Wauwatosa, WI

Design Review Board

Meeting Agenda - Final

7725 W. North Avenue
Wauwatosa, WI 53213

Thursday, October 19, 2023 | **7:00 PM** | **Committee Room 1**

Regular Meeting

CALL TO ORDER

ROLL CALL

NEW BUSINESS

1.	6330 North Ave - Idyll Coffee Roasters - New Construction	**23-771**
2.	11199 Burleigh - Chase Bank - New Construction - Return to Board	**23-842**
3.	11530 Burleigh - Horicon Bank - RTU Screening	**23-843**
4.	2024 Design Review Board Agenda Approval	**23-848**

ADJOURNMENT

NOTICE TO PERSONS WITH A DISABILITY
Persons with a disability who need assistance to participate in this meeting should call the City Clerk's office at (414) 479-8917 or send an email to tclerk@wauwatosa.net, with as much advance notice as possible.

Wauwatosa, WI

Staff Report

7725 W. North Avenue
Wauwatosa, WI 53213

File #: 23-771 **Agenda Date:** **Agenda #:** 1.

VIEW FROM SOUTHEAST

SOUTH ELEVATION

WEST ELEVATION

VIEW FROM NORTHWEST

GALBRAITH CARNAHAN ARCHITECTS

6404 West North Avenue
Milwaukee, Wisconsin 53213
(414) 291-0772 phone
www.galbraithcarnahan.com

IDYLL COFFEE ROASTERS

6330 WEST, NORTH AVENUE
WAUWATOSA, WI 53213

EXISTING EXTERIOR VIEWS

DATE: 09.26.23
PROJECT #: 22.38

P100

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IDYLL COFFEE ROASTERS

6330 WEST, NORTH AVENUE
WAUWATOSA, WI 53213

RENDERING

DATE: 09.26.23
PROJECT #: 22.38

P101

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IDYLL COFFEE

6330 W. NORTH AVE WAUWATOSA, WI 53213

PERSPECTIVES USED TO CONVEY GENERAL LOOK OF THE DESIGN.
SEE SUBSEQUENT DRAWINGS FOR DETAILS AND DIMENSIONS.

CONTACT INFORMATION

OWNER:

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davetambo@yahoo.com

CONTRACTOR:

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MILWAUKEE, WI 53217
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joes@dahlmancc.com

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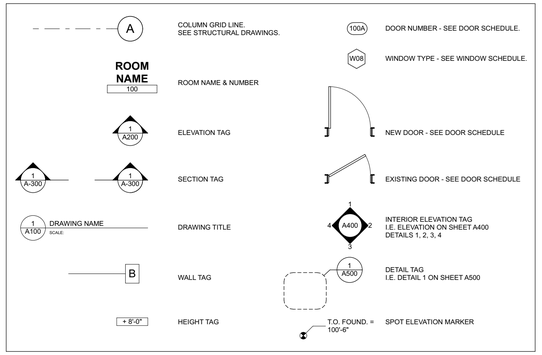
(414) 443-1312

CONTACT:
CHRIS JACKSON
chris@cj-engineering.com

ABBREVIATIONS

#	POUND OR NUMBER
&	AND
@	AT
A	
ACT	ACOUSTIC CEILING TILE
AD	AREA DRAIN
AFF	ABOVE FINISHED FLOOR
ALUM	ALUMINUM
ANOD	ANODIZED
APPROX	APPROXIMATELY
B	
BLKG	BLOCKING
BLKHD	BULKHEAD
BRG	BEARING
BSMT	BASEMENT
BT	BASE TILE
BYND	BEYOND
BO	BOTTOM OF
BOT	BOTTOM
C	
CABT	CABINET
CIP	CAST IN PLACE
CHNL	CHANNEL
CJ	CONTROL JOINT
CL	CLOSET
CLG	CEILING
CLR	CLEAR
CM	CONSTRUCTION MANAGER
CMU	CONCRETE MASONRY UNIT
COL	COLUMN
COMPR	COMPRESSIBLE
CONC	CONCRETE
CONT	CONTINUOUS
CONTR	CONTRACTOR
CPT	CARPET
CRS	COURSE
CT	CERAMIC TILE
CTB	CERAMIC TILE BASE
CTYD	COURTYARD
D	
DBL	DOUBLE
DEMO	DEMOLISH OR DEMOLITION
DIA	DIAMETER
DIM	DIMENSION
DIMS	DIMENSIONS
DISP	DISPENSER
DN	DOWN
DR	DOOR
DRWR	DRAWER
DS	DOWNSPOUT
DTL	DETAIL
DW	DISHWASHER
DWG	DRAWING
E	
EA	EACH
EIFS	EXTERIOR INSULATION FINISH SYSTEM
EJ	EXPANSION JOINT
EL	ELEVATION
ELEC	ELECTRICAL
ELEV	ELEVATOR OR ELEVATION
EPDM	ETHYLENE PROPYLENE DIENE M-CLASS
EQ	EQUAL
ETR	EXISTING TO REMAIN
EXIST	EXISTING
EXP	EXPANSION
EXT	EXTERIOR
F	
FD	FLOOR DRAIN OR FIRE DEPARTMENT
FE	FIRE EXTINGUISHER
FEC	FIRE EXTINGUISHER CABINET
FIN FLR	FINISHED FLOOR
FIXT	FIXTURE
FLR	FLOOR
FLSHG	FLASHING
FM	FILLED METAL
FO	FACE OF
FT	FOOT
FTG	FOOTING
FND	FOUNDATION
G	
GA	GAUGE
GALV	GALVANIZED
GB	GRAB BAR
GWB	GYPSUM WALL BOARD
H	
HC	HOLLOW CORE
HDWD	HARDWOOD
HDR	HEADER
HI	HIGH
HM	HOLLOW METAL
HORIZ	HORIZONTAL
HP	HIGH POINT
HR	HOUR
HT	HEIGHT
HRDBD	HARDBOARD
HVAC	HEATING, VENTILATING, AND AIR CONDITIONING
I	
IRGWB	IMPACT RESISTANT GYPSUM WALL BOARD
ILO	IN LIEU OF
INSTR	INSTRUCTIONS
INSUL	INSULATED OR INSULATION
INT	INTERIOR
J	
JNT	JOINT
L	
LHB	LOCKABLE HOSE BIBB
M	
MAX	MAXIMUM
MFR	MANUFACTURER
MO	MASONRY OPENING
MECH	MECHANICAL
MEMBR	MEMBRANE
MICRO	MICROWAVE
MIN	MINIMUM
MISC	MISCELLANEOUS
MRDW	MOISTURE RESISTANT DRY WALL
MRGWB	MOISTURE RESISTANT GYPSUM WALL BOARD
MTL	METAL
MTR	MORTAR
MTRL	MATERIAL
N	
NIC	NOT IN CONTRACT
NO	NUMBER
NOM	NOMINAL
O	
OC	ON CENTER
OH	OPPOSITE HAND
OPNG	OPENING
OZ	OUNCE
P	
PCC	PRE-CAST CONCRETE
PLUMB	PLUMBING
PLAM	PLASTIC LAMINATE
PLYWD	PLYWOOD
P&SH	POLE & SHELVES / SHELF
PREFIN	PRE-FINISHED
PT	PRESSURE TREATED
PNT	PAINT OR PAINTED
PVC	POLYVINYL CHLORIDE
R	
RB	RUBBER BASE
RBR	RUBBER
RC	RAIN CHAIN
RCP	REFLECTD CEILING PLAN
RD	ROOF DRAIN
REF	REFRIGERATOR
REINF	REINFORCED
REQD	REQUIRED
RM	ROOM
RO	ROUGH OPENING
S	
SHTHG	SHEATHING
SF	SHEET FLOORING
SIM	SIMILAR
SPEC	SPECIFIED OR SPECIFICATION
SPK	SPRINKLER OR SPEAKER
SS	STAINLESS STEEL
ST	STAIN
STC	SOUND TRANSMISSION COEFFICIENT
STL	STEEL
STRUCT	STRUCTURE OR STRUCTURAL
T	
T&G	TONGUE AND GROOVE
TELE	TELEPHONE
TLT	TOILET
TO	TOP OF
TOC	TOP OF CONCRETE
TOS	TOP OF STEEL
TPD	TOILET PAPER DISPENSER
T/D	TELEPHONE/DATA
TYP	TYPICAL
U	
UNO	UNLESS NOTED OTHERWISE
U/S	UNDERSIDE
V	
VB	VINYL BASE
VCT	VINYL COMPOSITIONTILE
VERT	VERTICAL
VIF	VERIFY IN FIELD
VP	VISION PANEL
VWC	VINYL WALL COVERING
W	
W/	WITH
WD	WOOD
WDW	WINDOW

SYMBOL KEY



SHEET INDEX

ID	NAME
G100	COVER SHEET
C1.0	SITE PLAN
A100	LOWER LEVEL FLOOR PLAN
A101	FIRST FLOOR PLAN
A102	SECOND FLOOR PLAN
A103	ROOF PLAN
A200	ELEVATIONS
A201	ELEVATIONS
A202	ELEVATIONS

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CONSULTANTS:

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6330 W. NORTH AVENUE
WAUWATOSA, WI 53213
TAX KEY: 330-0171-000

DRAWING ISSUE	DATE
EXISTING BASE PLANS	10.20.22
PRE-APPLICATION DRAWINGS	05.17.23
CONDITIONAL USE / SITE PLAN APPLICATION	06.06.23
50% CD'S	08.24.23
APPRAISAL SET	09.15.23
ARB SET	09.22.23

PROJECT # 22.38

COVER SHEET

G100

NOT FOR CONSTRUCTION

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LEGEND

BASKETBALL HOOP (BH)	LIGHT POLE	**ABBREVIATIONS**	**LINE TYPES (CONT.)**
BENCHMARK (BM)	MAIL BOX (MB)	F.L. FLOW LINE	METAL FENCE
BOLLARD (BO)	MANHOLE (MH)	I.E. INVERT ELEVATION	WOOD FENCE
BUSH, SHRUB, ETC.	MONITORING WELL (MW)	FND FOUND	GUARD RAIL
CATCH BASIN ROUND (CB)	SIGN (TRAFFIC, ETC.)	MLP METAL LIGHT POLE	BURIED CABLE TV
CATCH BASIN SQUARE (CB)	SOIL BORING (SB)	CLP CONCRETE LIGHT POLE	BURIED COMMUNICATIONS
CLEAN OUT (CO)	TRAFFIC LIGHT (TL)	WLP WOOD LIGHT POLE	COMBINATION SEWER
CURB INLET (CB)	DECIDUOUS TREE (TR)	FGLP FIBERGLASS LIGHT POLE	BURIED ELECTRIC
EVERGREEN TREE (EG)	UTILITY MARKER	MS METAL SIGN	BURIED FIBER OPTIC
FIRE HYDRANT (HYD)	UTILITY METER	GM GAS METER	BURIED GAS SERVICE
FLAG POLE (FP)	UTILITY PEDESTAL	EM ELECTRIC METER	OVERHEAD UTILITY LINES
GUY WIRE (GW)	UTILITY POLE (UP)	D.S.E. DOOR SILL ELEVATION	SANITARY SEWER
HANDICAP	UTILITY VALVE	EP ELECTRIC PEDESTAL	STORM SEWER
IRON PIPE (I.P.)	WATER WELL	F.F.E. FIRST FLOOR ELEVATION	BURIED TELEPHONE
		FO FIBER OPTIC CABLE	WATER MAIN / SERVICE
		GV GAS VALVE	
		WV WATER VALVE	
		CTP CABLE TV PEDESTAL	
		WLF WETLAND FLAG	
		YL YARD LIGHT	
		LINE TYPES	
		SANITARY FORCE MAIN	

LEGAL DESCRIPTION

LOTS 22, 23, AND 24, IN BLOCK 3, IN J.F. LABOULE SUBDIVISION NO. 1, IN THE SOUTHEAST 1/4 OF SECTION 15, IN TOWNSHIP 7 NORTH, RANGE 21 EAST, IN THE CITY OF WAUWATOSA, COUNTY OF MILWAUKEE, STATE OF WISCONSIN.

SURVEYOR'S NOTES

1) TITLE POLICY INFORMATION - PER FIRST AMERICAN TITLE INSURANCE COMPANY, FILE NO: NCS-932066-MKE, COMMITMENT DATE OF OCTOBER 22, 2018.

2) FLOOD PLAIN INFORMATION - PROPERTY IS IN ZONE X (AREA OF 0.2% ANNUAL CHANCE OF FLOOD) PER FIRM MAP NO. 55079C0086E, EFFECTIVE DATE OF SEPTEMBER 26, 2008

3) ZONING INFORMATION & BASIS - PER CITY OF WAUWATOSA ZONING DEPARTMENT - ZONED C1 DISTRICT/NORTH AVENUE OVERLAY (C1/NOR)

4) BUILDING SETBACKS, HEIGHT RESTRICTIONS & BASIS OF EACH - PER CITY OF WAUWATOSA ZONING DEPARTMENT

FRONT SET BACK - 0 FEET
SIDE STREET SET BACK - 0 FEET
INTERIOR SIDE SET BACK - 0 FEET
REAR - 0 FEET

5) LAND AREA - 10,800 SQUARE FEET

6) BUILDING AREA - 4,767 SQUARE FEET

7) BUILDING HEIGHT - 22' +/-

8) BASIS OF BEARINGS - NORTH LINE OF W. NORTH AVENUE - ASSUMED WEST

9) PARKING INFORMATION - PARKING STRIPING TO VAGUE TO LOCATE

10) UNDERGROUND SEWER AND UTILITY INFORMATION AS SHOWN IS OBTAINED FROM THE RECORDS OF MUNICIPALITY AND LOCAL UTILITY COMPANIES. THE ACCURACY OF WHICH CAN NOT BE GUARANTEED OR CERTIFIED TO.

11) THE LOCATIONS OF EXISTING UTILITY INSTALLATIONS AS SHOWN ON THIS SURVEY ARE APPROXIMATE. THERE MAY BE OTHER UNDERGROUND UTILITY INSTALLATIONS WITHIN THE PROJECT AREA THAT ARE NOT SHOWN.

12) WINDOW WELLS AROUND BUILDING NOT SHOWN.

SCHEDULE B - EXCEPTIONS

10) AT&T WISCONSIN GENERAL EASEMENT GRANTED IN WISCONSIN BELL INC. d/b/a AT&T - WISCONSIN IN INSTRUMENT DATED NOVEMBER 29, 2006 AND RECORDED ON MARCH 1, 2007, AS DOCUMENT NO. 09393225 - AS SHOWN ON SURVEY

SURVEYOR'S CERTIFICATION

To First American Title Insurance Company:

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2016 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 2, 3, 4, 5, 6, 8, 9, 11, and 13 of Table A thereof. The fieldwork was completed on June 5, 2019

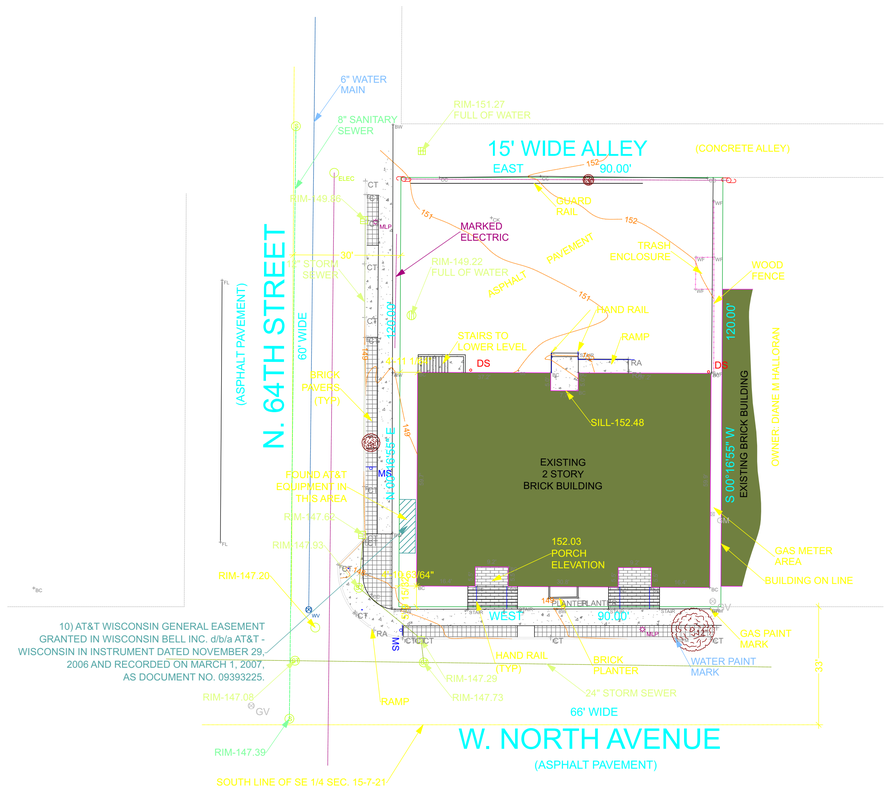
Date: June 7, 2019

Mark L. Wertz -

Professional Land Surveyor

Registration No.

S-1915



GRAPHIC SCALE

20' 0 10' 20' 40'

1 inch = 20ft

VICINITY MAP

SOUTHEAST 1/4 SEC. 15-7-21

NOT TO SCALE

LIS
LAND INFORMATION SERVICES, INC.
ENGINEERS, SURVEYORS & CONSULTANTS
9110 W. STICKNEY AVENUE
WAUWATOSA, WI 53226
T 262.312.9000
www.lisinc.net

DIGGERS HOTLINE

CALL DIGGERS HOTLINE
811 or 1-800-242-8511 / MILW. AREA 259-1181
WIS STATUTE 182.0175(1974) REQUIRES MIN. 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE

ALTA / NSPS LAND TITLE SURVEY
6330 W. NORTH AVENUE
WAUWATOSA, WISCONSIN

DRAWN BY: M.D.N.
CHECKED BY: M.L.W.
DATE: 6.5.19
JOB NUMBER: S19036R0AL

REVISIONS

SHEET 1 OF 1

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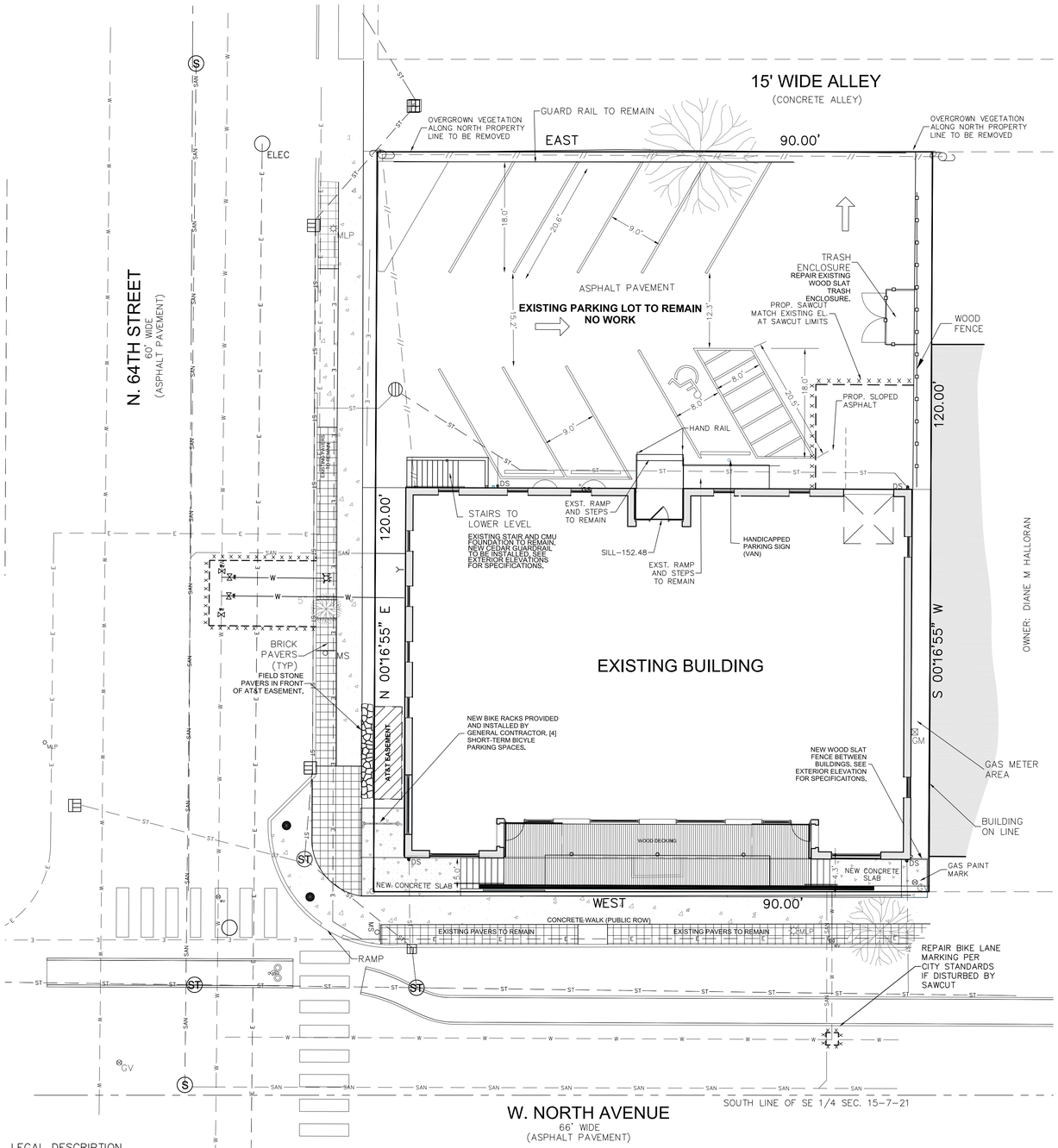

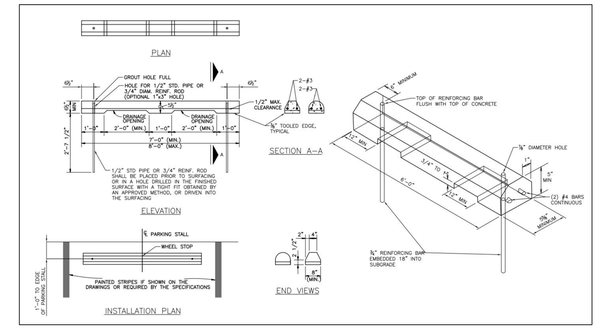

CONCRETE WHEEL STOP DETAIL

NOT TO SCALE

CJ engineering
civil design and consulting
9205 W. Center Street
Suite 214
Milwaukee, WI 53222
PH. (414) 443-1312
FAX (414) 443-1317
www.cj-engineering.com

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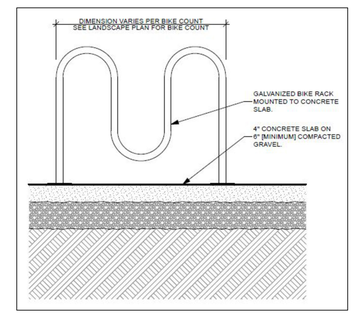
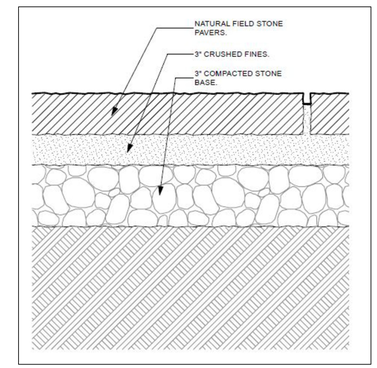


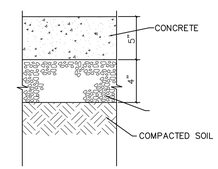
BIKE RACK

NOT TO SCALE



FIELD STONE PAVERS

NOT TO SCALE



CONCRETE SIDEWALK

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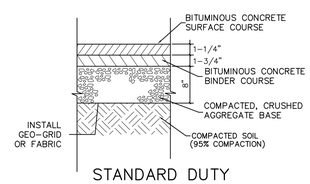
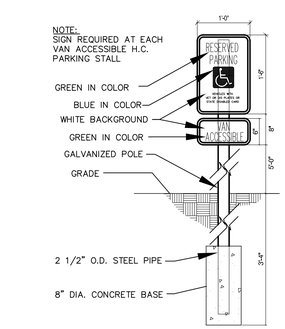


STANDARD DUTY ASPHALT PAVEMENT (PARKING AREA)

NOT TO SCALE



HANDICAPPED PARKING SIGN DETAIL (VAN ACCESSIBLE)

NOT TO SCALE

IDYLL COFFEE

TAX KEY: 3300171000

6330 W. NORTH AVENUE WAUWATOSA, WI

CJE NO.: 2342R0-EC

AUGUST 24, 2023

LEGAL DESCRIPTION

LOTS 22, 23, AND 24, IN BLOCK 3, IN J.F. LABOULE SUBDIVISION NO. 1, IN THE SOUTHEAST 1/4 OF SECTION 15, IN TOWNSHIP 7 NORTH, RANGE 21 EAST, IN THE CITY OF WAUWATOSA, COUNTY OF MILWAUKEE, STATE OF WISCONSIN.

CONTAINING: 10,800 S.F. (0.25 ACRES)

NOTES:

1. DISTURBED AREA = 1,543 S.F. (0.035 ACRES)

2. THERE IS AN INCREASE OF 348 S.F. OF IMPERVIOUS SURFACE ON THE SITE.

3. TAX ID NUMBERS: 3300171000

4. ALL WORK IN THE RIGHT OF WAY SHALL BE DONE IN ACCORDING TO THE CITY REQUIREMENTS AND SPECIFICATIONS AND REQUIRES A STREET OCCUPANCY PERMIT FROM THE CITY.

5. PAVEMENT MARKINGS SHALL BE 3" WIDE STRIPED IN WHITE OR YELLOW TRAFFIC PAINT.

6. PROPOSED DEVELOPMENT WILL NOT DISTURB MORE THAN 1 ACRE AND WILL INCREASE THE AMOUNT OF IMPERVIOUS SURFACE BY 348 S.F. THEREFORE A STORM WATER MANAGEMENT PLAN IS NOT REQUIRED.

SITE AREAS: EXISTING

PROPERTY AREA = 10,800 S.F. (0.248 ACRES)

EXISTING BUILDING = 4,767 S.F. (0.109 ACRES)
EXISTING PAVEMENT = 5,166 S.F. (0.119 ACRES)

EXISTING IMPERVIOUS = 9,933 S.F. (0.228 ACRES)
EXISTING OPEN = 867 S.F. (0.020 ACRES)

EXISTING DESIGNATED ON SITE SURFACE PARKING (TO BE RESTRIPED)
8 REGULAR STALLS
1 ADA ACCESSIBLE STALL
9 TOTAL PARKING STALLS

0 BIKE PARKING STALLS

SITE AREAS: PROPOSED

PROPOSED BUILDING FOOTPRINT = 4,271 S.F. (0.098 ACRES)
PROPOSED PAVEMENT = 6,010 S.F. (0.138 ACRES)

PROPOSED IMPERVIOUS = 10,281 S.F. (0.236 ACRES)
PROPOSED OPEN = 519 S.F. (0.012 ACRES)

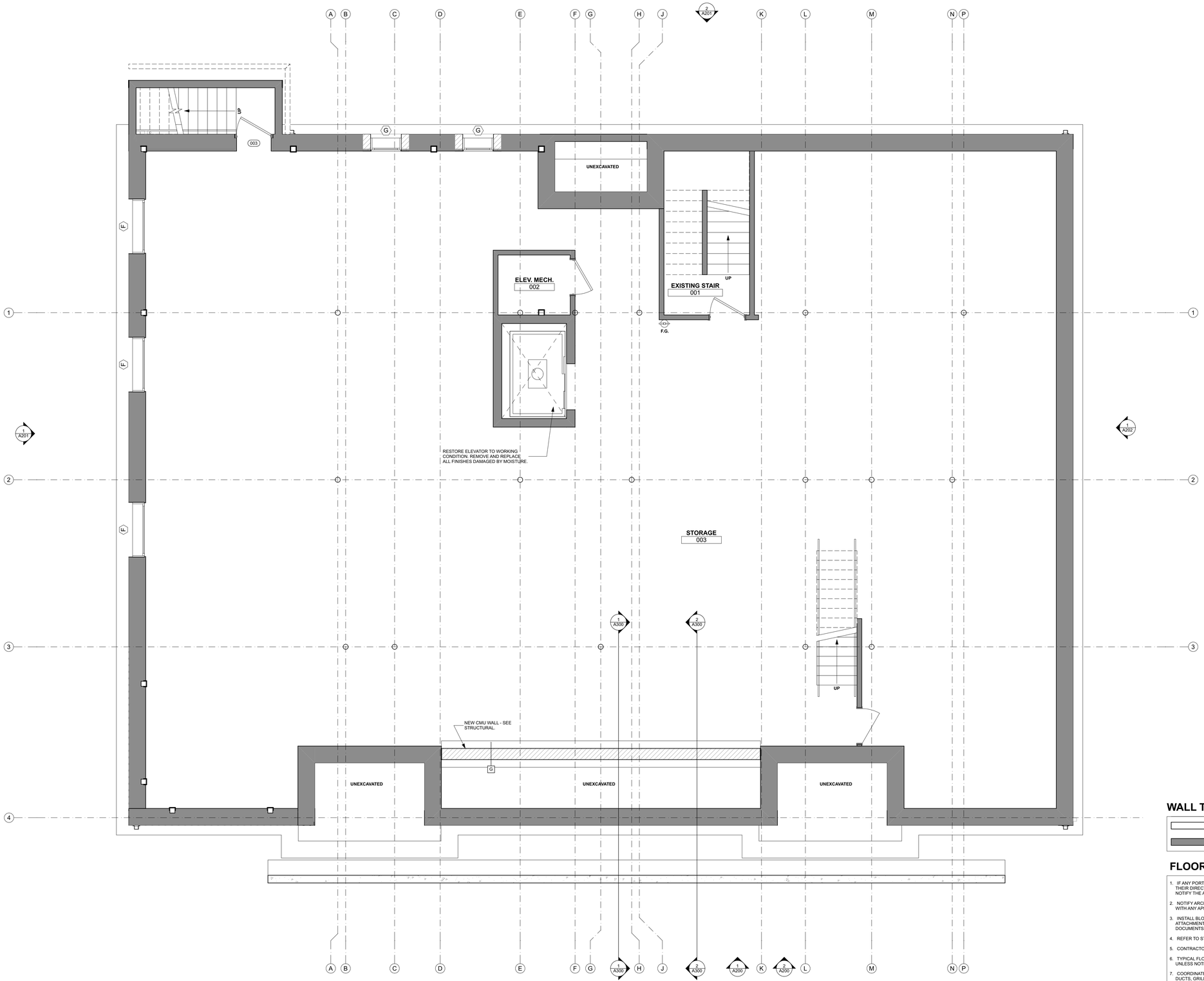
PROPOSED ON SITE SURFACE PARKING:
7 REGULAR STALLS
1 ACCESSIBLE STALL
8 TOTAL STALLS

4 SHORT TERM BIKE PARKING STALLS
2 LONG TERM BIKE PARKING STALLS (SEE ARCHITECTURAL PLANS FOR INTERIOR LOCATION)

GRAPHIC SCALE

1 inch = 10 ft

SITE PLAN C1.0



NORTH

1 A100 LOWER LEVEL PLAN
SCALE: 1/4" = 1'-0"

WALL TYPE LEGEND

NEW WALL

EXISTING WALL TO REMAIN

FLOOR PLAN - GENERAL NOTES

1. IF ANY PORTION OF THE CONSTRUCTION DOCUMENTS ARE UNCLEAR, INCOMPLETE IN THEIR DIRECTION, OR CONFLICTS WITH OTHER PORTIONS OF THE WORK; PLEASE NOTIFY THE ARCHITECT PRIOR TO EXECUTING THAT WORK.
2. NOTIFY ARCHITECT PROMPTLY IF THE CONSTRUCTION DOCUMENTS ARE INCONSISTENT WITH ANY APPLICABLE CODES OR REGULATIONS.
3. INSTALL BLOCKING IN WALLS, CEILING AND FLOORS AS REQUIRED FOR THE ATTACHMENT OF ANY ITEMS OR EQUIPMENT SHOWN IN THE CONSTRUCTION DOCUMENTS.
4. REFER TO STRUCTURAL PLANS, FOR FRAMING SIZE & ORIENTATION.
5. CONTRACTOR TO VERIFY ALL DIMENSIONS IN FIELD PRIOR TO EXECUTION OF WORK.
6. TYPICAL FLOOR PLAN DIMENSIONS ARE SHOWN TO THE EXTERIOR FACE OF STUDS, UNLESS NOTED OTHERWISE.
7. COORDINATE EXACT LOCATION OF LIGHT FIXTURES, ACCESS PANELS, SPEAKERS, HVAC DUCTS, GRILLS, DIFFUSERS AND OTHER SUCH CEILING ITEMS WITH MECHANICAL, ELECTRICAL, AND OTHER PERTINENT TRADES. NOTIFY ARCHITECT IF ANY LOCATIONS OR CONDITIONS CONFLICT WITH THE DESIGN INTENT SHOWN IN THESE CONSTRUCTION DOCUMENTS.
8. SEE SHEET A500 FOR WALL, FLOOR, AND ROOF ASSEMBLY TYPES.
9. SEE SHEET A600 FOR DOOR AND WINDOW TYPES.

NOT FOR CONSTRUCTION

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DRAWING ISSUE	DATE
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CONDITIONAL USE / SITE PLAN APPLICATION	06.06.23
50% CD'S	08.24.23
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PROJECT # 22.38

LOWER LEVEL FLOOR PLAN

A100

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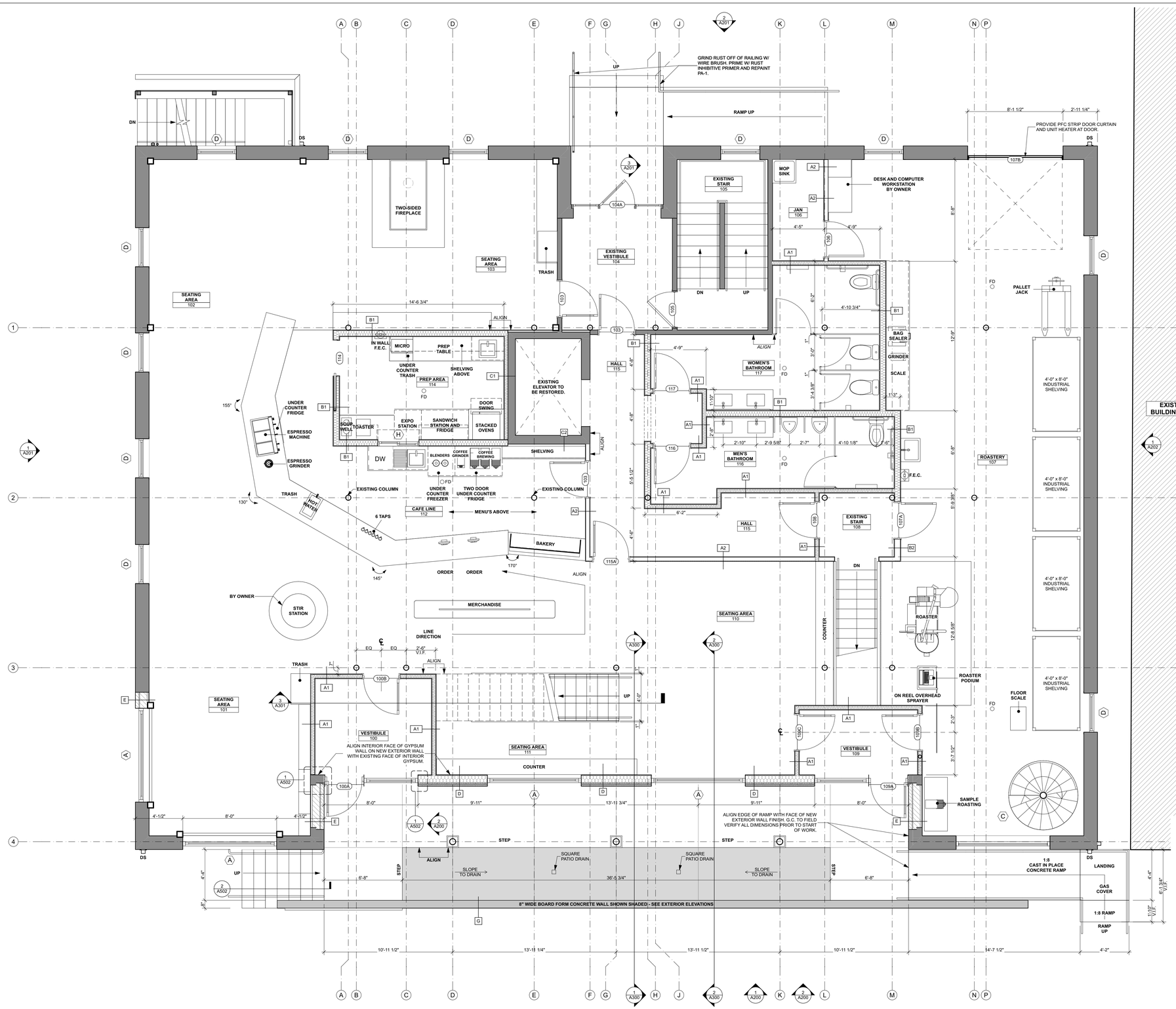

1 A101 FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

WALL TYPE LEGEND

NEW WALL

EXISTING WALL TO REMAIN

FLOOR PLAN - GENERAL NOTES

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2. NOTIFY ARCHITECT PROMPTLY IF THE CONSTRUCTION DOCUMENTS ARE INCONSISTENT WITH ANY APPLICABLE CODES OR REGULATIONS.
3. INSTALL BLOCKING IN WALLS, CEILING AND FLOORS AS REQUIRED FOR THE ATTACHMENT OF ANY ITEMS OR EQUIPMENT SHOWN IN THE CONSTRUCTION DOCUMENTS.
4. REFER TO STRUCTURAL PLANS, FOR FRAMING SIZE & ORIENTATION.
5. CONTRACTOR TO VERIFY ALL DIMENSIONS IN FIELD PRIOR TO EXECUTION OF WORK.
6. TYPICAL FLOOR PLAN DIMENSIONS ARE SHOWN TO THE EXTERIOR FACE OF STUDS, UNLESS NOTED OTHERWISE.
7. COORDINATE EXACT LOCATION OF LIGHT FIXTURES, ACCESS PANELS, SPEAKERS, HVAC DUCTS, GRILLS, DIFFUSERS AND OTHER SUCH CEILING ITEMS WITH MECHANICAL, ELECTRICAL, AND OTHER PERTINENT TRADES. NOTIFY ARCHITECT IF ANY LOCATIONS OR CONDITIONS CONFLICT WITH THE DESIGN INTENT SHOWN IN THESE CONSTRUCTION DOCUMENTS.
8. SEE SHEET A500 FOR WALL, FLOOR, AND ROOF ASSEMBLY TYPES.
9. SEE SHEET A600 FOR DOOR AND WINDOW TYPES.

GALBRAITH CARNAHAN ARCHITECTS
6404 West North Avenue
Milwaukee, Wisconsin 53213
(414) 291-0772 phone
www.galbraithcarnahan.com

CONSULTANTS:

IDYLL COFFEE

6330 W. NORTH AVENUE
WAUWATOSA, WI 53213
TAX KEY: 330-0171-000

DRAWING ISSUE	DATE
EXISTING BASE PLANS	10.20.22
PRE-APPLICATION DRAWINGS	05.17.23
CONDITIONAL USE / SITE PLAN APPLICATION	06.06.23
50% CD'S	08.24.23
APPRAISAL SET	09.15.23
ARB SET	09.22.23

PROJECT # 22.38

FIRST FLOOR PLAN

A101

NOT FOR CONSTRUCTION

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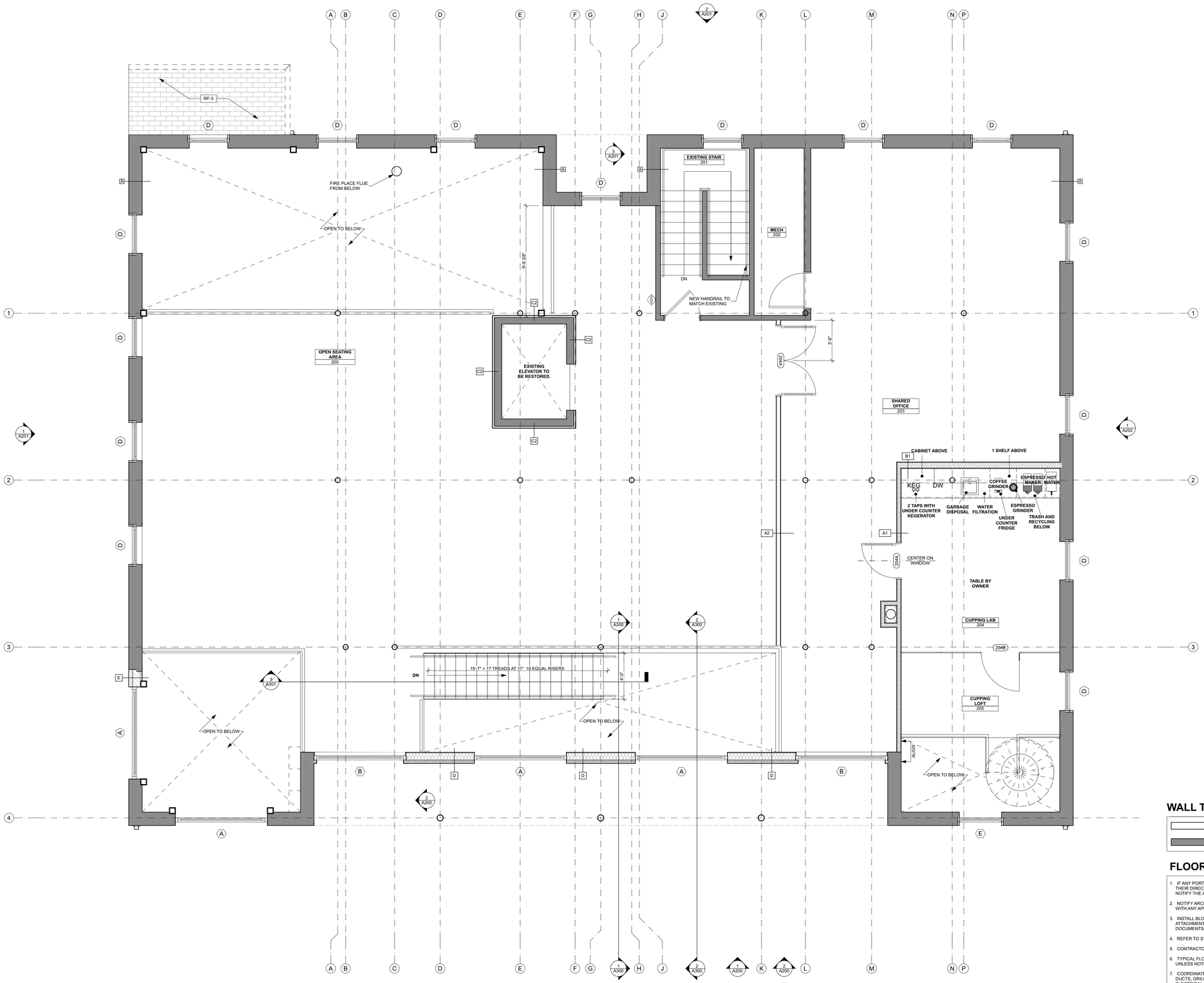

NORTH

1 A102 SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"

WALL TYPE LEGEND

	NEW WALL
	EXISTING WALL TO REMAIN

FLOOR PLAN - GENERAL NOTES

1. IF ANY PORTION OF THE CONSTRUCTION DOCUMENTS ARE UNCLEAR, INCOMPLETE IN THEIR DIRECTION, OR CONFLICTS WITH OTHER PORTIONS OF THE WORK; PLEASE NOTIFY THE ARCHITECT PRIOR TO EXECUTING THAT WORK.
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3. INSTALL BLOCKING IN WALLS, CEILING AND FLOORS AS REQUIRED FOR THE ATTACHMENT OF ANY ITEMS OR EQUIPMENT SHOWN IN THE CONSTRUCTION DOCUMENTS.
4. REFER TO STRUCTURAL PLANS, FOR FRAMING SIZE & ORIENTATION.
5. CONTRACTOR TO VERIFY ALL DIMENSIONS IN FIELD PRIOR TO EXECUTION OF WORK.
6. TYPICAL FLOOR PLAN DIMENSIONS ARE SHOWN TO THE EXTERIOR FACE OF STUDS, UNLESS NOTED OTHERWISE.
7. COORDINATE EXACT LOCATION OF LIGHT FIXTURES, ACCESS PANELS, SPEAKERS, HVAC DUCTS, GRILLS, DIFFUSERS AND OTHER SUCH CEILING ITEMS WITH MECHANICAL, ELECTRICAL, AND OTHER PERTINENT TRADES. NOTIFY ARCHITECT IF ANY LOCATIONS OR CONDITIONS CONFLICT WITH THE DESIGN INTENT SHOWN IN THESE CONSTRUCTION DOCUMENTS.
8. SEE SHEET A500 FOR WALL, FLOOR, AND ROOF ASSEMBLY TYPES.
9. SEE SHEET A600 FOR DOOR AND WINDOW TYPES.

NOT FOR CONSTRUCTION

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PROJECT # 22.38

SECOND FLOOR PLAN

A102

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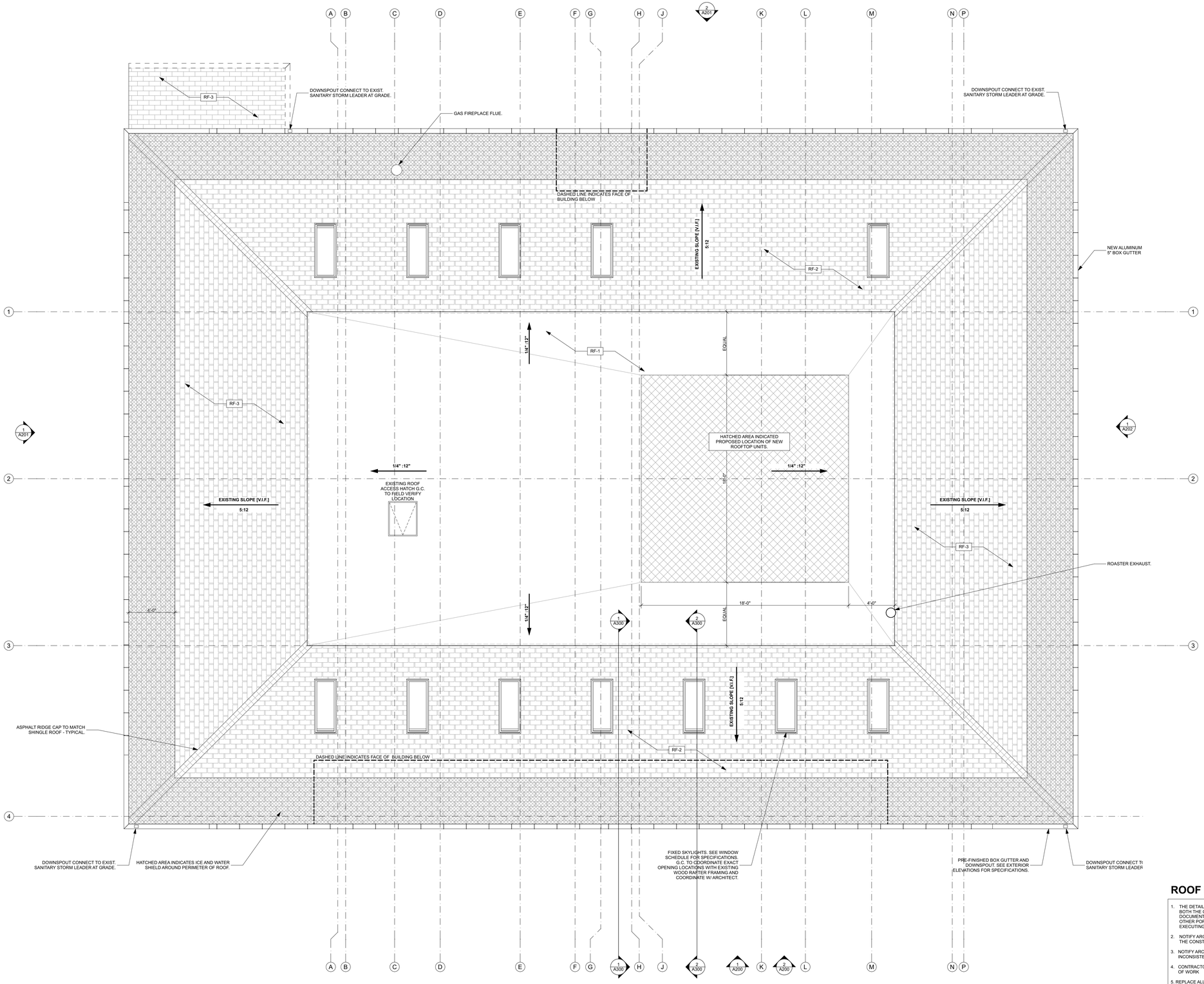

1 A103 ROOF PLAN
SCALE: 1/4" = 1'-0"

ROOF PLAN - GENERAL NOTES

1. THE DETAILS OF CONSTRUCTION IN THIS PROJECT ARE OF CRITICAL IMPORTANCE TO BOTH THE CLIENT AND ARCHITECT. IF ANY PORTION OF THE CONSTRUCTION DOCUMENTS IS UNCLEAR, INCOMPLETE IN IT'S DIRECTION, OR CONFLICTS WITH OTHER PORTIONS OF THE WORK, PLEASE NOTIFY THE ARCHITECT PRIOR TO EXECUTING THAT WORK
2. NOTIFY ARCHITECT PROMPTLY IF THE INFORMATION SHOWN IN ONE PORTION OF THE CONSTRUCTION DOCUMENTS CONFLICTS WITH THAT SHOWN IN ANOTHER
3. NOTIFY ARCHITECT PROMPTLY IF THE CONSTRUCTION DOCUMENTS ARE INCONSISTENT WITH ANY APPLICABLE CODES OR REGULATIONS
4. CONTRACTOR TO VERIFY ALL DIMENSIONS IN FIELD PRIOR TO EXECUTION OF WORK
5. REPLACE ALL AREA OF ROTTED SHEATHING W/ NEW PLYWOOD TO MATCH EXIST. THICKNESS

PAINT ALL ROOF PENETRATIONS TO MATCH ADJACENT ROOFING MATERIAL.

NOT FOR CONSTRUCTION

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CONSULTANTS:

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50% CD'S	08.24.23
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ARB SET	09.22.23

PROJECT # 22.38

ROOF PLAN

A103

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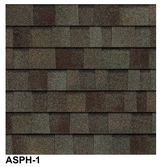


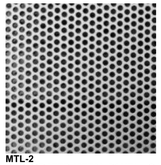
ASPH-1
OWENS CORNING DRIFTWOOD

CONC-1
BOARD FORM CONCRETE

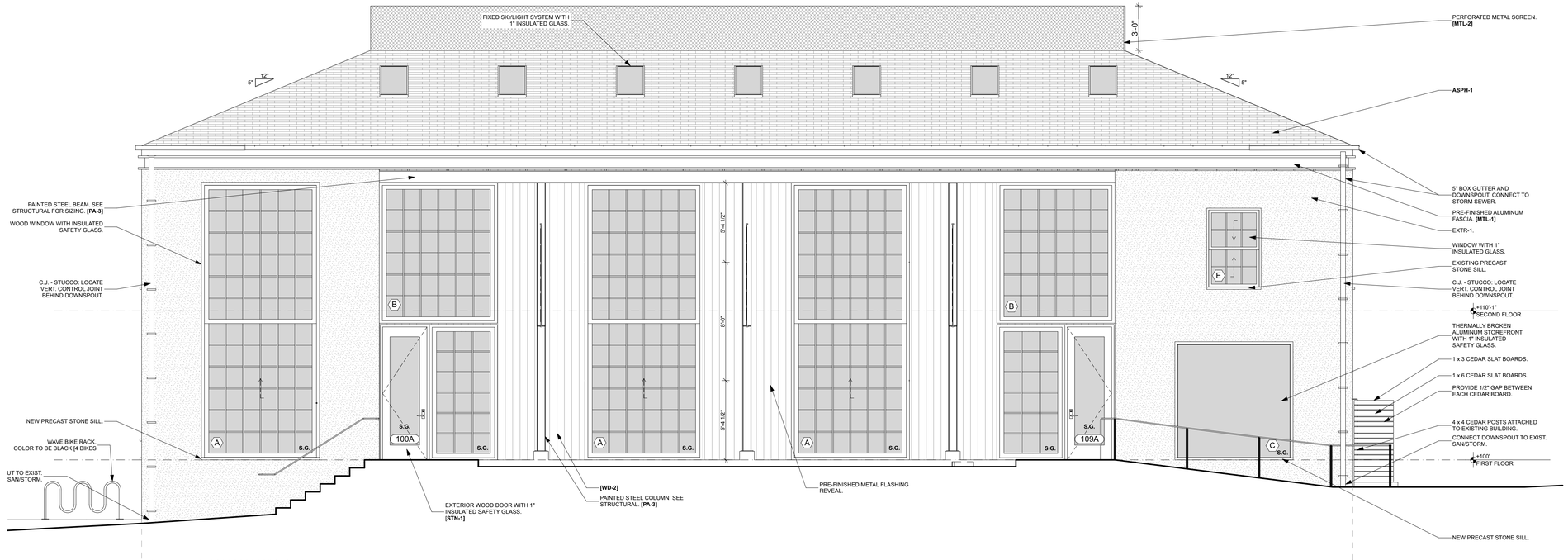
EXTR-1
CEMENT STUCCO FINISH - SANDY TAN

EXTR-2
VERTICAL WOOD SIDING - 1x6 CEDAR PLANKS

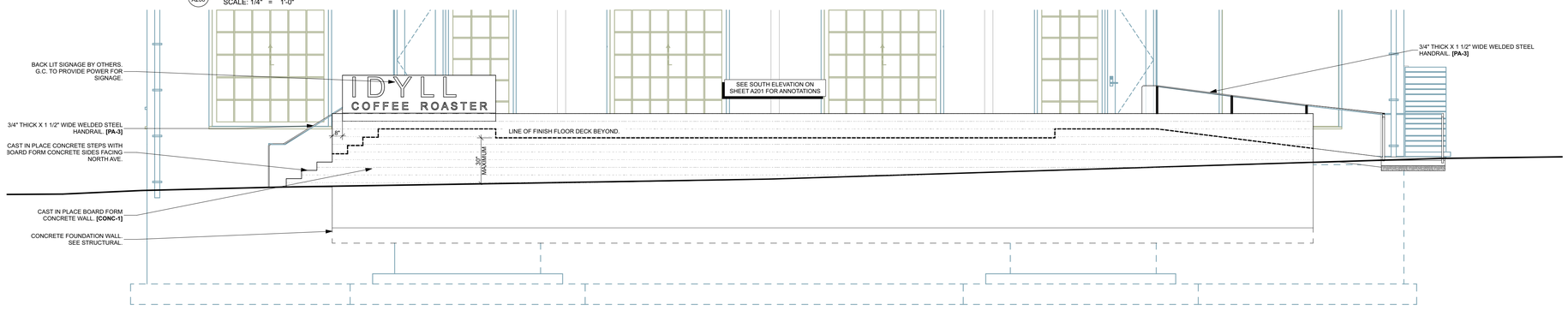
MTL-1 / PA-3
BRAKE METAL / WINDOW FRAME/ PAINT - SLATE GREY



MTL-2
PERFORATED METAL PANEL - GALVANIZED STEEL



1 A200 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



2 A200 SOUTH CONCRETE WALL ELEVATION
SCALE: 1/4" = 1'-0"

LITHONIA LIGHTING

Catalog Number:
Notes:
Type: LT-G ALTERNATE

AFFINITY®
Premium Die-Cast Architectural Emergency Light

AFF

FEATURES & SPECIFICATIONS

INTENDED USE — Back-lit application requiring low profile, attractive emergency lighting with optional normally off or normally on with photocell control. Provides a minimum of 90 minutes of emergency lighting when AC power is interrupted. **Caution:** Avoid contact with **cyanoacrylate** cyanoacrylate (super glue) and other adhesives. Contact Lithonia Lighting for more information. **Consult the manufacturer of sealants and/or adhesives prior to use. Click here for Acrylic Polycarbonate Compatibility table for available uses.**

CONSTRUCTION — Compact, low profile, architectural design with die-cast aluminum housing. Finishes are textured powder-coat paint for dark bronze, white, black and non-textured for natural aluminum. Back-lit, edge-lit acrylic lens is installed and located on the bottom of the housing and are easily accessible and visible from the floor.

OPTICS — LEDs with CRI of 70,000 hours. Delivers 0.0 lumens in Normal (On and) Emergency operation. Lens is UV stabilized to prevent yellowing and maintain light output. **Exceeds the 10 FC AS/NZS 2293.1** Outdoor wide-throw distribution. 90 (2 pole of spacing) at a 7.5' mounting height can 1.9 (Average) 0.0008 correlated color temperature (CCT).

70.CRI.

ELECTRICAL — 6W@7.2Q0 Max 347V, 50/60hz. Current limiting charger maximizes battery life and provides a consistent charge. Low voltage disconnect for operating cells. Small Battery charger Certified in the U.S Title 20 Appliance Efficiency Database.

Short circuit protection — current limiting charger circuitry protects against circuit board from shorts. Regulated charge voltage maintains a stable charge voltage even a wide range of line voltages.

Prevents overcharging that shortens battery life and reduces capacity. Filtered charger input minimizes noise and extends battery life and capacity.

Photocell option (PC): for normally on product in order to discontinue illumination during periods when ambient light is present. Photocell option (PCL): for normally on products allow the user to force lamp to turn off during periods when ambient light is present. Photocell option (PCD): for normally off product with self-sagnerin internal daylight sensor. For switched fan applications, no other type of products shall be connected on the switched leg.

Lamp units (ERUD) are normally off. Emergency only functionality with DC power from an external battery.

BATTERY: Sealed, maintenance-free Lithium Iron Phosphate battery.

SELF-DIAGNOSTICS AND REMOTE TEST (SMT OPTION): Automatic 24-hour recharge after a 90 minute discharge. Advanced electrical design provides constant light output throughout the entire rated emergency life, even as the battery ages. Self-diagnostic microprocessor initiates a full 90 minute discharge/recharge cycle. Brownout protection is automatically switched to emergency mode when supply voltage drops below approximately 80 percent nominal AC (VL,120, 277 or 347 Ellen Brooks Drive, Aurora, ON, L4G 3V7 Allowed accuracy varies but also for 5 years or applicable jurisdiction battery storage from deep discharge.

Self-Diagnostics: Continuously monitors AC functionality. Standard decomponent monitoring will initiate a full 90 minute test if AC power fails within 24 hours of the last test to verify the unit is in emergency mode. Single multi-chemistry LED indicator to display two-color charging, test scheme and three-color self-diagnostics.

Remote Test (RT): Initiates a 90 minutes every 30 days and 90 minutes annually. Diagnostic evaluation of lamp, AC to DC transfer, battery charging and condition of emergency power. Automatic test is easily postponed for eight hours by activating manual test switch or use of remote tester (RTAT accessory).

Manual test switch initiates a 90 minute test when switch is held for one second and release. Test will abort if switch is held down. Annual test switch initiates a 90 minute test when switch is held down for more than one second but less than 20 seconds. Minimum annual testing and manual test switch initiates the test switch again while in test mode.

INSTALLATION — Wall mount: typically mounts 2.5' to 14' mounting height from ground to floor. Ceiling mount: typically mounts 7' to 14' mounting height. Wall mount: direct to wall or optional 90 degrees, 45 degrees and 90 degrees wall mount.

LISTINGS — UL and Canadian listed standard at 25 C (77° F) 40°C. Unit with CR Rated and weather/wet benefits -22°F to 122°F (-30°C). Remote/transfer -40°F to 122°F (-40°C). Meets or exceeds requirements of NFPA 101 Life Safety Code, NFPA 70 National Electric Code, and CBC Chapter 10 Means of Egress. California Energy Commission Title 20 section 1605.3 (NEW), 1621 Title 24, Part 12, Subpart 3 and 6100. Unit are labeled to comply with Canadian Standards C22.2 No. 141-15. Meets City of New York Code.

BUY AMERICAN ACT — Product with the ERUD option is assembled in the USA and meets the Buy American Act government procurement requirements under FAR, DFARS and DOT regulations. Contact factory for specific country of origin and BAA compliance.

WARRANTY — 5-year limited warranty. This is the sole warranty provided and no other statements in this specification sheet create any warranty of any kind. All other express and implied warranties are hereby disclaimed. Full warranty terms located at: www.acuitybrands.com/support/warranty/terms-and-conditions

Note: Actual performance may differ as a result of end-user environment and application. All values are design or typical values, measured under laboratory conditions at 25 °C. Specifications subject to change without notice.

† Small Battery Chargers Certified in the U.S Title 20 Appliance Efficiency Database.

DMERLENCY 6/07

MOUNTING

All dimensions are inches (centimeters).
Shipping weight: 1.5 lbs. (0.59 kgs.)

Length: 6.5 (16.51)
Width: 3.5 (8.89)
Height: 10.2 (8.89)
Weight: 1.5 lbs (.5.9kg)

EXTERIOR MATERIALS LEGEND

CODE	MATERIAL	MANUFACTURER	ITEM #	DESCRIPTION	COLOR	NOTES
ASPH-1		OWENS CORNING	-	ASPHALT ROOFING SHINGLES	DRIFTWOOD	
CONC-1	CONCRETE	-	-	BOARD FORM CONCRETE WALL	STANDARD MIX	USE ROUGH SAWN BOARDS IN FORM LINERS. GAP BOARDS BY 3/16"
EXTR-1	CEMENT STUCCO FINISH	SOURCING BY CONTRACTOR	-		SANDY TAN	PROVIDE 4'-0" x 4'-0" SAMPLE FOR APPROVAL.
EXTR-2	VERTICAL WOOD SIDING	SOURCING BY CONTRACTOR	-	1 x 6 VERTICAL CEDAR PLANKS	UNFINISHED	ALLOW TO 'GRAY OUT'
MTL-1	-	-	-	PRE-FINISHED BREAK METAL	MATCH PA-1	PROVIDE SAMPLES FOR ARCHITECT'S APPROVAL.
MTL-2	PERFORATED METAL PANEL	MCNICHOLS	-	ROUND, GALVANIZED STEEL, 20 GAUGE, 1'8" ROUND ON 3/16" STAGGERED CENTERS, 40% OPEN AREA	PA-4	-
PA-3	PAINT	SHERWIN WILLIAMS	SATIN FINISH	OIL BASED EXTERIOR PAINT	MATCH WINDOW FRAME COLOR	
STN-1	STAIN	-	-	-	-	COLOR TO MATCH EXISTING WOOD DOOR STAIN. PROVIDE SAMPLE FOR ARCHITECT'S APPROVAL.

NOT FOR CONSTRUCTION

GALBRAITH CARNAHAN ARCHITECTS
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CONSULTANTS:

IDYLL COFFEE

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WAUWATOSA, WI 53213
TAX KEY: 330-0171-000

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PROJECT # 22.38

ELEVATIONS

A200

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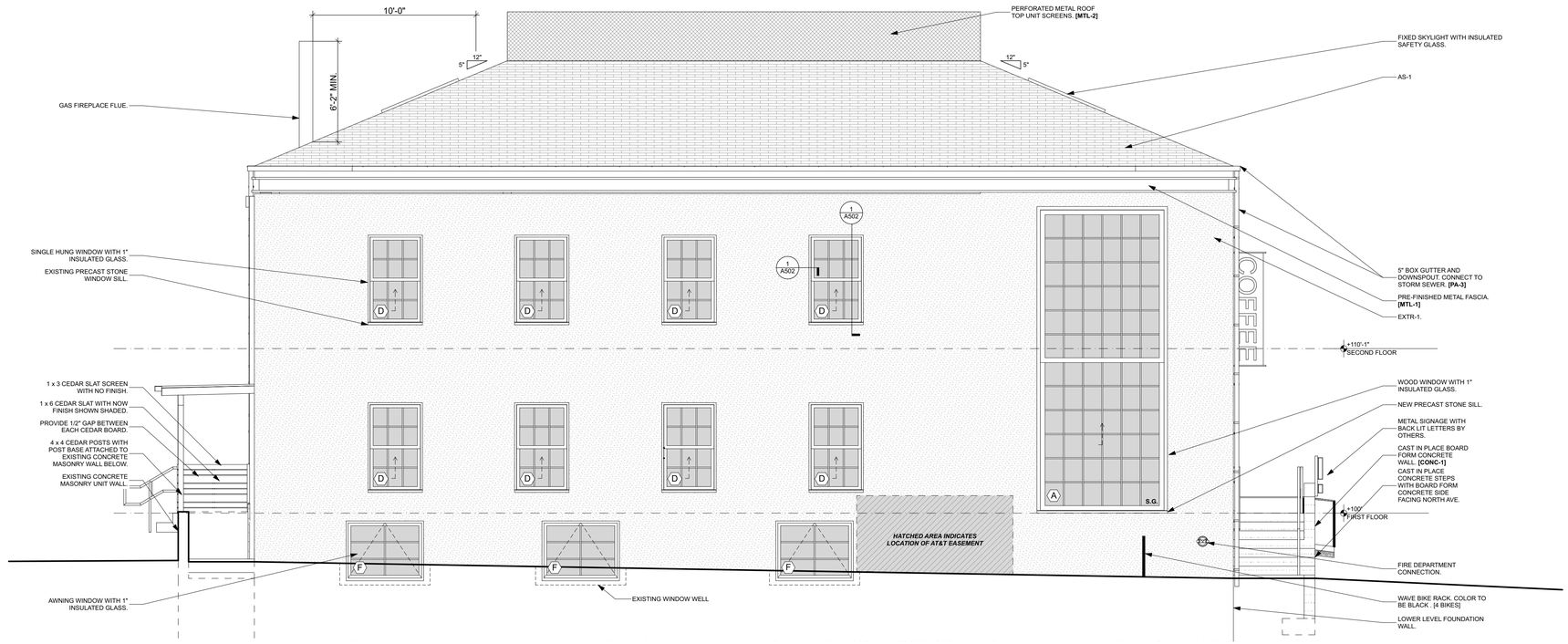
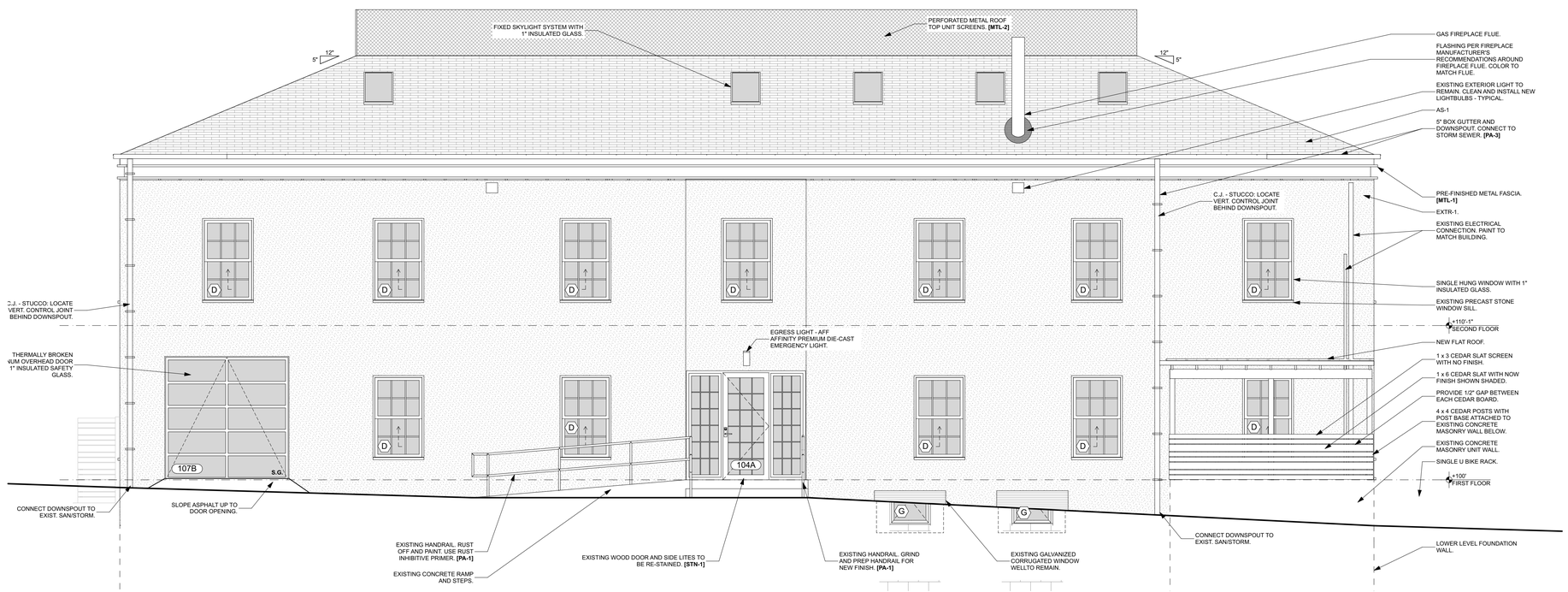


1 A201 WEST ELEVATION
SCALE: 1/4" = 1'-0"



2 A201 NORTH ELEVATION
SCALE: 1/4" = 1'-0"

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PROJECT # 22.38

ELEVATIONS

A201

NOT FOR CONSTRUCTION

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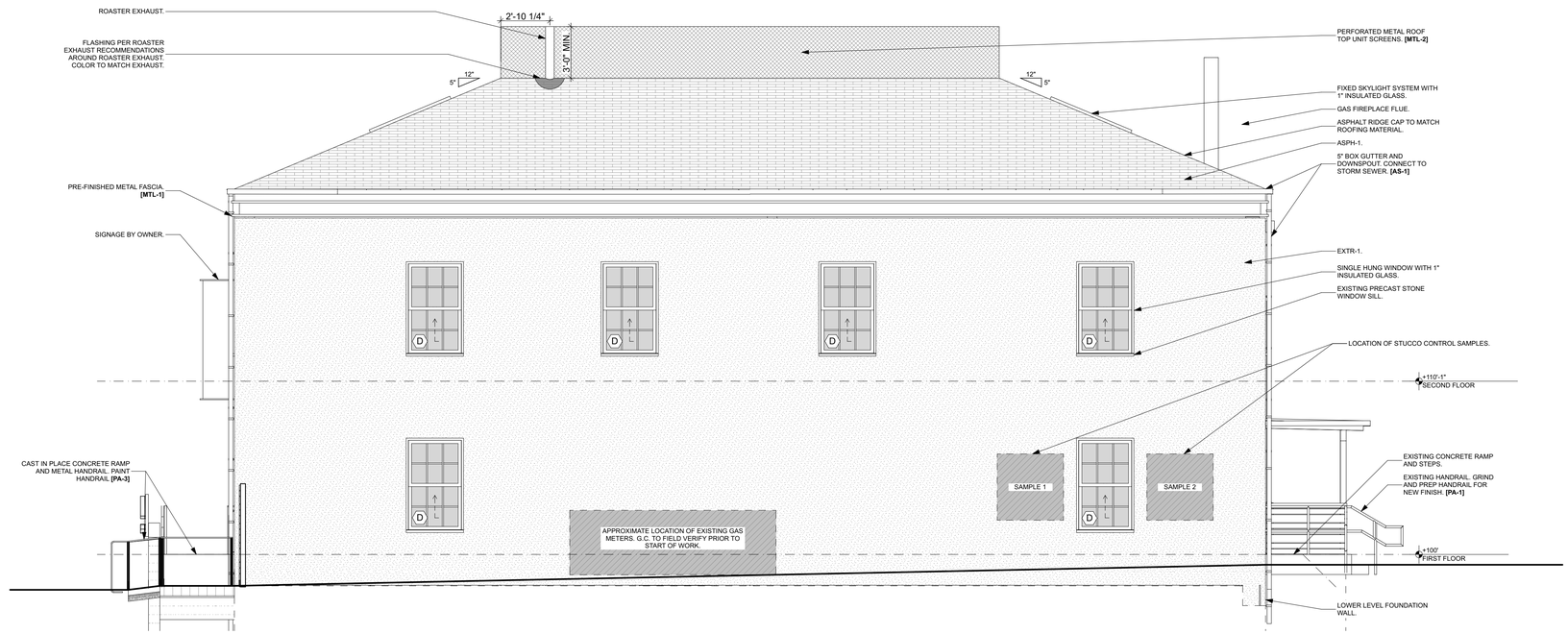

1 A202 EAST ELEVATION
SCALE: 1/4" = 1'-0"

NOT FOR CONSTRUCTION

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Milwaukee, Wisconsin 53213
(414) 291-0772 phone
www.galbraithcarnahan.com

CONSULTANTS:

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ARB SET	09.22.23

PROJECT # 22.38

ELEVATIONS

A202

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Wauwatosa, WI

Staff Report

7725 W. North Avenue
Wauwatosa, WI 53213

File #: 23-842 **Agenda Date:** 10/19/2023 **Agenda #:** 2.

11199 Burleigh - Chase Bank - New Construction - Return to Board

WEST ELEVATION

SOUTH ELEVATION

STORE FRONT
COLOR: BLACK ANODIZED
ALUM.

CLEAR GLASS

CAST STONE
COLOR: LIMESTONE
CORONADO

METAL CANOPY & SUNSHADES
COLOR: BLACK ANODIZED
ALUM.

FIBER CEMENT
COLOR: ASH
NICHIHA

FIBER CEMENT
COLOR: BARK
NICHIHA

ACM
COLOR: CLEAR

SCALE: $\frac{1}{4}$" = 1'

0 5' 10' 15'

CHASE

WAUWATOSA
11199 W Burleigh St.
Wauwatosa, WI 53222

ARCHITECTURAL ELEVATIONS

07.19.2023

Architect/Designer
The Architects Partnership, Ltd.
200 South Michigan Avenue
Chicago, IL 60604
t: 312.583.9800
f: 312.583.9890
TAP Project Number: 23054

tap

EAST ELEVATION

NORTH ELEVATION

STORE FRONT
COLOR: BLACK ANODIZED
ALUM.

CLEAR GLASS

CAST STONE
COLOR: LIMESTONE
CORONADO

METAL CANOPY & SUNSHADES
COLOR: BLACK ANODIZED
ALUM.

FIBER CEMENT
COLOR: ASH
NICHIHA

FIBER CEMENT
COLOR: BARK
NICHIHA

ACM
COLOR: CLEAR

SCALE: $\frac{1}{4}$" = 1'

0 5' 10' 15'

CHASE

WAUWATOSA
11199 W Burleigh St.
Wauwatosa, WI 53222

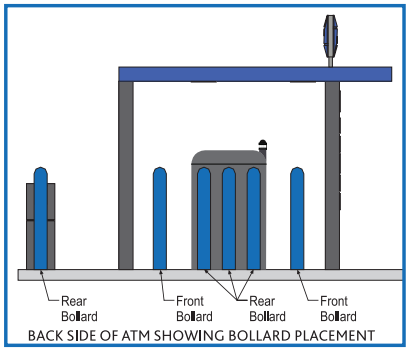
ARCHITECTURAL ELEVATIONS

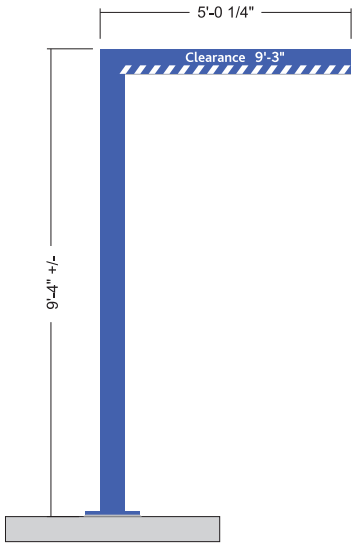
07.14.2023

Architect/Designer
The Architects Partnership, Ltd.
200 South Michigan Avenue
Chicago, IL 60604
t: 312.583.9800
f: 312.583.9890
TAP Project Number: 23054

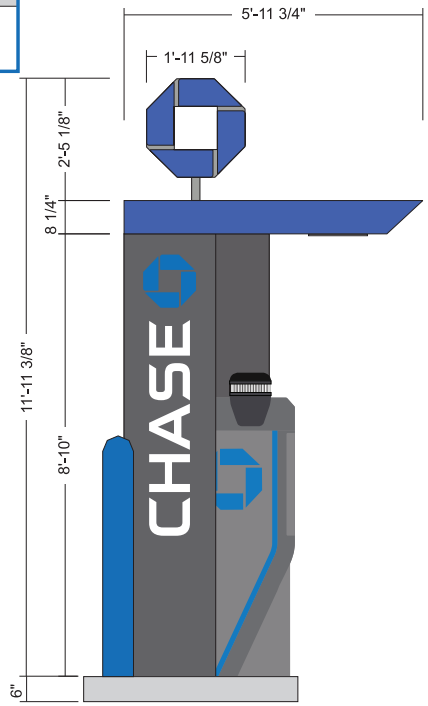
tap

SIGN DETAILS

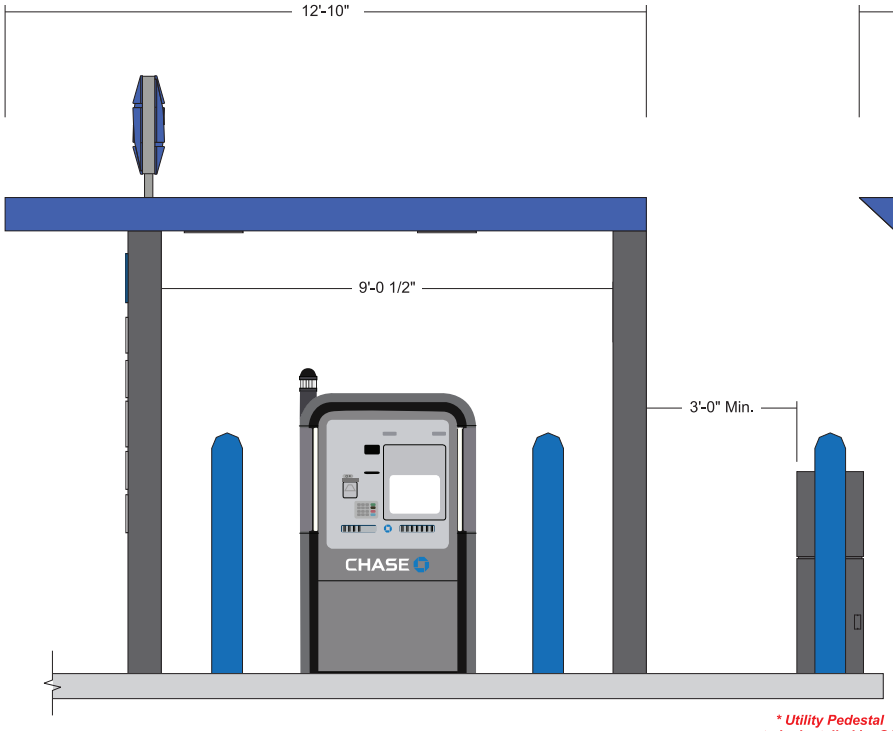




ELEVATION

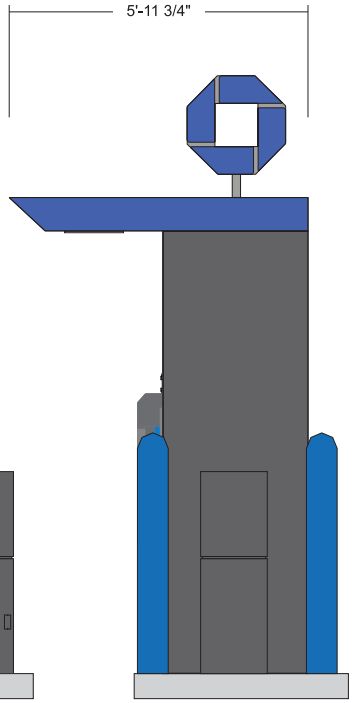


APPROACH ELEVATION

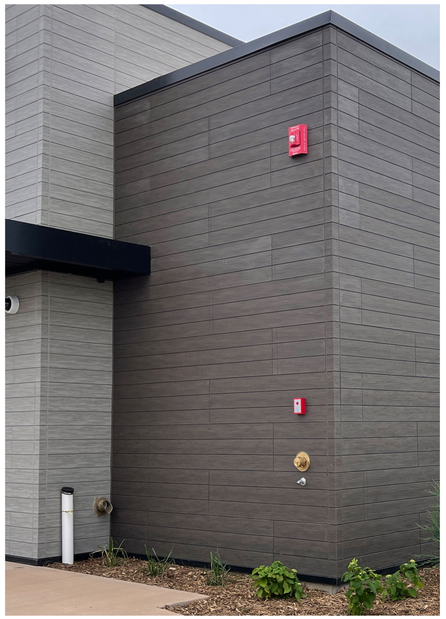


** Utility Pedestal to be installed by GC*

ELEVATION



DEPARTURE ELEVATION



FIBER CEMENT AT GRADE

FIBER CEMENT AT GRADE

CAST STONE AT GRADE AND SIDEWALK

ENTRY FIBER CEMENT AT GRADE

ENTRY FIBER CEMENT AT SIDEWALK

CHASE

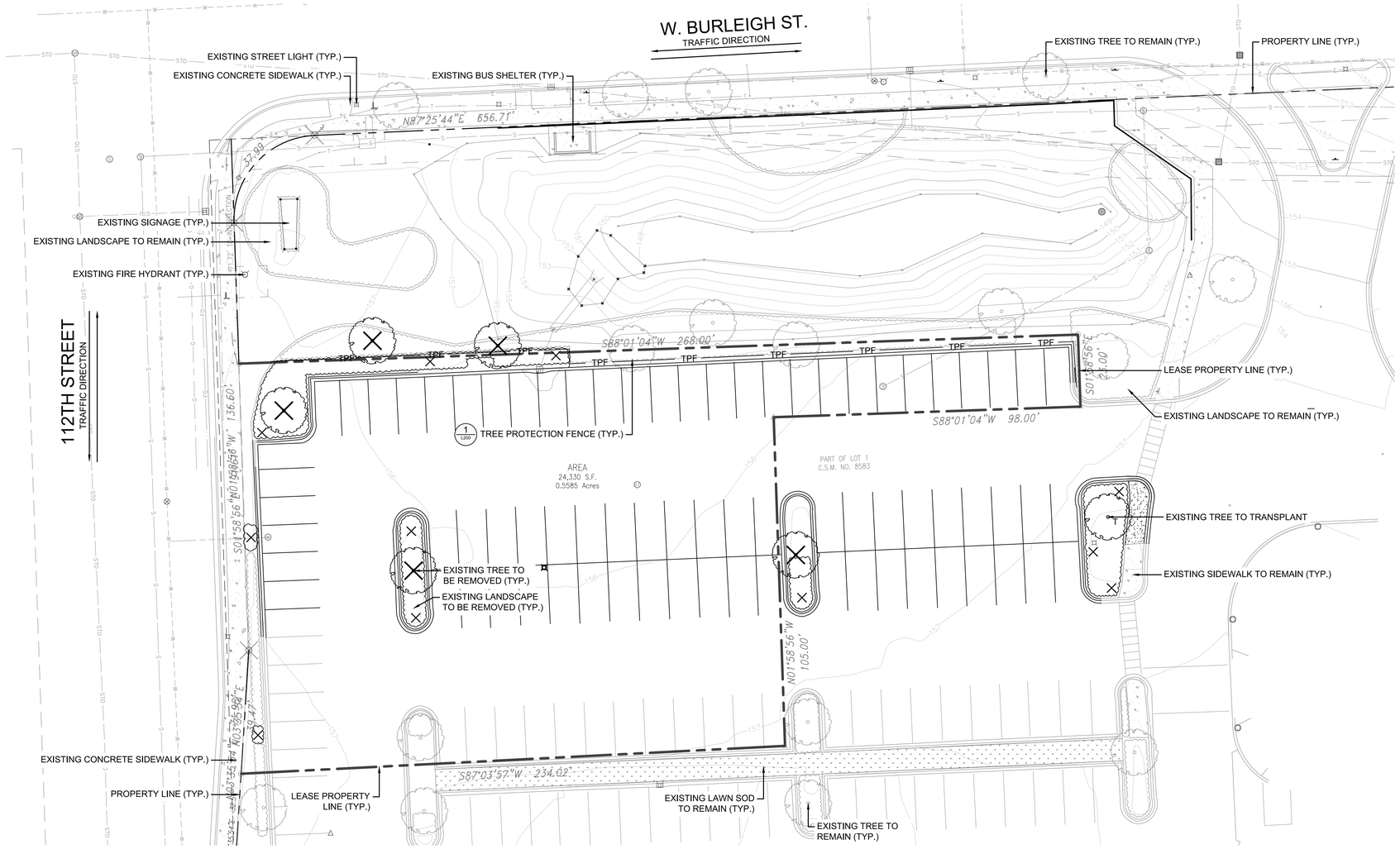
WAUWATOSA
11199 W Burleigh St.
Wauwatosa, WI 53222

PHOTOGRAPHS

10.03.2023

Architect/Designer
The Architects Partnership, Ltd.
200 South Michigan Avenue
Chicago, IL 60604
t: 312.583.9800
f: 312.583.9890
TAP Project Number: 23052

tap



1 TREE PRESERVATION PLAN

SCALE: 1" = 20'-0"

N

Scale: 1 inch = 20 feet

LEGEND:

- PROPERTY LINE
- LEASE PROPERTY LINE
- EXISTING TREE TO REMAIN
- EXISTING TREE TO BE REMOVED
- EXISTING TREE TO BE TRANSPLANTED
- TPF — TREE PROTECTION FENCE
- EXISTING LANDSCAPE TO REMAIN
- EXISTING LANDSCAPE TO BE REMOVED

CHASE

CHASE BANK

1199 W. Burleigh St.,
Wauwatosa, WI 53222

Project Team

LANDSCAPE ARCHITECT

TERRA ENGINEERING LTD.
225 W Ohio Street - Suite 400; Chicago, IL 60654
(T) 312-467-0123 | (F) 312-467-0220

ARCHITECT

THE ARCHITECTS PARTNERSHIP, LTD.
200 S. Michigan Ave.
Chicago, IL. 60604
312-583-9800

CIVIL ENGINEER

KIMLEY HORN
4201 Winfield Road
Suite 600
Warrenville, IL. 60555
630-487-5550

Revisions

	Date	Issue
	9.5.23	DRB Submittal

Stamp

STATE OF WISCONSIN
KEVIN L. GRAHAM
LA-742-14
Wheaton, IL
LANDSCAPE ARCHITECT

Title

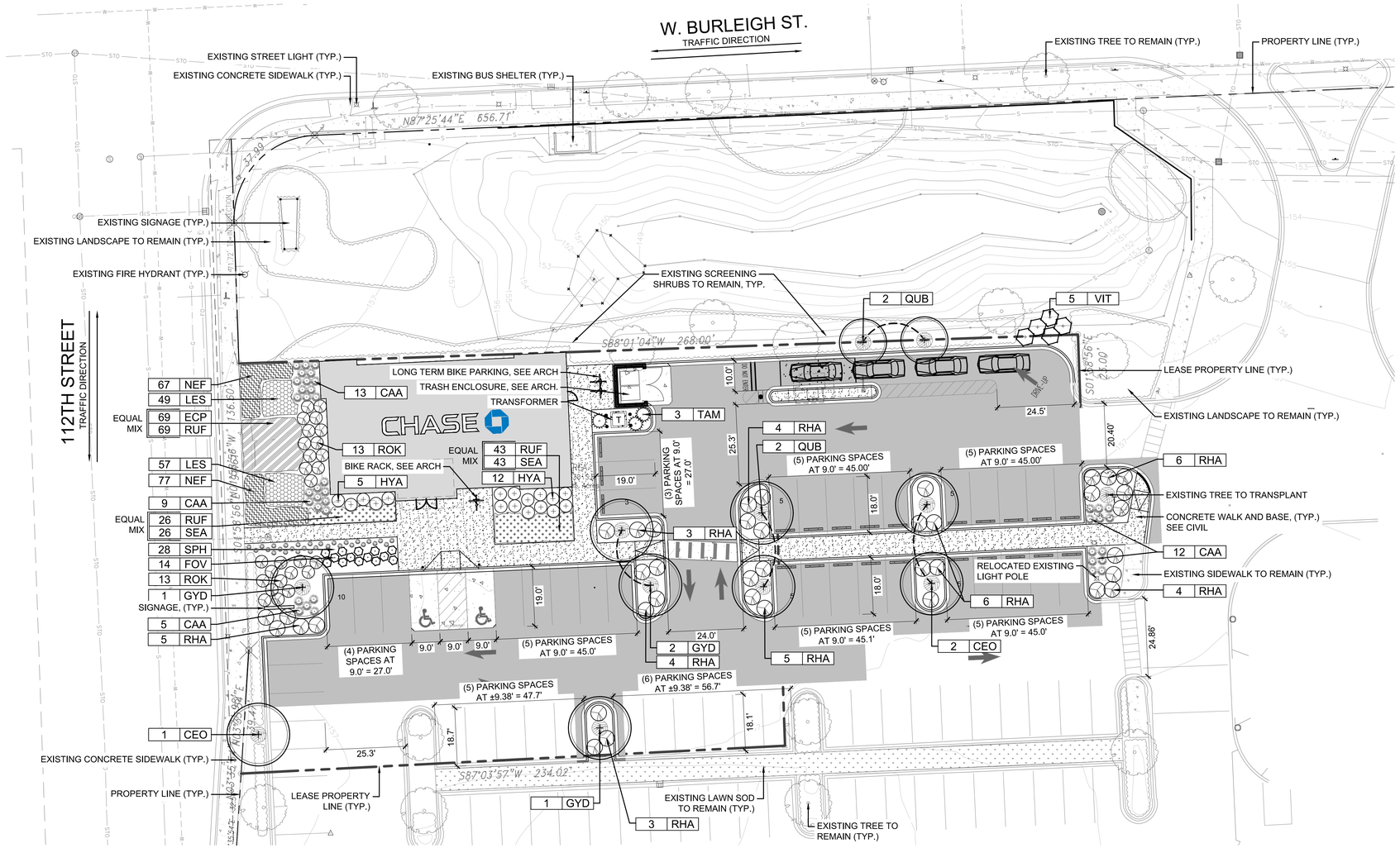
TREE PRESERVATION PLAN

Sheet No.

L000

TERRA Project No. 18-162-040

Sep 05, 2023 – 8:31am
M:_2018\18-162 The Architects Partnership\18-162-040 – Wauwatosa\Design\Site\Drawings\L100 Landscape Plan.dwg
Craig.M



1 LANDSCAPE PLAN

SCALE: 1" = 20'-0"

Plant Schedule

Chase Bank - Wauwatosa, WI

Qty.	Key	Botanical name	Common name	Size	Notes
		SHADE TREES			
3	CEO	Celtis occidentalis	Common Hackberry	2.5" B&B	Central leader
4	GYD	Gymnocladus dioicus 'Espresso'	Espresso Kentucky Coffeetree	2.5" B&B	Central leader
4	QUB	Quercus bicolor	Swamp White Oak	2.5" B&B	Central leader
		DECIDUOUS SHRUBS			
14	FOV	Forsythia viridissima 'Bronxensis'	Bronx Dwarf Forsythia	#5 Cont.	4' o.c.
17	HYA	Hydrangea arborescens 'Annabelle'	Annabelle Hydrangea	#5 Cont.	4' o.c.
39	RHA	Rhus aromatica 'Gro-Low'	Gro-Low Fragrant Sumac	#5 Cont.	5' o.c.
26	ROK	Rosa 'Knock Out'	Knock Out Rose	#5 Cont.	4' o.c.
5	VIT	Viburnum trilobum 'J N Select'	Redwing® American Cranberrybush Viburnum	30" B&B	5' o.c.
		EVERGREEN SHRUBS			
3	TAM	Taxus media 'Densiformis'	Dense Spreading Yew	30" B&B	4' o.c.
		PERENNIALS			
69	ECP	Echinacea purpurea 'Butterfly Kisses'	Butterfly Kisses Coneflower	#1 Cont.	18" o.c.
106	LES	Leucanthemum x superbum 'Becky'	Becky Shasta Daisy	#1 Cont.	18" o.c.
144	NEF	Nepeta x faassenii 'Kit Cat'	Kit Cat Catmint	#1 Cont.	18" o.c.
138	RUF	Rudbeckia fulgida var. sullivantii 'Little Goldstar'	Little Goldstar Black-Eyed Susan	#1 Cont.	18" o.c.
		ORNAMENTAL GRASSES			
39	CAA	Calamagrostis acutiflora 'Karl Foerster'	Karl Foerster Feather Reed Grass	#1 Cont.	36" o.c.
69	SEA	Sesleria autumnalis	Autumn Moor Grass	#1 Cont.	18" o.c.
28	SPH	Sporobolus heterolepis 'Tara'	Dwarf Prairie Dropseed	#1 Cont.	18" o.c.

Vehicular Use Area Calculation

INTERIOR VEHICULAR USE AREA

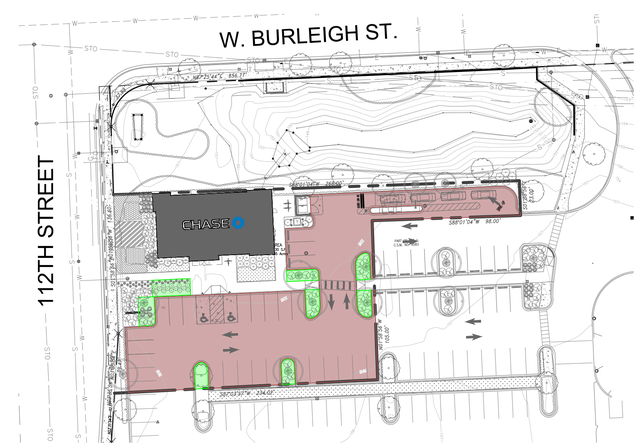
Proposed Vehicular Use Area: *(Vehicular Use Area expansions greater than 1,750 sf)*	13,454	SF
Internal Landscape Required (10%):	1,345	SF required
TOTAL INTERNAL LANDSCAPE AREA PROVIDED:	**1,347**	**SF provided**
Internal Trees required as part of internal landscape area: *(at 1 tree per 180 SF of req. internal landscape area)*	7.47	Trees required
Existing Internal Trees:	1	
Proposed Internal Trees:	6	
TOTAL INTERNAL TREES PROVIDED:	**7**	**Trees provided**

SCREENING

Ground Mounted Mechanical Equipment *(over 30" in height)*	**3**	**Evergreen shrubs**
Refuse/recycling Containers *(Screened from view of street and abutting property. Must be 6' ht. on all sides with a secured or lockable gate extending to ground level.)*	**6' ht.**	**Wall, see arch.**

PERIMETER VEHICULAR USE AREA

Peremiter trees required as part of the vehicular use area *Minimum of (2) deciduous trees and (4) shrubs ber 25' linear feet of frontage.*	7.59	Trees required
Existing Perimeter Trees:	5	
Proposed Perimeter Trees:	2	
	7	**Trees provided**



2 VEHICULAR USE AREA

SCALE: NTS

N

Scale: 1 inch = 20 feet

LEGEND:

- PROPERTY LINE
- LEASE PROPERTY LINE
- EXISTING TREE TO REMAIN
- EXISTING LANDSCAPE TO REMAIN
- BUILDING
- CONCRETE PAVEMENT AND BASE
- CONCRETE WALK AND BASE
- ASPHALT PAVEMENT AND BASE
- CONCRETE BARRIER CURB
- BIKE RACK
- SHADE TREE
- EXISTING TREE TRANSPLANT
- DECIDUOUS SHRUBS
- EVERGREEN SHRUBS
- ORNAMENTAL GRASSES
- PERENNIAL / GROUNDCOVER AREAS
- MULCH, 3" DEPTH

NOTES:

1. PRUNE THE DEADWOOD FROM ALL EXISTING TREES AND SHRUBS.
2. REMOVE ANY WEED GROWTH THROUGHOUT THE SITE.

- PARKING LOT PAVED AREAS
- PARKING LOT GREEN SPACE

CHASE

CHASE BANK

1199 W. Burleigh St.,
Wauwatosa, WI 53222

Project Team

LANDSCAPE ARCHITECT

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CIVIL ENGINEER

KIMLEY HORN
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630-487-5550

Revisions

	Date	Issue
	9.5.23	DRB Submittal

Stamp

STATE OF WISCONSIN
KEVIN L. GRAHAM
LA-742-14
Wheaton, IL
LANDSCAPE ARCHITECT

Title

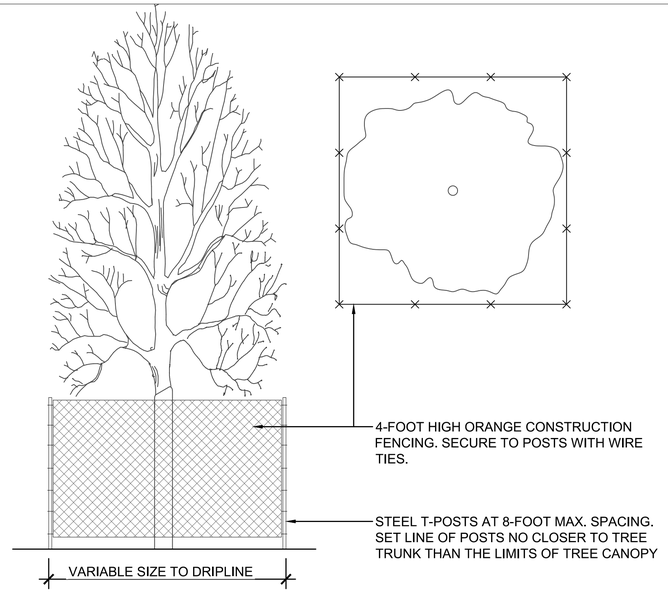
LANDSCAPE PLAN

Sheet No.

L100

TERRA Project No. 18-162-040

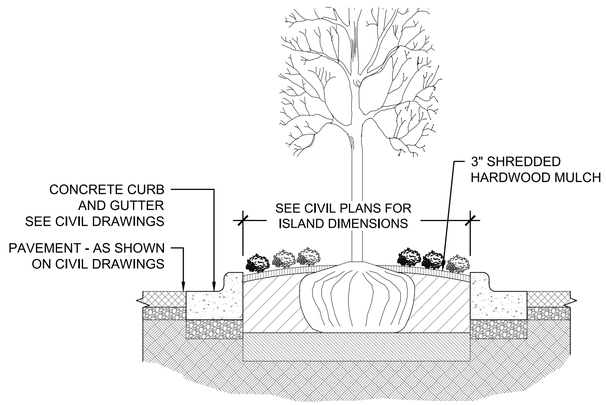
Sep 05, 2023 – 8:32am
M:_2018\18-162 The Architects Partnership\18-162-040 – Wauwatosa\Design\Site\Drawings\L100 Landscape Plan.dwg
Craigal



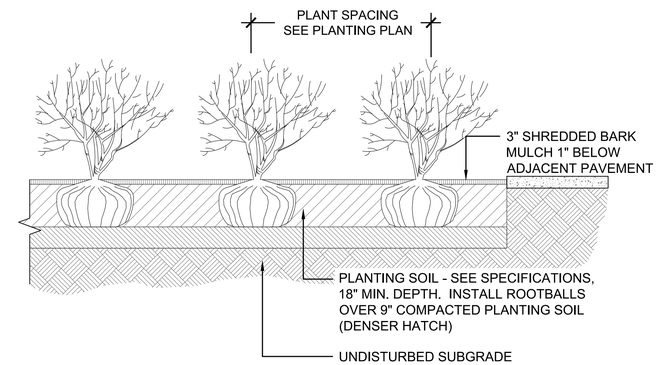
TREE PROTECTION FENCE SHALL REMAIN IN PLACE THROUGHOUT THE DURATION OF CONSTRUCTION AND SHALL BE REMOVED ONLY BY PERMISSION OF THE OWNER. CONTRACTOR SHALL NOT STORE ANY MATERIALS OR EQUIPMENT WITHIN TREE PROTECTION ZONE.

MULTIPLE TREES MAY BE ENCLOSED BY A SINGLE FENCE LINE PROVIDED FENCE INCLUDES LIMITS OF TREE CANOPY.

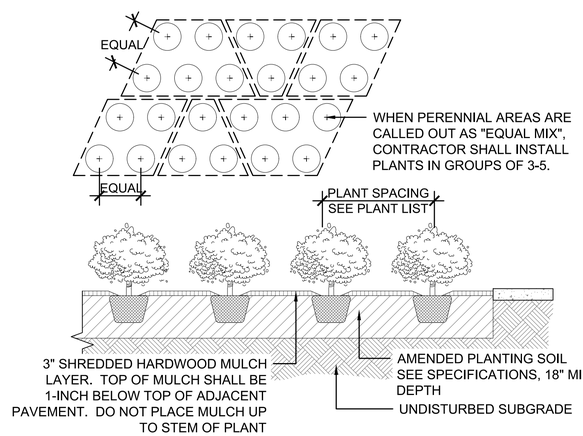
1 TREE PROTECTION DETAIL
SCALE: 1/2" = 1'-0"



2 SHADE TREE PLANTING - PARKING LOT ISLAND
SCALE: NTS



3 SHRUB PLANTING DETAIL
SCALE: NTS



4 GROUNDCOVER / PERENNIAL PLANTING DETAIL
SCALE: NTS

CHASE

CHASE BANK
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Wauwatosa, WI 53222

Project Team

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	9.5.23	DRB Submittal

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STATE OF WISCONSIN
KEVIN L. GRAHAM
LA-742-14
Wheaton, IL
LANDSCAPE ARCHITECT

Title

LANDSCAPE DETAILS

Sheet No.

L200

TERRA Project No. 18-162-040

Sep 05, 2023 – 8:32am
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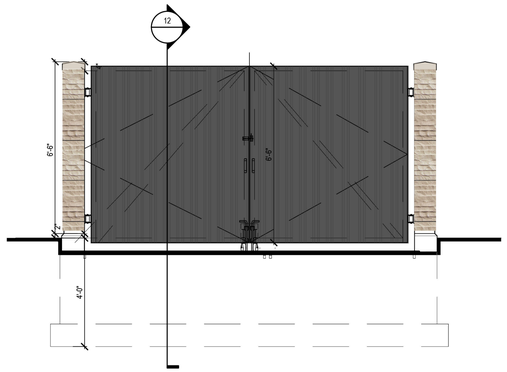
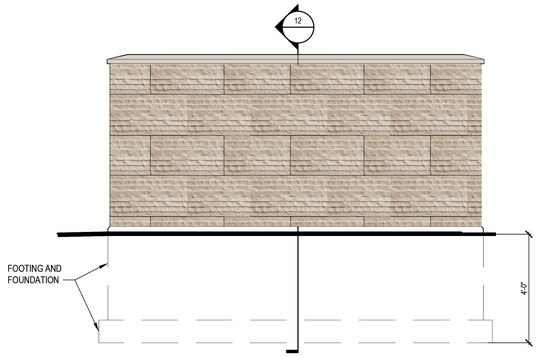
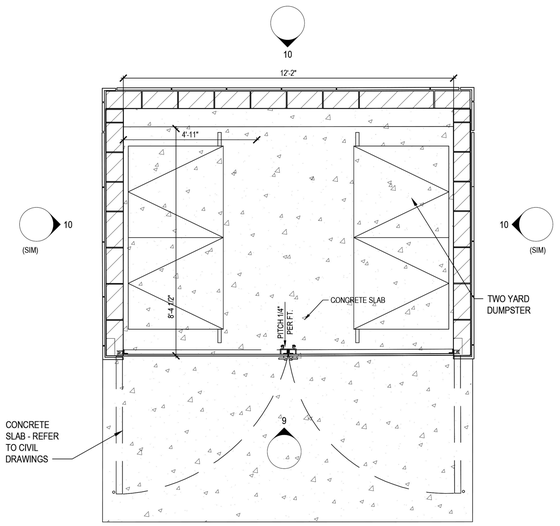
Craig M



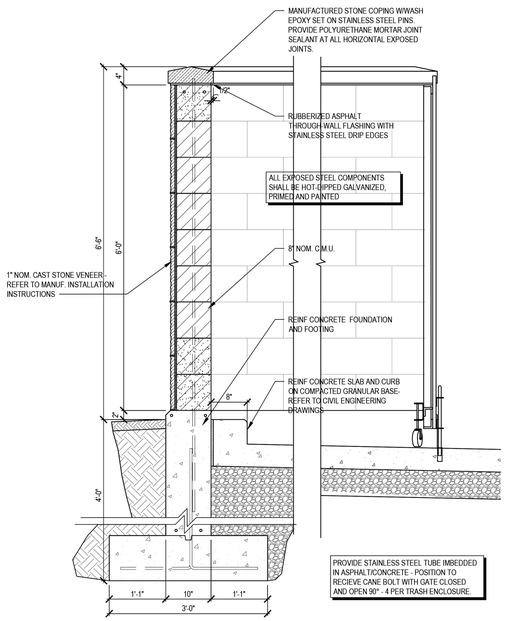
9 TRASH ENCLOSURE ELEVATION
3/8" = 1'-0"



10 TRASH ENCLOSURE ELEVATION
3/8" = 1'-0"

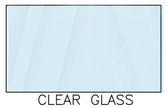


11 TRASH ENCLOSURE PLAN
3/8" = 1'-0"



12 TRASH ENCLOSURE SECTION
31/4" = 1'-0"

STORE FRONT
COLOR: BLACK ANODIZED ALUM.



CLEAR GLASS

CAST STONE
COLOR: LIMESTONE CORONADO

METAL CANOPY & SUNSHADES
COLOR: BLACK ANODIZED ALUM.

FIBER CEMENT
COLOR: ASH NICHIHA

FIBER CEMENT
COLOR: BARK NICHIHA

ACM
COLOR: CLEAR

CHASE

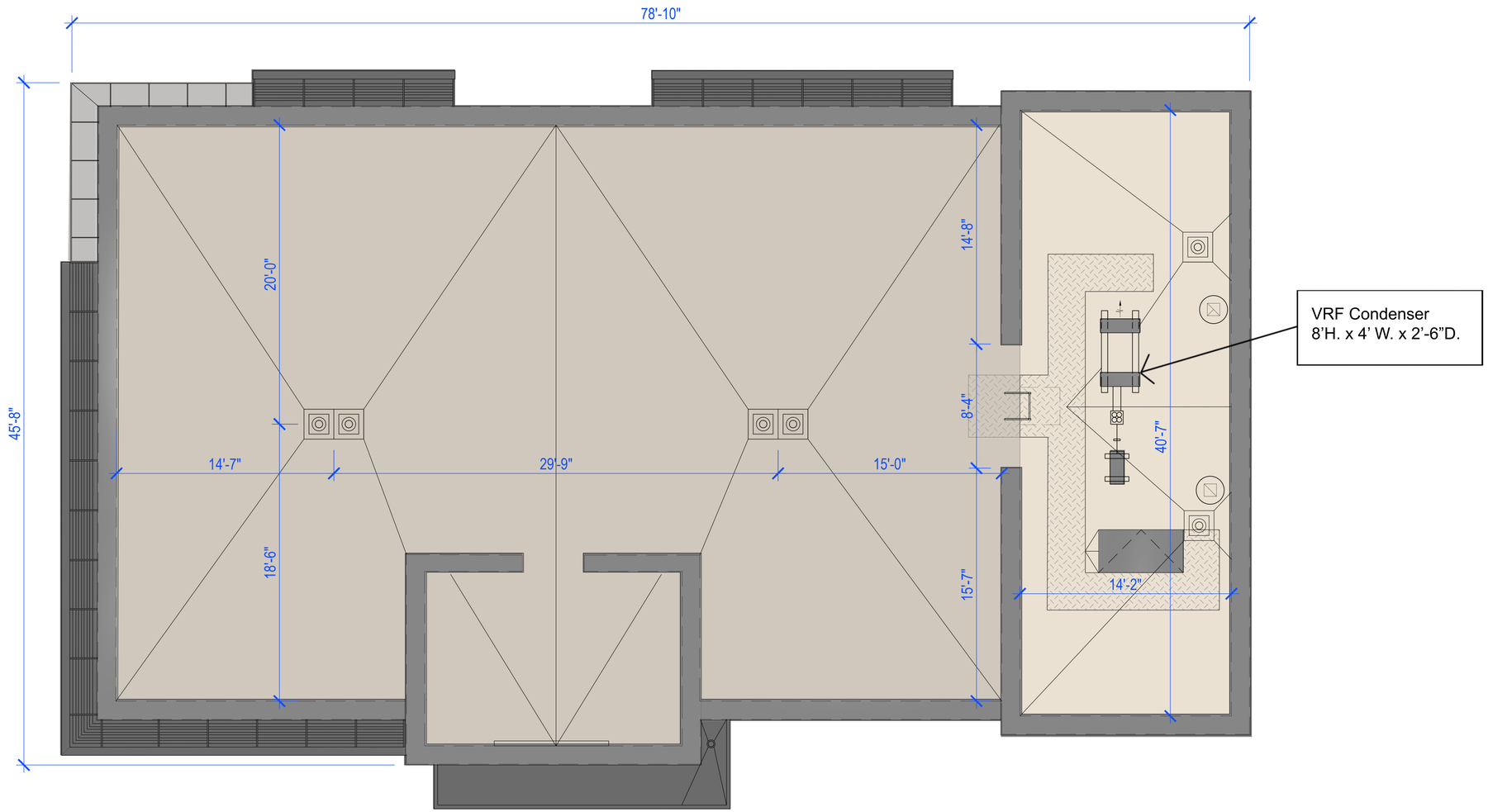
WAUWATOSA
11199 W Burleigh St.
Wauwatosa, WI 53222

TRASH ENCLOSURE

10.03.2023

Architect/Designer
The Architects Partnership, Ltd.
200 South Michigan Avenue
Chicago, IL 60604
t: 312.583.9800
f: 312.583.9890
TAP Project Number: 23052

tap



SCALE: 1/8" = 1'-0"

0 5' 10' 15'

CHASE

WAUWATOSA
11199 W Burleigh St.
Wauwatosa, WI 53222

ROOF PLAN

10.03.2023

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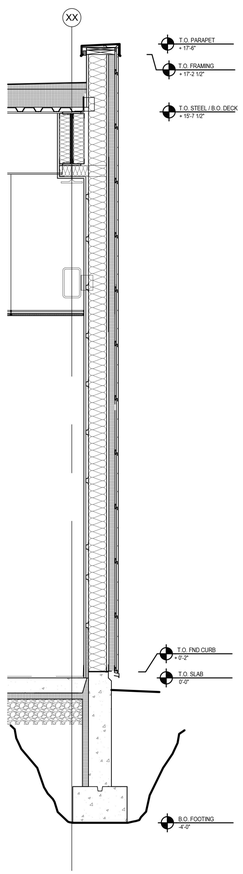
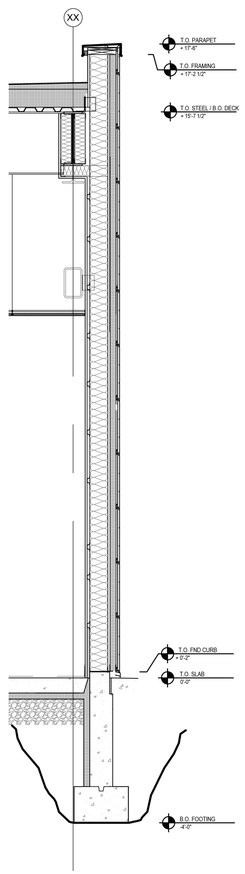
TAP Project Number: 23052

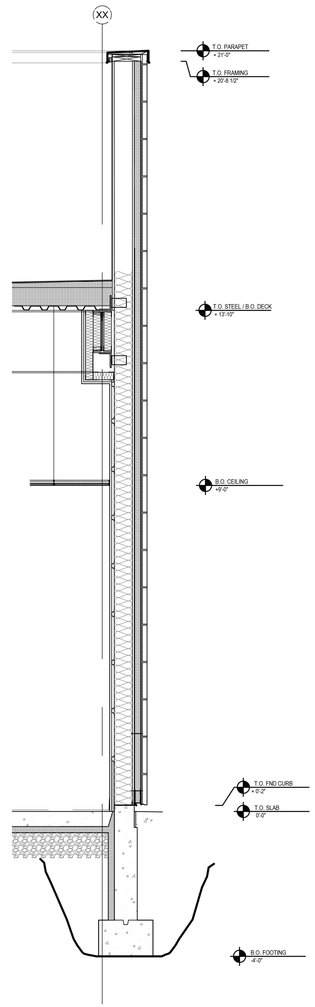
tap



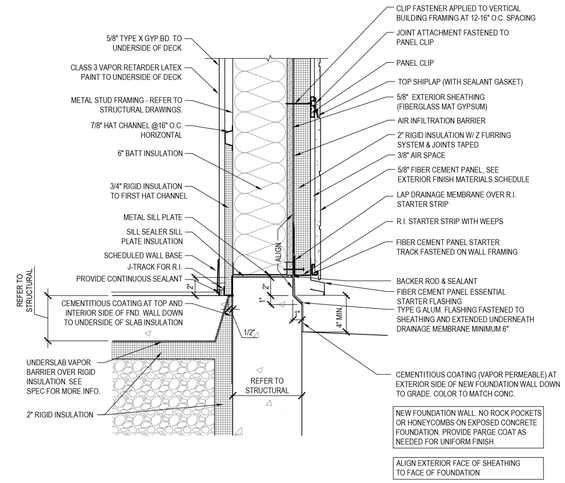
1 FIBER CEMENT WALL SECTION @ GRADE
1/4" = 1'-0"



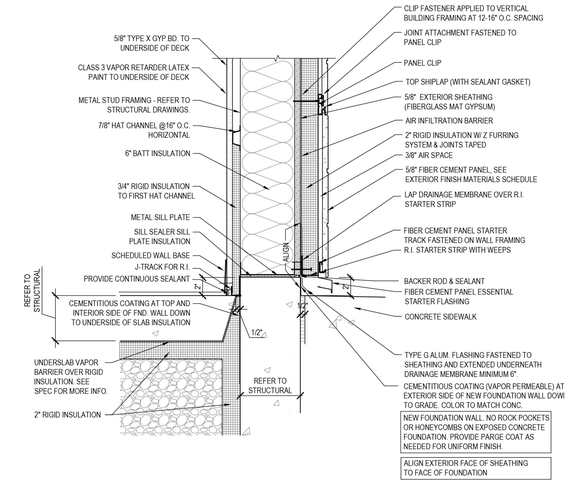
2 FIBER CEMENT WALL SECTION @ SIDEWALK
1/4" = 1'-0"



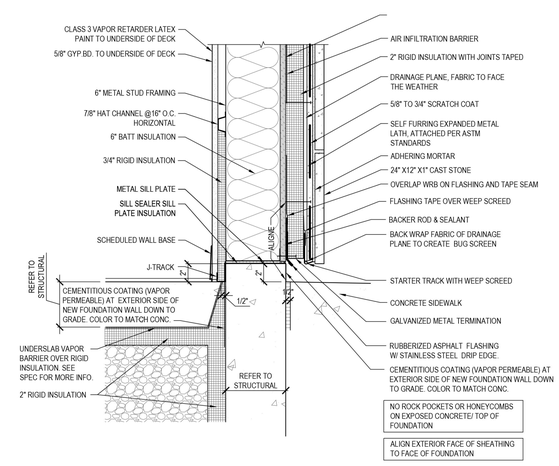
3 CASTSTONE WALL SECTION @ SIDEWALK
1/4" = 1'-0"



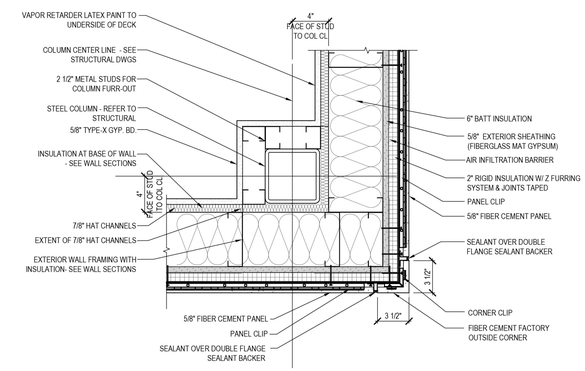
4 FIBER CEMENT @ GRADE
1 1/2" = 1'-0"



5 FIBER CEMENT @ SIDEWALK
1 1/2" = 1'-0"



6 CAST STONE AT SIDEWALK
1 1/2" = 1'-0"



7 FIBER CEMENT CORNER DETAIL - PLAN
1 1/2" = 1'-0"

CHASE

WAUWATOSA
11199 W Burleigh St.
Wauwatosa, WI 53222

WALL SECTION AND DETAILS

10.03.2023

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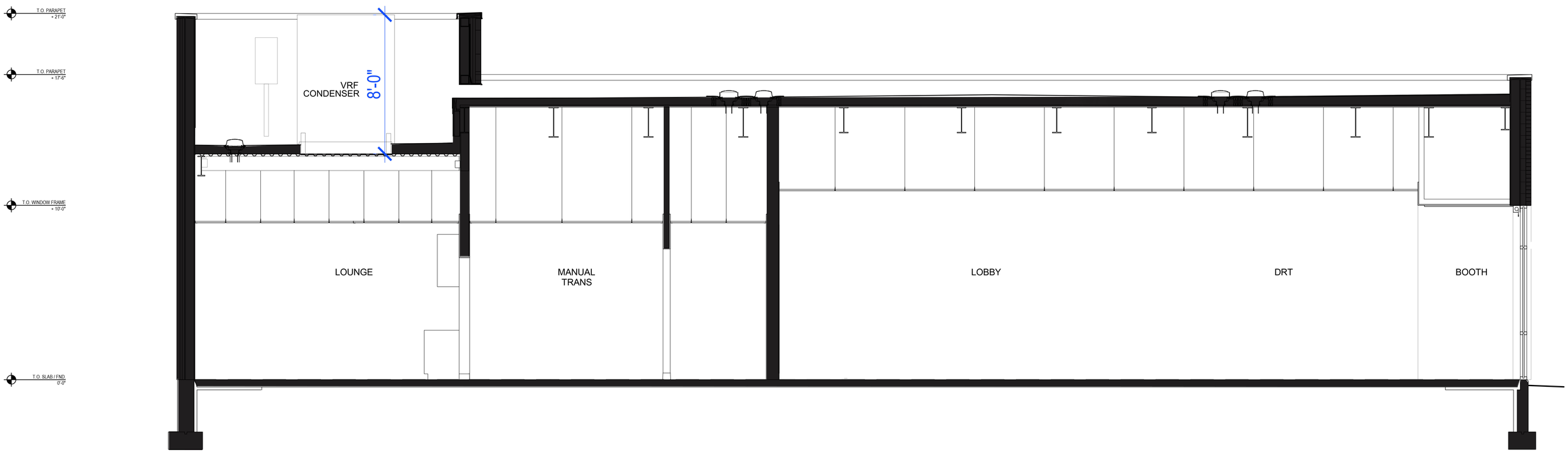
TAP Project Number: 23052

tap



8 BUILDING SECTION - VRF CONDENSER LOCATION

1/4" = 1'-0"

CHASE

WAUWATOSA
11199 W Burleigh St.
Wauwatosa, WI 53222

BUILDING SECTION

10.03.2023

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tap

Wauwatosa, WI

Staff Report

7725 W. North Avenue
Wauwatosa, WI 53213

File #: 23-843 **Agenda Date:** 10/19/2023 **Agenda #:** 3.

11530 Burleigh - Horicon Bank - RTU Screening

South Elevation

East Elevation

WAUWATOSA
FOR LEAS
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North Elevation

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OYSTER

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TERRACOTTA

MANSARD BROWN

Swatches viewed on a computer screen or on printed material are intended to be a guide to our product color choices. For best results, contact us to request material samples that will provide true color representation.

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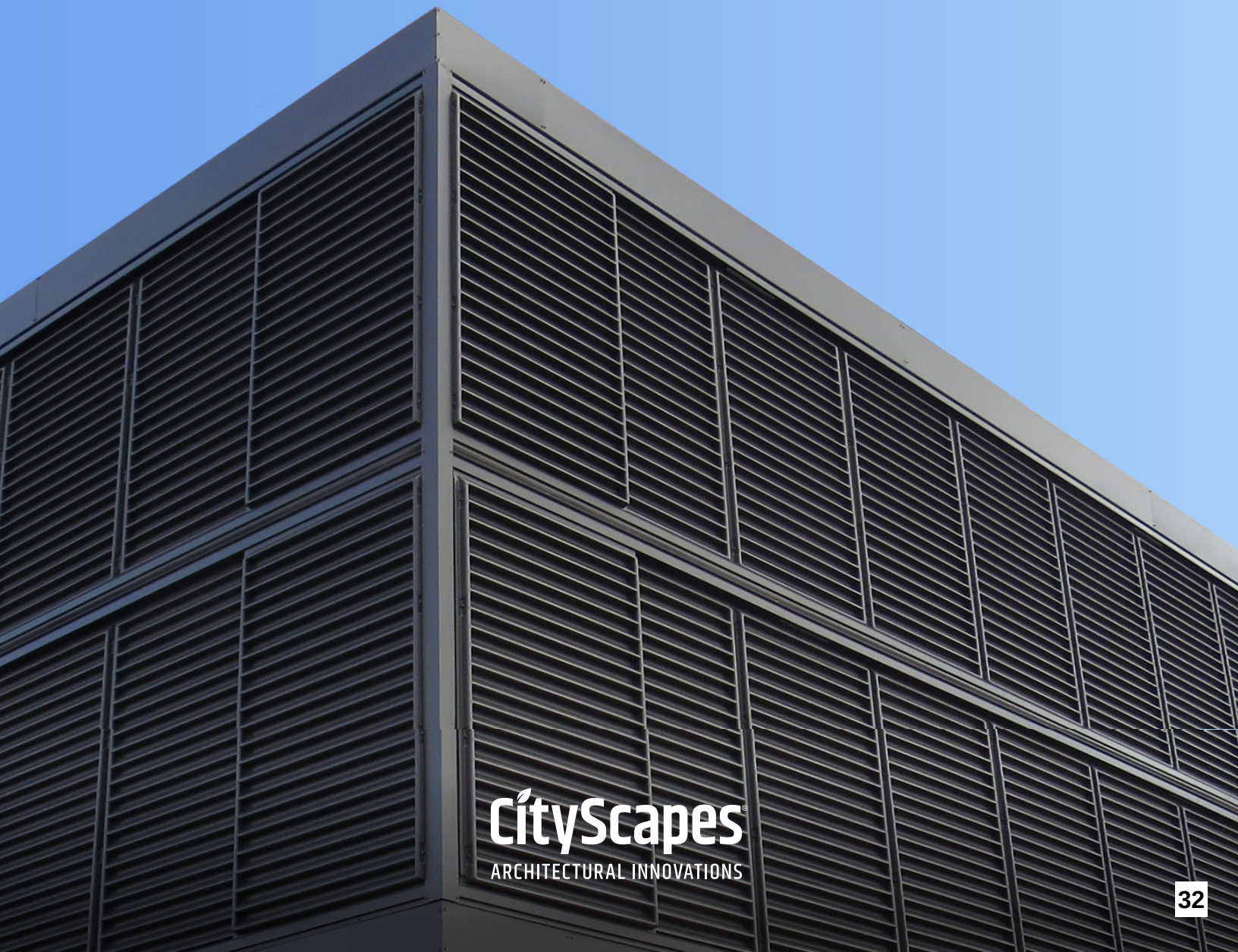
SCREENING SYSTEMS



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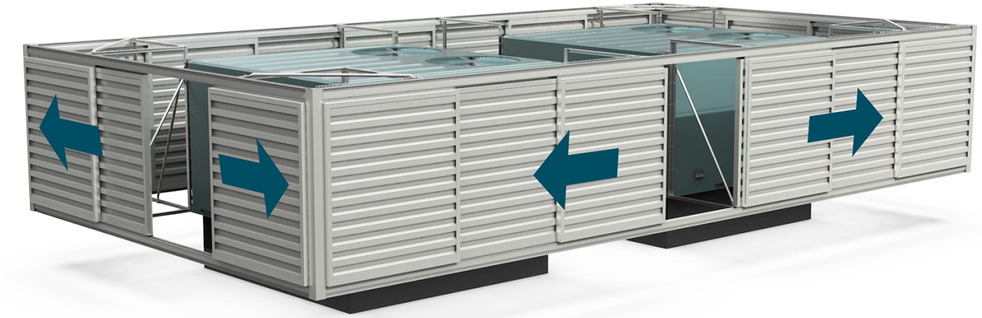

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Louver

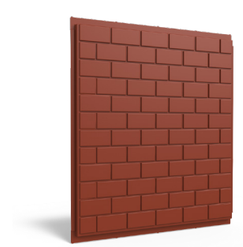
Horizontal Rib

7.2 Rib

Flat Pan

Batten

Vertical Rib



Brick

Custom

We are working with Cityscapes to provide a panel with this tree pattern in the Slate Grey color.

Actual color swatch will be provided at the Design Review Board meeting

Wauwatosa, WI

Staff Report

7725 W. North Avenue
Wauwatosa, WI 53213

File #: 23-848 **Agenda Date:** **Agenda #:** 4.