IDYLL COFFEE

6330 W. NORTH AVE WAUWATOSA, WI 53213

PERSPECTIVES USED TO CONVEY GENERAL LOOK OF THE DESIGN.
SEE SUBSEQUENT DRAWINGS FOR DETAILS AND DIMENSIONS.

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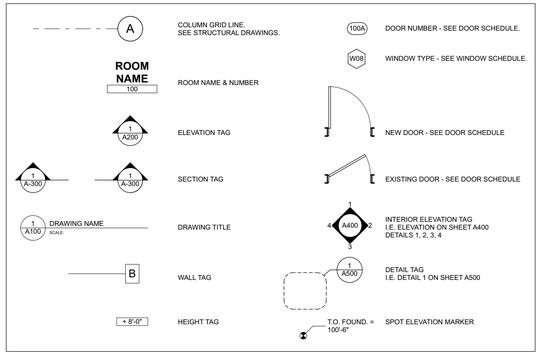
ABBREVIATIONS

#	POUND OR NUMBER
&	AND
@	AT
A	
ACT	ACOUSTIC CEILING TILE
AD	AREA DRAIN
AFF	ABOVE FINISHED FLOOR
ALUM	ALUMINUM
ANOD	ANODIZED
APPROX	APPROXIMATELY
B	
BLKG	BLOCKING
BLKHD	BULKHEAD
BRG	BEARING
BSMT	BASEMENT
BT	BASE TILE
BYND	BEYOND
BO	BOTTOM OF
BOT	BOTTOM
C	
CABT	CABINET
CIP	CAST IN PLACE
CHNL	CHANNEL
CJ	CONTROL JOINT
CL	CLOSET
CLG	CEILING
CLR	CLEAR
CM	CONSTRUCTION MANAGER
CMU	CONCRETE MASONRY UNIT
COL	COLUMN
COMPR	COMPRESSIBLE
CONC	CONCRETE
CONT	CONTINUOUS
CONTR	CONTRACTOR
CPT	CARPET
CRS	COURSE
CT	CERAMIC TILE
CTB	CERAMIC TILE BASE
CTYD	COURTYARD
D	
DBL	DOUBLE
DEMO	DEMOLISH OR DEMOLITION
DIA	DIAMETER
DIM	DIMENSION
DIMS	DIMENSIONS
DISP	DISPENSER
DN	DOWN
DR	DOOR
DRWR	DRAWER
DS	DOWNSPOUT
DTL	DETAIL
DW	DISHWASHER
DWG	DRAWING
E	
EA	EACH
EIFS	EXTERIOR INSULATION FINISH SYSTEM
EJ	EXPANSION JOINT
EL	ELEVATION
ELEC	ELECTRICAL
ELEV	ELEVATOR OR ELEVATION
EPDM	ETHYLENE PROPYLENE DIENE M-CLASS
EQ	EQUAL
ETR	EXISTING TO REMAIN
EXIST	EXISTING
EXP	EXPANSION
EXT	EXTERIOR
F	
FD	FLOOR DRAIN OR FIRE DEPARTMENT
FE	FIRE EXTINGUISHER
FEC	FIRE EXTINGUISHER CABINET
FIN FLR	FINISHED FLOOR
FIXT	FIXTURE
FLR	FLOOR
FLSHG	FLASHING
FM	FILLED METAL
FO	FACE OF
FT	FOOT
FTG	FOOTING
FND	FOUNDATION
G	
GA	GAUGE
GALV	GALVANIZED
GB	GRAB BAR
GWB	GYPSUM WALL BOARD
H	
HC	HOLLOW CORE
HDWD	HARDWOOD
HDR	HEADER
HI	HIGH
HM	HOLLOW METAL
HORIZ	HORIZONTAL
HP	HIGH POINT
HR	HOUR
HT	HEIGHT
HRDBD	HARDBOARD
HVAC	HEATING, VENTILATING, AND AIR CONDITIONING
I	
IRGWB	IMPACT RESISTANT GYPSUM WALL BOARD
ILO	IN LIEU OF
INSTR	INSTRUCTIONS
INSUL	INSULATED OR INSULATION
INT	INTERIOR
J	
JNT	JOINT
L	
LHB	LOCKABLE HOSE BIBB
M	
MAX	MAXIMUM
MFR	MANUFACTURER
MO	MASONRY OPENING
MECH	MECHANICAL
MEMBR	MEMBRANE
MICRO	MICROWAVE
MIN	MINIMUM
MISC	MISCELLANEOUS
M	
MRDW	MOISTURE RESISTANT DRY WALL
MRGWB	MOISTURE RESISTANT GYPSUM WALL BOARD
MTL	METAL
MTR	MORTAR
MTRL	MATERIAL
N	
NIC	NOT IN CONTRACT
NO	NUMBER
NOM	NOMINAL
O	
OC	ON CENTER
OH	OPPOSITE HAND
OPNG	OPENING
OZ	OUNCE
P	
PCC	PRE-CAST CONCRETE
PLUMB	PLUMBING
PLAM	PLASTIC LAMINATE
PLYWD	PLYWOOD
P&SH	POLE & SHELVES / SHELF
PREFIN	PRE-FINISHED
PT	PRESSURE TREATED
PNT	PAINT OR PAINTED
PVC	POLYVINYL CHLORIDE
R	
RB	RUBBER BASE
RBR	RUBBER
RC	RAIN CHAIN
RCP	REFLECTD CEILING PLAN
RD	ROOF DRAIN
REF	REFRIGERATOR
REINF	REINFORCED
REQD	REQUIRED
RM	ROOM
RO	ROUGH OPENING
S	
SHTHG	SHEATHING
SF	SHEET FLOORING
SIM	SIMILAR
SPEC	SPECIFIED OR SPECIFICATION
SPK	SPRINKLER OR SPEAKER
SS	STAINLESS STEEL
ST	STAIN
STC	SOUND TRANSMISSION COEFFICIENT
STL	STEEL
STRUCT	STRUCTURE OR STRUCTURAL
T	
T&G	TONGUE AND GROOVE
TELE	TELEPHONE
TLT	TOILET
TO	TOP OF
TOC	TOP OF CONCRETE
TOS	TOP OF STEEL
TPD	TOILET PAPER DISPENSER
T/D	TELEPHONE/DATA
TYP	TYPICAL
U	
UNO	UNLESS NOTED OTHERWISE
U/S	UNDERSIDE
V	
VB	VINYL BASE
VCT	VINYL COMPOSITIONTILE
VERT	VERTICAL
VIF	VERIFY IN FIELD
VP	VISION PANEL
VWC	VINYL WALL COVERING
W	
W/	WITH
WD	WOOD
WDW	WINDOW

SYMBOL KEY



SHEET INDEX

ID	NAME
G100	COVER SHEET
C1.0	SITE PLAN
A100	LOWER LEVEL FLOOR PLAN
A101	FIRST FLOOR PLAN
A102	SECOND FLOOR PLAN
A103	ROOF PLAN
A200	ELEVATIONS
A201	ELEVATIONS
A202	ELEVATIONS

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ARB SET	09.22.23

PROJECT # 22.38

COVER SHEET

G100

NOT FOR CONSTRUCTION

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LEGEND

BASKETBALL HOOP (BH)
BENCHMARK (BM)
BOLLARD (BO)
BUSH, SHRUB, ETC.
CATCH BASIN ROUND (CB)
CATCH BASIN SQUARE (CB)
CLEAN OUT (CO)
CURB INLET (CB)
EVERGREEN TREE (EG)
FIRE HYDRANT (HYD)
FLAG POLE (FP)
GUY WIRE (GW)
HANDICAP
IRON PIPE (I.P.)
LIGHT POLE
MAIL BOX (MB)
MANHOLE (MH)
MONITORING WELL (MW)
SIGN (TRAFFIC, ETC.)
SOIL BORING (SB)
TRAFFIC LIGHT (TL)
DECIDUOUS TREE (TR)
UTILITY MARKER
UTILITY METER
UTILITY PEDESTAL
UTILITY POLE (UP)
UTILITY VALVE
WATER WELL

ABBREVIATIONS

F.L	FLOW LINE
I.E.	INVERT ELEVATION
FND	FOUND
MLP	METAL LIGHT POLE
CLP	CONCRETE LIGHT POLE
WLP	WOOD LIGHT POLE
FGLP	FIBERGLASS LIGHT POLE
MS	METAL SIGN
GM	GAS METER
EM	ELECTRIC METER
D.S.E.	DOOR SILL ELEVATION
EP	ELECTRIC PEDESTAL
F.F.E.	FIRST FLOOR ELEVATION
FO	FIBER OPTIC CABLE
GV	GAS VALVE
WV	WATER VALVE
CTP	CABLE TV PEDESTAL
WLF	WETLAND FLAG
YL	YARD LIGHT

LINE TYPES

SANITARY FORCE MAIN

LINE TYPES (CONT.)

METAL FENCE
WOOD FENCE
GUARD RAIL
BURIED CABLE TV
BURIED COMMUNICATIONS
COMBINATION SEWER
BURIED ELECTRIC
BURIED FIBER OPTIC
BURIED GAS SERVICE
OVERHEAD UTILITY LINES
SANITARY SEWER
STORM SEWER
BURIED TELEPHONE
WATER MAIN / SERVICE

LEGAL DESCRIPTION

LOTS 22, 23, AND 24, IN BLOCK 3, IN J.F. LABOULE SUBDIVISION NO. 1, IN THE SOUTHEAST 1/4 OF SECTION 15, IN TOWNSHIP 7 NORTH, RANGE 21 EAST, IN THE CITY OF WAUWATOSA, COUNTY OF MILWAUKEE, STATE OF WISCONSIN.

SURVEYOR'S NOTES

1) TITLE POLICY INFORMATION - PER FIRST AMERICAN TITLE INSURANCE COMPANY, FILE NO: NCS-932066-MKE, COMMITMENT DATE OF OCTOBER 22, 2018.

2) FLOOD PLAIN INFORMATION - PROPERTY IS IN ZONE X (AREA OF 0.2% ANNUAL CHANCE OF FLOOD) PER FIRM MAP NO. 55079C0086E, EFFECTIVE DATE OF SEPTEMBER 26, 2008

3) ZONING INFORMATION & BASIS - PER CITY OF WAUWATOSA ZONING DEPARTMENT - ZONED C1 DISTRICT/NORTH AVENUE OVERLAY (C1/NOR)

4) BUILDING SETBACKS, HEIGHT RESTRICTIONS & BASIS OF EACH - PER CITY OF WAUWATOSA ZONING DEPARTMENT

FRONT SET BACK - 0 FEET
SIDE STREET SET BACK - 0 FEET
INTERIOR SIDE SET BACK - 0 FEET
REAR - 0 FEET

5) LAND AREA - 10,800 SQUARE FEET

6) BUILDING AREA - 4,767 SQUARE FEET

7) BUILDING HEIGHT - 22' +/-

8) BASIS OF BEARINGS - NORTH LINE OF W. NORTH AVENUE - ASSUMED WEST

9) PARKING INFORMATION - PARKING STRIPING TO VAGUE TO LOCATE

10) UNDERGROUND SEWER AND UTILITY INFORMATION AS SHOWN IS OBTAINED FROM THE RECORDS OF MUNICIPALITY AND LOCAL UTILITY COMPANIES. THE ACCURACY OF WHICH CAN NOT BE GUARANTEED OR CERTIFIED TO.

11) THE LOCATIONS OF EXISTING UTILITY INSTALLATIONS AS SHOWN ON THIS SURVEY ARE APPROXIMATE. THERE MAY BE OTHER UNDERGROUND UTILITY INSTALLATIONS WITHIN THE PROJECT AREA THAT ARE NOT SHOWN.

12) WINDOW WELLS AROUND BUILDING NOT SHOWN.

SCHEDULE B - EXCEPTIONS

10) AT&T WISCONSIN GENERAL EASEMENT GRANTED IN WISCONSIN BELL INC. d/b/a AT&T - WISCONSIN IN INSTRUMENT DATED NOVEMBER 29, 2006 AND RECORDED ON MARCH 1, 2007, AS DOCUMENT NO. 09393225 - AS SHOWN ON SURVEY

SURVEYOR'S CERTIFICATION

To First American Title Insurance Company:

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2016 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 2, 3, 4, 5, 6, 8, 9, 11, and 13 of Table A thereof. The fieldwork was completed on June 5, 2019

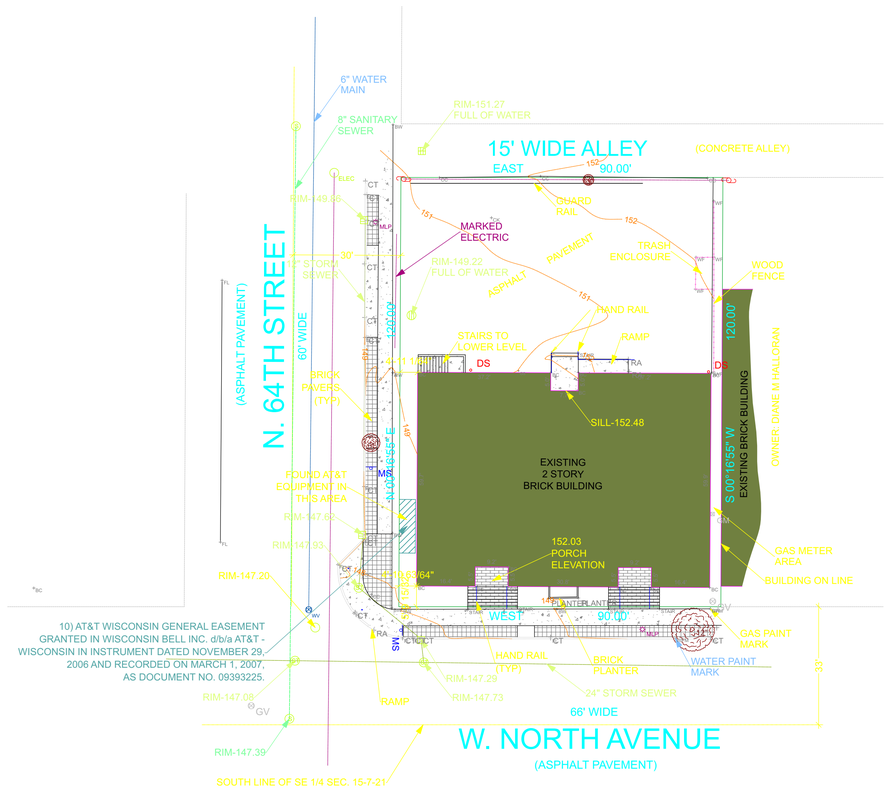
Date: June 7, 2019

Mark L. Wertz -

Professional Land Surveyor

Registration No.

S-1915



GRAPHIC SCALE

20' 0 10' 20' 40'

1 inch = 20ft

VICINITY MAP

SOUTHEAST 1/4 SEC. 15-7-21

NOT TO SCALE

LIS
LAND INFORMATION SERVICES, INC.
ENGINEERS, SURVEYORS & CONSULTANTS
9110 W. STICKNEY AVENUE
WAUWATOSA, WI 53226
T 262.312.9000
www.lisinc.net

DIGGERS HOTLINE

CALL DIGGERS HOTLINE
811 or 1-800-242-8511 / MILW. AREA 259-1181
WIS STATUTE 182.0175(1974) REQUIRES MIN. 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE

ALTA / NSPS LAND TITLE SURVEY
6330 W. NORTH AVENUE
WAUWATOSA, WISCONSIN

DRAWN BY: M.D.N.
CHECKED BY: M.L.W.
DATE: 6.5.19
JOB NUMBER: S19036R0AL

REVISIONS

SHEET 1 OF 1

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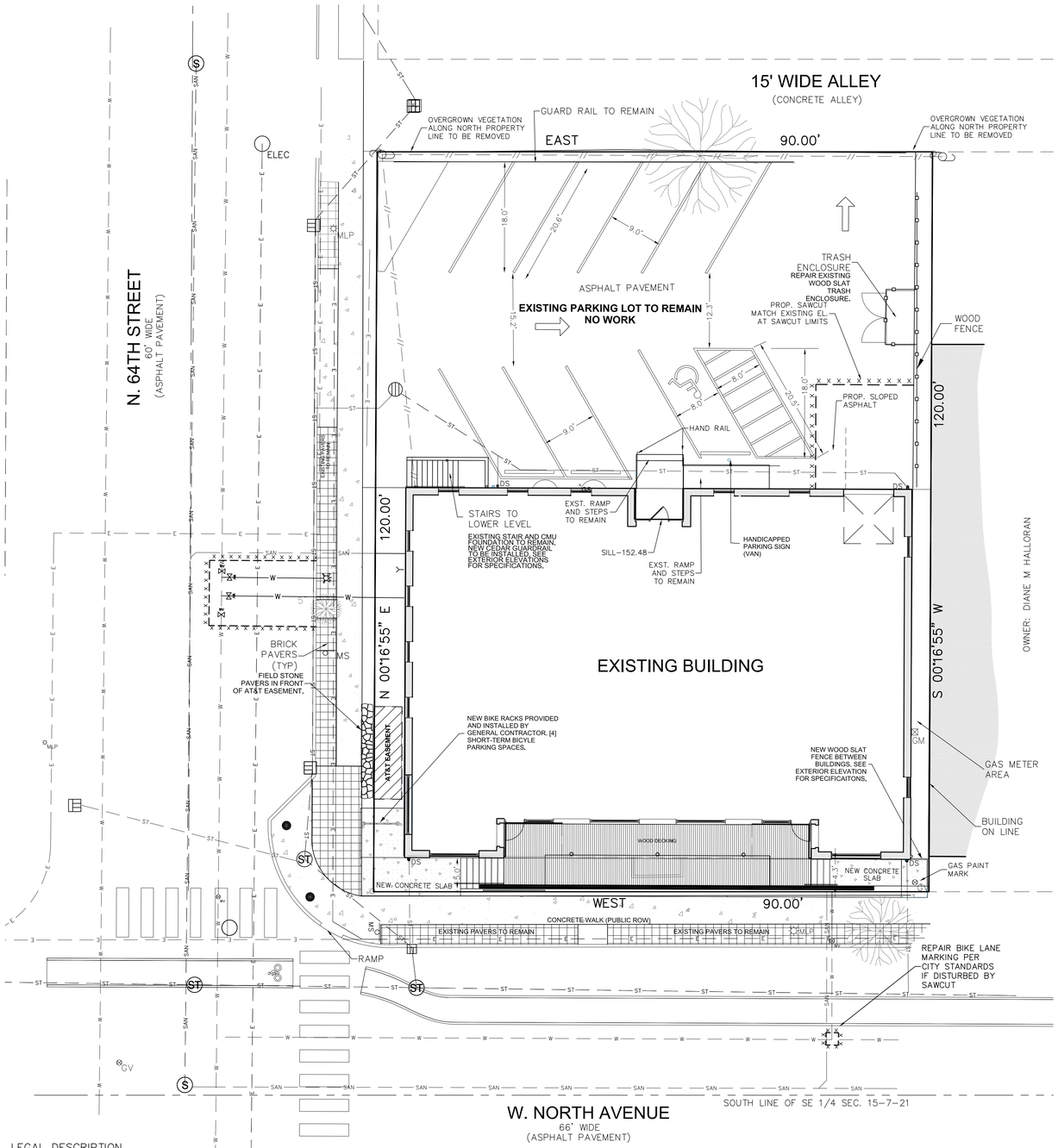

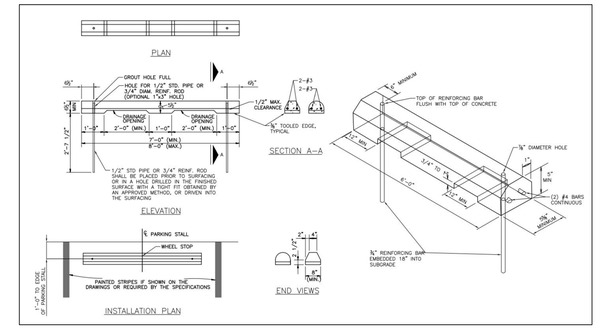

CONCRETE WHEEL STOP DETAIL

NOT TO SCALE

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9205 W. Center Street
Suite 214
Milwaukee, WI 53222
PH. (414) 443-1312
FAX (414) 443-1317
www.cj-engineering.com

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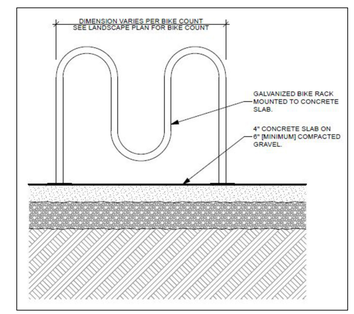
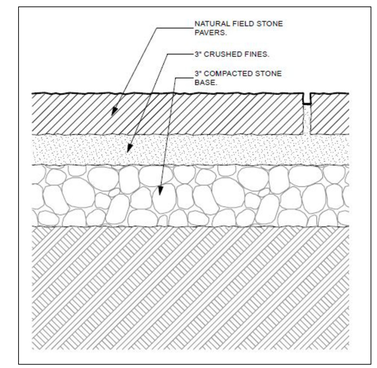


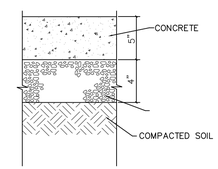
BIKE RACK

NOT TO SCALE



FIELD STONE PAVERS

NOT TO SCALE



CONCRETE SIDEWALK

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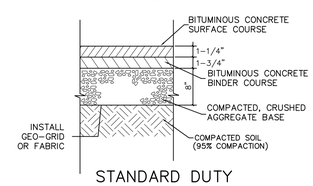
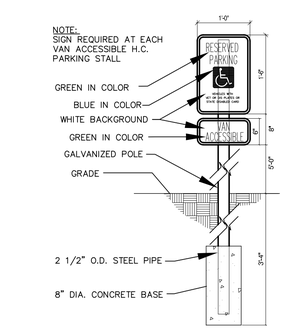


STANDARD DUTY ASPHALT PAVEMENT (PARKING AREA)

NOT TO SCALE



HANDICAPPED PARKING SIGN DETAIL (VAN ACCESSIBLE)

NOT TO SCALE

IDYLL COFFEE

TAX KEY: 3300171000

6330 W. NORTH AVENUE WAUWATOSA, WI

CJE NO.: 2342R0-EC

AUGUST 24, 2023

LEGAL DESCRIPTION

LOTS 22, 23, AND 24, IN BLOCK 3, IN J.F. LABOULE SUBDIVISION NO. 1, IN THE SOUTHEAST 1/4 OF SECTION 15, IN TOWNSHIP 7 NORTH, RANGE 21 EAST, IN THE CITY OF WAUWATOSA, COUNTY OF MILWAUKEE, STATE OF WISCONSIN.

CONTAINING: 10,800 S.F. (0.25 ACRES)

NOTES:

1. DISTURBED AREA = 1,543 S.F. (0.035 ACRES)

2. THERE IS AN INCREASE OF 348 S.F. OF IMPERVIOUS SURFACE ON THE SITE.

3. TAX ID NUMBERS: 3300171000

4. ALL WORK IN THE RIGHT OF WAY SHALL BE DONE IN ACCORDING TO THE CITY REQUIREMENTS AND SPECIFICATIONS AND REQUIRES A STREET OCCUPANCY PERMIT FROM THE CITY.

5. PAVEMENT MARKINGS SHALL BE 3" WIDE STRIPED IN WHITE OR YELLOW TRAFFIC PAINT.

6. PROPOSED DEVELOPMENT WILL NOT DISTURB MORE THAN 1 ACRE AND WILL INCREASE THE AMOUNT OF IMPERVIOUS SURFACE BY 348 S.F. THEREFORE A STORM WATER MANAGEMENT PLAN IS NOT REQUIRED.

SITE AREAS: EXISTING

PROPERTY AREA = 10,800 S.F. (0.248 ACRES)

EXISTING BUILDING = 4,767 S.F. (0.109 ACRES)
EXISTING PAVEMENT = 5,166 S.F. (0.119 ACRES)

EXISTING IMPERVIOUS = 9,933 S.F. (0.228 ACRES)
EXISTING OPEN = 867 S.F. (0.020 ACRES)

EXISTING DESIGNATED ON SITE SURFACE PARKING (TO BE RESTRIPED)
8 REGULAR STALLS
1 ADA ACCESSIBLE STALL
9 TOTAL PARKING STALLS

0 BIKE PARKING STALLS

SITE AREAS: PROPOSED

PROPOSED BUILDING FOOTPRINT = 4,271 S.F. (0.098 ACRES)
PROPOSED PAVEMENT = 6,010 S.F. (0.138 ACRES)

PROPOSED IMPERVIOUS = 10,281 S.F. (0.236 ACRES)
PROPOSED OPEN = 519 S.F. (0.012 ACRES)

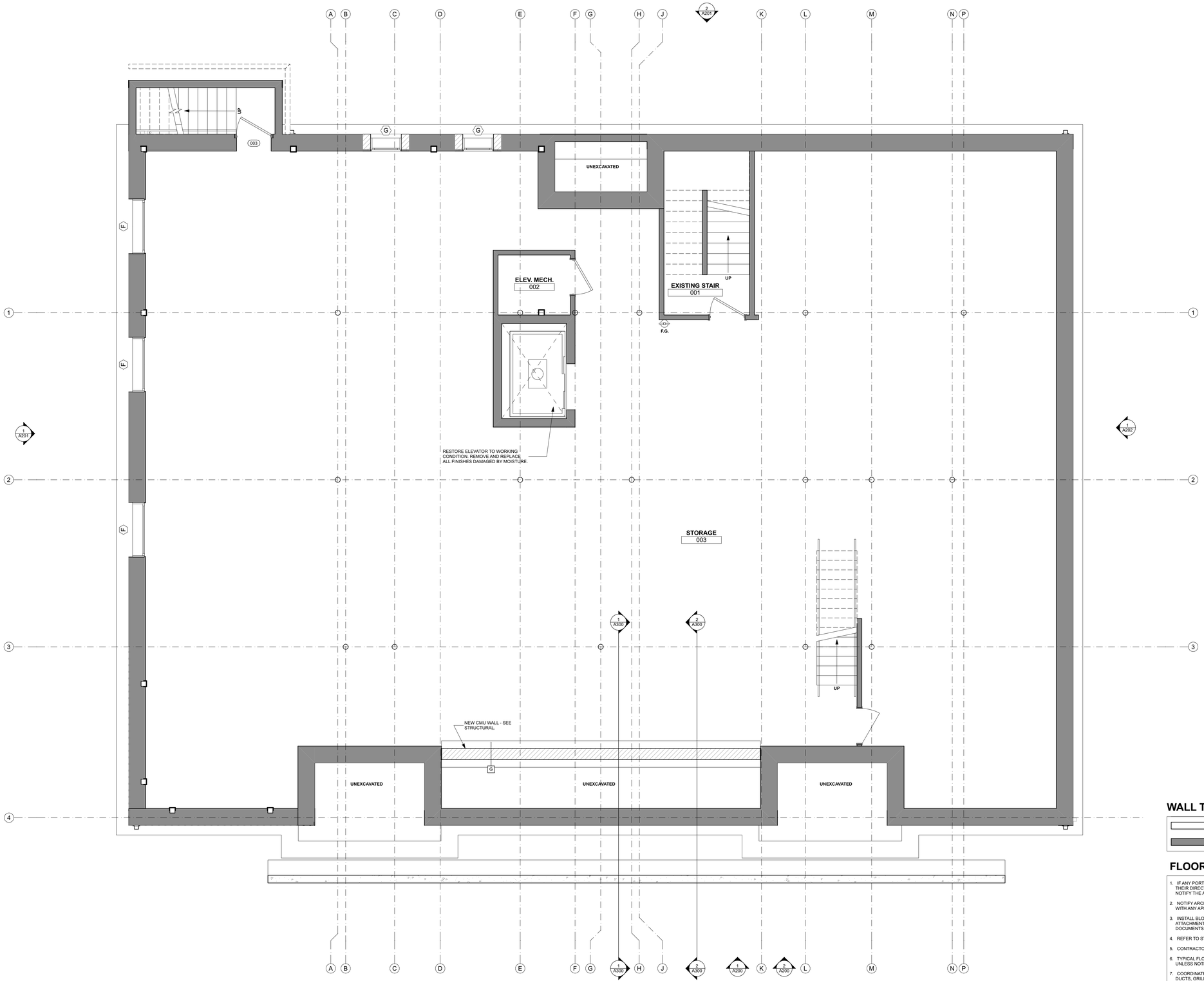
PROPOSED ON SITE SURFACE PARKING:
7 REGULAR STALLS
1 ACCESSIBLE STALL
8 TOTAL STALLS

4 SHORT TERM BIKE PARKING STALLS
2 LONG TERM BIKE PARKING STALLS (SEE ARCHITECTURAL PLANS FOR INTERIOR LOCATION)

GRAPHIC SCALE

1 inch = 10 ft

SITE PLAN C1.0



NORTH

1 A100 LOWER LEVEL PLAN
SCALE: 1/4" = 1'-0"

WALL TYPE LEGEND

	NEW WALL
	EXISTING WALL TO REMAIN

FLOOR PLAN - GENERAL NOTES

1. IF ANY PORTION OF THE CONSTRUCTION DOCUMENTS ARE UNCLEAR, INCOMPLETE IN THEIR DIRECTION, OR CONFLICTS WITH OTHER PORTIONS OF THE WORK; PLEASE NOTIFY THE ARCHITECT PRIOR TO EXECUTING THAT WORK.
2. NOTIFY ARCHITECT PROMPTLY IF THE CONSTRUCTION DOCUMENTS ARE INCONSISTENT WITH ANY APPLICABLE CODES OR REGULATIONS.
3. INSTALL BLOCKING IN WALLS, CEILING AND FLOORS AS REQUIRED FOR THE ATTACHMENT OF ANY ITEMS OR EQUIPMENT SHOWN IN THE CONSTRUCTION DOCUMENTS.
4. REFER TO STRUCTURAL PLANS, FOR FRAMING SIZE & ORIENTATION.
5. CONTRACTOR TO VERIFY ALL DIMENSIONS IN FIELD PRIOR TO EXECUTION OF WORK.
6. TYPICAL FLOOR PLAN DIMENSIONS ARE SHOWN TO THE EXTERIOR FACE OF STUDS, UNLESS NOTED OTHERWISE.
7. COORDINATE EXACT LOCATION OF LIGHT FIXTURES, ACCESS PANELS, SPEAKERS, HVAC DUCTS, GRILLS, DIFFUSERS AND OTHER SUCH CEILING ITEMS WITH MECHANICAL, ELECTRICAL, AND OTHER PERTINENT TRADES. NOTIFY ARCHITECT IF ANY LOCATIONS OR CONDITIONS CONFLICT WITH THE DESIGN INTENT SHOWN IN THESE CONSTRUCTION DOCUMENTS.
8. SEE SHEET A500 FOR WALL, FLOOR, AND ROOF ASSEMBLY TYPES.
9. SEE SHEET A600 FOR DOOR AND WINDOW TYPES.

NOT FOR CONSTRUCTION

GALBRAITH CARNAHAN ARCHITECTS
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www.galbraithcarnahan.com

CONSULTANTS:

IDYLL COFFEE

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WAUWATOSA, WI 53213
TAX KEY: 330-0171-000

DRAWING ISSUE	DATE
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CONDITIONAL USE / SITE PLAN APPLICATION	06.06.23
50% CD'S	08.24.23
APPRAISAL SET	09.15.23
ARB SET	09.22.23

PROJECT # 22.38

LOWER LEVEL
FLOOR PLAN

A100

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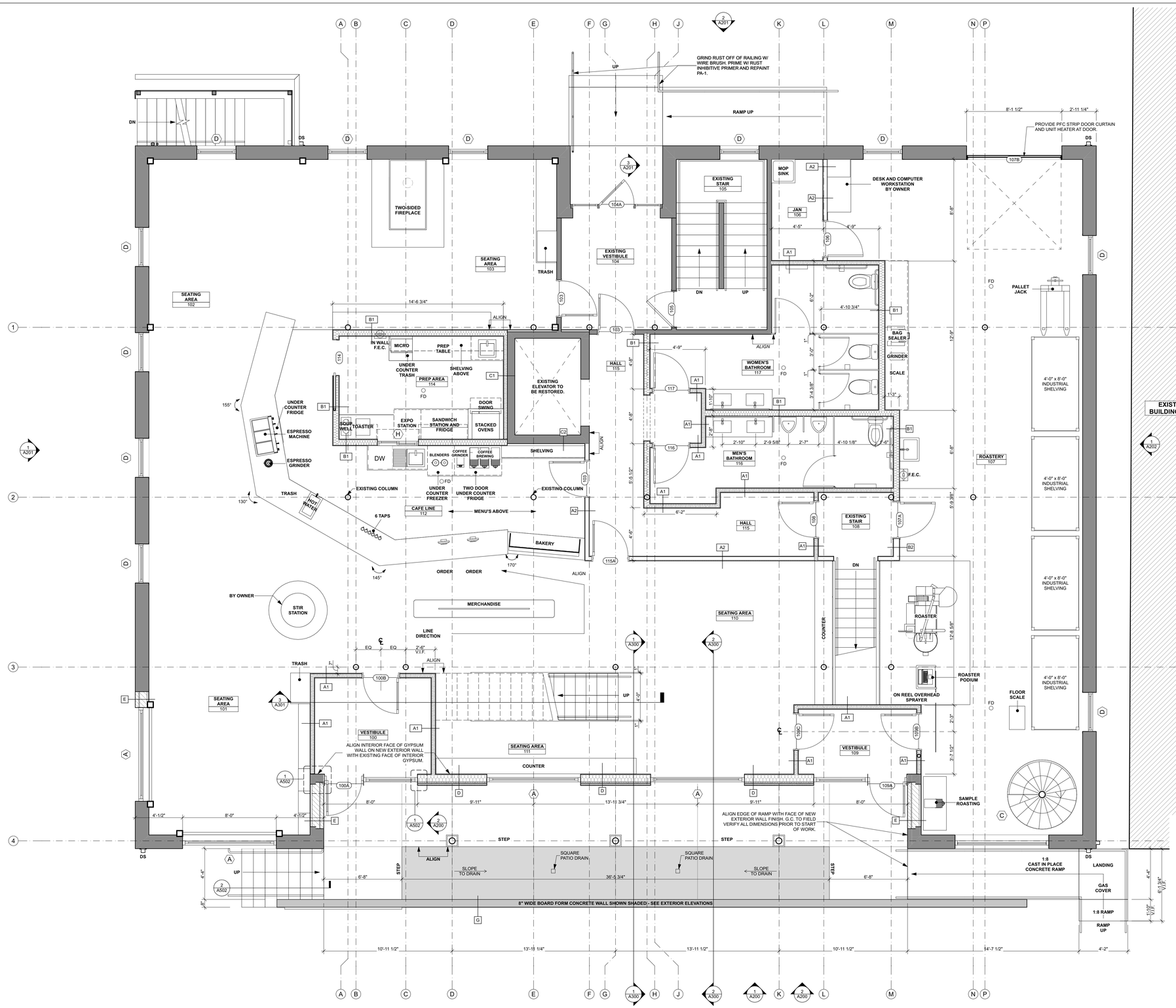

1 A101 FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

WALL TYPE LEGEND

	NEW WALL
	EXISTING WALL TO REMAIN

FLOOR PLAN - GENERAL NOTES

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PROJECT # 22.38

FIRST FLOOR PLAN

A101

NOT FOR CONSTRUCTION

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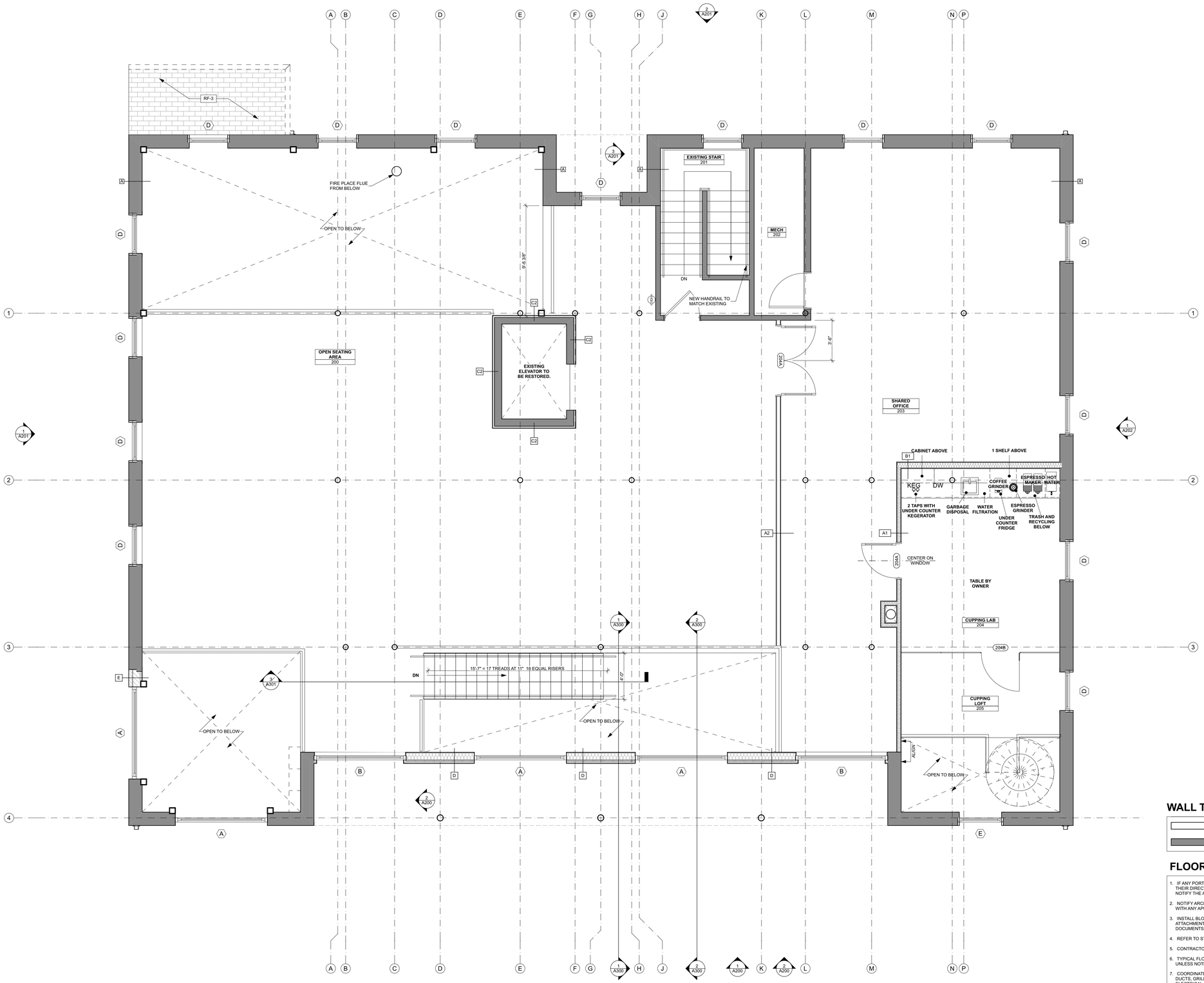

NORTH

1 A102 SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"

WALL TYPE LEGEND

	NEW WALL
	EXISTING WALL TO REMAIN

FLOOR PLAN - GENERAL NOTES

1. IF ANY PORTION OF THE CONSTRUCTION DOCUMENTS ARE UNCLEAR, INCOMPLETE IN THEIR DIRECTION, OR CONFLICTS WITH OTHER PORTIONS OF THE WORK; PLEASE NOTIFY THE ARCHITECT PRIOR TO EXECUTING THAT WORK.
2. NOTIFY ARCHITECT PROMPTLY IF THE CONSTRUCTION DOCUMENTS ARE INCONSISTENT WITH ANY APPLICABLE CODES OR REGULATIONS.
3. INSTALL BLOCKING IN WALLS, CEILING AND FLOORS AS REQUIRED FOR THE ATTACHMENT OF ANY ITEMS OR EQUIPMENT SHOWN IN THE CONSTRUCTION DOCUMENTS.
4. REFER TO STRUCTURAL PLANS, FOR FRAMING SIZE & ORIENTATION.
5. CONTRACTOR TO VERIFY ALL DIMENSIONS IN FIELD PRIOR TO EXECUTION OF WORK.
6. TYPICAL FLOOR PLAN DIMENSIONS ARE SHOWN TO THE EXTERIOR FACE OF STUDS, UNLESS NOTED OTHERWISE.
7. COORDINATE EXACT LOCATION OF LIGHT FIXTURES, ACCESS PANELS, SPEAKERS, HVAC DUCTS, GRILLS, DIFFUSERS AND OTHER SUCH CEILING ITEMS WITH MECHANICAL, ELECTRICAL, AND OTHER PERTINENT TRADES. NOTIFY ARCHITECT IF ANY LOCATIONS OR CONDITIONS CONFLICT WITH THE DESIGN INTENT SHOWN IN THESE CONSTRUCTION DOCUMENTS.
8. SEE SHEET A500 FOR WALL, FLOOR, AND ROOF ASSEMBLY TYPES.
9. SEE SHEET A600 FOR DOOR AND WINDOW TYPES.

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6330 W. NORTH AVENUE
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TAX KEY: 330-0171-000

DRAWING ISSUE	DATE
EXISTING BASE PLANS	10.20.22
PRE-APPLICATION DRAWINGS	05.17.23
CONDITIONAL USE / SITE PLAN APPLICATION.	06.06.23
50% CD'S	08.24.23
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ARB SET	09.22.23

PROJECT # 22.38

SECOND FLOOR PLAN

A102

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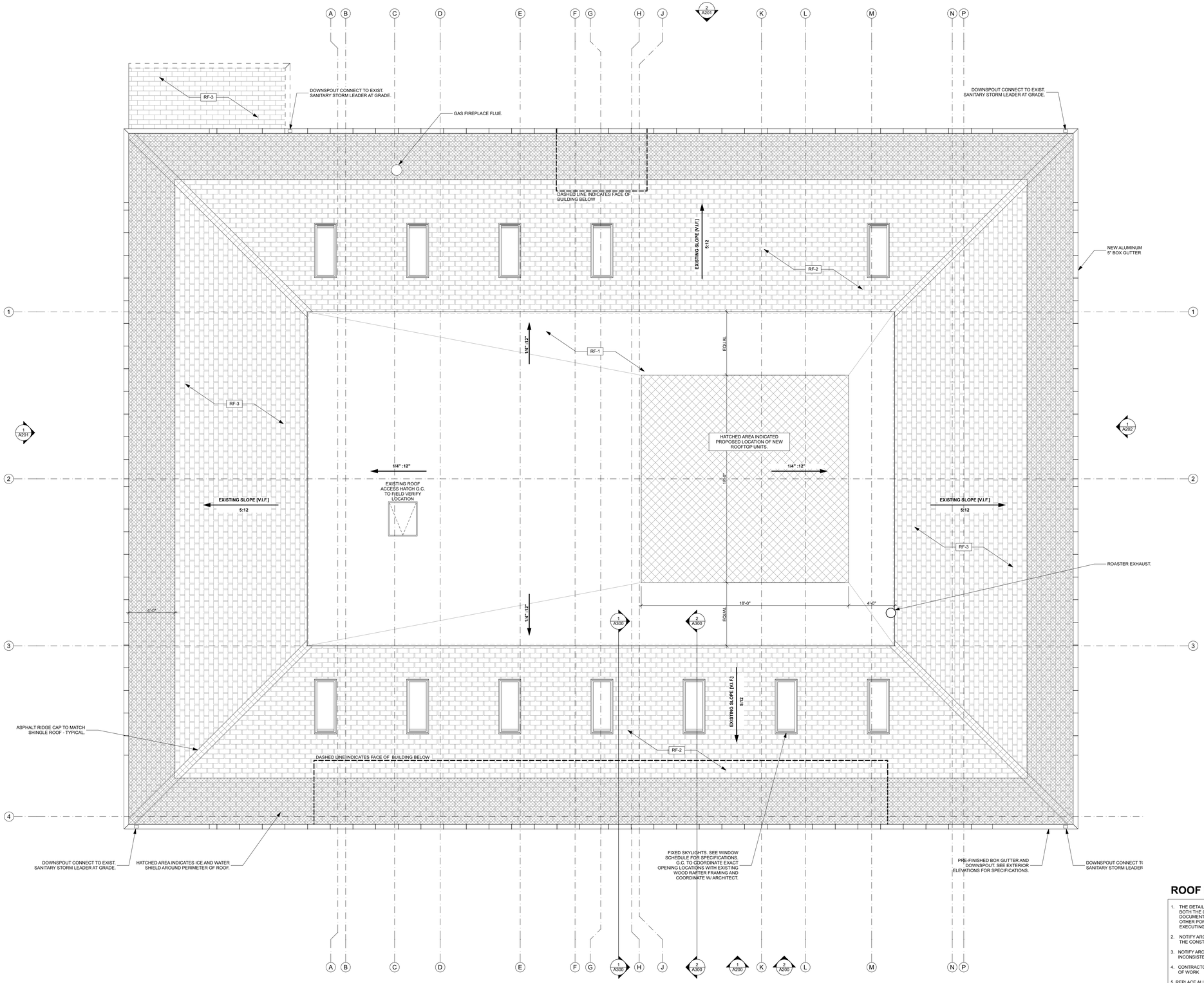

1 A103 ROOF PLAN
SCALE: 1/4" = 1'-0"

NORTH

ROOF PLAN - GENERAL NOTES

1. THE DETAILS OF CONSTRUCTION IN THIS PROJECT ARE OF CRITICAL IMPORTANCE TO BOTH THE CLIENT AND ARCHITECT. IF ANY PORTION OF THE CONSTRUCTION DOCUMENTS IS UNCLEAR, INCOMPLETE IN IT'S DIRECTION, OR CONFLICTS WITH OTHER PORTIONS OF THE WORK, PLEASE NOTIFY THE ARCHITECT PRIOR TO EXECUTING THAT WORK
2. NOTIFY ARCHITECT PROMPTLY IF THE INFORMATION SHOWN IN ONE PORTION OF THE CONSTRUCTION DOCUMENTS CONFLICTS WITH THAT SHOWN IN ANOTHER
3. NOTIFY ARCHITECT PROMPTLY IF THE CONSTRUCTION DOCUMENTS ARE INCONSISTENT WITH ANY APPLICABLE CODES OR REGULATIONS
4. CONTRACTOR TO VERIFY ALL DIMENSIONS IN FIELD PRIOR TO EXECUTION OF WORK
5. REPLACE ALL AREA OF ROTTED SHEATHING W/ NEW PLYWOOD TO MATCH EXIST. THICKNESS

PAINT ALL ROOF PENETRATIONS TO MATCH ADJACENT ROOFING MATERIAL.

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ROOF PLAN

A103

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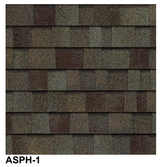


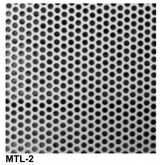
ASPH-1
OWENS CORNING DRIFTWOOD

CONC-1
BOARD FORM CONCRETE

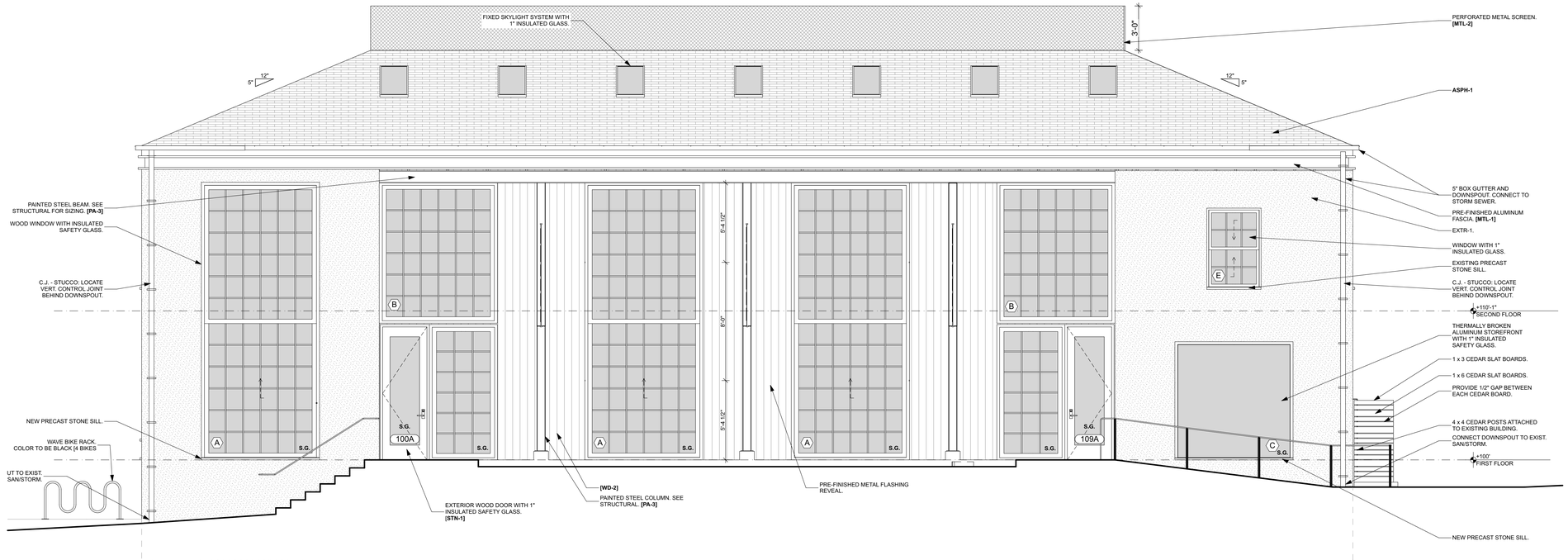
EXTR-1
CEMENT STUCCO FINISH - SANDY TAN

EXTR-2
VERTICAL WOOD SIDING - 1x6 CEDAR PLANKS

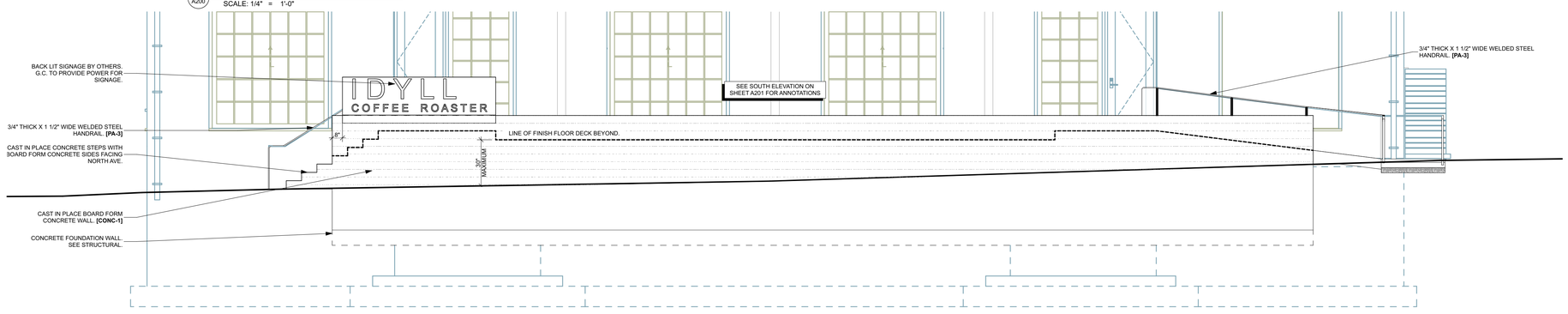
MTL-1 / PA-3
BRAKE METAL / WINDOW FRAME/ PAINT - SLATE GREY



MTL-2
PERFORATED METAL PANEL - GALVANIZED STEEL



1 A200 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



2 A200 SOUTH CONCRETE WALL ELEVATION
SCALE: 1/4" = 1'-0"

EXTERIOR MATERIALS LEGEND

CODE	MATERIAL	MANUFACTURER	ITEM #	DESCRIPTION	COLOR	NOTES
ASPH-1		OWENS CORNING	-	ASPHALT ROOFING SHINGLES	DRIFTWOOD	
CONC-1	CONCRETE	-	-	BOARD FORM CONCRETE WALL	STANDARD MIX	USE ROUGH SAWN BOARDS IN FORM LINERS. GAP BOARDS BY 3/16"
EXTR-1	CEMENT STUCCO FINISH	SOURCING BY CONTRACTOR	-		SANDY TAN	PROVIDE 4'-0" x 4'-0" SAMPLE FOR APPROVAL.
EXTR-2	VERTICAL WOOD SIDING	SOURCING BY CONTRACTOR	-	1 x 6 VERTICAL CEDAR PLANKS	UNFINISHED	ALLOW TO 'GRAY OUT'
MTL-1	-	-	-	PRE-FINISHED BREAK METAL	MATCH PA-1	PROVIDE SAMPLES FOR ARCHITECT'S APPROVAL.
MTL-2	PERFORATED METAL PANEL	MCNICHOLS	-	ROUND, GALVANIZED STEEL, 20 GAUGE, 1'8" ROUND ON 3/16" STAGGERED CENTERS, 40% OPEN AREA	PA-4	-
PA-3	PAINT	SHERWIN WILLIAMS	SATIN FINISH	OIL BASED EXTERIOR PAINT	MATCH WINDOW FRAME COLOR	
STN-1	STAIN	-	-	-	-	COLOR TO MATCH EXISTING WOOD DOOR STAIN. PROVIDE SAMPLE FOR ARCHITECT'S APPROVAL.

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ELEVATIONS

A200

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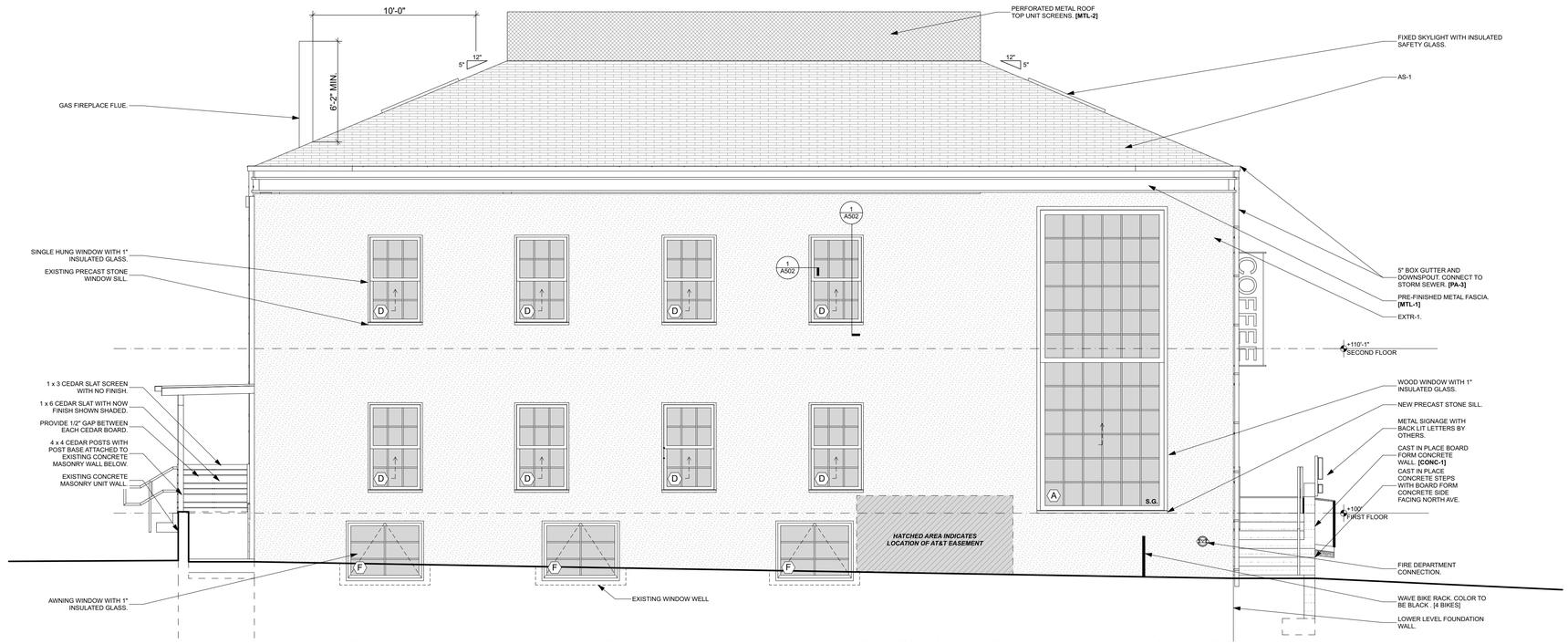
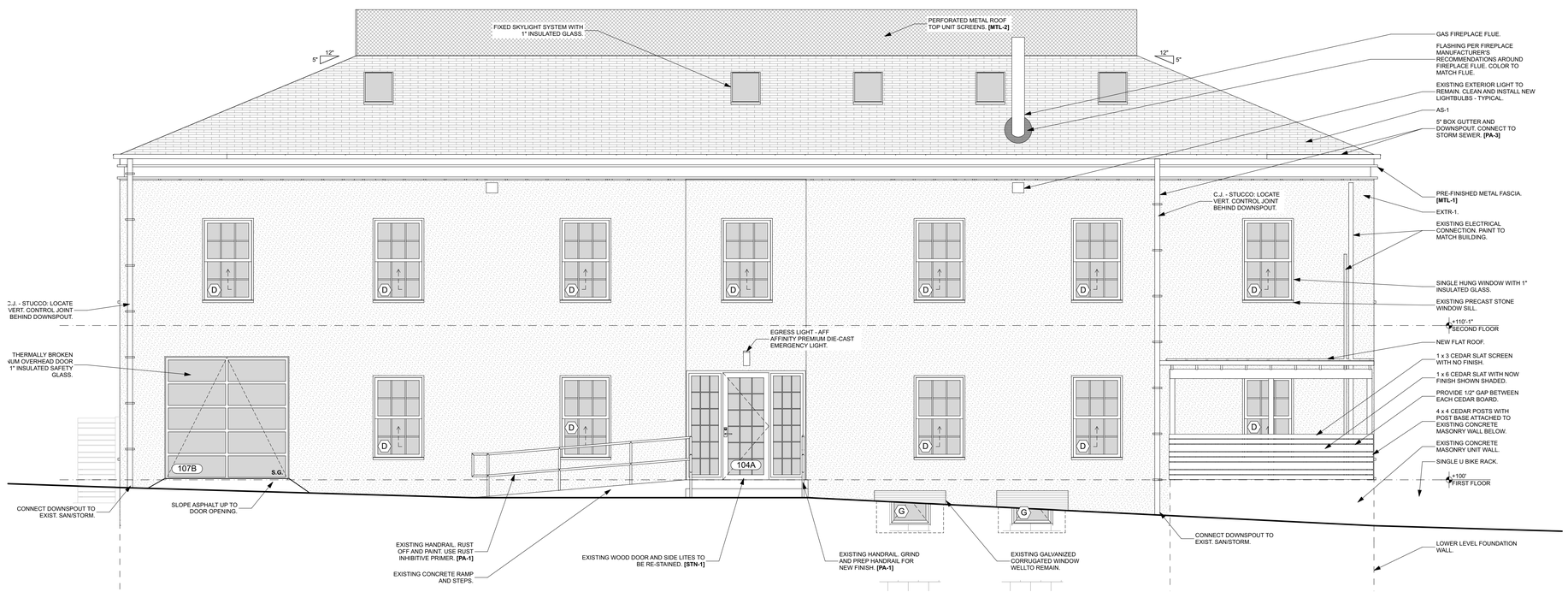


1 A201 WEST ELEVATION
SCALE: 1/4" = 1'-0"



2 A201 NORTH ELEVATION
SCALE: 1/4" = 1'-0"

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ELEVATIONS

A201

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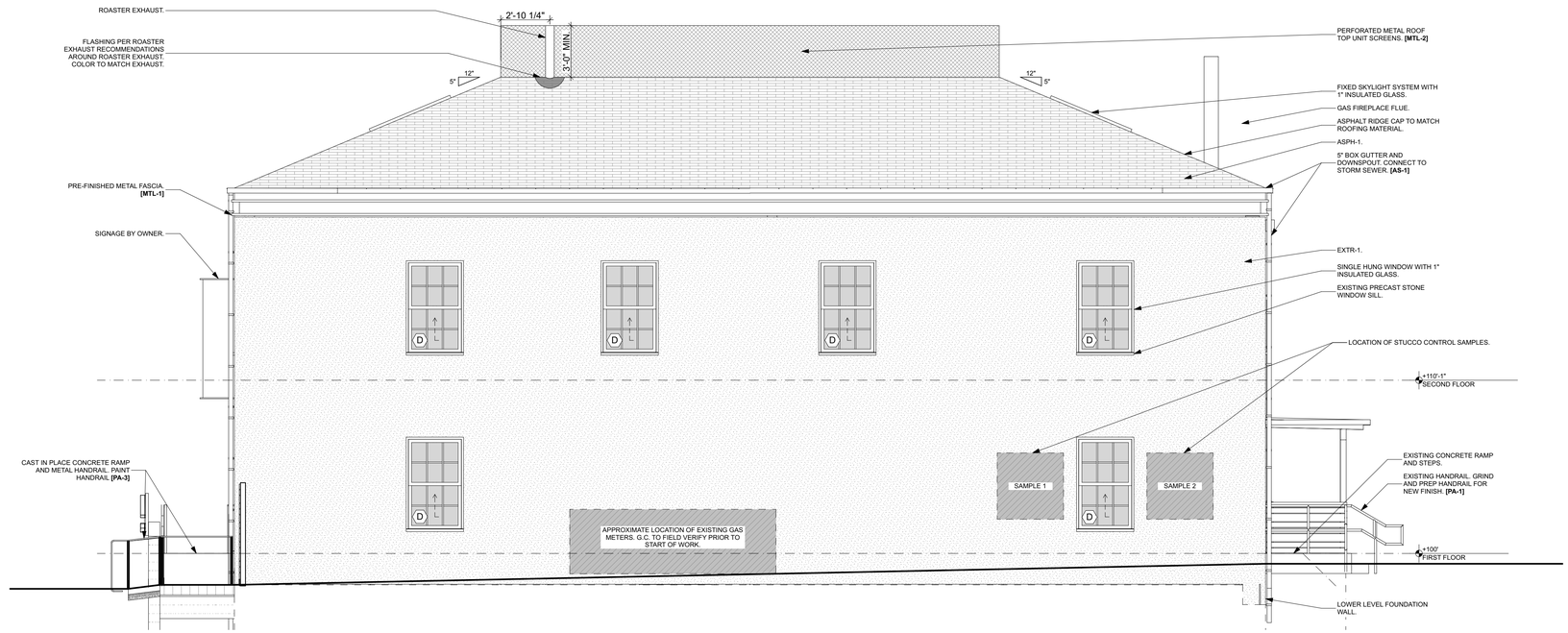

1 A202 EAST ELEVATION
SCALE: 1/4" = 1'-0"

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ELEVATIONS

A202

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