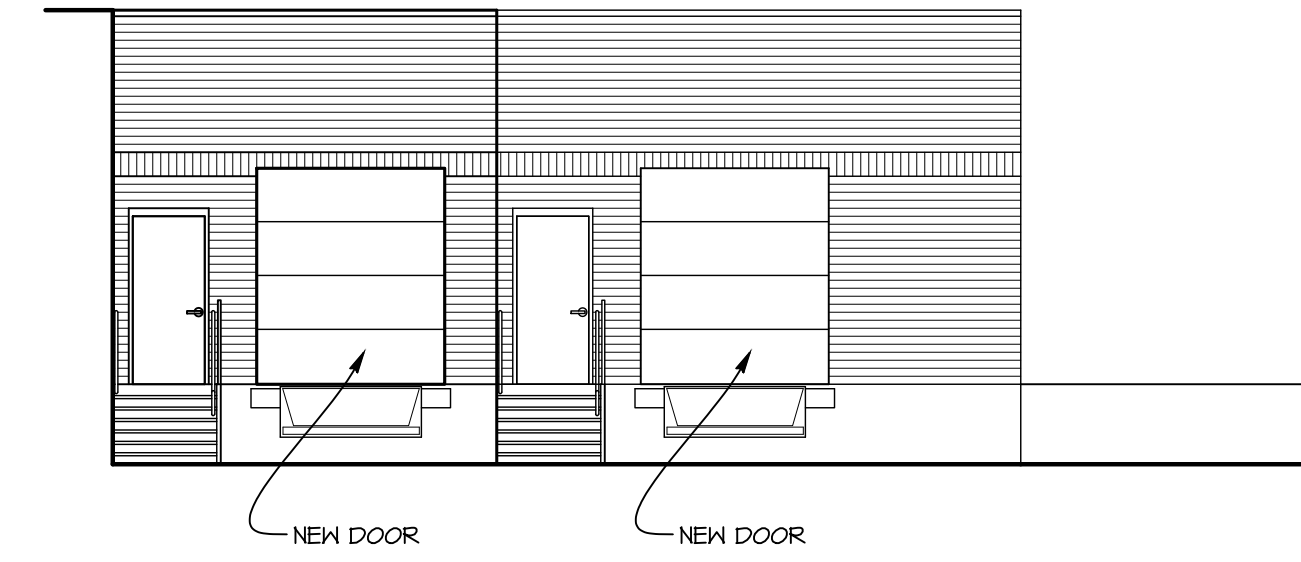
DATE: 06/09/2025

PROJECT NUMBER: 25-118



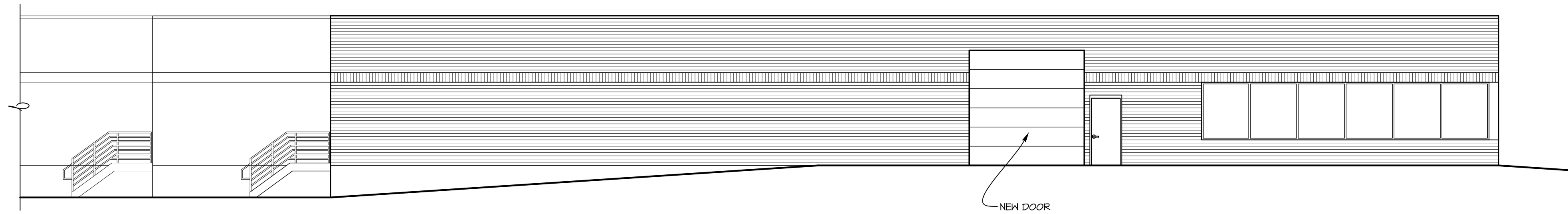
5 PROPOSED ELEVATION

SCALE: 1/8" = 1'-0"



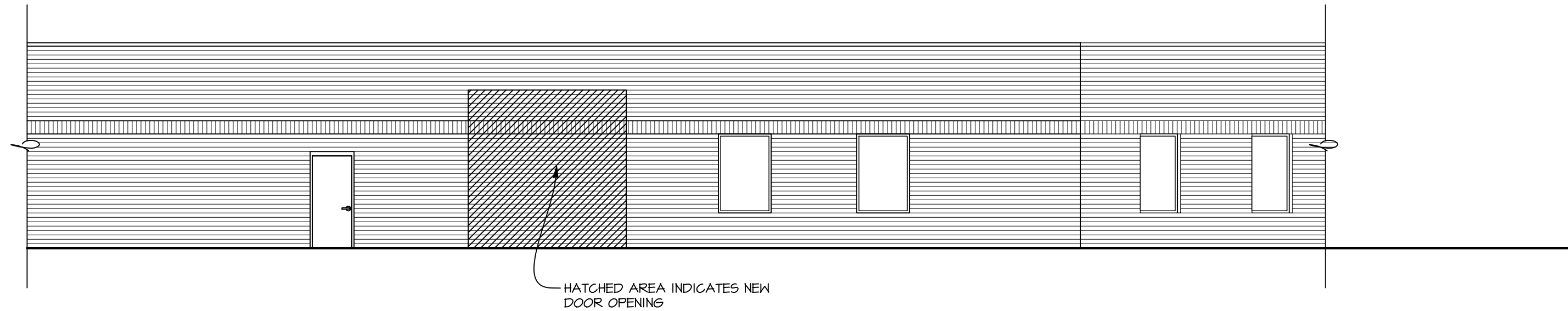
6 PROPOSED ELEVATION

SCALE: 1/8" = 1'-0"



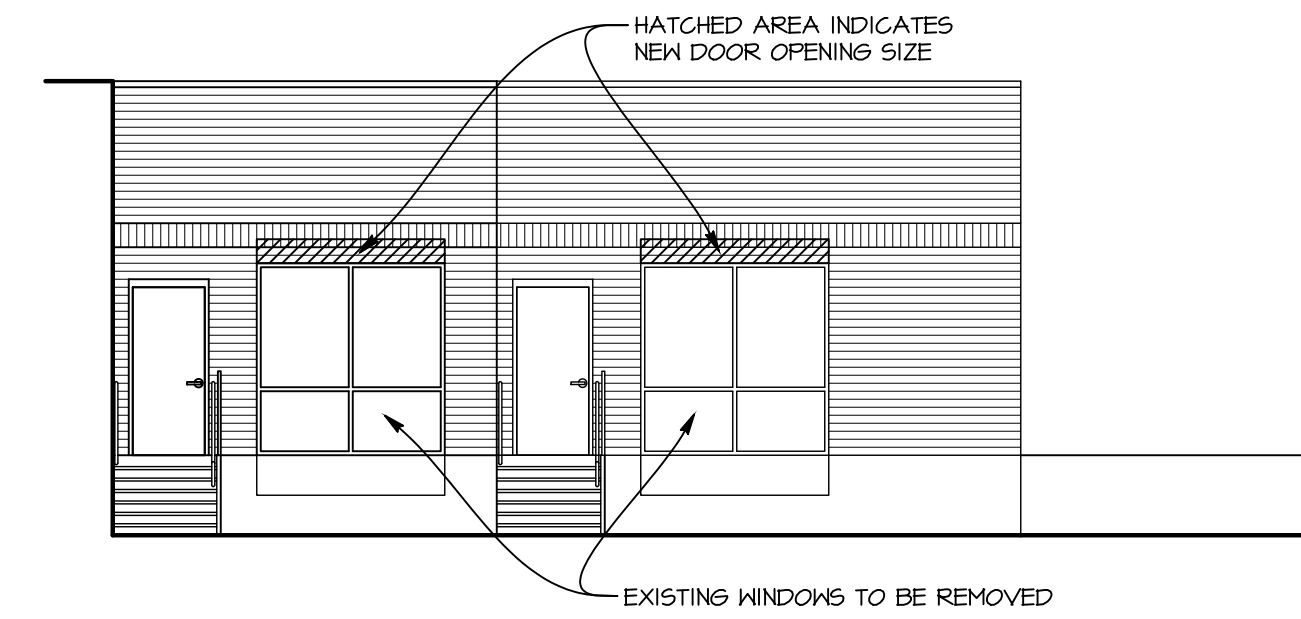
4 PROPOSED ELEVATION

SCALE: 1/8" = 1'-0"



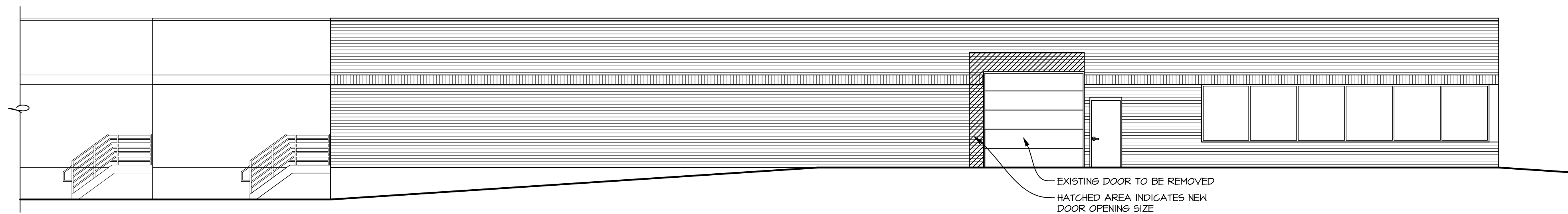
2 PARTIAL EXISTING ELEVATION

SCALE: 1/8" = 1'-0"



3 PARTIAL EXISTING ELEVATION

SCALE: 1/8" = 1'-0"



1 PARTIAL EXISTING ELEVATION

SCALE: 1/8" = 1'-0"

REVISIONS:

-	X
-	
-	
-	
-	
-	

CONSTRUCTION SET

TENANT BUILD-OUT

11020 W. PLANK CT.
WAUKESHA, WI

SHEET TITLE:
ELEVATIONS

A1.2

DATE: 06/09/2025

PROJECT NUMBER: 25-118

Doors to match existing color

Door 1 Dock Door 1 Dock door 2

Door 2



Door 1 - increasing to 12x12' door



Dock door 1 and 2 wide angle view

Door to be increased in height



Dock door 2

Dock Door 1



Dock door 2



Dock Door 1



Door 2

adding new door to right of service door





9' x 7' 3285 white with optional white aluminum full-view window section

These models are also available in



DURABLE. RELIABLE.

SPECIFICATIONS, OPTIONAL FEATURES AND ACCESSORIES



EXHAUST PORT

An exhaust port is an optional feature to keep those unwanted fumes from lingering around the work area.



INSIDE SIDE LOCK

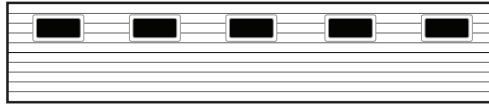
The inside side lock is a wise decision for added security when you are not around. (Torsion only)

OPTIONAL WINDOW DESIGNS

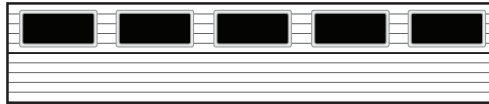
24" SECTION HEIGHT



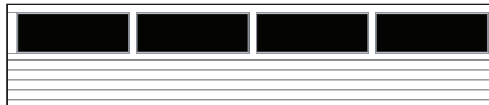
24" x 6"



24" x 12"



34" x 16"



Full-View

COLOR SELECTION

WHITE*

ALMOND

SANDSTONE

BROWN

GRAY

BLACK

Note: Refer to samples at your local C.H.I. Distributor for exact color match.

*3282 available in white only.



Wind chamber tested to ensure wind load resistance, the C.H.I. Windbreaker Series and iSeries doors provide enhanced defense against the elements.

FEATURES

26-GAUGE **MODEL 3285** Insulated

24-GAUGE **MODEL 3282** Insulated

SECTIONS

- Features four evenly spaced micro-grooves that run horizontally across each section
- Double-sided steel doors are 24 or 26-gauge front and 27-gauge back for sturdiness
- Concealed steel back-up plates run from top to bottom of each section for secure hardware attachment
- Section joints are tongue-and-groove
- White painted end stiles
- Bottom "U" type astragal is a standard feature
- 3285 is available in white, almond, sandstone, brown, gray, or black; 3282 is available in white only

TRACKS

- Tracks are 2" or 3", as specified
- Available in bracket mount, angle mount, clip angle mount, 12" radius, 15" radius, high lift, vertical lift, roof pitch, or dual track low headroom

HARDWARE

- Package includes 11-gauge or 14-gauge hinges, as specified
- 2" or 3" long-stem or short-stem steel ball bearings rollers
- Heavy-duty adjustable top roller brackets

SPRINGS

- Torsion springs are helically wound with stress relieved, oil-tempered wire
- Springs are individually-calibrated for each door
- Counter-balance torsion shafts are galvanized for rust resistance
- High cycle spring options may be specified

INSULATION TYPE

- CFC free polystyrene core is secured in place with a urethane adhesive to increase structural integrity
- R-value - 10.29

VISIT YOUR DOOR PROFESSIONAL AT:

C.H.I. Overhead Doors are manufactured in Arthur, Illinois, USA.



DOOR CONSTRUCTION

CFC free polystyrene insulation is secured in place with a urethane adhesive to increase structural integrity. The front and back skins are locked together in a tongue and groove design for years of worry free protection.

Model 3285..... R-value* - 10.29

*R-value testing is in accordance with ASTM C518 standards.

C.H.I. Overhead Doors | 1485 Sunrise Drive | Arthur, Illinois 61911 | www.chiohd.com





Wauwatosa, WI

Staff Report

7725 W. North Avenue
Wauwatosa, WI 53213

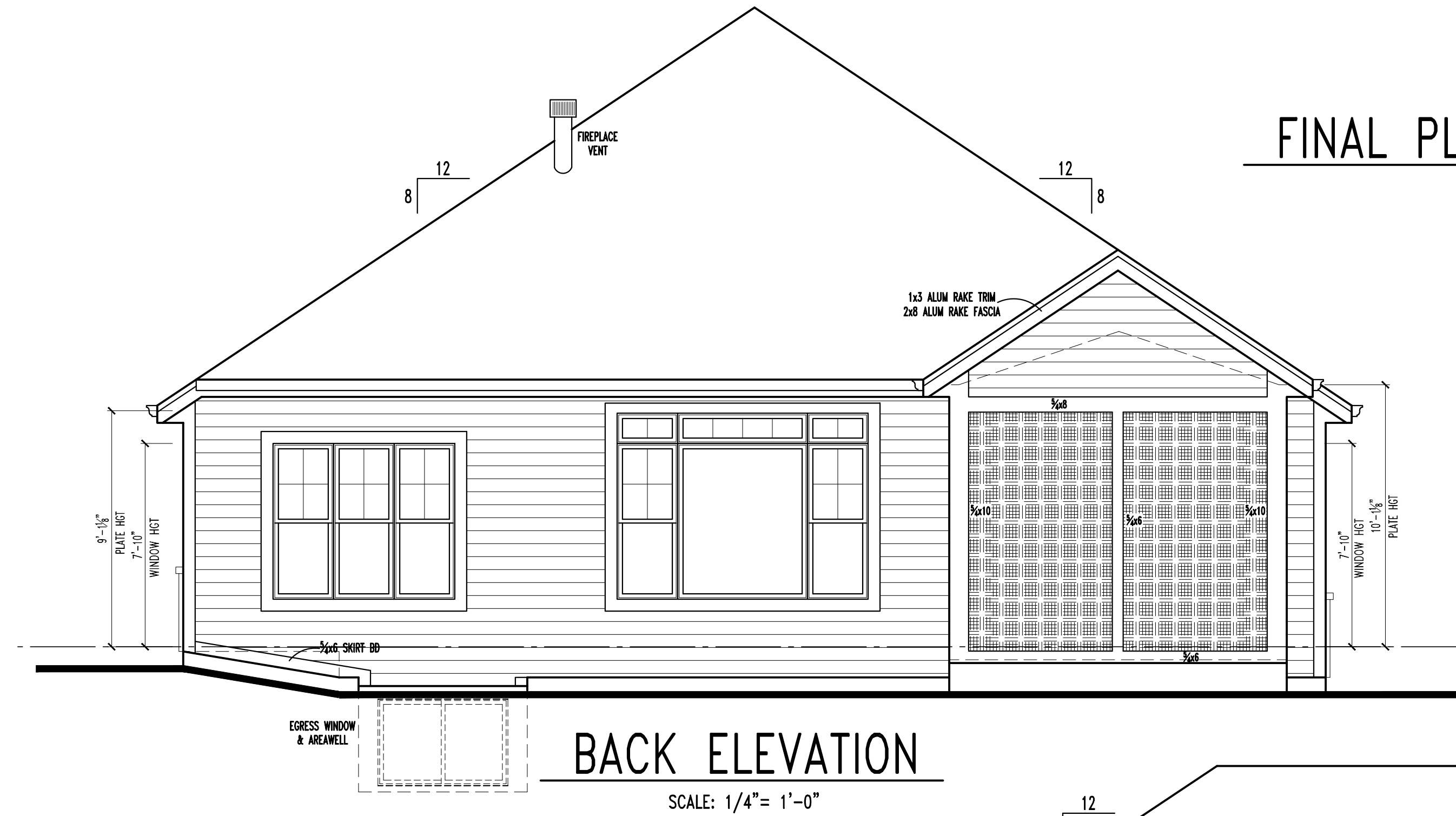
File #: 25-1063

Agenda Date: 6/26/2025

Agenda #:

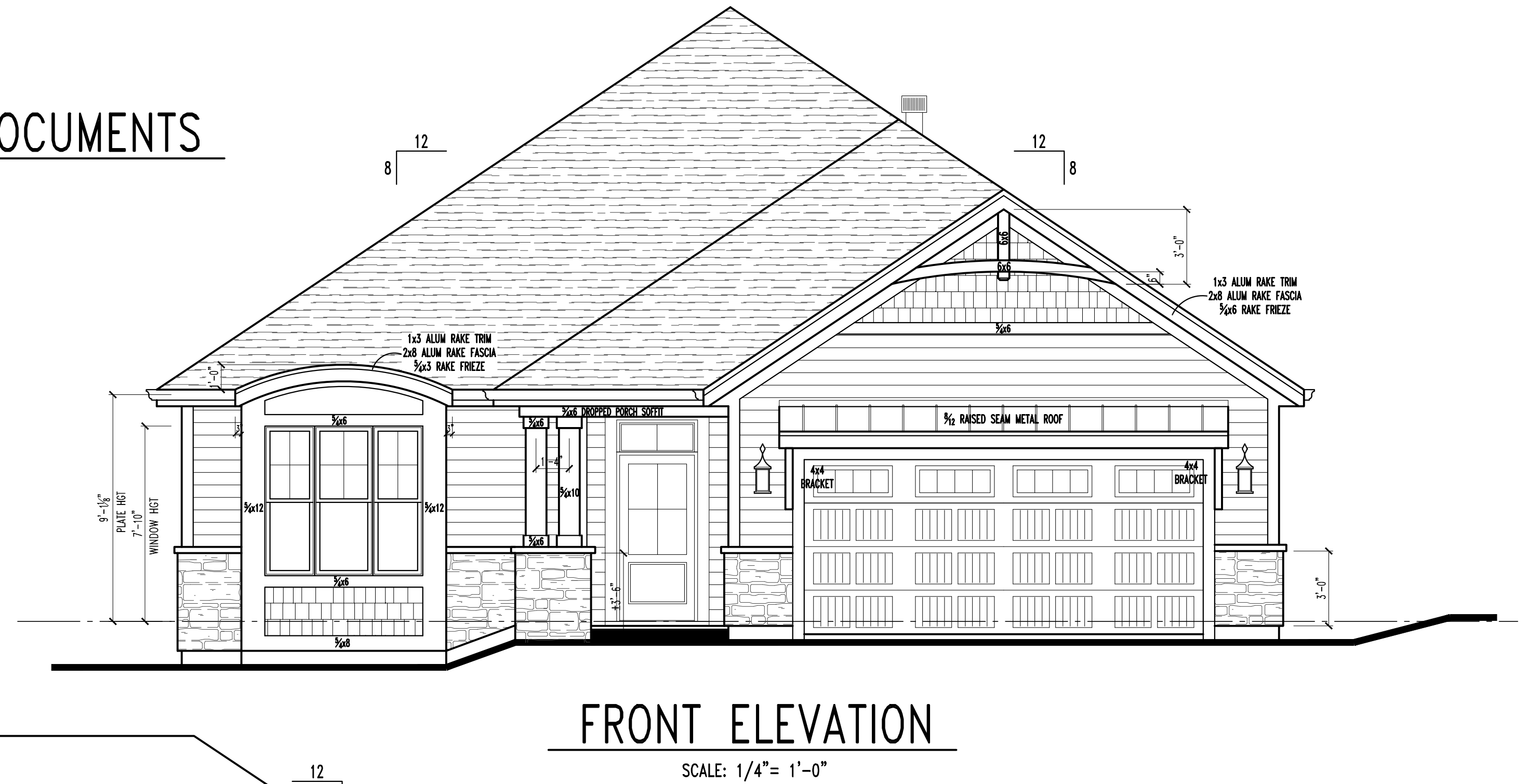
8100 Chestnut Street - New Residential Home

FINAL PLAN DOCUMENTS



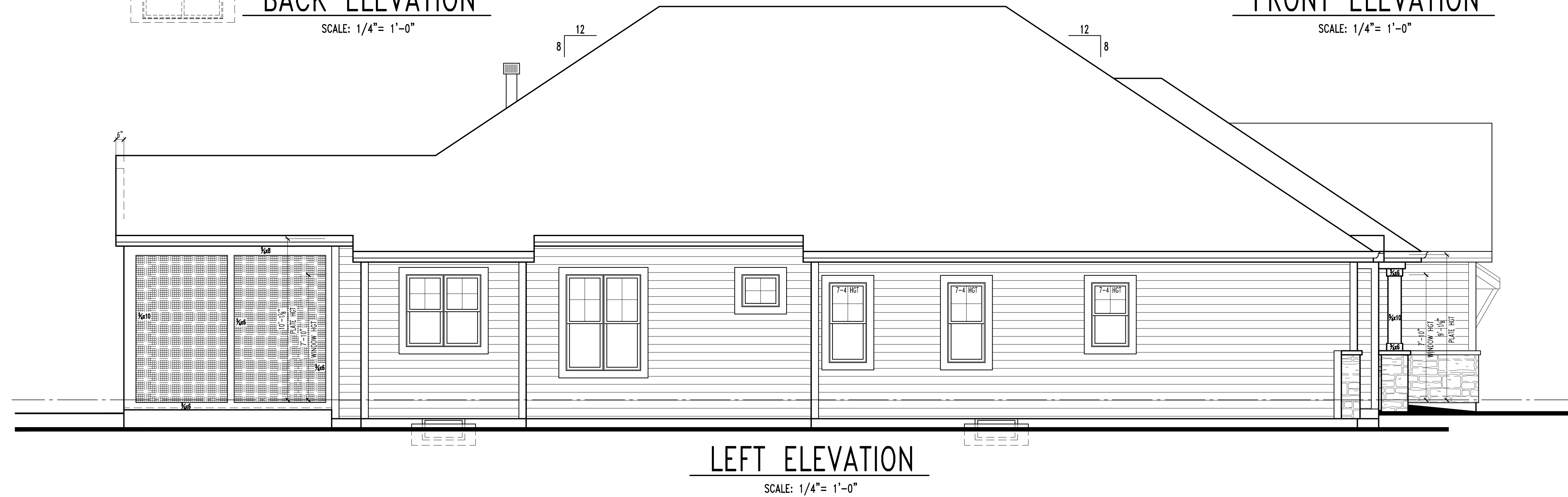
BACK ELEVATION

SCALE: 1/4" = 1'-0"



FRONT ELEVATION

SCALE: 1/4" = 1'-0"



LEFT ELEVATION

SCALE: 1/4" = 1'-0"



RIGHT ELEVATION

SCALE: 1/4" = 1'-0"

MAIN LEVEL LIVING AREA:	2414 SQ.FT.
TOTAL LIVING AREA:	2414 SQ.FT.
OPT LOWER LEVEL: SQ.FT.
GARAGE AREA:	518 SQ.FT.

Revision Dates:
3-24-2025
4-24-2025

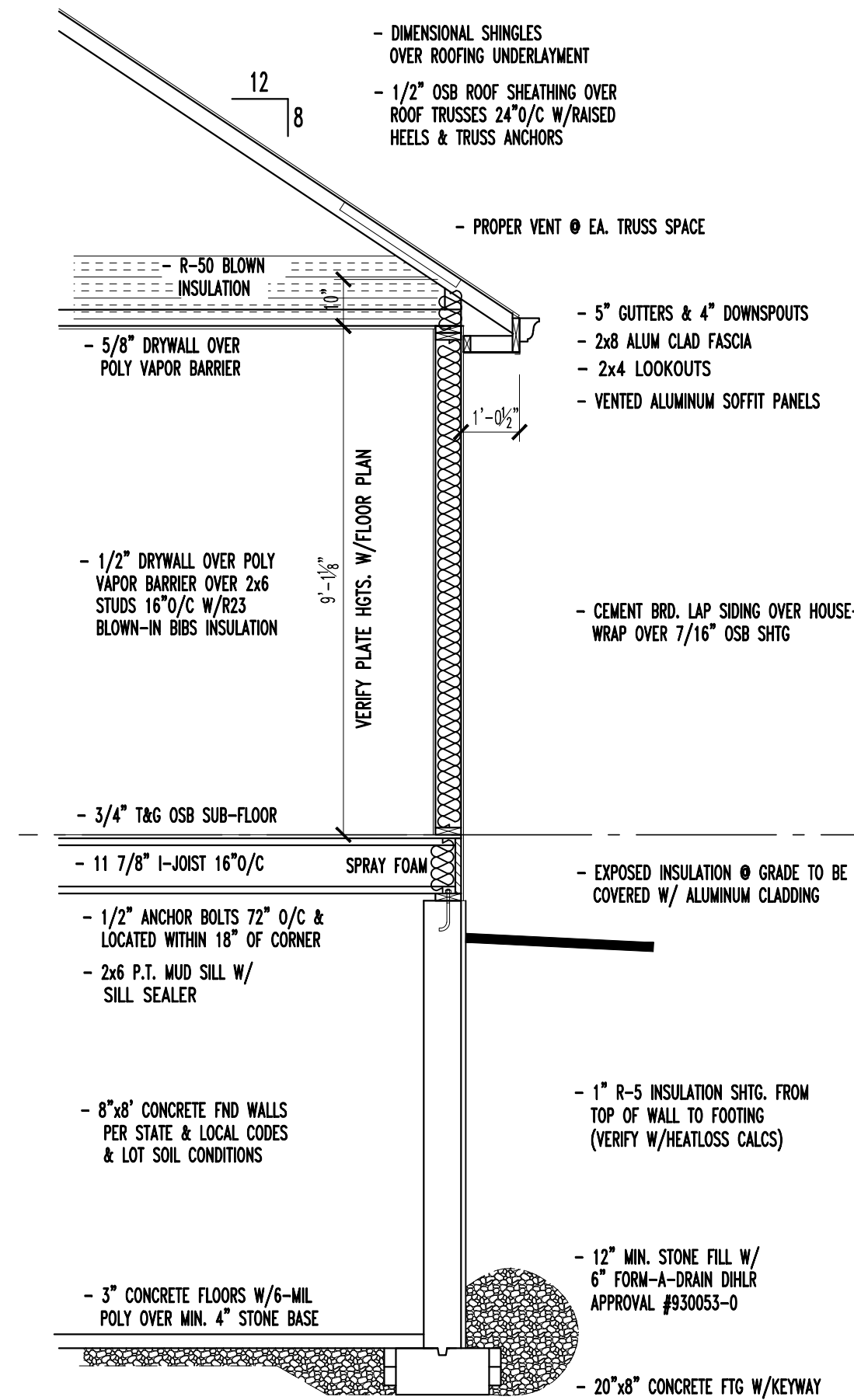


MODEL: Custom Ranch
DRAWN BY: ijm
DATE: 1-14-2025

PROJECT: Walsh
ELEVATIONS FRONT & BACK

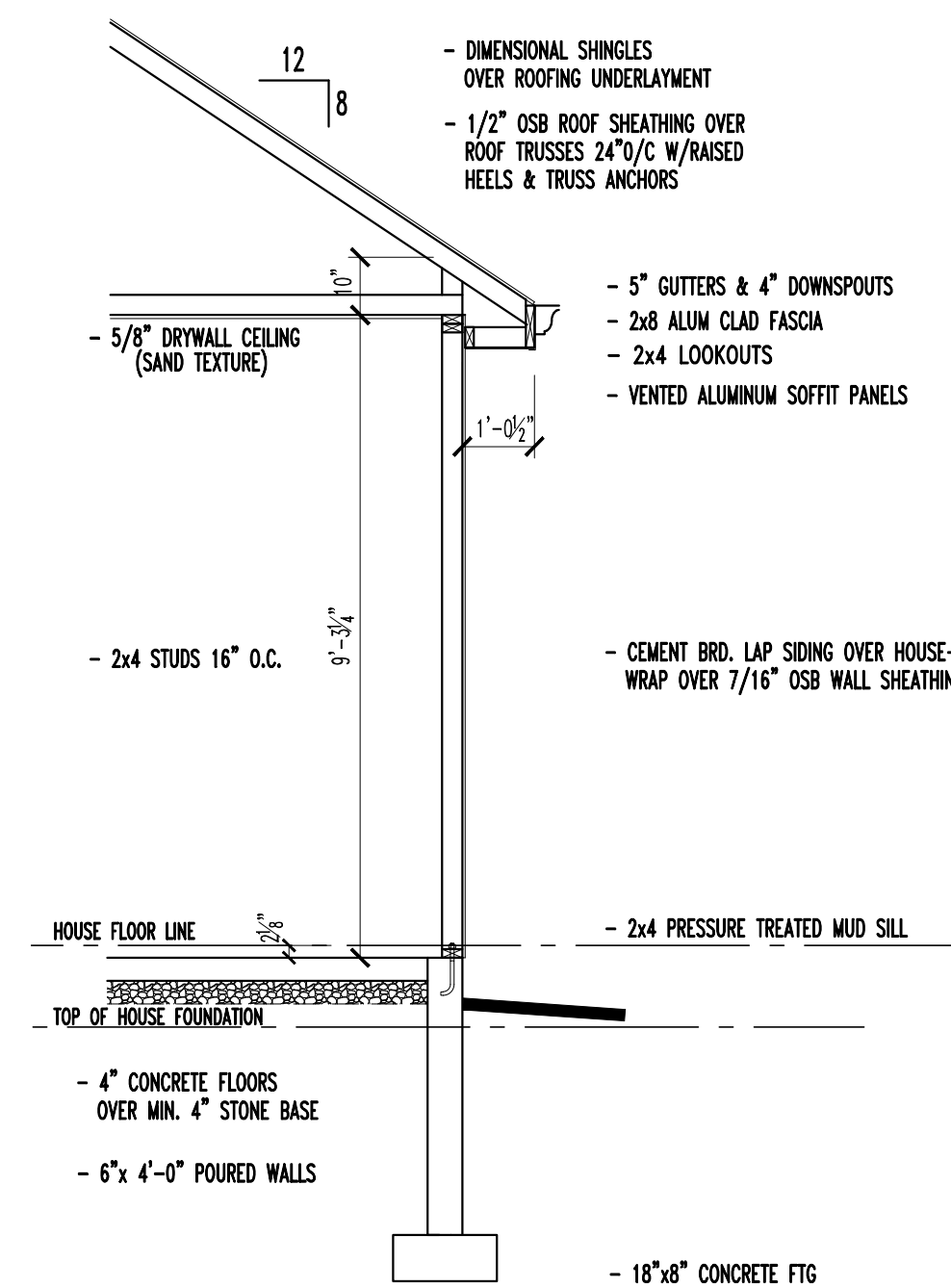
Sheet No.
1 of 4

FINAL PLAN DOCUMENTS



TYPICAL WALL SECTION

SCALE: $3/8" = 1'-0"$



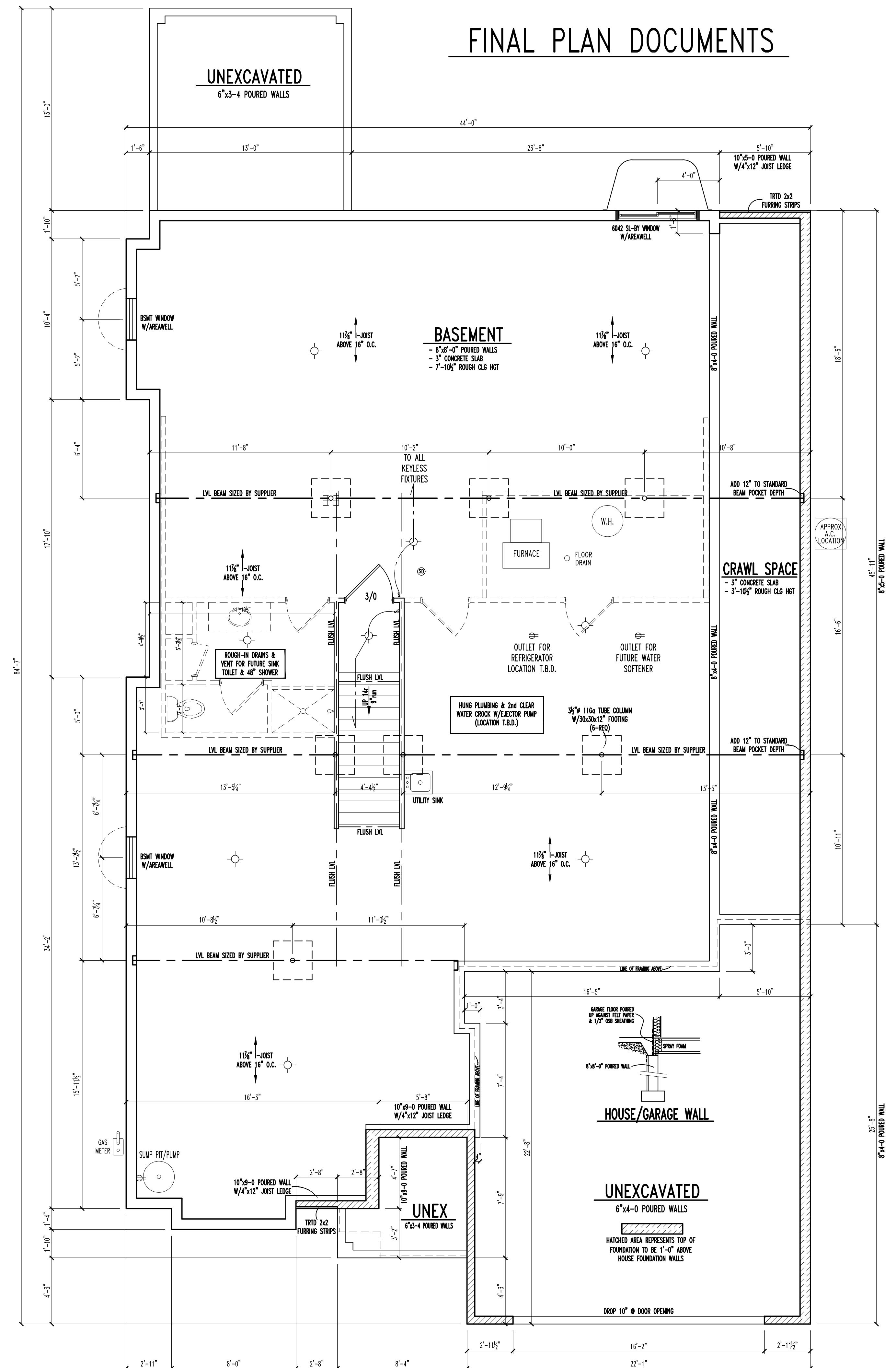
TYPICAL GARAGE SECTION

SCALE: $3/8" = 1'-0"$

FOUNDATION PLAN

SCALE: $1/4" = 1'-0"$

- ALL DIMENSIONS ARE TO OUTSIDE OF CONCRETE WALLS NOT THE 1" SHTG.
- 8" x 8"-0" POURED FOUNDATION WALLS.
- SUPPLIERS OF BEAMS, COLUMNS, & FOOTINGS TO VERIFY SIZES LISTED.
- ALL TOP OF STEEL COLUMN FOOTINGS TO BE SET 2" LOWER THAN HOUSE TOP OF WALL FTGS.
- LOCATION OF FURNACE, WATER HEATER, & AC ARE APPROXIMATE (VERIFY ON SITE)
- LOCATION OF 2 FROST FREE HOSE BIBS TO BE VERIFIED BY OWNER.



Revision Dates:



MODEL: Custom Ranch

DRAWN BY: jjm

DATE: 1-14-2025

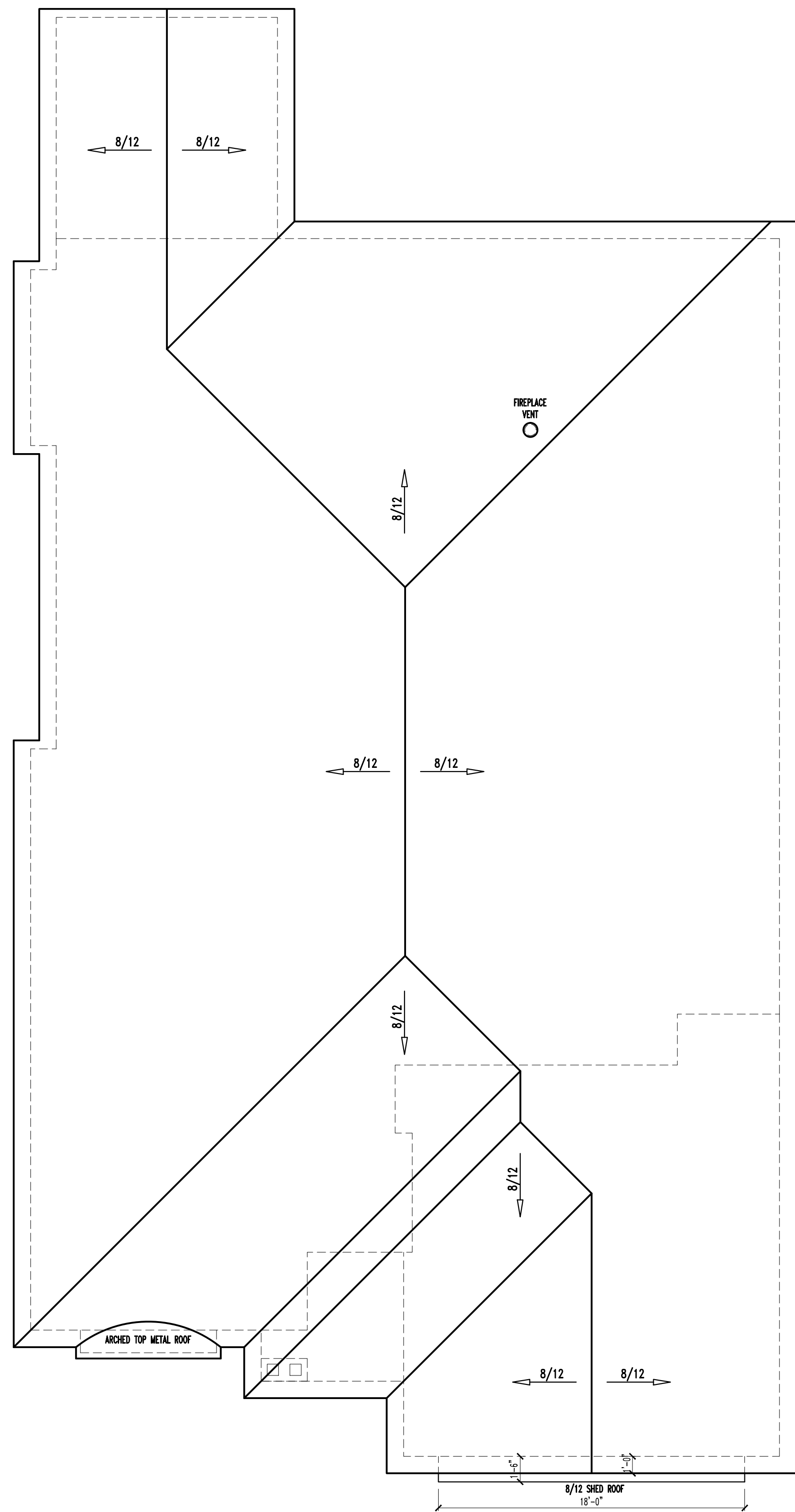
Walsh

PROJECT:

TITLE:	FOUNDATION PLAN
--------	-----------------

Sheet No.

2 of 4



ROOF PLAN
SCALE: 3/16" = 1'-0"

MAIN LEVEL PLAN

SCALE: 1/4" = 1'-0"
MAIN LEVEL LIVING AREA: 2414 SQ.FT.
TOTAL LIVING AREA: 2414 SQ.FT.
OPT LOWER LEVEL: SQ.FT.
GARAGE AREA: 518 SQ.FT.

NOTES:

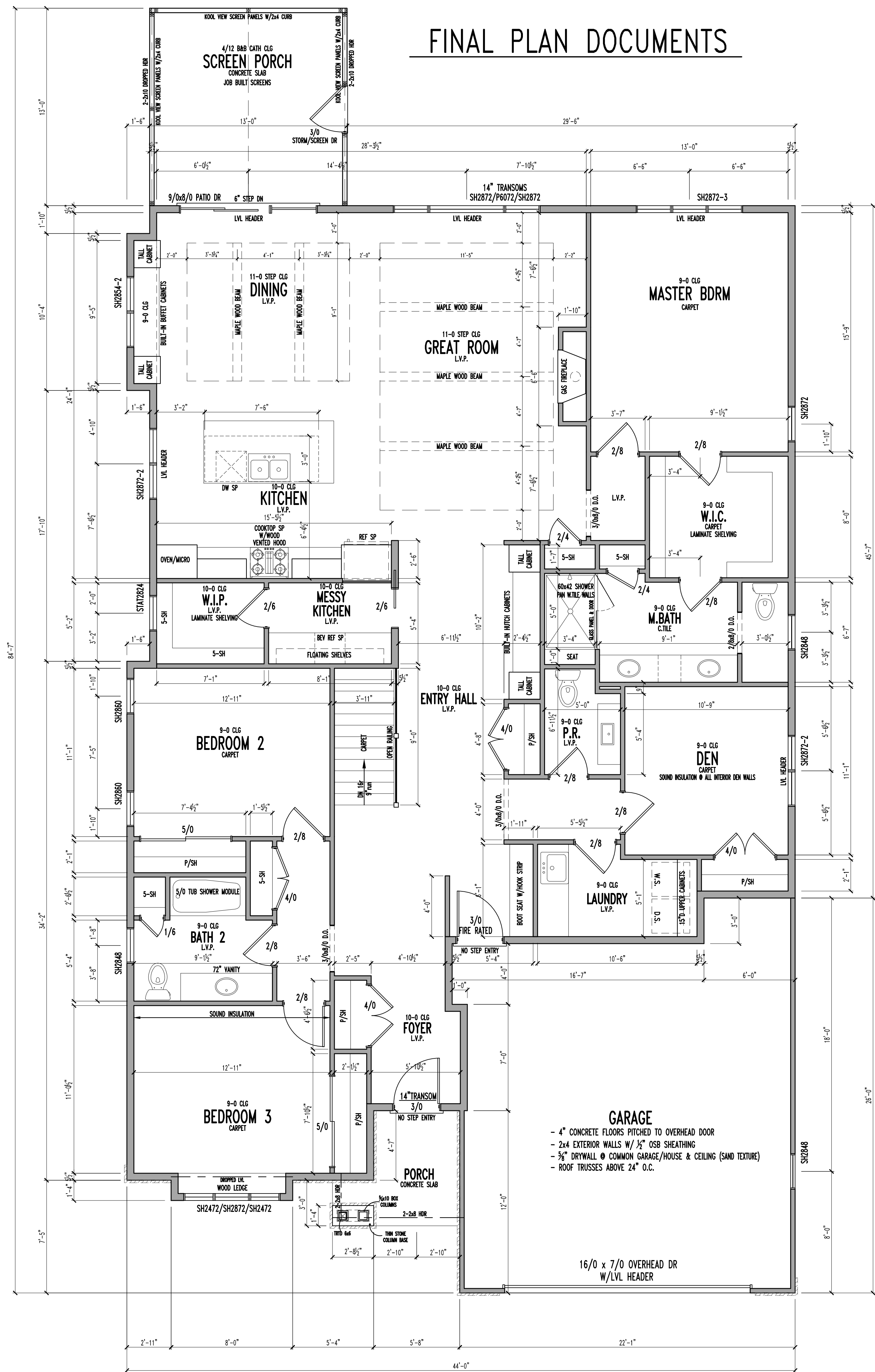
- ALL DIMENSIONS TO EXTERIOR WALLS TO BE STUD TO STUD 5/8".
- ALL DIMENSIONS TO INTERIOR WALLS TO BE STUD TO STUD 3/4".
- ALL ANGLED WALLS SHOWN ARE 45 DEGREES EXCEPT WHERE NOTED.
- ALL EXTERIOR HEADERS TO BE 2x10'S UNLESS NOTED OTHERWISE.
- LISTED SIZES OF MANUFACTURED HEADERS & BEAMS TO BE VERIFIED BY SUPPLIER.
- ALL FRAME WALLS GREATER THAN 10'-4 1/2" TALL TO BE STRUCTURALLY ANALYZED.
- ATTIC ACCESS LOCATIONS TO BE VERIFIED ON SITE.

STAIR NOTES:

STAIRS:
RUN SUB FLOOR NOSING 2/4" PAST FRAMING. FLOORING INSTALLER TO CUT OFF IF NEEDED
DEPENDING ON FINISH NOSING STYLE. (ALWAYS FIGURE FOR 3/4" PINE RISE @ FIRST STEP)

BASEMENT STAIRS:
IF DOOR @ TOP - TEMPORARY TREADS INSTALLED BY FRAMING CARPENTER. PINE TREADS &
RISERS INSTALLED BY FINISH CARPENTER (NO SIDE STRINGERS)
IF DOOR @ BOTTOM - PARTICLE BOARD TREADS & PINE RISERS INSTALLED BY FRAMING
CARPENTER. LEAVE 1 1/2" GAP FOR SIDE STRINGERS INSTALLED BY FINISH CARPENTER.

STAIRS TO SECOND FLOOR:
TEMPORARY TREADS INSTALLED BY FRAMING CARPENTER. PARTICLE BOARD TREADS & PINE
RISERS INSTALLED BY FRAMING CARPENTER ONCE SHINGLES ARE ON ROOF. LEAVE 1 1/2" GAP
FOR SIDE STRINGERS INSTALLED BY FINISH CARPENTER.



FINAL PLAN DOCUMENTS

Revision Dates:
3-24-2025
4-24-2025



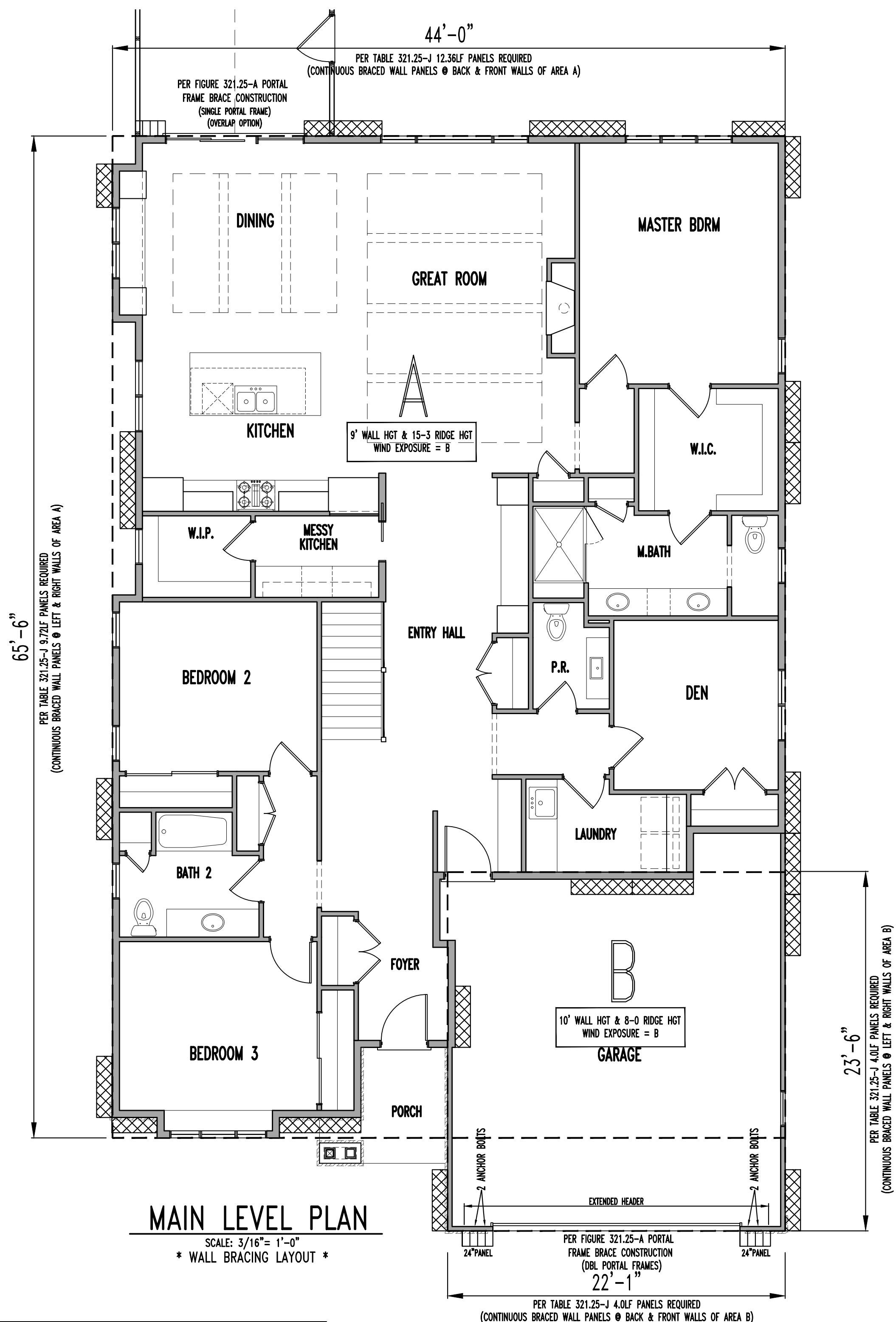
MODEL: Custom Ranch
DRAWN BY: ijm

DATE: 1-14-2025

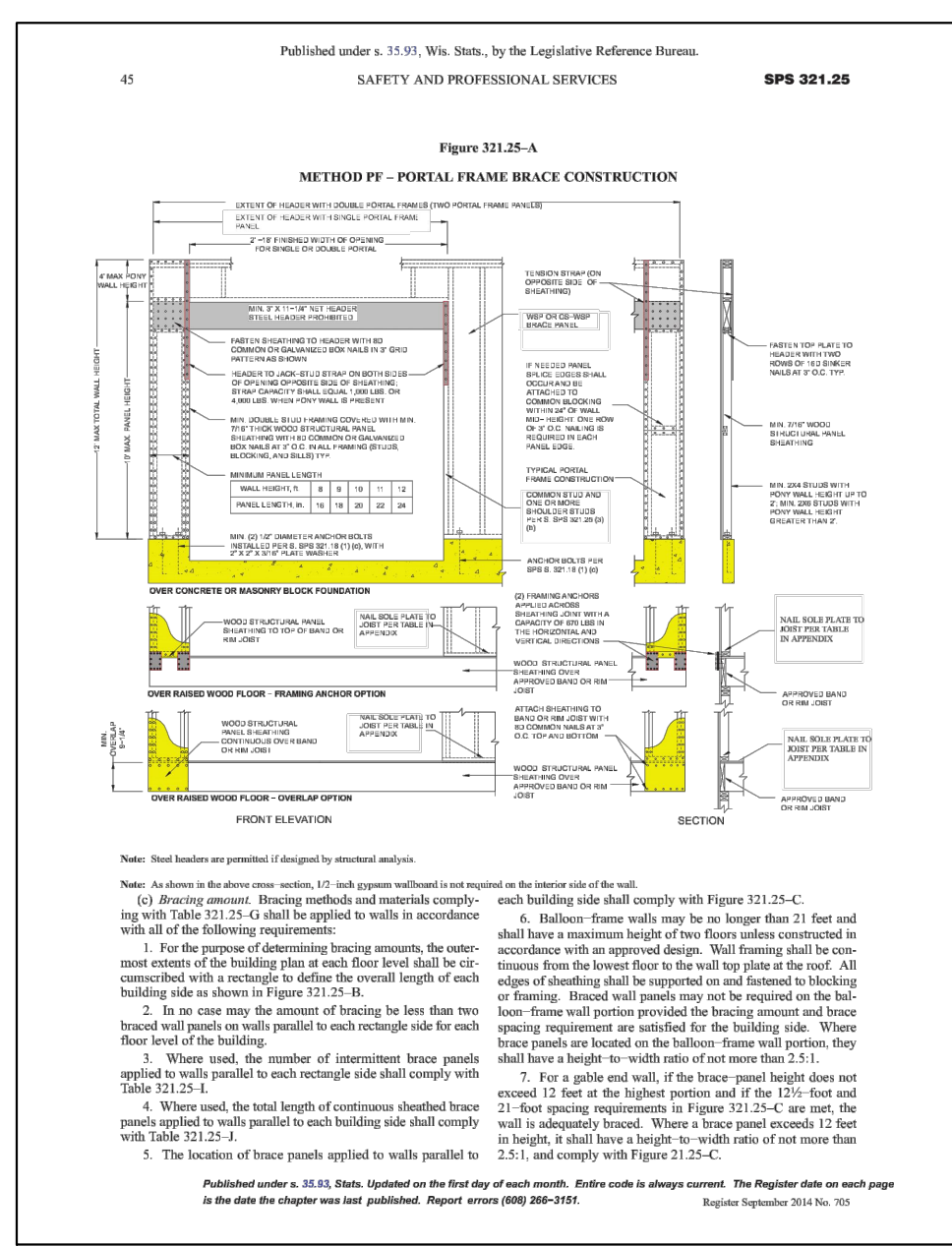
PROJECT: Walsh

TITLE: MAIN LEVEL

Sheet No.
3 of 4

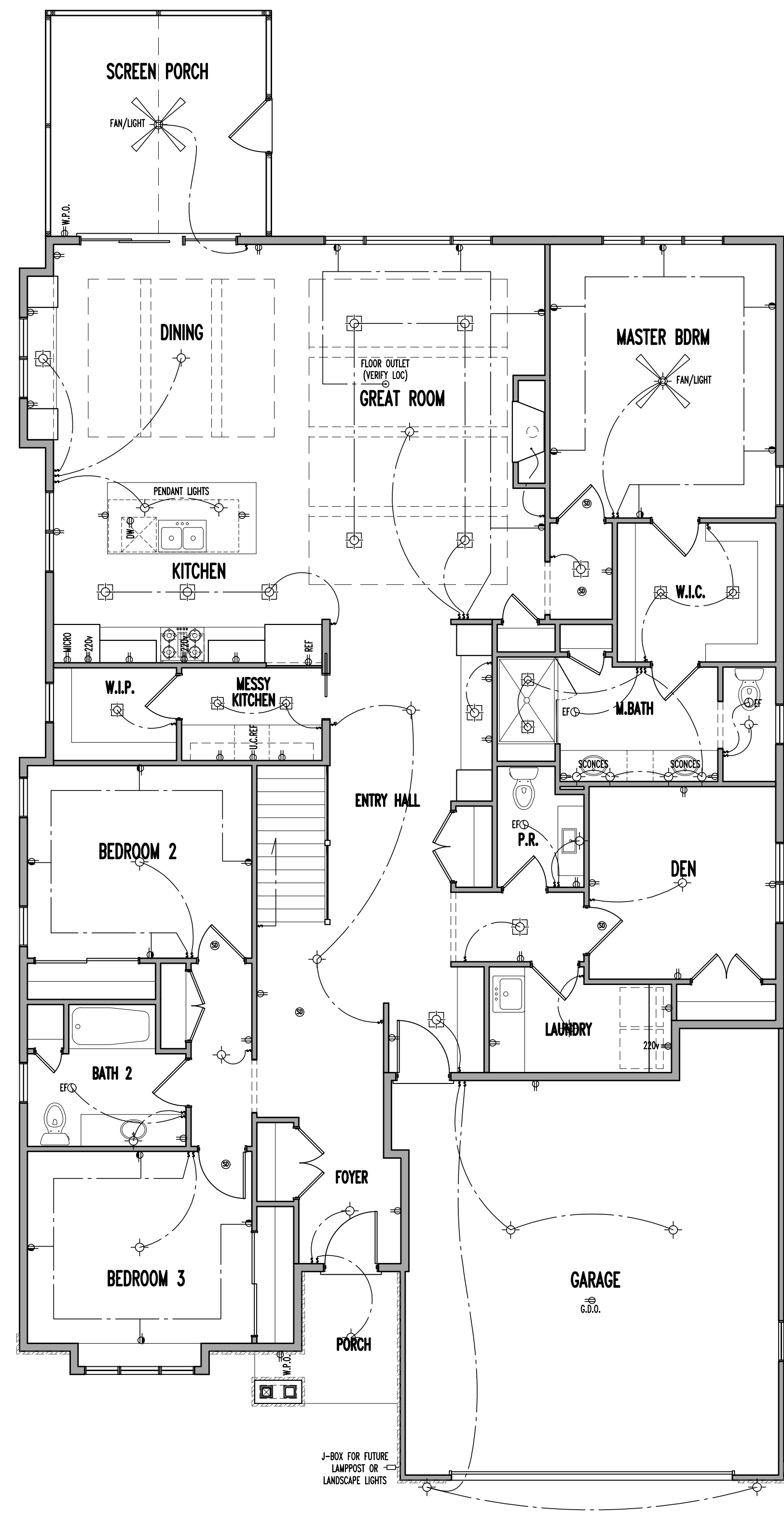


MAIN LEVEL PLAN
SCALE: 3/16" = 1'-0"
* WALL BRACING LAYOUT *



KEY FOR WALL BRACING PLAN (ALL BRACING TO COMPLY WITH CURRENT CODES)	
	48" WIDTH OF 3/16" OSB WOOD STRUCTURAL PANEL (WSP) W/6d COMMON NAIL OR 8d BOX NAIL(2 1/2" LONG x 0.113"DIA) OR 3/16" CROWN 16ga STAPLES (1 1/4" LONG). 6" O.C. EDGES, 12" O.C. FIELD (NAILS) 3" O.C. EDGES, 6" O.C. FIELD (STAPLES). OR 1x4 LET IN BRACING (LIB) @ 45 Degree & MAXIMUM 16" O.C. STUD SPACING W/2-8d COMMON NAILS OR 3-8d BOX NAILS (PER STUD & TOP & BOTTOM PLATES). OR METAL T-BRACING PER MANUFACTURING SPECS.
	96" LINEAL RUN OF 1/2" GYPSUM BOARD (GB) ON BOTH SIDES OF WALL W/5d COOLER NAILS, OR #6 SCREWS, 7" EDGES 7" FIELD (INCLUDING TOP & BOTTOM PLATES)
	CONTINUOUSLY SHEATHED METHOD (CS-WSP). FASTENERS & SPACING SAME AS WSP ABOVE. PANEL LENGTH PER TABLE 321.25-H.
	PORTAL FRAMED METHOD (PF). MAXIMUM 12' WALL HGT. PANEL WIDTH, FASTENERS, & SPACING PER FIGURE 321.25

FINAL PLAN DOCUMENTS



MAIN LEVEL PLAN
SCALE: 3/16" = 1'-0"
* ELECTRICAL LAYOUT *
(ALL ELECTRICAL TO BE INSTALLED PER CODE)
- 1 CO2 DETECTOR
- 1 SETBACK THERMOSTATS (LOCATE ON SITE)
ALL CLOSETS & PANTRY THAT ARE WALK-IN TO HAVE LED DISC LIGHTS SUPPLIED & INSTALLED BY ELECTRICIAN.
EXTRA EXTERIOR OUTLET LOCATION T.B.D.





NOT PICTURED

Garage Door Windows-



Front Columns and Decorative Peak-



Sienna

Stone-

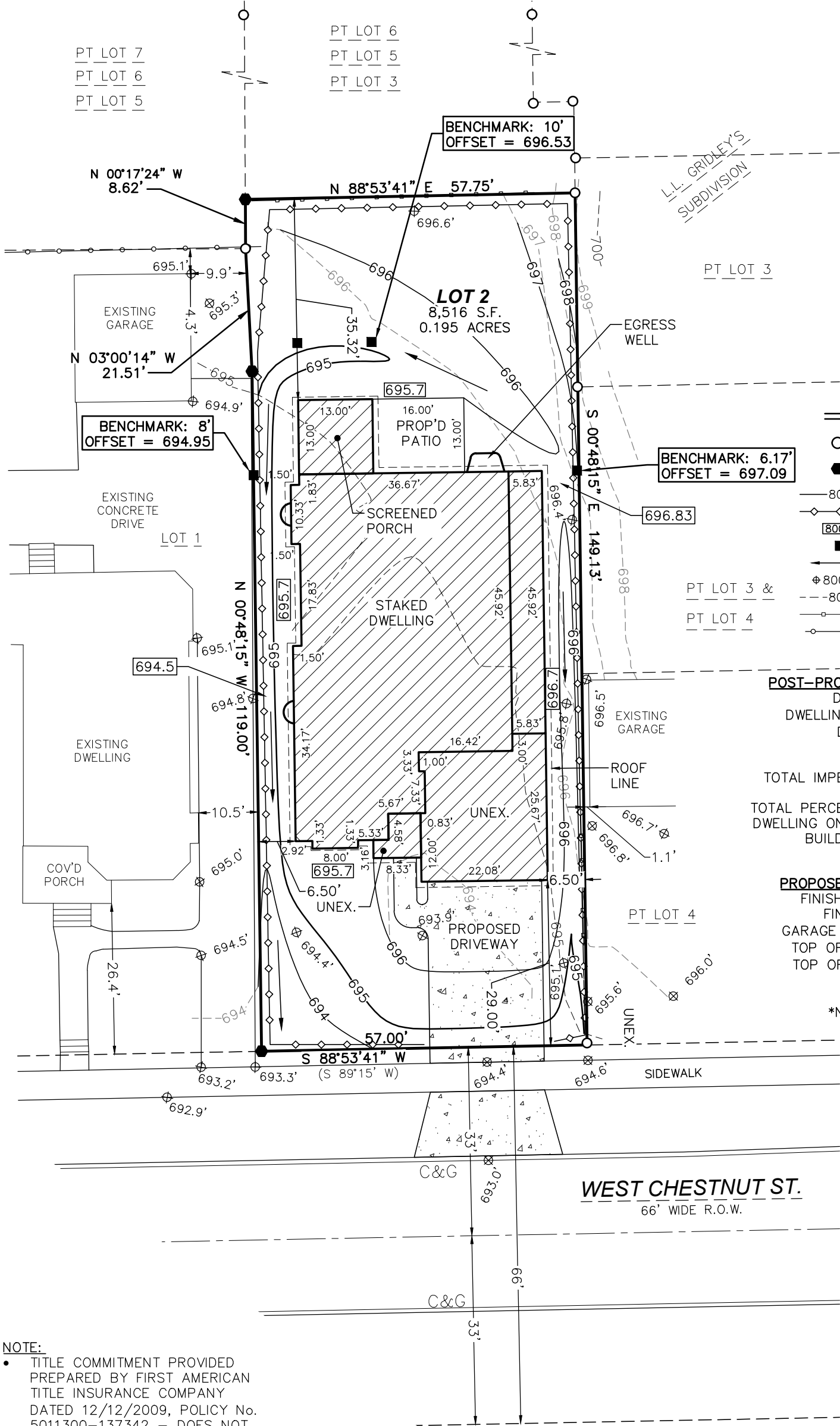


Black Marvin Windows-



PLAT OF SURVEY

LOT 2 OF CSM NO. _____ L.L. GRIDLEY'S SUBDIVISION, BEING A PART OF THE SOUTHWEST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 21, TOWNSHIP 7 NORTH, RANGE 21 EAST, IN THE CITY OF WAUWATOSA, MILWAUKEE COUNTY, WISCONSIN.



BEARINGS BASED ON GRID NORTH OF THE WISCONSIN COUNTY COORDINATE SYSTEM, MILWAUKEE COUNTY ZONE (NAD 83 WISCORS 2011) AND REFERENCED TO THE SOUTH LINE OF THE SE 1/4 OF SEC. 21-7-21 MEASURED AS N88°53'41"E.

LEGEND

- FOUND 1" IRON PIPE OR NOTED SET 0.75" O.D. X 18" REBAR WEIGHING 1.502 LBS/FT.
- 800— PROPOSED CONTOUR
- ◇◇◇◇◇ PROPOSED SILT FENCE
- 800.0 PROPOSED ELEVATION
- 10' OFFSET OR NOTED PROPOSED FLOW DIRECTION
- ⊕800.0 EXISTING SPOT GRADE
- - -800- - - EXISTING CONTOUR
- ◇—◇—◇—◇—◇ WOOD FENCE
- CHAINLINK FENCE

POST-PROJECT IMPERVIOUS AREA (SQ.FT.)

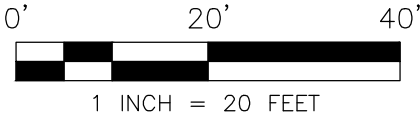
DWELLING ONLY = 3,164
DWELLING (CALC'D TO ROOF) = 3,413
DRIVEWAY/WALK = 613
PATIO = 208

TOTAL IMPERVIOUS SURFACE AREA = 4,234
LOT SIZE = 8,516
TOTAL PERCENT IMPERVIOUS SURFACE = 49.7%
DWELLING ONLY IMPERVIOUS SURFACE = 40.1%
BUILDING LOT COVERAGE = 37%

PROPOSED GRADES PER GRADING PLAN

FINISH YARD GRADE WEST: 695.7
FINISH GRADE EAST: 696.7
GARAGE FLOOR: 697.00 (ZERO ENTRY)
TOP OF WALL: 696.33(W)/697.33(E)
TOP OF FOOTING: 688.33 (8' WALL)
DRIVE SLOPE = 8.2%

NO FORM "A" PROVIDED



NOTE:
• TITLE COMMITMENT PROVIDED PREPARED BY FIRST AMERICAN TITLE INSURANCE COMPANY DATED 12/12/2009, POLICY No. 5011300-137342 - DOES NOT LIST ANY PLOTTABLE EASEMENTS:

SURVEYOR'S CERTIFICATION:

I HEREBY CERTIFY THAT I HAVE SURVEYED THE ABOVE DESCRIBED PROPERTY AND THE ABOVE MAP IS A TRUE REPRESENTATION THEREOF AND SHOWS THE SIZE AND LOCATION OF THE PROPERTY, ITS EXTERIOR BOUNDARIES, THE LOCATION OF ALL VISIBLE STRUCTURES AND DIMENSIONS OF ALL PRINCIPAL BUILDINGS THEREON, BOUNDARY FENCES, APPARENT EASEMENTS, ROADWAY AND VISIBLE ENCROACHMENTS, IF ANY. THIS SURVEY IS MADE FOR THE EXCLUSIVE USE OF THE PRESENT OWNERS OF THE PROPERTY, AND ALSO THOSE WHO PURCHASE, MORTGAGE, OR GUARANTEE, THE TITLE THERETO WITHIN ONE (1) YEAR FROM DATE HEREOF.

SIGNED: MATTHEW T. O'ROURKE, PROFESSIONAL LAND SURVEYOR S-2771



SHEET 1 OF 1	DATE 06/05/2025	CLIENT ASPEN HOMES	LOCATION LOT 2, L.L. GRIDLEY'S SUBDIVISION, WAUWATOSA, MILWAUKEE COUNTY, WISCONSIN	REV. ADJ. FOR ZERO ENTRY GAR. (06/09/2025) JBK	 LAND SURVEYING • LAND PLANNING 955 LEXINGTON DRIVE OCONOMOWOC, WI 53066 WWW.LANDTECHWI.COM (262) 367-7599
	JOB NO. 24270	PROJECT WALSH		REV. ADJ. GRADES/CONTOURS (06/11/2025) JBK	
		LAYOUT PERMIT SURVEY		REV. ADDED PATIO (06/17/2025) JBK	
		DRAWING 24270_SURVEY.DWG		REV.	
			DRAWN BY JBK	CHECKED BY MTO	

ARCHITECTURAL APPROVAL

BUILDER: ASPEN HOMES INC.
CUSTOMER: JIM & PATTY WALSH
MODEL: CUSTOM, 2,141 SQ FT

EXTERIOR SIDING

SIDING: PREFINISHED HARDIE PLANK, HORIZONTAL SIDING, COLOR: EVENING BLUE
SHAKE, STRAIGHT EDGE: PREFINISHED HARDIE PLANK, COLOR: EVENING BLUE
WINDOW WRAPS & CORNER BOARDS: PREFINISHED LP, COLOR: DESERT STONE
SOFFIT AND FASCIA: ALUMINUM, COLOR: LINEN



Evening Blue >



Desert Stone

GUTTERS

COLOR: LINEN

EXTERIOR FRONT COLUMNS & BRACKETS

CEDAR, STAINED



Sienna
TST-2

EXTERIOR STONE

HALQUIST STONE: BILTMORE



WINDOWS

BLACK

GARAGE DOOR

CLOPAY GALLERY GARAGE DOOR

COLOR: WALNUT

PANEL STYLE: LONG

WINDOWS: NONE



Ultra-Grain® Oak
Walnut Finish

REC14



ROOFING

OWENS CORNING OAKRIDGE DIMENSIONAL SHINGLE OR EQUAL, COLOR: DRIFTWOOD

METAL ROOF

BURNISHED SLATE



A PICTURE OF MOST OF THE SELECTIONS TOGETHER





Existing Plants
Along Back Lot Line

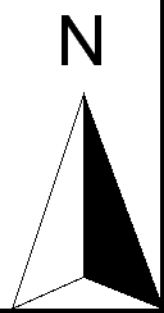
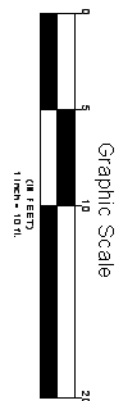
- 3) Pugster Butterfly Bushes
- Crimson Queen Japanese Maple
- 2) Hydrangea

Patio 13'x16'

Egress Window

- 2) Hydrangea On-Standard
- 2) Azaleas
- 6) Summer Beauty Allium
- 3) Coneflowers
- 3) Autumn Fire Sedum
- 2) PJM Rhododendron
- 3) Astillbe
- 2) Little Rocket Ligularia

Proposed Driveway



Date
Job Number
File Number

Landscape Notes

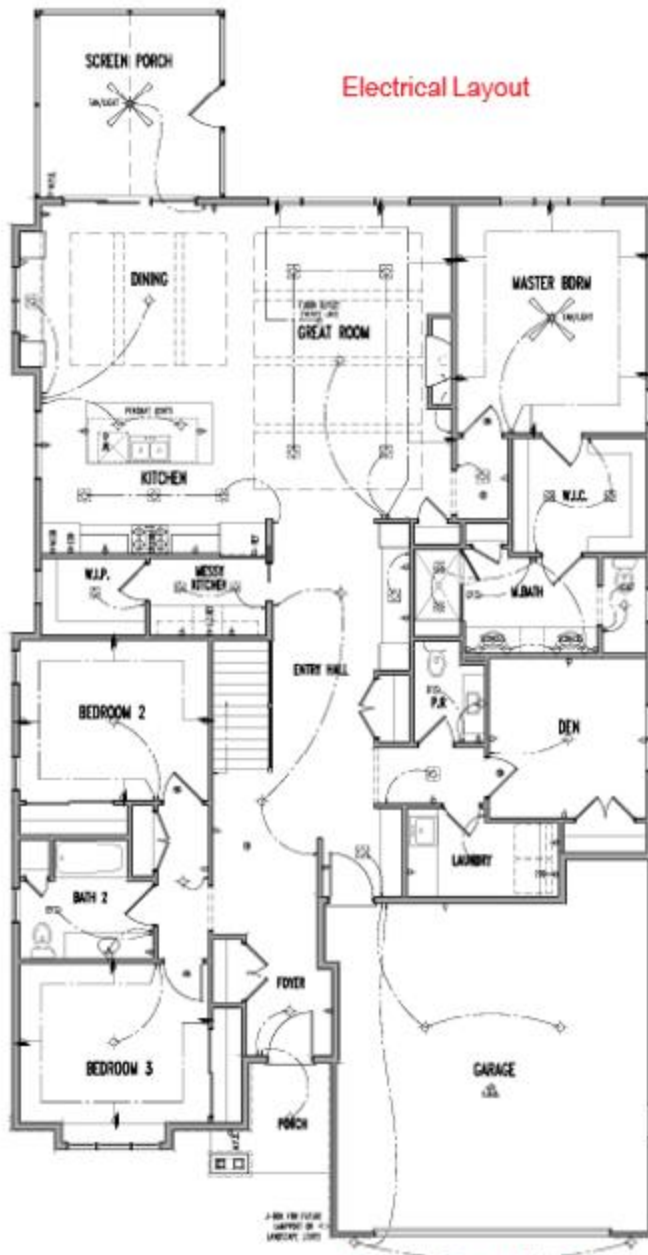
Walsh Initial
Landscape Plan



DIG Landscape LLC
262-288-4722 DIGwi.com
Landscape@DIGwi.com

Revision		
Date	No	Description

Sheet Title



Electrical Layout

Two coach lights at garage.

