



REPLACE EXISTING GARAGE DOOR WITH STOREFRONT DOORS



SOUTHEAST CORNER



NORTHEAST CORNER



FRONT FACE - NORTH AVE



NORTHWEST CORNER

REPLACE SIGNAGE

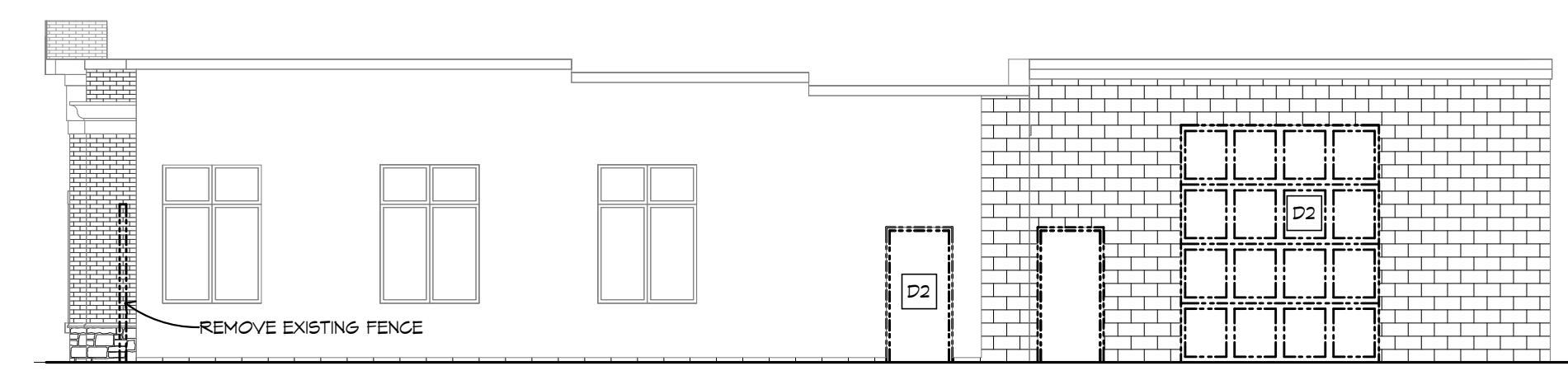
REPLACE EXISTING GARAGE DOOR WITH STOREFRONT DOORS

REMOVE SIGNAGE THAT NO LONGER APPLIES

ALL EXISTING SITE LIGHTING TO REMAIN

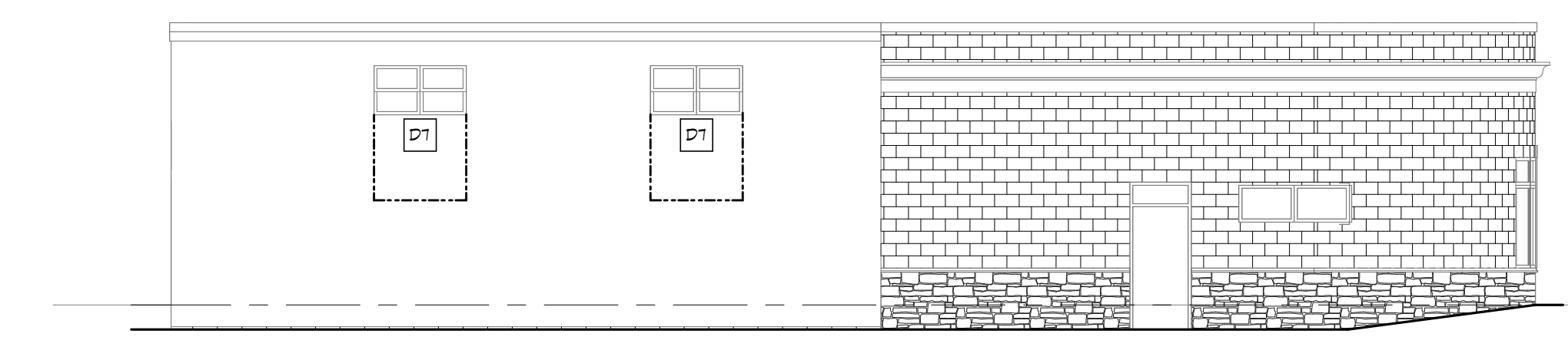
REMOVE EXISTING FENCE

REPLACE EXISTING DOOR WITH STOREFRONT DOOR



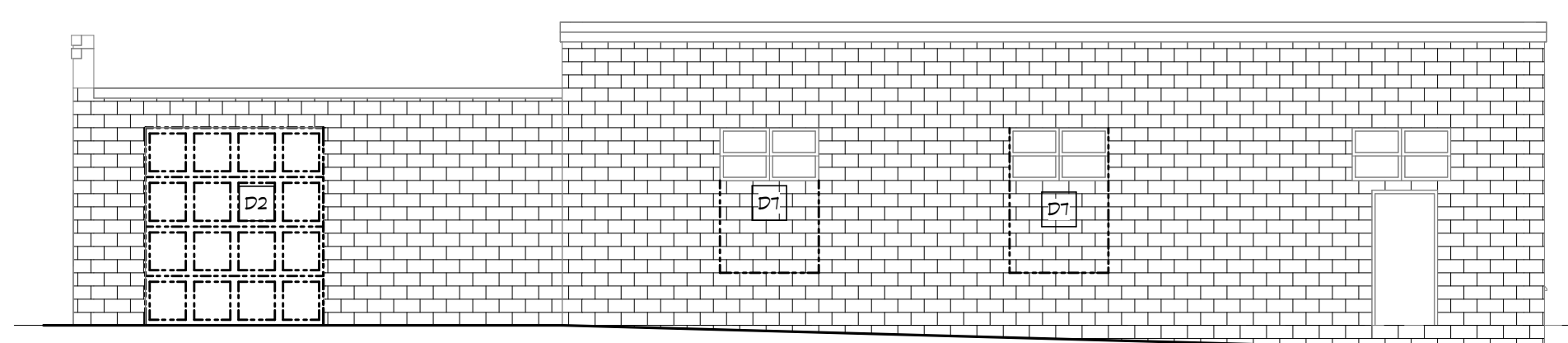
WEST ELEVATION

6
A/100



EAST ELEVATION

4
A/100



SOUTH ELEVATION

5
A/100



NORTH ELEVATION

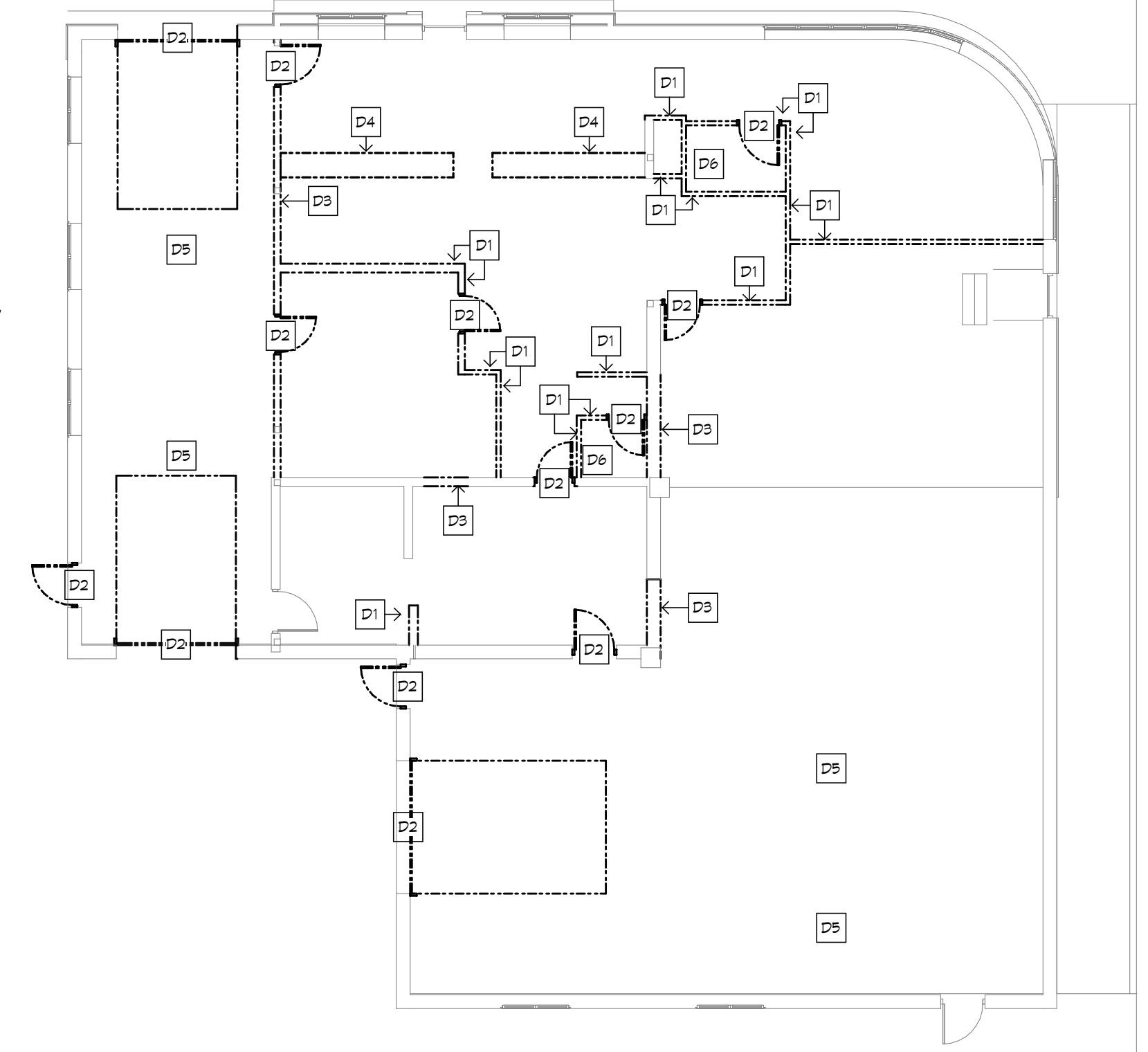
3
A/100

DEMOLITION - GENERAL NOTES:

- A. CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS AND CONDITIONS AT JOB SITE. EXISTING DRAWINGS REPRESENTED THE INFORMATION AVAILABLE AT THE TIME OF DRAWING PREPARATION, HOWEVER THE EXISTING DRAWINGS MAY NOT REPRESENT ALL CURRENT CONDITIONS. BRING ALL CONFLICTS TO THE ATTENTION OF THE GENERAL CONTRACTOR.
 - B. ALL EXISTING STRUCTURAL COMPONENTS TO REMAIN.
 - C. REMOVE ALL EXISTING WALL COVERINGS AND MASTIC, WALL BASE, TRIM, WALL BUMPERS, CORNER GUARDS, ETC.; PATCH, REPAIR AND PREPARE SUBSTRATE AS REQUIRED TO RECEIVE NEW FINISHES AS SCHEDULED.
 - D. EXISTING WALLS, DOORS, FRAMES, ETC. THAT ARE SCHEDULED TO BE REMOVED ARE DASHED LINE TYPES (SEE BELOW). SEE DEMOLITION PLANS KEY NOTES FOR SPECIFIC INSTRUCTIONS.
 - E. EXISTING WALLS, DOORS, FRAMES ETC. THAT ARE SCHEDULED TO REMAIN ARE SHOWN IN A LIGHT LINE WEIGHT AND ARE TO BE PROTECTED FROM DAMAGE DURING DEMOLITION AND CONSTRUCTION. PATCH, REPAIR AND PREPARE SUBSTRATE AS REQUIRED TO RECEIVE NEW FINISHES AS SCHEDULED.
 - F. ANY REQUIRED DEMOLITION OF PLUMBING, HVAC, AND ELECTRICAL EQUIPMENT / MATERIALS SHALL BE COORDINATED WORK WITH ASSOCIATED CONTRACTORS.
 - G. ALL DEMOLITION TO BE PATCHED AND REPAIRED TO MATCH EXISTING OR TO ACCOMMODATE NEW CONSTRUCTION.
- INDICATES EXISTING BUILDING COMPONENT TO REMAIN
 - - - - - INDICATES EXISTING BUILDING COMPONENT TO BE REMOVED

DEMOLITION PLANS KEY NOTES

- D1 REMOVE EXISTING NON-BEARING WALL ASSEMBLY IN ITS ENTIRETY UP TO CEILING OR ROOF FRAMING, AS APPLICABLE.
- D2 REMOVE EXISTING DOOR AND FRAME ASSEMBLY.
- D3 SANGUIT AND REMOVE NON-LOAD BEARING PORTION OF BLOCK WALL.
- D4 REMOVE EXISTING COUNTER, MILLWORK, AND RELATED EQUIPMENT.
- D5 REMOVE EXISTING HYDRAULIC LIFT IN ITS ENTIRETY, PREPARE FLOOR FOR NEW SELF-LEVELING GYPCRETE.
- D6 REMOVE EXISTING BATHROOM FIXTURES, CAP ALL PIPES.
- D7 SANGUIT AND REMOVE IDENTIFIED SECTION OF EXISTING EXTERIOR WALL, PREPARE OPENING FOR NEW LINTEL TO MATCH EXISTING AND SALVAGED WINDOW BELOW.
- D8 SALVAGE EXISTING WINDOW TO BE REINSTALLED IN NEW OPENING ABOVE.



GROUND FLOOR DEMO PLAN

1" = 10'-0"

CHANGE LOG

REV	DATE	DESCRIPTION
1	11-19-25	SELECTIVE DEMO REVEALED A WALL TO BE BEARING, PLAN REVISED TO MAINTAIN THE WALL, ADDED EQUIPMENT SCHEDULE, DOOR SCHEDULE AND DETAILS, AND WALL DETAILS.
2	1-12-26	REVISED THE DRYER COUNTS AND SIZES, ADJUSTING WALL LOCATIONS AND LOWER SIZES AS REQUIRED.
3	3-3-26	REPLACED NEW STOREFRONT DOORS IN EXISTING DOOR OPENINGS WITH FIXED STOREFRONT. MILLIONS TO MATCH ADJACENT STOREFRONT.
4	3-17-26	ADDED 40' CEDAR SCREENING FENCE, PAINTED SW IRON ORE, ALONG DRYER VENTING TO MEET ORDINANCE 24.12.040(2)

FLASH LAUNDROMAT

7105 W North Ave, Wauwatosa

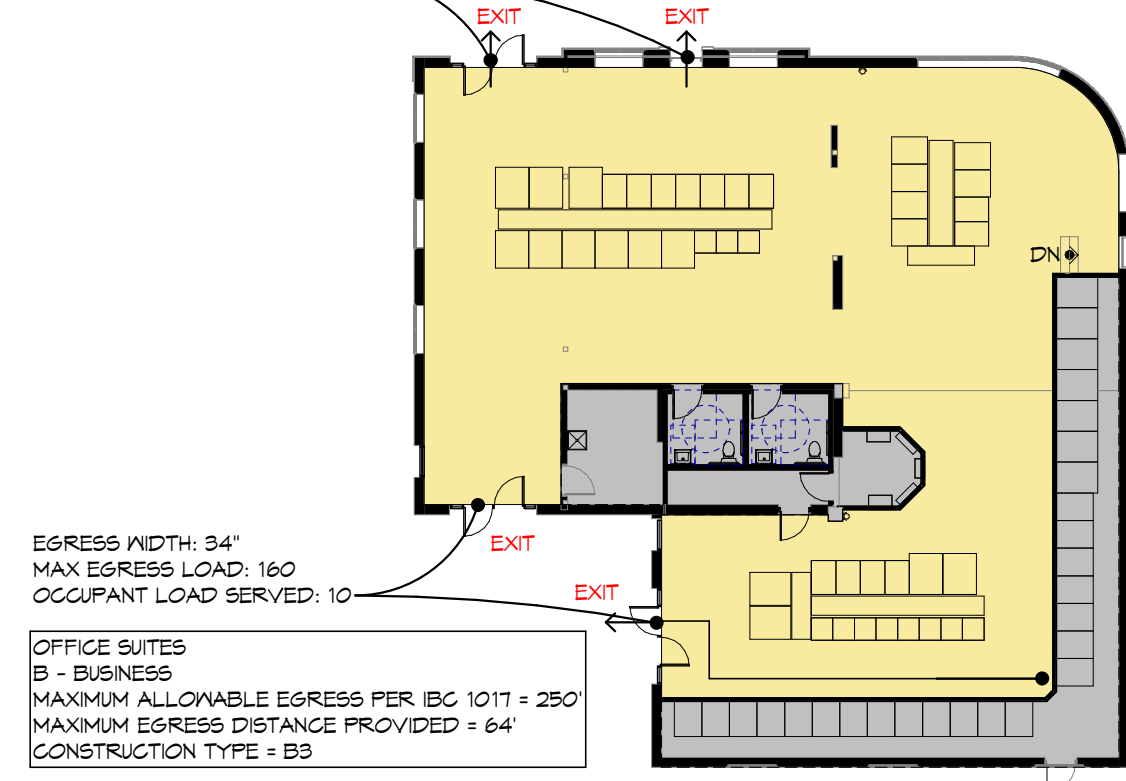
EXISTING CONDITIONS

3-17-26

PROJECT STATISTICS

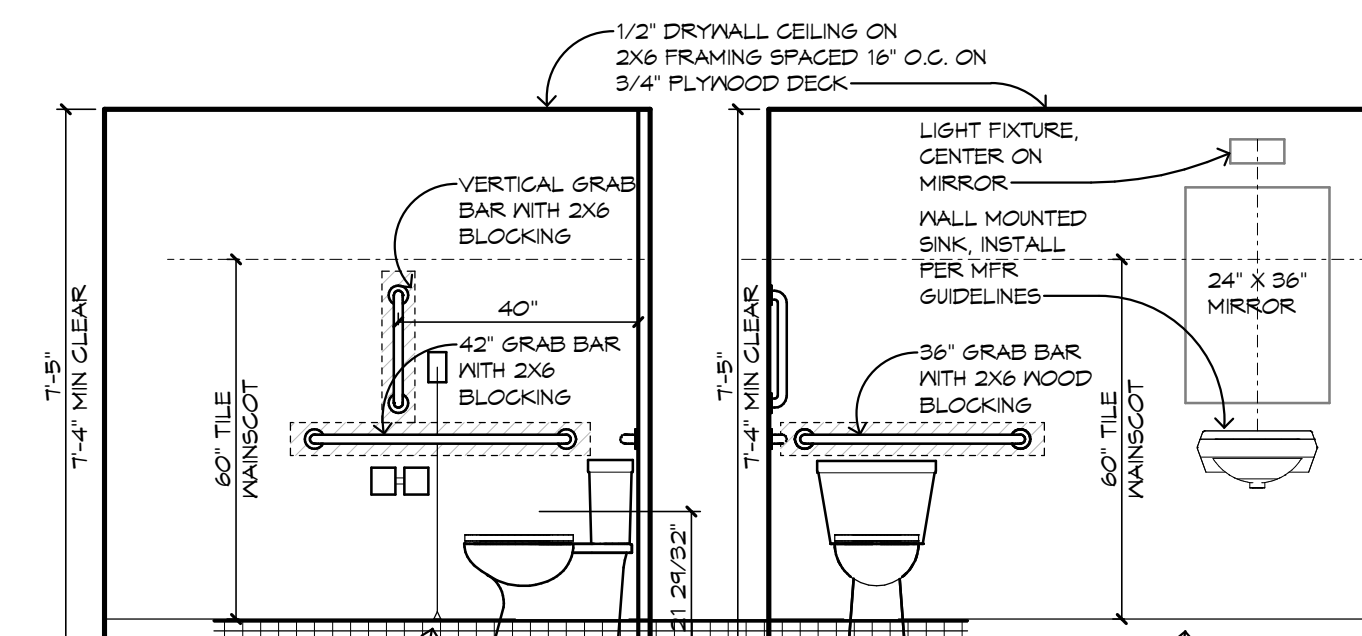
OCCUPANCY	B - BUSINESS (LAUNDRY)			
SPRINKLERS	NONE			
GROUND FLOOR AREA	4,511 SQ FT			
RENOVATION VOLUME	46,544 CU FT (2,542 SF x 9' x 1,936 SF x 12')			
APPLICABLE CODES	WISCONSIN EXISTING BUILDING CODE - 2015 EBC - IBC - IBC SPS 366 WISCONSIN COMMERCIAL BUILDING CODE - 2015 IBC - IBC SPS 360-366 ACCESSIBILITY CODE - ICC/ANSI 111-2009 ENERGY - IECC 2009 - WISCONSIN ADOPTED IECC 2015 IV AMENDMENTS PLUMBING CODE - WISCONSIN SPS 381-387 MECHANICAL CODE - 2015 IMC - IBC SPS 364-365 ELECTRICAL CODE - NEC 2011 - SPS 316			
CONSTRUCTION TYPE	SB	FIRE RATING		
	CORRIDOR FIRE-RESISTANCE RATING	N/A		
	PRIMARY STRUCTURAL FRAME	0 HOUR		
	BEARING WALLS - EXTERIOR	2 HOUR		
	BEARING WALLS - INTERIOR	0 HOUR		
	NON-BEARING WALLS - EXTERIOR	0 HOUR		
	NON-BEARING WALLS - INTERIOR	0 HOUR		
	FLOOR CONSTRUCTION	0 HOUR		
	ROOF CONSTRUCTION	0 HOUR		
OCCUPANT LOADS	FUNCTION	LOAD FACTOR	AREA	
	BUSINESS	100 GROSS	3,451 SQ FT	
	ACCESSORY	300 GROSS	1,124 SQ FT	
			OCC LOAD	
			35	
			4	
PLUMBING FIXTURE CALCULATIONS (2002.1)	OCCUPANCY LOAD	WATER CLOSETS	LAVATORIES	SERVICE SINK
	BUSINESS	40	1.03	1
	MINIMUM REQUIRED	2	2	1
	NUMBER PROVIDED	2	2	1

EGRESS WIDTH: 34"
 MAX EGRESS LOAD: 160
 OCCUPANT LOAD SERVED: 10

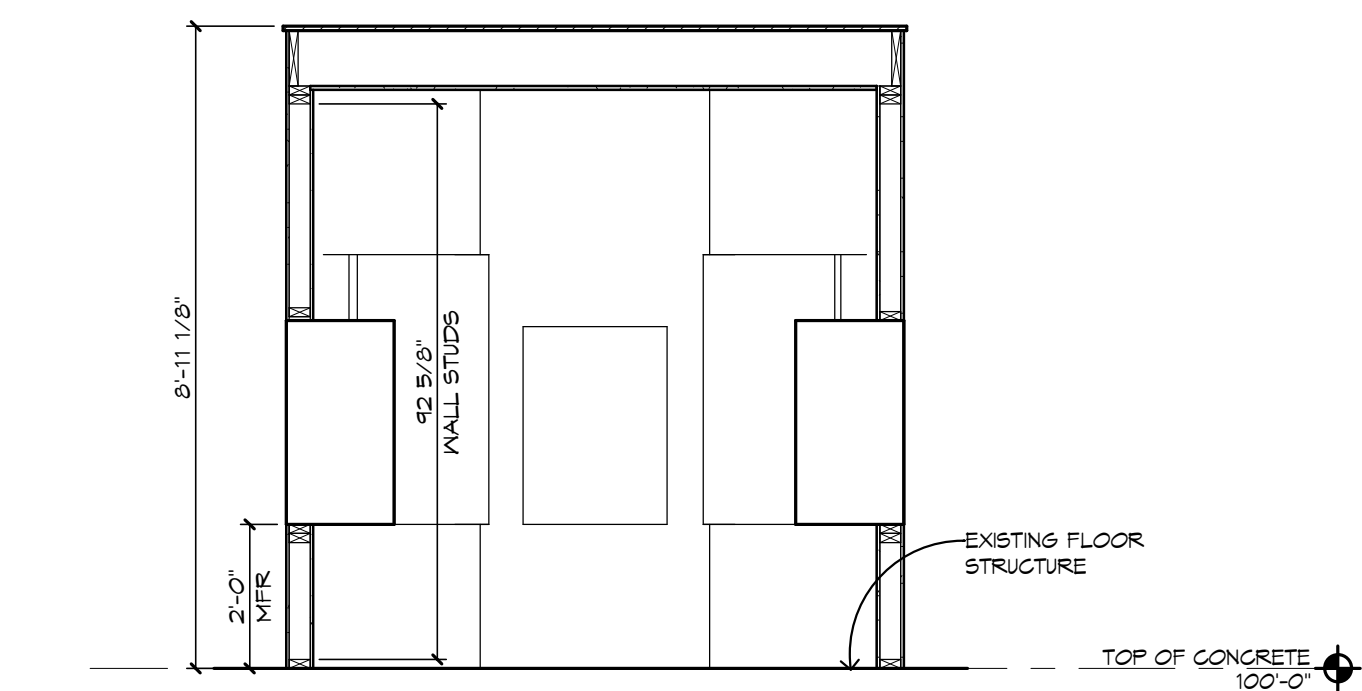


GROUND FLOOR LIFE SAFETY PLAN

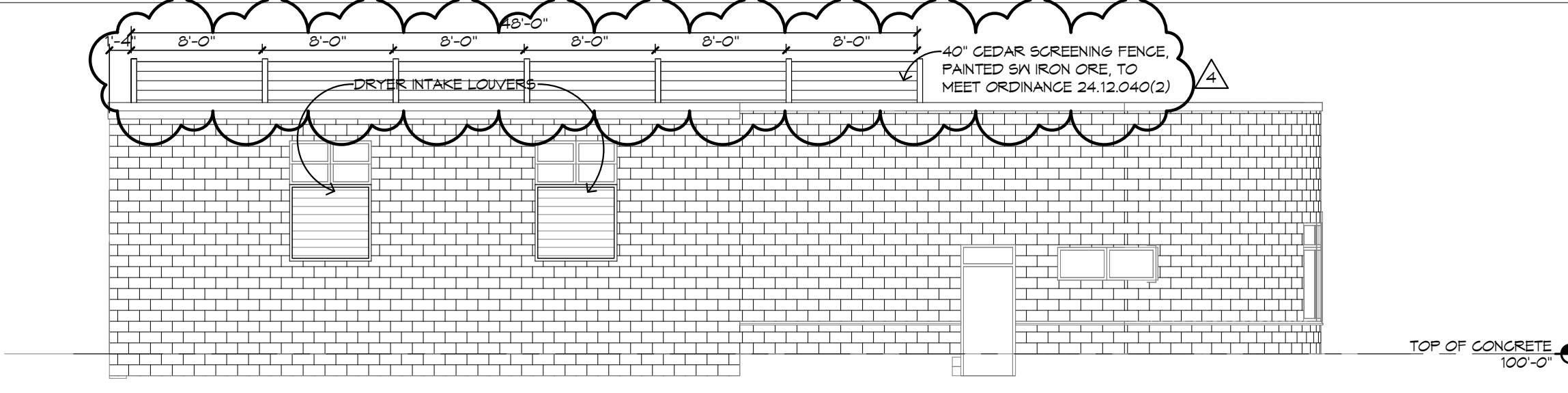
1" = 20'-0"



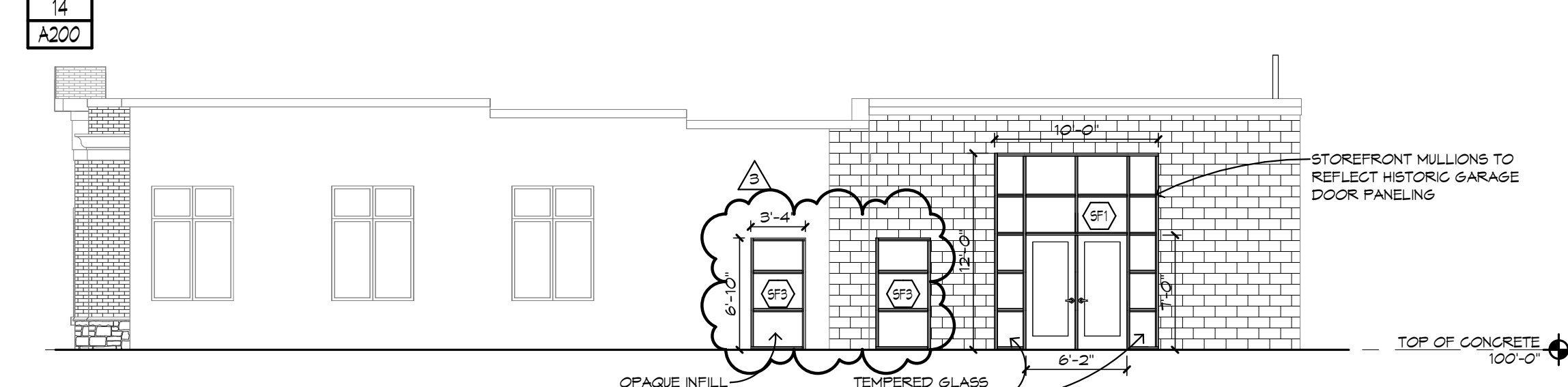
TOILET
 8 A200
 1 A200



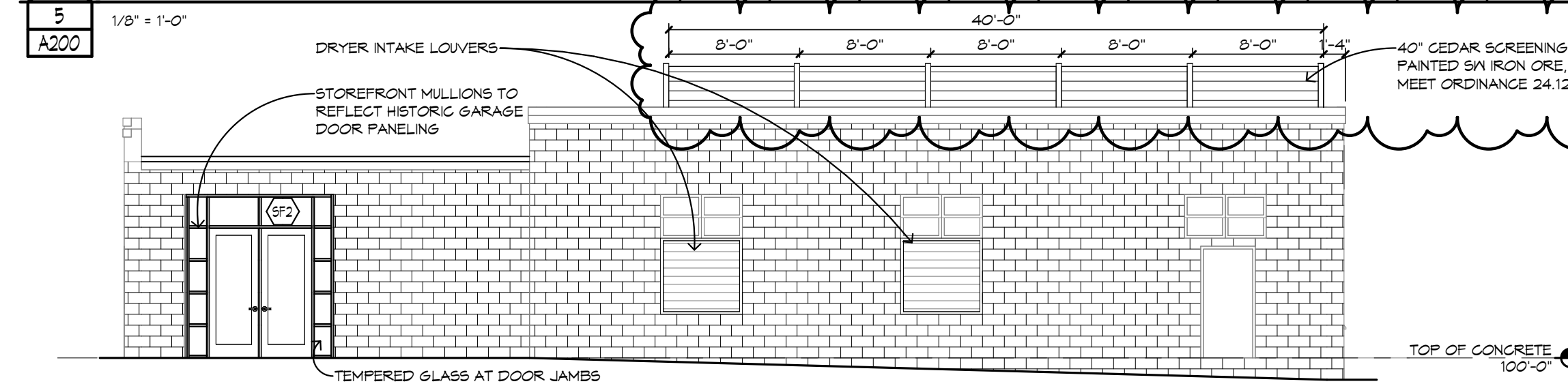
SERVICE ROOM SECTION
 6 A200
 3/8" = 1'-0"



EAST ELEVATION



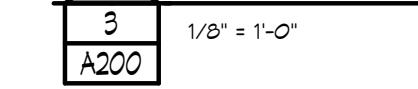
WEST ELEVATION



SOUTH ELEVATION



NORTH ELEVATION



NEW WORK GENERAL NOTES:

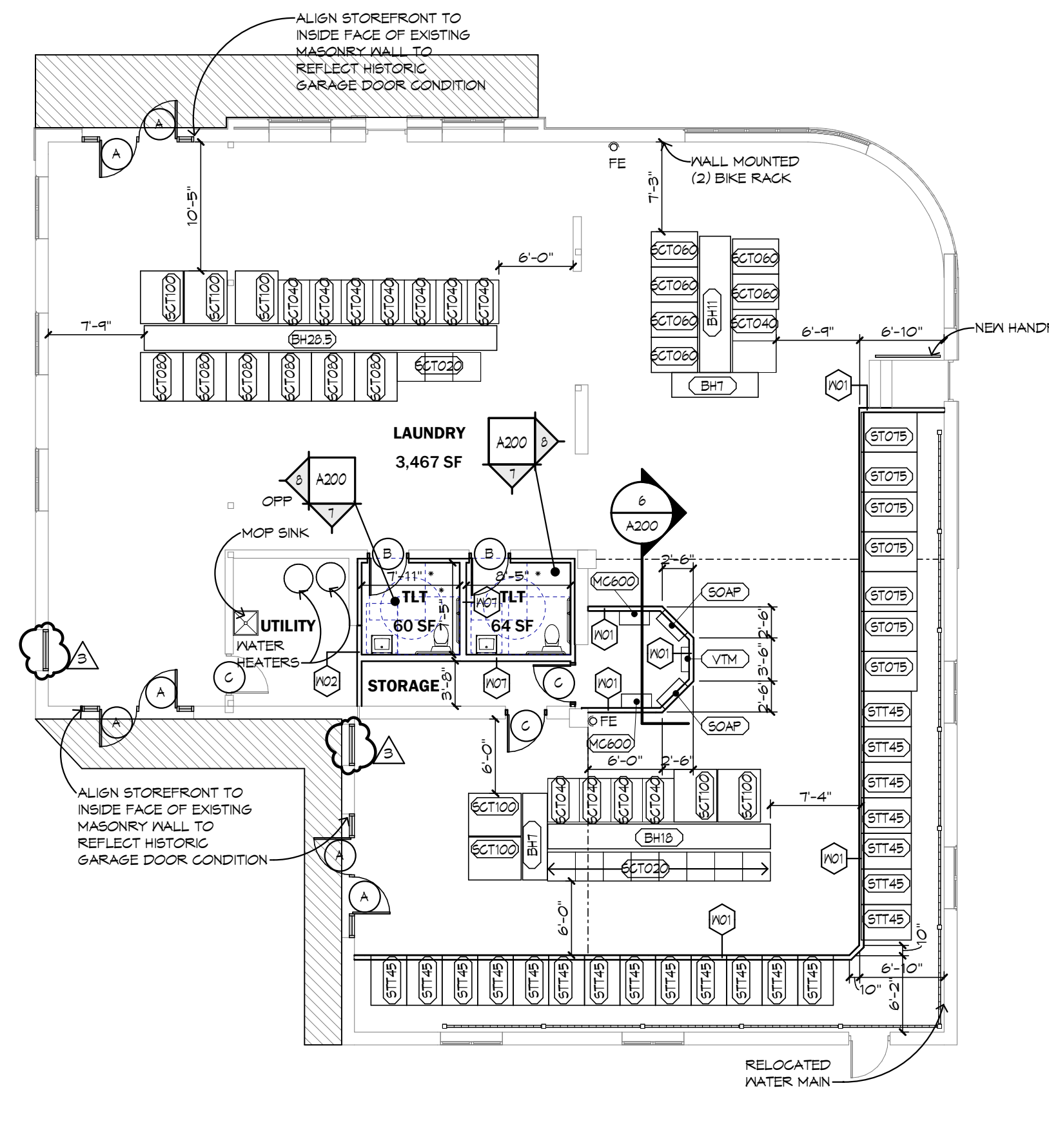
- CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS AND CONDITIONS AT JOB SITE. DRAWINGS REPRESENTED THE INFORMATION AVAILABLE AT THE TIME OF DRAWING PREPARATION. HOWEVER THE EXISTING DRAWINGS MAY NOT REPRESENT ALL CURRENT CONDITIONS. BRING ALL CONFLICTS TO THE ATTENTION OF THE GENERAL CONTRACTOR.
- DIMENSIONS AT EXISTING INTERIOR AND EXTERIOR WALLS ARE TO FINISHED FACE OF EXISTING DRYWALL OR MASONRY.
- ALL OTHER DIMENSIONS ARE TO FACE OF STUD.
- ALL DEMOLITION TO BE PATCHED AND REPAIRED TO MATCH EXISTING OR TO ACCOMMODATE NEW CONSTRUCTION. PREPARE SUBSTRATES AS REQUIRED FOR NEW FINISHES.
- FILL DEPRESSIONS WHERE TILE, GROUT, MORTAR BEDS, ETC. WERE REMOVED WITH A CONCRETE THINSET (USE BONDING AGENTS) COMPATIBLE WITH THE FINISHED FLOORING.
- COORDINATE STUD LOCATION WITH ELECTRICAL AND MECHANICAL CONTRACTORS TO ALLOW FOR ELECTRICAL PANELS, VENTS, ETC.
- VERIFY WALL CONSTRUCTION WITH WALL TYPE.
- FIELD VERIFY EXISTING WALL CONSTRUCTION. PROVIDE 2X WOOD BLOCKING AS REQUIRED WHERE NEW CONSTRUCTION, ETC. IS SHOWN ATTACHING TO EXISTING WALLS.

WALL TYPES

- FE FIRE EXTINGUISHER WITH SURFACE MOUNTED BRACKET.
- INDICATES EXISTING BUILDING COMPONENT TO REMAIN
- WALL TYPE OVERVIEW:
 - M01 - 2X4 STUD WALL
 - M02 - 2X4 STUD WALL WITH INSULATION
 - M07 - 2X6 WALL WITH INSULATION
 - M11 - 2X4 FIBERGLASS WALL

INTERIOR ELEVATION NOTES

- MOUNT WASHROOM ACCESSORIES AT HEIGHTS AS RECOMMENDED BY MANUFACTURER FOR ADA COMPLIANCE.
- FIELD VERIFY ALL TOPS, MIRRORS AND CABINETRY DIMENSIONS.
- PROVIDE 2 X 6 WOOD BLOCKING FOR ALL GRAB BARS. PROVIDE 2 X WOOD BLOCKING AS REQUIRED FOR MIRRORS, ETC.



NEW GROUND FLOOR PLAN

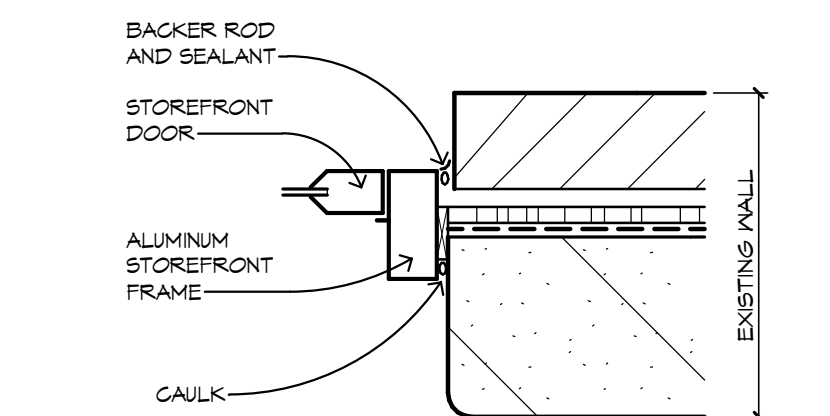
1" = 10'-0"

EQUIPMENT SCHEDULE

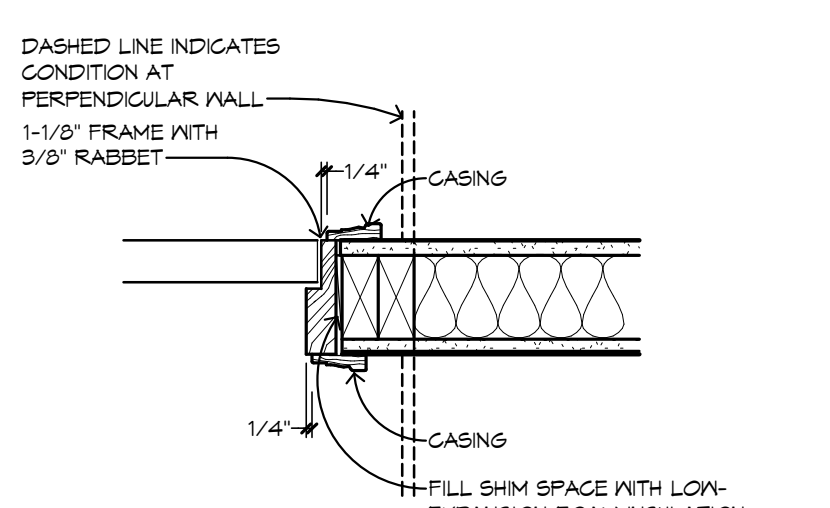
SEE FLOOR PLANS			
TAG	CATEGORY	MODEL	QTY
SCT100	WASHER	SPEED QUEEN SCT100 HARDMOUNT 100#	7
SCT080	WASHER	SPEED QUEEN SCT080 HARDMOUNT 80#	6
SCT060	WASHER	SPEED QUEEN SCT060 HARDMOUNT 60#	6
SCT040	WASHER	SPEED QUEEN SCT040 HARDMOUNT 40#	12
SCT020	WASHER	SPEED QUEEN SCT020 SOFTMOUNT 20#	11
ST075	DRYER	SPEED QUEEN ST075 TUMBLE DRYER 75#	7
STT45	DRYER	SPEED QUEEN STT45 TUMBLE DRYER 45#	20
SOAP	DISPENSER	VEND-RITE VM360NB SOAP VENDER	2
MC600	DISPENSER	STANDARD CHANGE MAKER MC600RL-DA	2
VTM	PAY CENTER	SPEED QUEEN PAYMENT CENTER AC20-0070	1
BH1	BULKHEAD	PREFABRICATED BULKHEAD, 1-0 X 2-0	2
BH11	BULKHEAD	PREFABRICATED BULKHEAD, 11-0 X 2-0	1
BH18	BULKHEAD	PREFABRICATED BULKHEAD, 18-0 X 2-0	1
BH28.5	BULKHEAD	PREFABRICATED BULKHEAD, 28-6 X 2-6	1

DOOR SCHEDULE

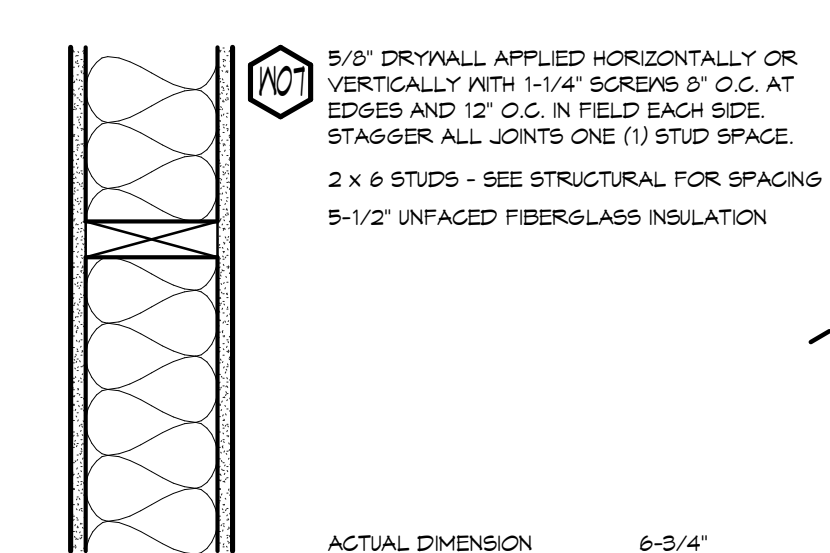
SEE FLOOR PLANS					
	SIZE (w x h)	DOOR	FRAME	LOCK	DETAIL
A	VARIES, SEE ELEVATIONS	FULL LITE STOREFRONT, ZERO THRESHOLD	FACTORY	ELECTRIC	11/A20
B	3-0 x 6-8	FLUSH PANEL SOLID CORE	WOOD	PRIVACY	10/A20
C	3-0 x 6-8	FLUSH PANEL SOLID CORE	WOOD	STOREROOM	10/A20
D	2-6 x 6-8	FLUSH PANEL SOLID CORE	WOOD	PASSAGE	10/A20
E	2-0 x 6-8	FLUSH PANEL SOLID CORE	WOOD	STOREROOM	10/A20



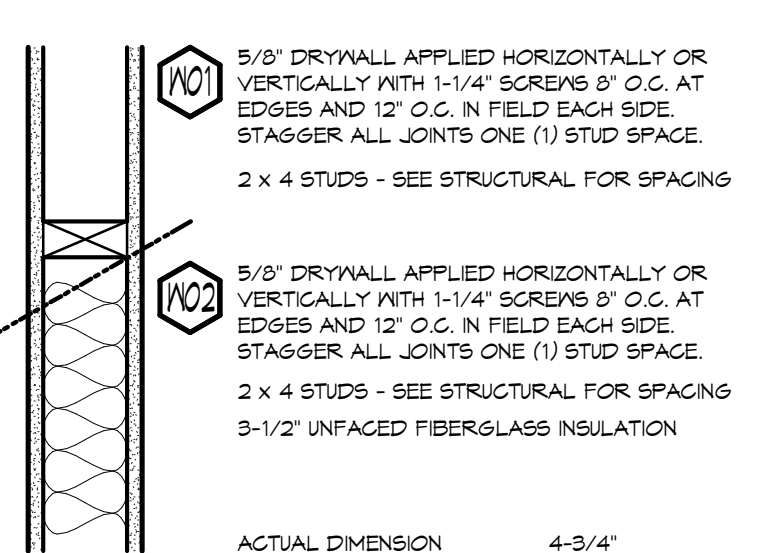
11 JAMB
 A200 HEAD SIMILAR



10 JAMB
 A200 HEAD SIMILAR



M01 5/8" DRYWALL APPLIED HORIZONTALLY OR VERTICALLY WITH 1-1/4" SCREWS 8" O.C. AT EDGES AND 12" O.C. IN FIELD EACH SIDE. STAGGER ALL JOINTS ONE (1) STUD SPACE. 2 X 6 STUDS - SEE STRUCTURAL FOR SPACING. 5-1/2" UNFACED FIBERGLASS INSULATION.



M02 5/8" DRYWALL APPLIED HORIZONTALLY OR VERTICALLY WITH 1-1/4" SCREWS 8" O.C. AT EDGES AND 12" O.C. IN FIELD EACH SIDE. STAGGER ALL JOINTS ONE (1) STUD SPACE. 2 X 4 STUDS - SEE STRUCTURAL FOR SPACING. 3-1/2" UNFACED FIBERGLASS INSULATION.

FLASH LAUNDROMAT

7105 W North Ave, Wauwatosa

- REVISION 1 (BEARING WALL): 11-19-25
- REVISION 2 (DRYER COUNT): 1/12/26
- REVISION 3 (STOREFRONT): 3/3/26
- REVISION 4 (SCREENING): 3/11/26

NEW CONSTRUCTION

3-17-26