



# Wauwatosa, WI

## Design Review Board

### Meeting Agenda - Final

7725 W. North Avenue  
Wauwatosa, WI 53213

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Thursday, April 4, 2024

7:00 PM

Committee Room 1

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#### Regular Meeting

#### CALL TO ORDER

#### ROLL CALL

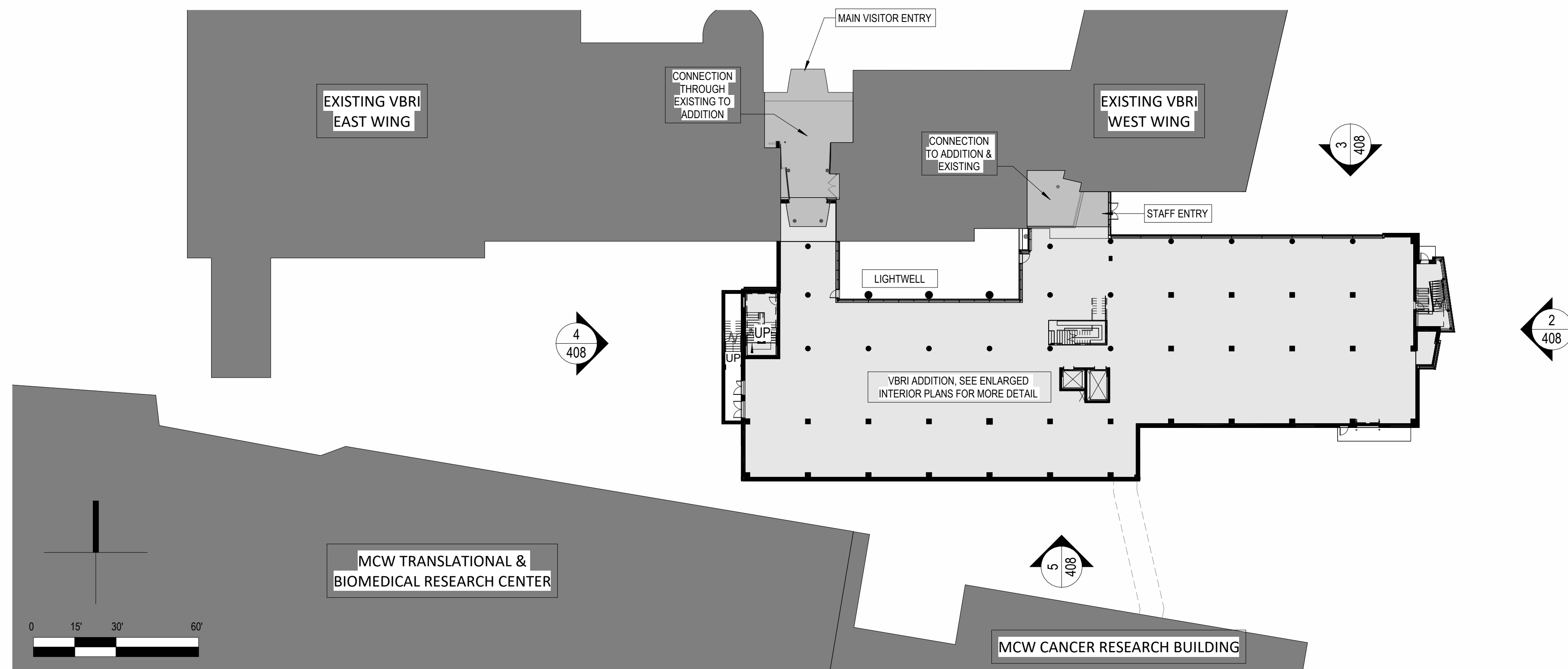
#### NEW BUSINESS

1. 8733 Watertown Plank Rd - Versiti Blood Center of Wisconsin - New Construction - Return to Board [24-0349](#)
2. 10300 Wisconsin Avenue - Moss Universal Park - Return to Board [24-0505](#)
3. Froedtert Parking 6, Electrical Equipment Building [24-0513](#)

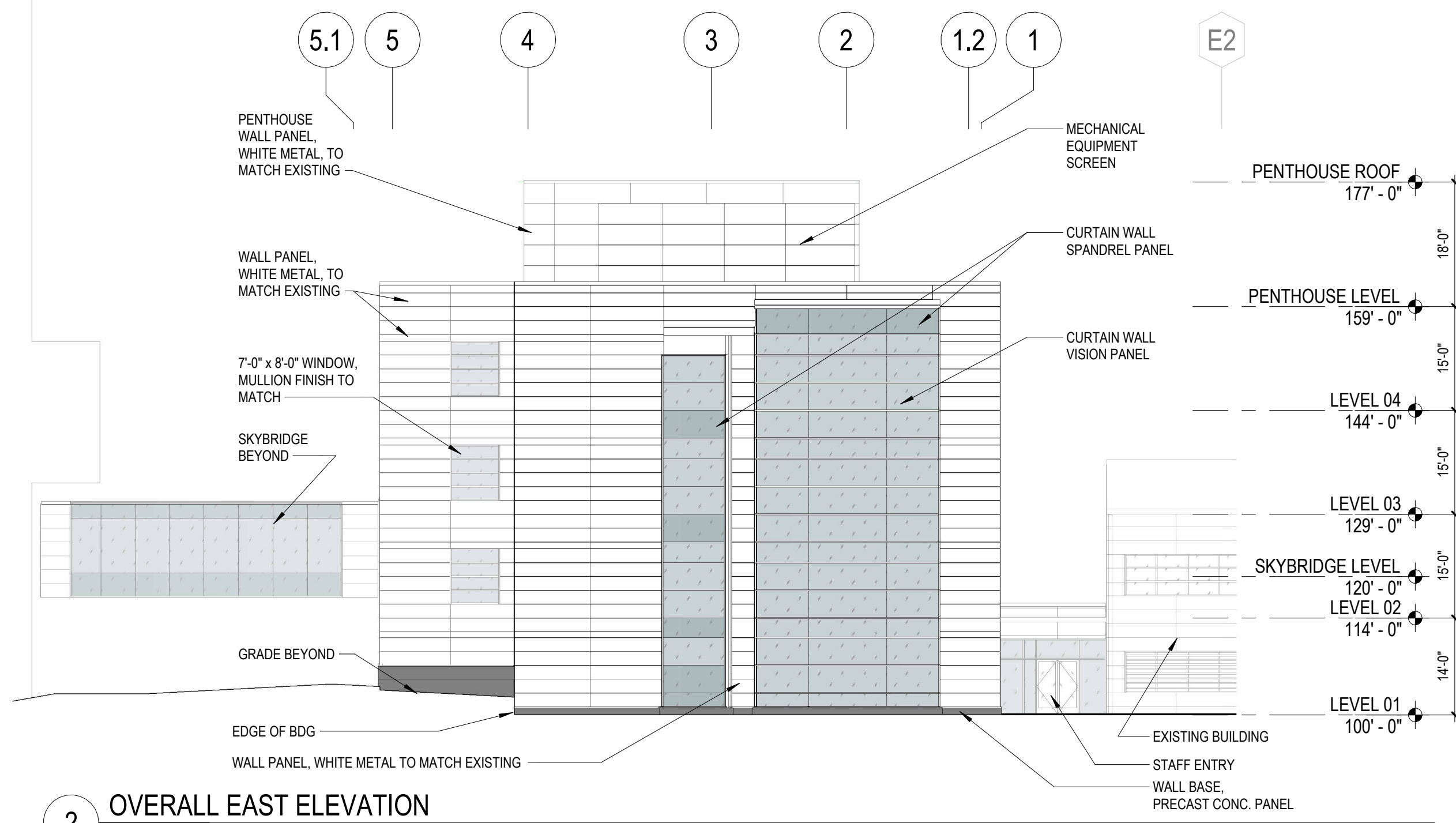
#### ADJOURNMENT

##### NOTICE TO PERSONS WITH A DISABILITY

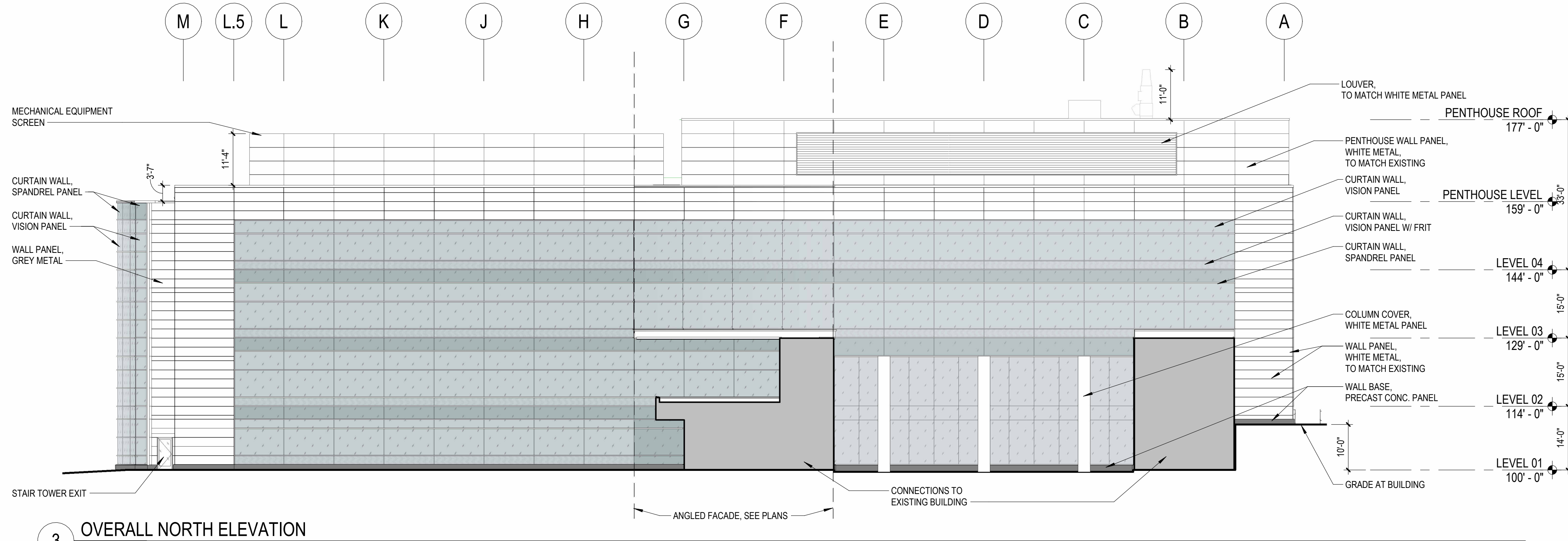
Persons with a disability who need assistance to participate in this meeting should call the City Clerk's office at (414) 479-8917 or send an email to [tclerk@wauwatosa.net](mailto:tclerk@wauwatosa.net), with as much advance notice as possible.



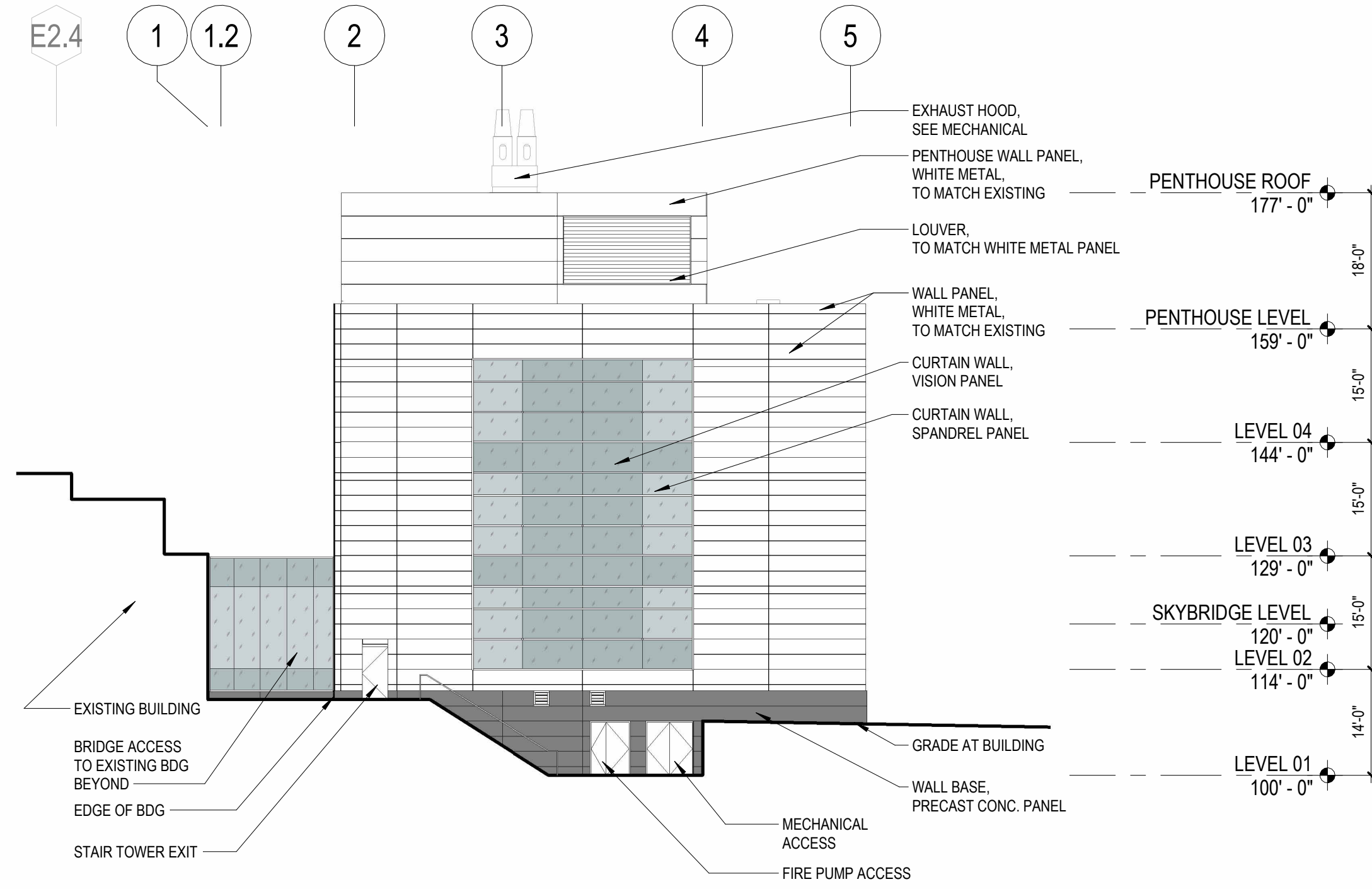
1 SITE PLAN  
1" = 30'-0"



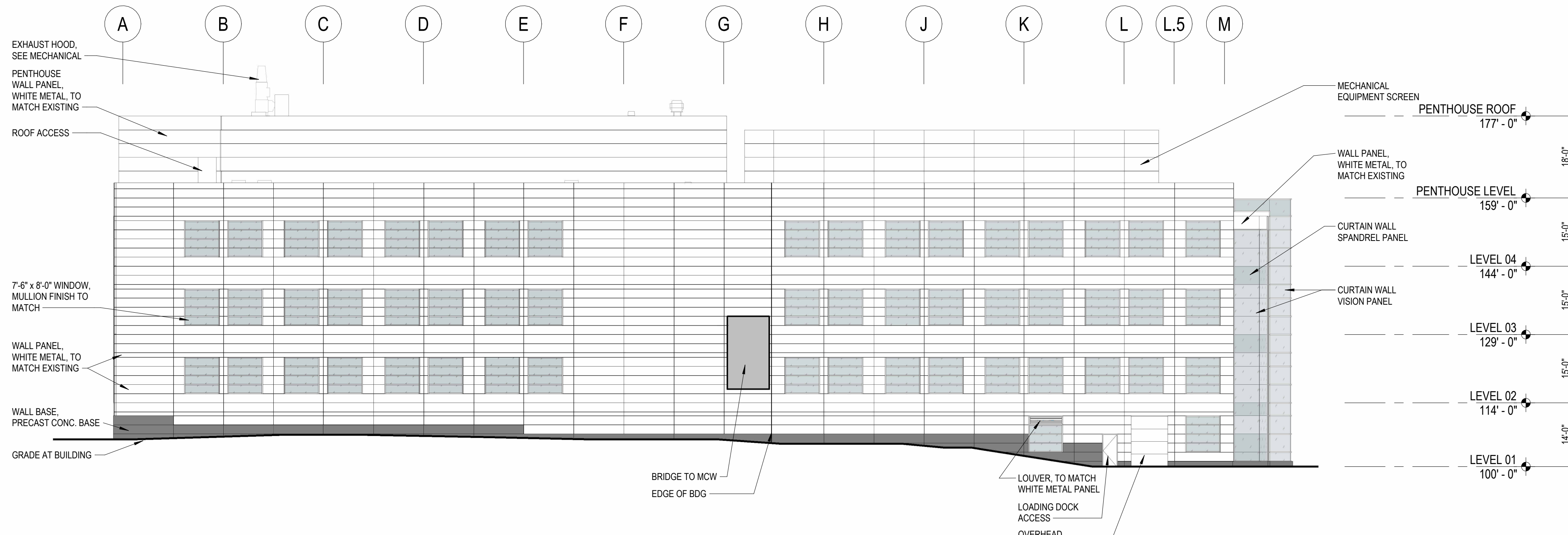
2 OVERALL EAST ELEVATION



3 OVERALL NORTH ELEVATION



4 OVERALL WEST ELEVATION



OVERALL SOUTH ELEVATION



HGA

VERSITI BLOOD RESEARCH INSTITUTE EXPANSION  
WAUWATOSA DRB RESUBMISSION

March 26, 2024

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| 10. | SITE AXONOMETRY †                 |     |                                 |

† REVISED CONTENT  
† † ADDED CONTENT

\* FULL SIZE SHEET PROVIDED



# PROJECT VISION

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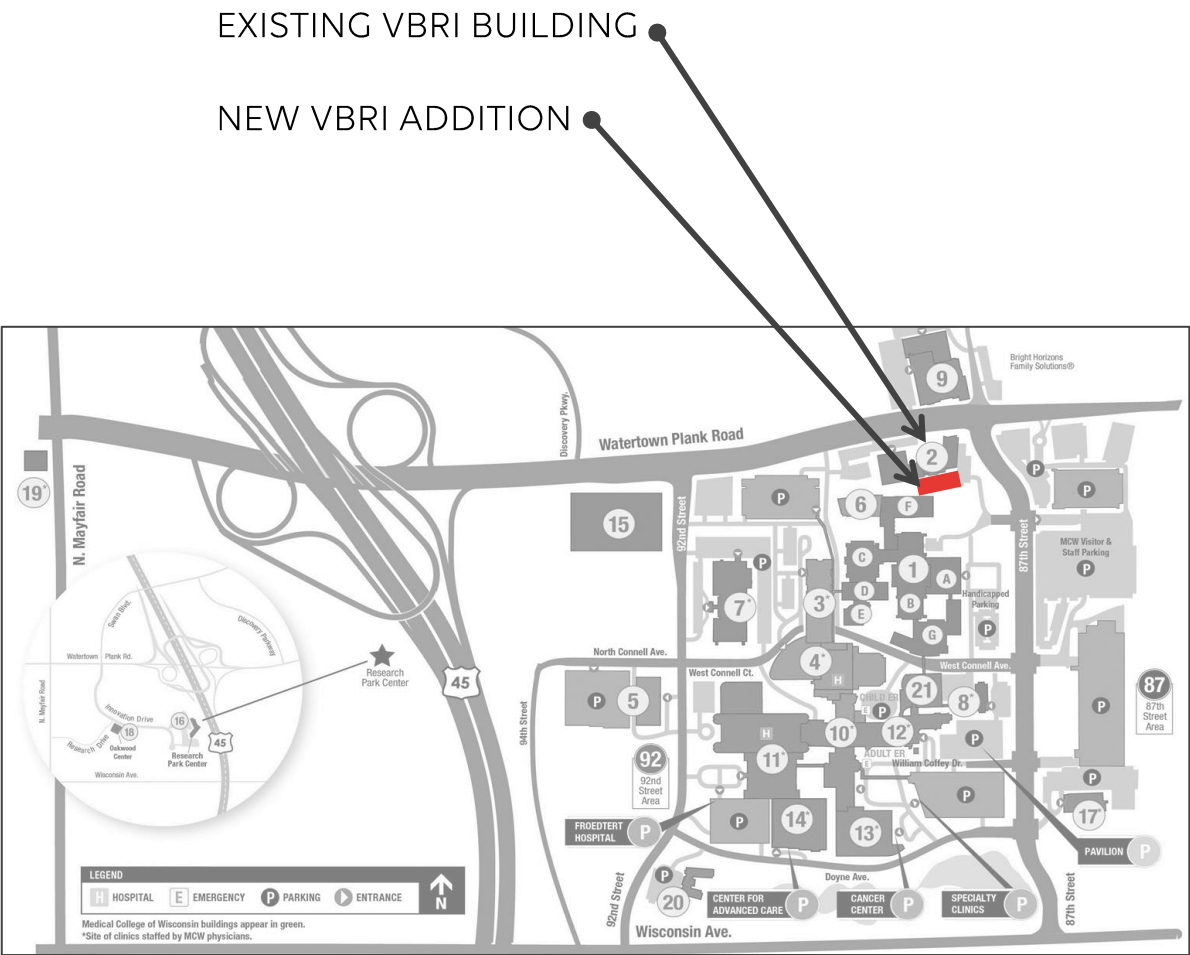
- The Versiti Blood Research Institute's (VBRI) work is dedicated to hematology in all its facets, spanning basic, translational and clinical research, all with one goal: to make people's lives better.
- The expansion of VBRI's research capacity through the new addition will promote **discovery of novel, more effective and less toxic therapies for a broad range of conditions** that affect millions, positively impacting the health of residents across the state, nation, and the international community.
- The project looks to expand their state-of-the-art facility to allow **more investigators opportunities to work together** in advancing treatments of blood-related disorders. The project physically **connects Versiti and Medical College of Wisconsin**, promoting collaboration and providing shared access to community events and laboratory resources.
- The project is anticipated to bring more than **100 new jobs** to the area.
- Versiti is part of a consortium of healthcare and research institutions located at the Milwaukee Regional Medical Campus which includes the Medical College of Wisconsin, Froedtert Hospital and Children's Hospital. Each institution strives for success and excellence towards the group's collective goals.

# DESCRIPTION

- The entire expansion houses roughly 81,000 square feet of gross area within 4 floors, mechanical penthouse, and bridge access to adjacent MCW buildings.
- The primary programs for the new addition consist of research labs, core labs, blood sample biorepository, workspace, food service and collaborative spaces.
- The building location affords quick access from existing labs to new research facilities and acts as a physical link between the Medical College of Wisconsin (MCW) future Cancer Research Building (CRB) and Versiti Blood Research Institute (VBRI).
- The expansion is pursuing Leadership in Energy and Environmental Design (LEED) Certification by the U.S. Green Building Council.



# SITE LOCATION AND CONTEXT





# SITE LOCATION AND CONTEXT





# PHOTOGRAPHS OF SITE



Looking Southwest towards site from Watertown Plank Road



Looking Southeast towards site from pedestrian bridge



Looking East from site towards 87<sup>th</sup> Street



Looking West towards site on 87<sup>th</sup> Street



# PHOTOGRAPHS OF EXISTING VBRI





# PHOTOGRAPHS OF EXISTING BUILDING – AFTER EXTERIOR PAINT IMPROVEMENTS





# PHOTOGRAPHS OF ADJACENT BUILDINGS



① Future MCW Cancer Research Building



② MCW Translational & Biomedical Research Center



③ Children's Research Institute



④ MCW Visitor & Staff Parking  
(Location of VBRI leased parking)



⑤ MCW Health Research Center



KEY PLAN



# SURVEY

## SURVEY NOTES

1. THE BASE SURVEY WAS PREPARED BY GRAEF IN 2023. COORDINATES ARE BASED ON THE WISCONSIN COUNTY COORDINATE SYSTEM (WCCS), MILWAUKEE COUNTY.
2. THE LOCATION OF ALL STRUCTURES, OBSTACLES, AND EXISTING FACILITIES SHALL NOT BE TAKEN AS CONCLUSIVE. IT SHALL BE ASSUMED THAT THE CONTRACTOR HAS VERIFIED SAID LOCATIONS AS A CONDITION OF THEIR BID AND THEREFORE THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DAMAGES RESULTING FROM THEIR ACTIVITIES.
3. UTILITY LINES ARE SHOWN FROM VISIBLE SURFACE EVIDENCE, MUNICIPAL PLANS AND MARKINGS PROVIDED BY DIGGERS HOTLINE, THE ONE-CALL UTILITY. WHILE THIS INFORMATION IS BELIEVED TO BE RELIABLE, IT'S ACCURACY AND COMPLETENESS CANNOT BE GUARANTEED NOR CERTIFIED TO.
4. MARKING SYSTEM (WISCONSIN STATUTE 182.0175), TICKET NUMBER 20230401990. NON-RESPONDERS:  
AT&T DISTRIBUTION  
EVERSTREAM  
FROEDTERT HEALTH, INC.  
MCI  
MEDICAL COLLEGE OF WISCONSIN  
MMSD  
MOBILITE, LLC  
MRMC  
TDS METROCOM  
TIME WARNER CABLE
5. CONTRACTOR SHALL VERIFY ALL EXISTING UTILITY LOCATIONS (VERTICALLY AND HORIZONTALLY) PRIOR TO CONSTRUCTION. ANY DISCREPANCIES SHALL BE DISCUSSED WITH THE DESIGN ENGINEER OF RECORD.
6. CONTRACTOR SHALL BE RESPONSIBLE FOR PRESERVING, MAINTAINING, AND REPLACING EXISTING BENCHMARKS. CONTRACTOR SHALL BE RESPONSIBLE FOR TRANSFERRING BENCHMARKS, CONTROL POINTS, LINES AND GRADES TO THE PROJECT SITE AS NECESSARY TO COMPLETE WORK.
7. BOUNDARY INFORMATION BASED ON LOT 1 OF CERTIFIED SURVEY MAP NUMBERED 9228.
8. ALL INFORMATION SHOWN BEYOND LOT 1 FOR REFERENCE PURPOSES ONLY.

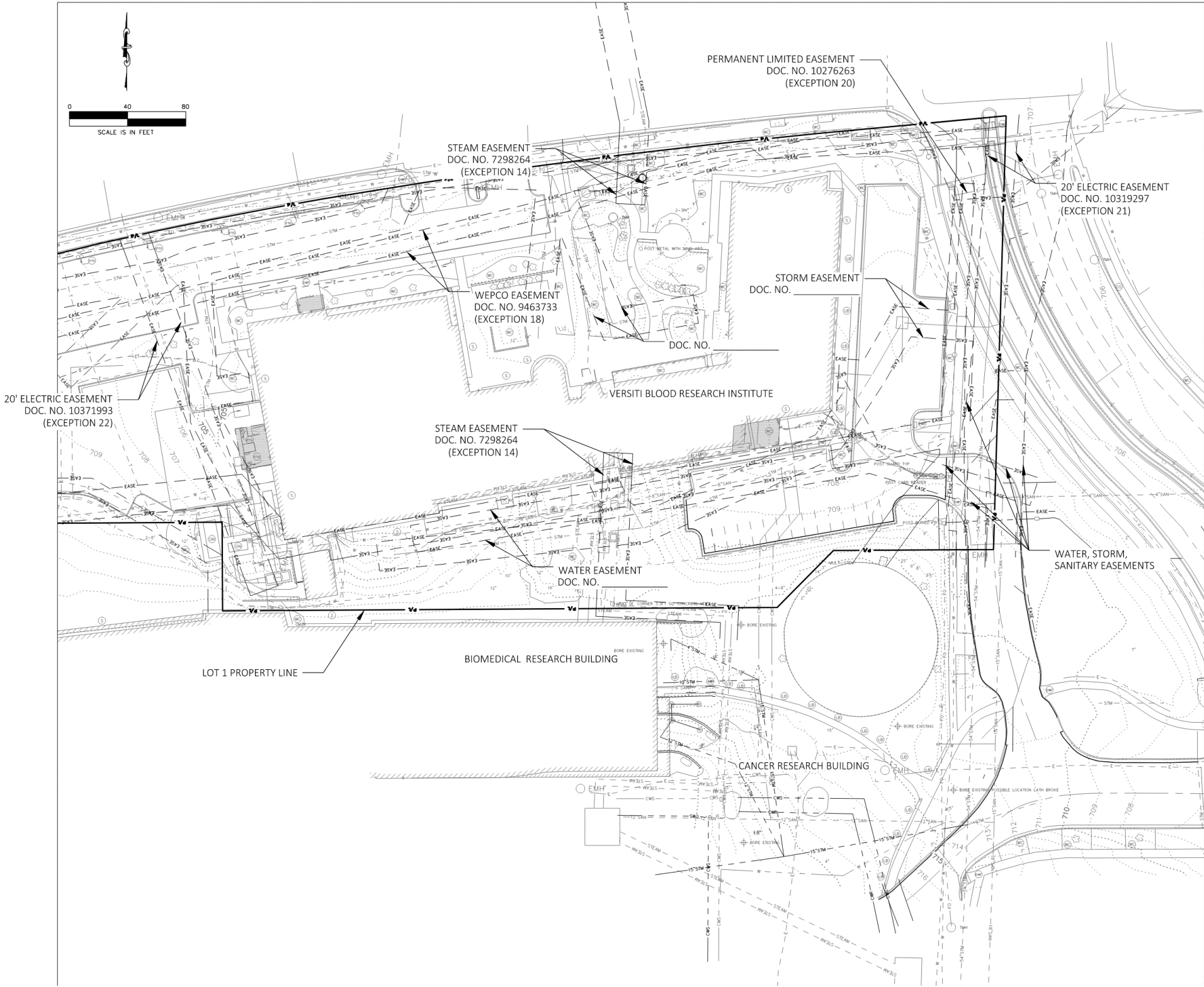
## VERTICAL DATUM

VERTICAL DATUM BASED ON NORTH AMERICAN DATUM OF 1983, 2011 ADJUSTMENT (NAD83(2011)), NORTH AMERICAN VERTICAL DATUM OF 1988, 2012 ADJUSTMENT (NAVD88(2012)). GEOID G12A-WI.

## REFERENCE BEARING

ALL BEARINGS ARE REFERENCED TO THE NORTH LINE OF THE NORTHWEST  $\frac{1}{4}$  OF SECTION 28, T.7N., R.21E. WHICH BEARS N.87°51'14" E. AND IS REFERENCED TO THE WISCONSIN COUNTY COORDINATE SYSTEM, MILWAUKEE COUNTY.

FULL SIZE  
DRAWING  
PROVIDED



| LEGEND |                                 |
|--------|---------------------------------|
|        | TRAVERSE POINT                  |
|        | PROPERTY CORNER                 |
|        | LIGHT POLE                      |
|        | FLAG POLE                       |
|        | MANHOLE                         |
|        | STORM INLET                     |
|        | WATER VALVE                     |
|        | GAS VALVE                       |
|        | FIRE HYDRANT                    |
|        | ELECTRIC TRANSFORMER            |
|        | TELEPHONE PEDESTAL              |
|        | CONTROL BOX                     |
|        | TRAFFIC SIGNAL                  |
|        | DRAIN TILE                      |
|        | ELECTRIC MANHOLE                |
|        | TELEPHONE MANHOLE               |
|        | GROUND LIGHT                    |
|        | GATE POST                       |
|        | SPRINKLER                       |
|        | POST                            |
|        | CONCRETE                        |
|        | ELECTRIC                        |
|        | THRESHOLD                       |
|        | GAS METER                       |
|        | AIR CONDITIONER                 |
|        | DECIDUOUS TREE                  |
|        | CONIFEROUS TREE                 |
|        | STUMP                           |
|        | BUSH                            |
|        | SIGN                            |
|        | EDGE OF WOODS                   |
|        | RIP RAP                         |
|        | CHAIN LINK FENCE                |
|        | BURIED CHILLED WATER            |
|        | BURIED ELECTRIC LINE            |
|        | BURIED FIBER OPTIC              |
|        | BURIED GAS MAIN                 |
|        | BURIED SANITARY                 |
|        | BURIED STEAM LINE               |
|        | BURIED STORM LINE               |
|        | BURIED TELEPHONE LINE           |
|        | BURIED WATER MAIN               |
|        | EXISTING PROPERTY LINE          |
|        | EXISTING EASEMENT               |
|        | GENERATOR                       |
|        | POST GUARD 6" CONC.             |
|        | POST GUARD 6" STEAL N. FACE     |
|        | POST GUARD 6" STEAL S. FACE     |
|        | GROUND LIGHT                    |
|        | SIDE SHOT ON LIGHT POLE         |
|        | PLASTIC (P), ROUND (R) INLET    |
|        | X" DIA. MANHOLE                 |
|        | TILE 4" RUNS SOUTH, INV 706.69' |
|        | STONE                           |
|        | DETECTABLE WARNING FIELD        |
|        | WOOD CHIP                       |
|        | LIGHT BOLLARD                   |
|        | WITH CROSSWALK                  |
|        | WALK SIGNAL                     |



FULL SIZE  
DRAWING  
PROVIDED

Wauwatosa DRB Resubmission | 3/26/2024 | 11





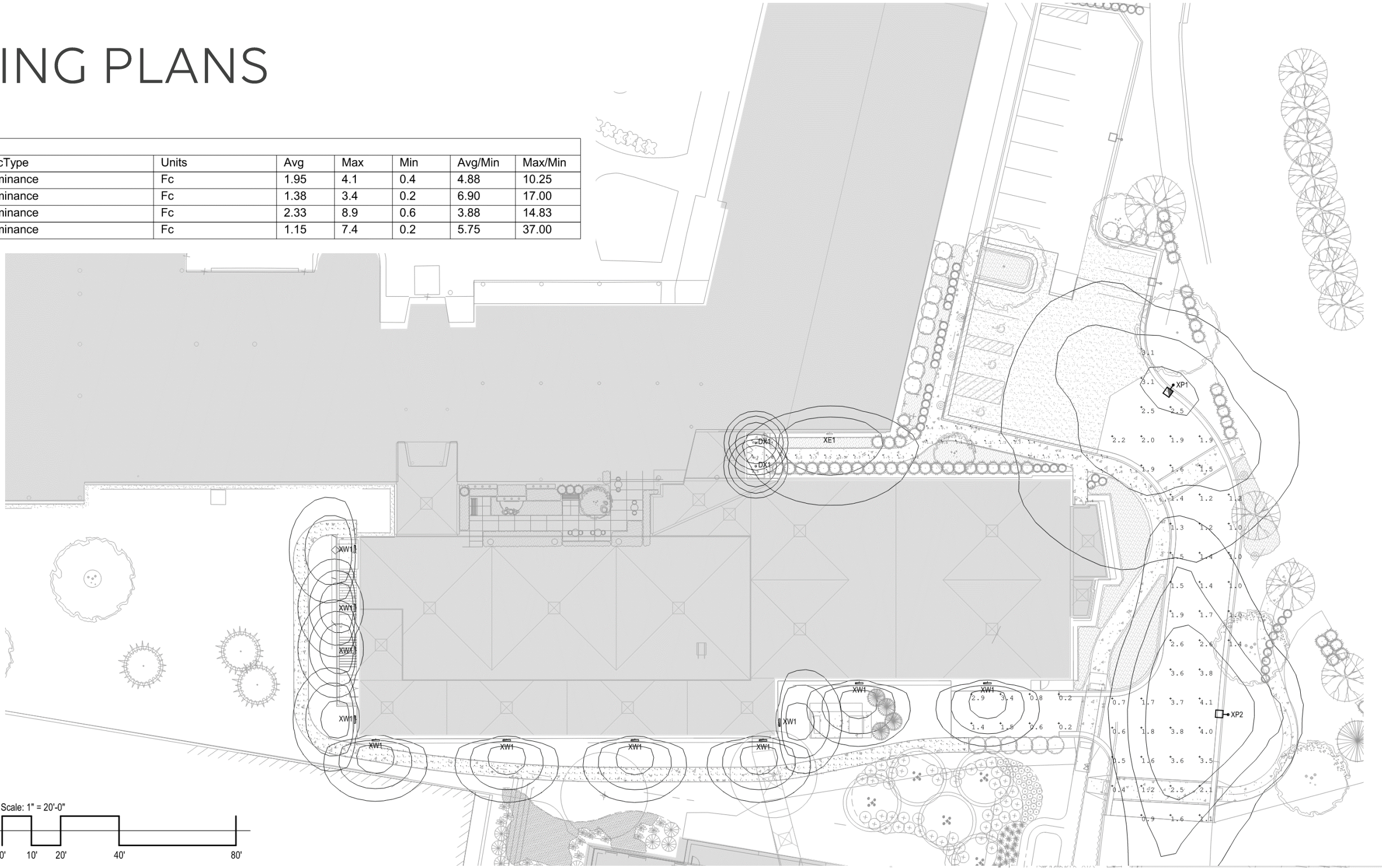
VERSITI Blood Research Institute Expansion

|    |    |
|----|----|
| 24 | 12 |
|----|----|

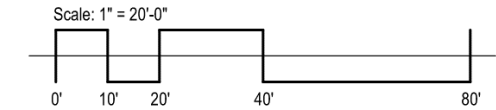


# SITE LIGHTING PLANS

| Calculation Summary |             |       |      |     |     |         |         |
|---------------------|-------------|-------|------|-----|-----|---------|---------|
| Label               | CalcType    | Units | Avg  | Max | Min | Avg/Min | Max/Min |
| DRIVE               | Illuminance | Fc    | 1.95 | 4.1 | 0.4 | 4.88    | 10.25   |
| LOADING DOCK        | Illuminance | Fc    | 1.38 | 3.4 | 0.2 | 6.90    | 17.00   |
| WALKWAY             | Illuminance | Fc    | 2.33 | 8.9 | 0.6 | 3.88    | 14.83   |
| WEST WALKWAY        | Illuminance | Fc    | 1.15 | 7.4 | 0.2 | 5.75    | 37.00   |



FULL SIZE  
DRAWING  
PROVIDED



1 SITE PHOTOMETRIC PLAN  
1" = 20'-0"

SITE LIGHTING  
FIXTURES

TYPE DX1



Multiple Layers of Light

General Illumination Round Downlight

4"

Feature Set

- Bounding Ray™ optical design
- Utilized optics mechanically attach the light engine to the lower reflector for complete optical alignment.
- 45° cutoff to source and source image
- Fully serviceable and upgradeable lensed LED light engine
- 70% lumen maintenance at 60,000 hours
- 2.5 MacAdam Ellipse; 85 CRI typical, 90+ CRI optional
- Fixtures are wet location, covered ceiling
- Available with 10% dimming, 1% dimming, or dim to dark
- Batwing distribution with feathered edges provides even illumination on horizontal and vertical surfaces
- ENERGY STAR® certified product
- UGR of zero for fixtures aimed at nadir with a cut-off equal to or less than 60deg per CIE 117-1995 Discomfort Glare in Interior Lighting. [UGR FAQ](#)

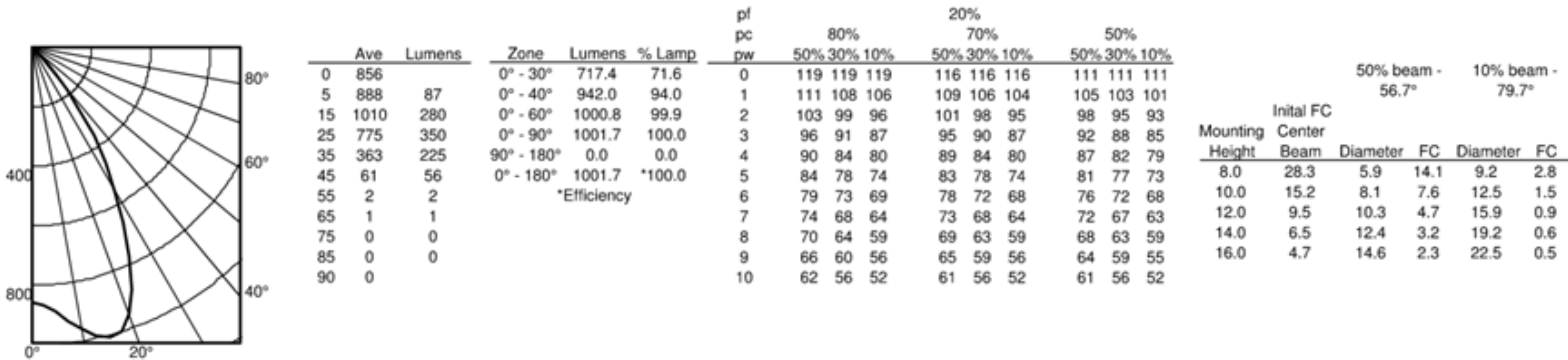
Luminaire Type: DX1  
Catalog Number:



LUMINAIRE SCHEDULE - EXTERIOR

| TYPE | DESCRIPTION                          | MOUNTING                 | LENS/REFLECTOR                                      | LAMP/LUMENS         | MANUFACTURER | CATALOG NUMBER                       |
|------|--------------------------------------|--------------------------|---|---------------------|--------------|--------------------------------------|
| DX1  | RECESSED LED DOWNLIGHT, 4" APERTURE  | RECESSED CEILING         | SEMI-SPECULAR CLEAR REFLECTOR WITH SELF-FLANGE TRIM | 1000 LM, LED, 840   | GOHAM        | EVO4-40/10-AR-MWD-LSS                |
| XE1  | EXISTING WALL PACK                   | -                        | -   | -                   | CREE         | XSPW SERIES                          |
| XP1  | SINGLE HEAD POLE                     | 25' POLE, INCLUDING BASE | TYPE IV DISTRIBUTION, WHITE FINISH                  | 15,200 LM, LED, 757 | CREE         | OSQM-C-16L-57K7-4M-UL-OSQ-ML-C-DA-WH |
| XP2  | SINGLE HEAD POLE                     | 25' POLE, INCLUDING BASE | TYPE II DISTRIBUTION, WHITE FINISH                  | 15,200 LM, LED, 757 | CREE         | OSQM-C-16L-57K7-2M-UL-OSQ-ML-C-DA-WH |
| XW1  | EXTERIOR LED WALL PACK, FULL CUT-OFF | SURFACE WALL             | DOWNLIGHT DISTRIBUTION, WHITE FINISH                | 1600 LM, LED, 840   | LUMINAIRE    | AEL-24IN-NODIM-20W-40K-MVOLT-DP-CUST |

EV04 35/10 MWD LS INPUT WATTS: 8.8W, DELIVERED LUMENS: 1001.7LM, LPW = 113.8, 1.08 S/MH, TEST NO. LTL27786P131



TYPES XW1



ARCHITECTUAL EGRESS

Vandal Resistant  
AEL Full Cut-Off LED

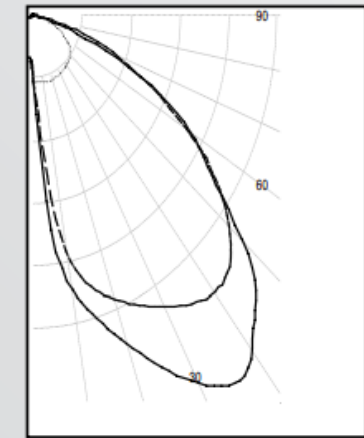
|                |           |             |  |
|----------------|-----------|-------------|--|
| Fixture Type   | XW1 & XW2 | Date        |  |
| Job Name       |           | Approved By |  |
| Catalog Number |           |             |  |

SPECIFICATIONS

|             |  |
|-------------|--|
| Description | The Architectural Egress Luminaire combines a unique, patented design shaped with high performance, full cut-off optics to achieve completely unobtrusive illumination of a space or path of egress. When mounted over a doorway, the fixture is perceived as an element of the building structure and, additionally, provides water protection in the form of a drip cap over the doorway. Multiple lengths are available to match a given door opening and our unique quick mount system facilitates installation and maintenance. |
| Housing     | Marine grade heat treated extruded aluminum. Chemically primed and finished with robotically applied polyester powder coat.  |
| Wall Mount  | Marine grade heat treated extruded aluminum. Chemically primed and finished with robotically applied polyester powder coat. Designed to provide quick mounting to housing and secured with (2) captive stainless steel TORX® head screws.  |

MODEL AEL 36IN 15W 40K DP  
Delivered Lumens: 1652 Lumens

Total Power: 15.01W



| Zone     | Lumens | % Lamps |
|----------|--------|---------|
| 0 - 30   | 427    | 25.8    |
| 0 - 40   | 724    | 43.9    |
| 0 - 60   | 1350   | 81.7    |
| 60 - 90  | 302    | 18.3    |
| 0 - 90   | 1652   | 100.0   |
| 90 - 180 | 0      | 0.0     |
| 0 - 180  | 1652   | 100.0   |

FULL SIZE  
DRAWING  
PROVIDED



SITE LIGHTING  
FIXTURES

TYPES XP1  
+ XP2

FULL SIZE  
DRAWING  
PROVIDED

OSQ Series

OSQ™ LED Area/Flood Luminaire featuring Patented NanoComfort™ Technology – Version C

Product Description

The OSQ™ Area/Flood luminaire blends extreme optical control, advanced thermal management and modern, clean aesthetics. Built to last, the housing is rugged cast aluminum with an integral, weathertight LED driver compartment. Versatile mounting configurations offer simple installation. Its slim, low-profile design minimizes wind load requirements and blends seamlessly into the site providing even, quality illumination. Medium is suitable upgrade for HID applications up to 400 Watts. Large is suitable upgrade for HID applications up to 1000 Watts. Extra Large is suitable upgrade for HID applications up to multiple 1000 Watts.

**Applications:** Parking lots, walkways, campuses, car dealerships, office complexes, pickleball courts, high-mast and internal roadways

Performance Summary

Utilizes Patented NanoComfort™ Technology

Utilizes Cree TrueWhite® Technology on 5000K Luminaires

Assembled in the USA by Cree Lighting from US and imported parts

**Initial Delivered Lumens:** 4,000 - 85,000

**Efficacy:** Up to 171 LPW

**CRI:** Minimum 70 CRI (3000K, 4000K & 5700K); 90 CRI (5000K)

**CCT:** 3000K, 4000K, 5000K, 5700K

**Limited Warranty\*:** 10 years for luminaire; 10 years for Colorfast DeltaGuard® finish; 5 years for BML sensor; up to 5 years for Synapse® accessories; 1 year for luminaire accessories

\* See <http://creelighting.com/warranty> for warranty terms. For Synapse accessories, consult Synapse spec sheets for details on warranty terms.

XSP Series

XSPW™ LED Wall Mount Luminaire featuring Cree TrueWhite® Technology

Product Description

The XSPW™ LED wall mount luminaire has a slim, low profile design intended for outdoor wall mounted applications. The rugged lightweight aluminum housing and mounting box are designed for installation over standard single gang J-Boxes and mud ring single gang J-Boxes. The luminaire allows for through-wired or conduit entry from the top, bottom, sides and rear. The housing design is intended specifically for LED technology including a weathertight LED driver compartment and thermal management. Optic design features industry-leading NanoOptic® Precision Delivery Grid™ system in multiple distributions.

**Applications:** General area and security lighting

Performance Summary

NanoOptic® Precision Delivery Grid™ optic

Assembled in the USA by Cree Lighting from US and imported parts

**Initial Delivered Lumens:** Up to 8,475

**CRI:** Minimum 70 CRI (3000K, 4000K & 5700K); 90 CRI (5000K)

**CCT:** 3000K, 4000K, 5000K, 5700K

**Limited Warranty\*:** 10 years on luminaire/10 years on Colorfast DeltaGuard® finish/up to 5 years for Synapse® accessories/1 year on accessories

\* See <http://creelighting.com/warranty> for warranty terms

Accessories

Field-Installed

**Beauty Plate**  
WM-PLT12\*\* - 12" (305mm) Square  
WM-PLT14\*\* - 14" (356mm) Square  
- Covers holes left by incumbent wall packs  
**Synapse® SimplySnap 10V Interface**  
DIM10-220F  
- 120V-277V  
- Requires other Synapse components to complete system  
- Refer to DIM10-220F spec sheet for details

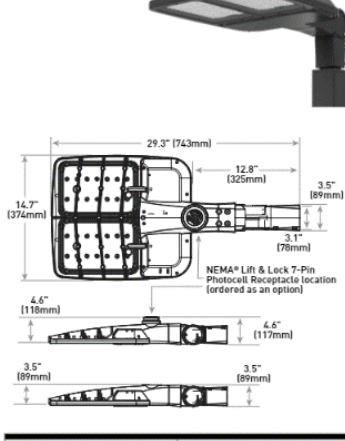
**Hand-Held Remote**  
XA-SENSREM  
- For successful implementation of the programmable multi-level option, a minimum of one hand-held remote is required

\*\* Must specify color

XP1 & XP2

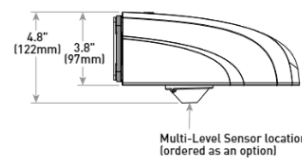
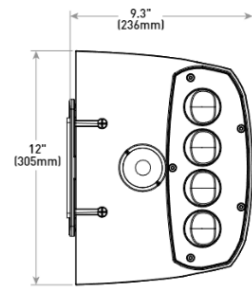
Rev. Date: V7 11/01/2023

OSQM - AA Mount



XE1

Rev. Date: VersionB V6 08/03/2022



LUMINAIRE SCHEDULE - EXTERIOR

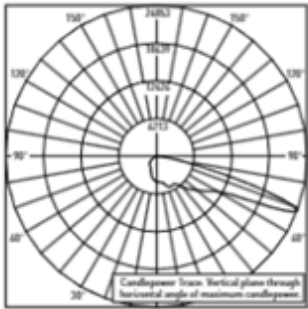
| TYPE | DESCRIPTION                          | MOUNTING                 | LENS/REFLECTOR                                      | LAMP/LUMENS         | MANUFACTURER | CATALOG NUMBER                       |
|------|--------------------------------------|--------------------------|---|---------------------|--------------|--------------------------------------|
| DX1  | RECESSED LED DOWNLIGHT, 4" APERTURE  | RECESSED CEILING         | SEMI-SPECULAR CLEAR REFLECTOR WITH SELF-FLANGE TRIM | 1000 LM, LED, 840   | GOTHAM       | EVO4-40/10-AR-MWD-LSS                |
| XE1  | EXISTING WALL PACK                   | -                        | -   | -                   | CREE         | XSPW SERIES                          |
| XP1  | SINGLE HEAD POLE                     | 25' POLE, INCLUDING BASE | TYPE IV DISTRIBUTION, WHITE FINISH                  | 15,200 LM, LED, 757 | CREE         | OSQM-C-16L-57K7-4M-UL-OSQ-ML-C-DA-WH |
| XP2  | SINGLE HEAD POLE                     | 25' POLE, INCLUDING BASE | TYPE II DISTRIBUTION, WHITE FINISH                  | 15,200 LM, LED, 757 | CREE         | OSQM-C-16L-57K7-2M-UL-OSQ-ML-C-DA-WH |
| XW1  | EXTERIOR LED WALL PACK, FULL CUT-OFF | SURFACE WALL             | DOWNLIGHT DISTRIBUTION, WHITE FINISH                | 1600 LM, LED, 840   | LUMINAIRE    | AEL-24IN-NODIM-20W-40K-MVOLT-DP-CUST |

Photometry

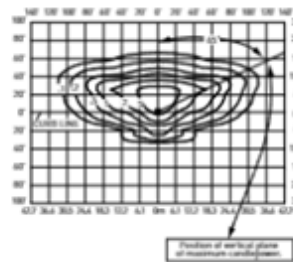
All published luminaire photometric testing performed to IES LM-79 standard:

<https://creelighting.com/products/outdoor/area/osq-series>

2M W/OSQ-\*C-BLSF



RESTL Test Report #: PL17978-001B  
OSQL-C-40L-30K7-2M-UL-xx-xx-xx w/  
OSQ-L-C-BLSF  
Initial Delivered Lumens: 21,978



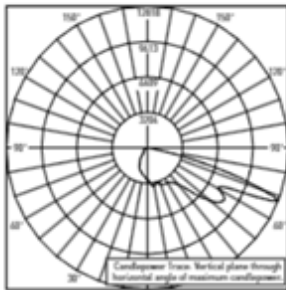
OSQL-C-40L-30K7-2M-UL w/OSQ-L-C-BLSF  
Mounting Height: 25' (7.6m) A.F.G.  
Initial Delivered Lumens: 21,000  
Initial FC at grade

Photometry

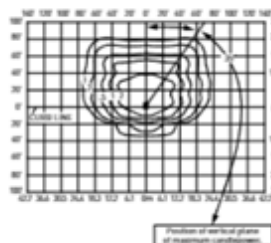
All published luminaire photometric testing performed to IES LM-79 standard:

<https://creelighting.com/products/outdoor/area/osq-series>

4M W/OSQ-\*C-BLSF

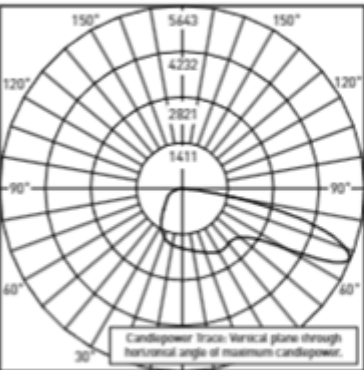


RESTL Test Report #: PL17929-001A Configured  
OSQL-C-30L-30K7-4M-UL-xx-xx-xx w/OSQ-L-C-BLSF  
Initial Delivered Lumens: 15,400

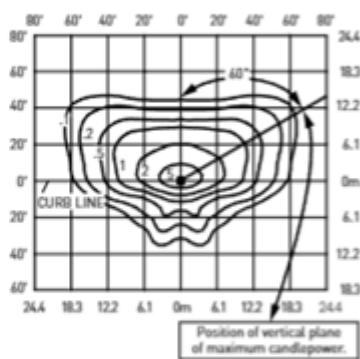


OSQL-C-30L-30K7-4M-UL w/OSQ-L-C-BLSF  
Mounting Height: 25' (7.6m) A.F.G.  
Initial Delivered Lumens: 15,700  
Initial FC at grade

3ME



CESTL Test Report #: PL12366-007A  
XSPW-B-\*\*-3ME-8L-40K-UL  
Initial Delivered Lumens: 8,543

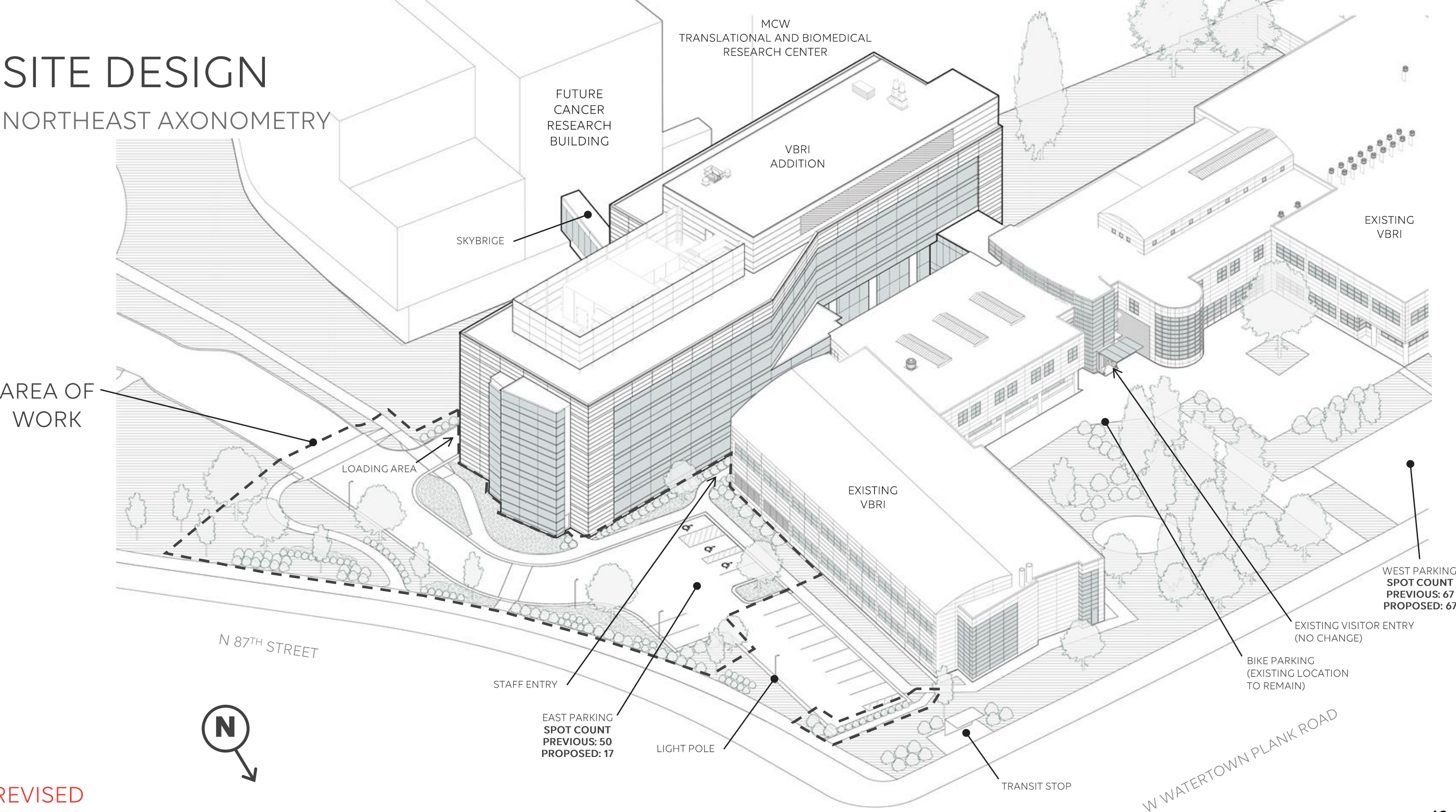


XSPW-B-\*\*-3ME-8L-40K-UL  
Mounting Height: 15' (4.6m) A.F.G.  
Initial Delivered Lumens: 8,475  
Initial FC at grade



# SITE DESIGN

## NORTHEAST AXONOMETRY

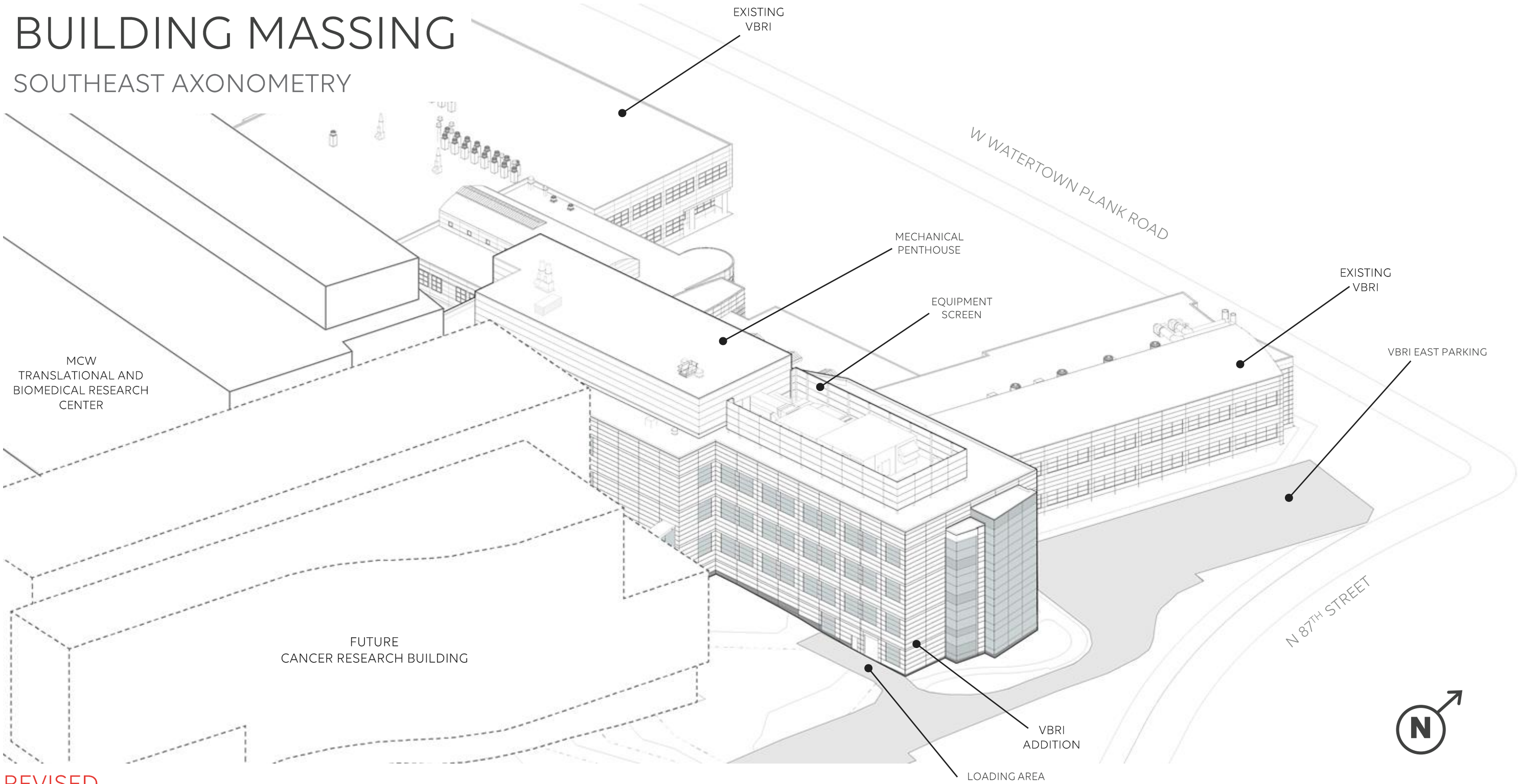


REVISED



# BUILDING MASSING

## SOUTHEAST AXONOMETRY

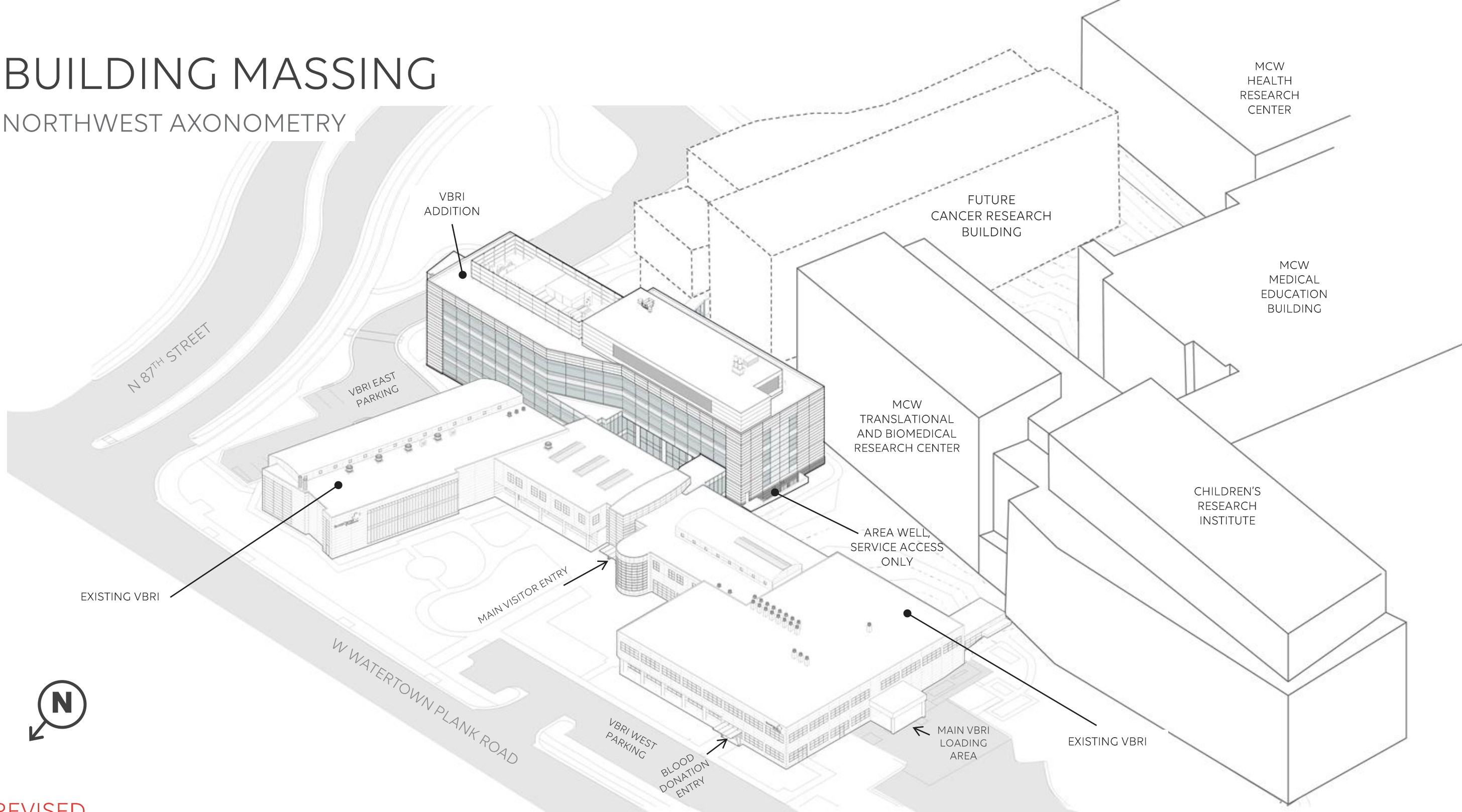


REVISED



# BUILDING MASSING

## NORTHWEST AXONOMETRY



REVISED



# NORTHEAST PERSPECTIVE

REVISED





# SOUTHEAST PERSPECTIVE

REVISED





# EXTERIOR MATERIALS



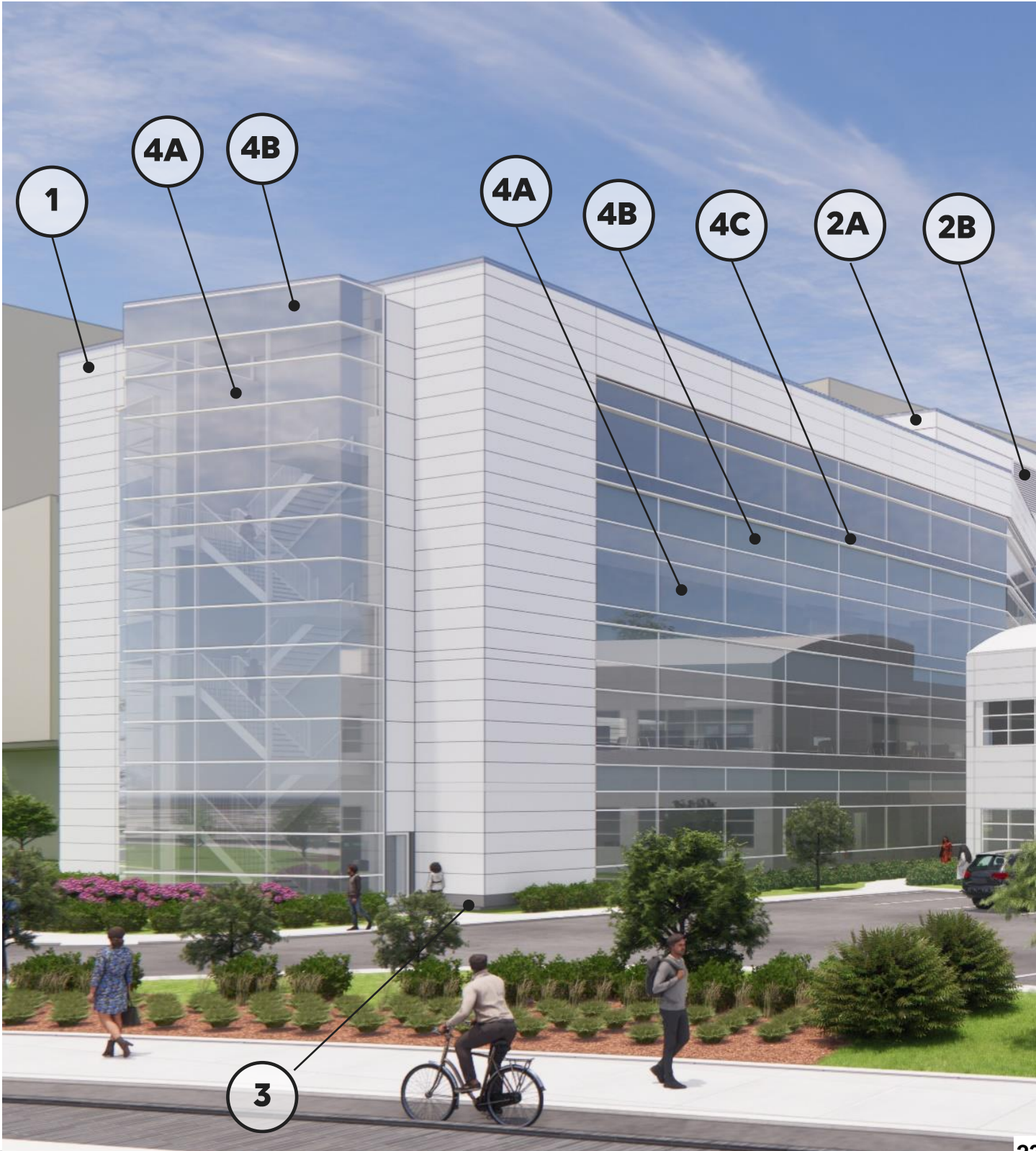
**1. ARCHITECTURAL COMPOSITE METAL PANEL**  
COLOR TO MATCH EXISTING BUILDING

**2A. INSULATED METAL PANEL**  
COLOR TO MATCH  
**2B. LOUVER**  
COLOR TO MATCH



**3. PRECAST CONCRETE PANEL**

**4A. CURTAIN WALL VISION PANEL**  
**4B. SPANDREL TO MATCH**  
**4C. CURTAIN WALL PRIVACY PANEL**





# GLAZING TYPES



**CURTAIN WALL VISION PANEL**  
SOLARBAN 70



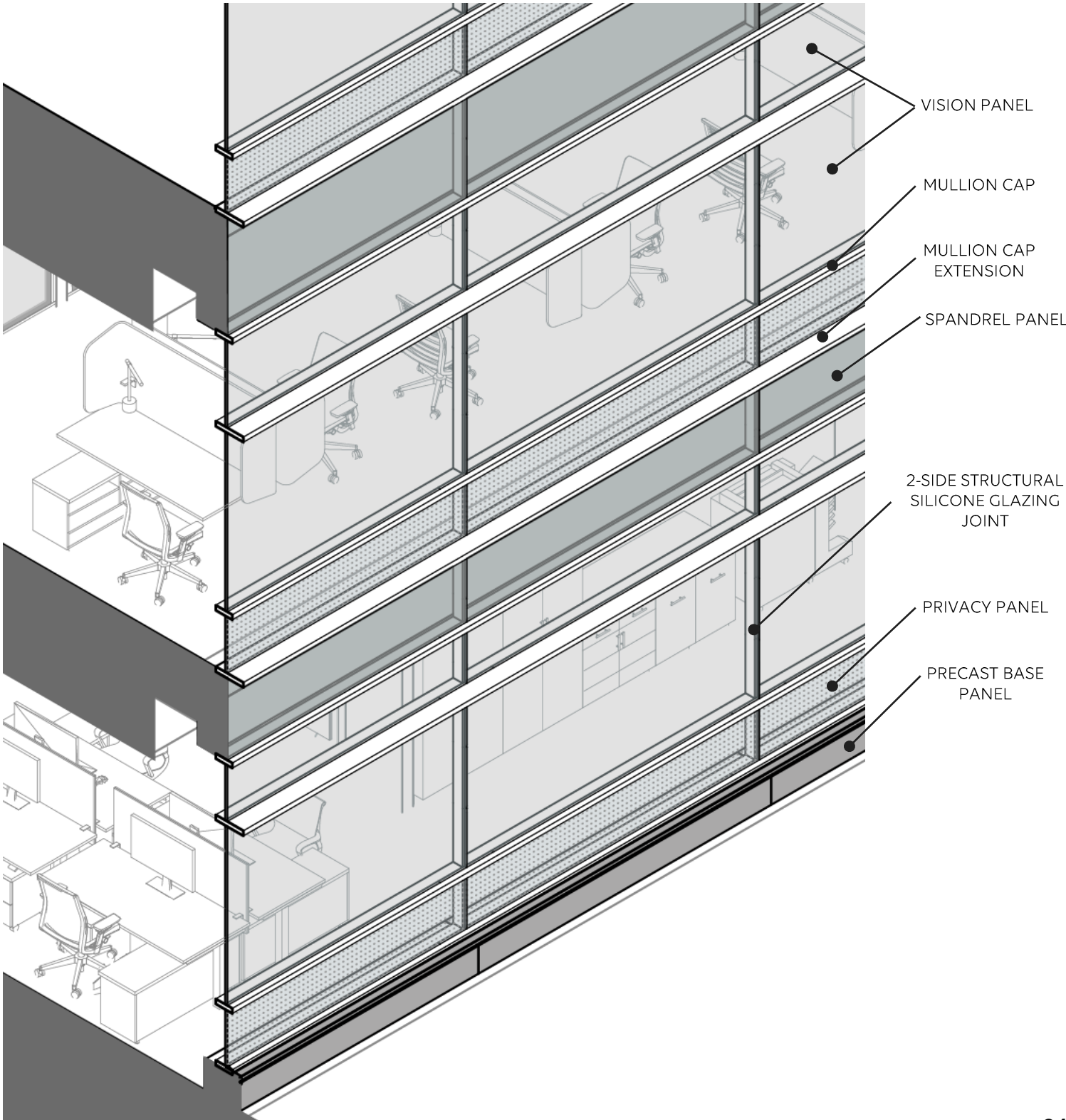
**SPANDREL TO MATCH**  
SOLARBAN 70 + OPACI-COAT



**CURTAIN WALL PRIVACY PANEL**  
SOLARBAN 70 + FRIT



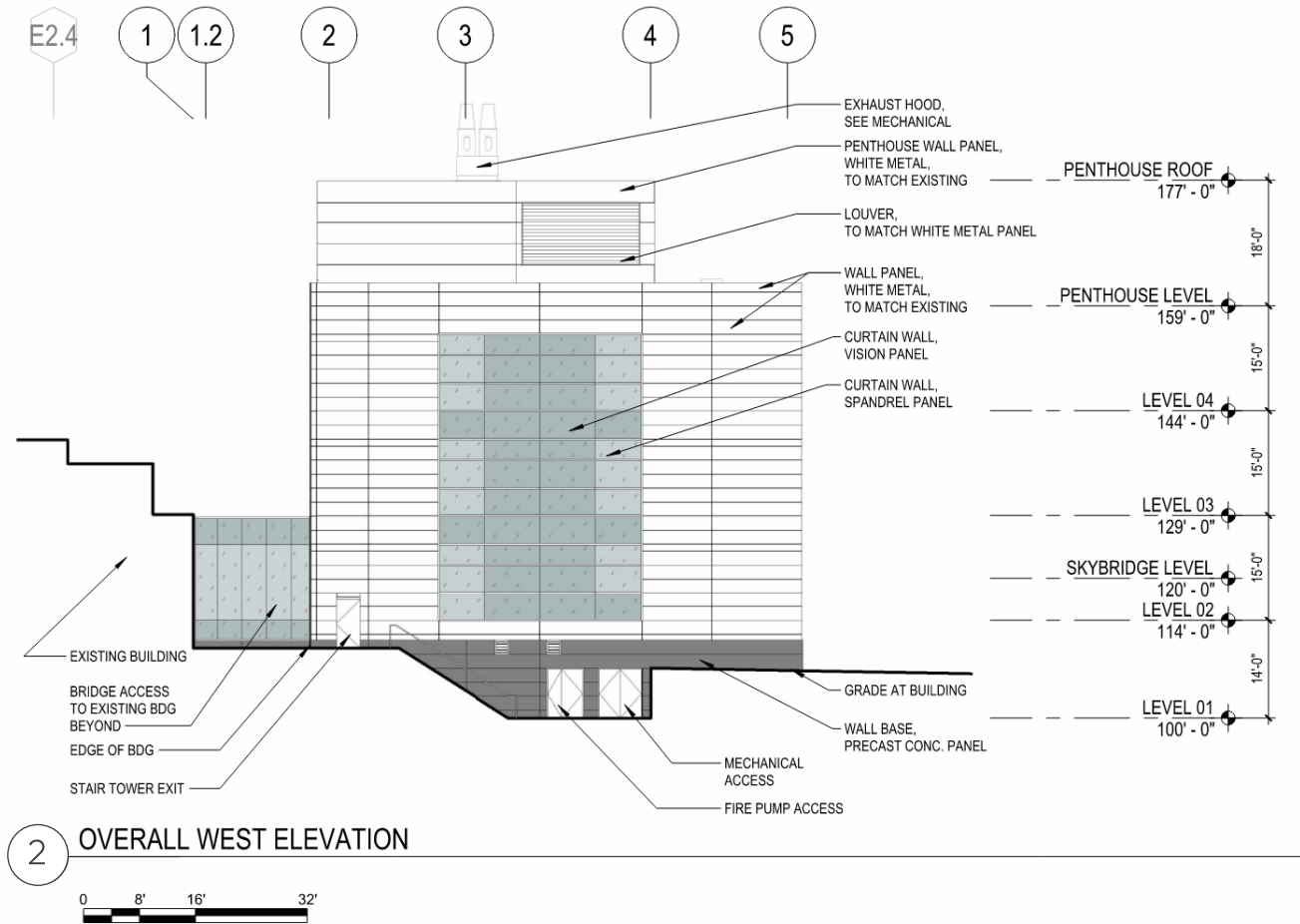
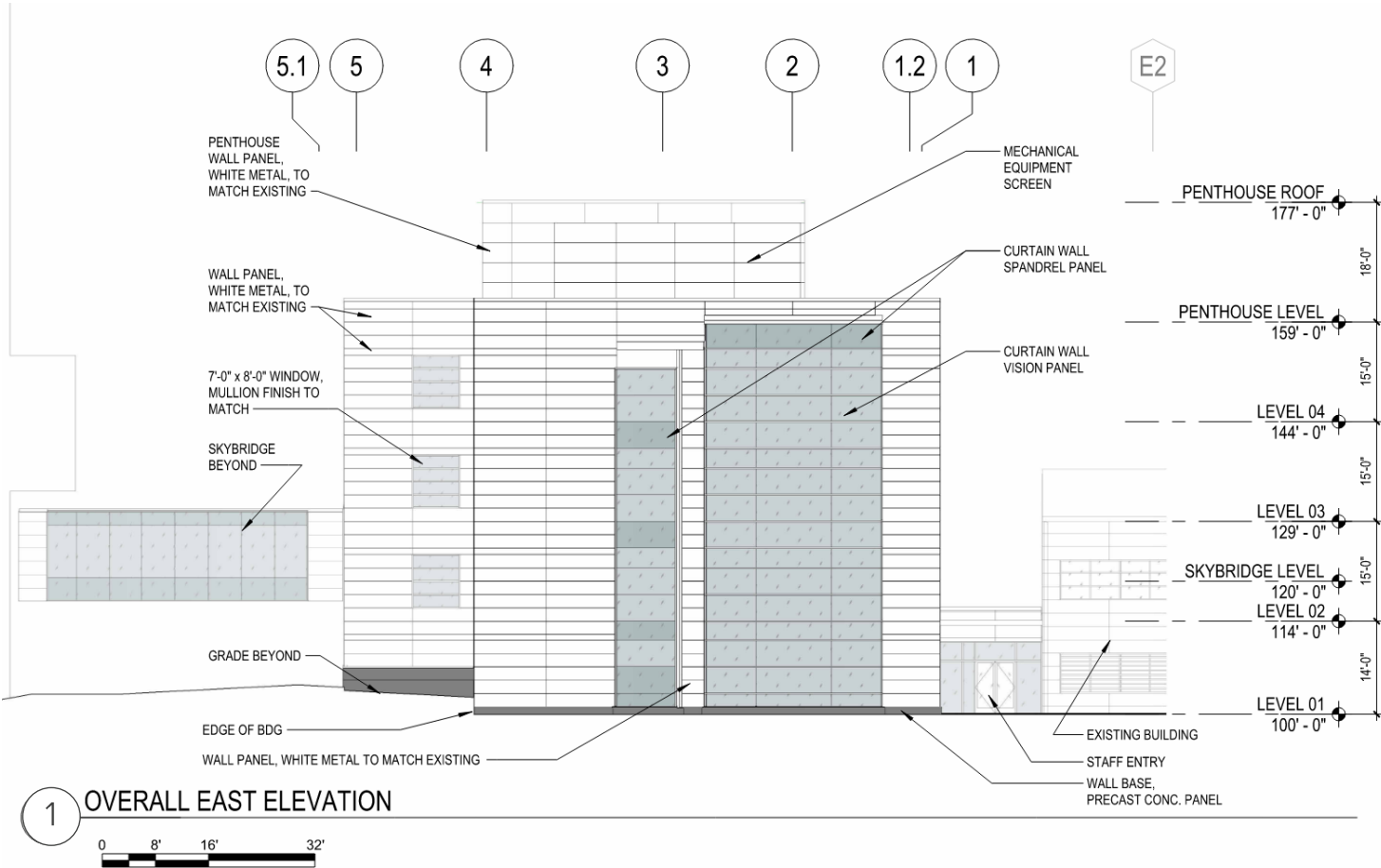
**CURTAIN WALL MULLION & CAP  
EXTENSION**  
TO MATCH WHITE METAL PANEL





# BUILDING ELEVATIONS

## EAST AND WEST ELEVATIONS

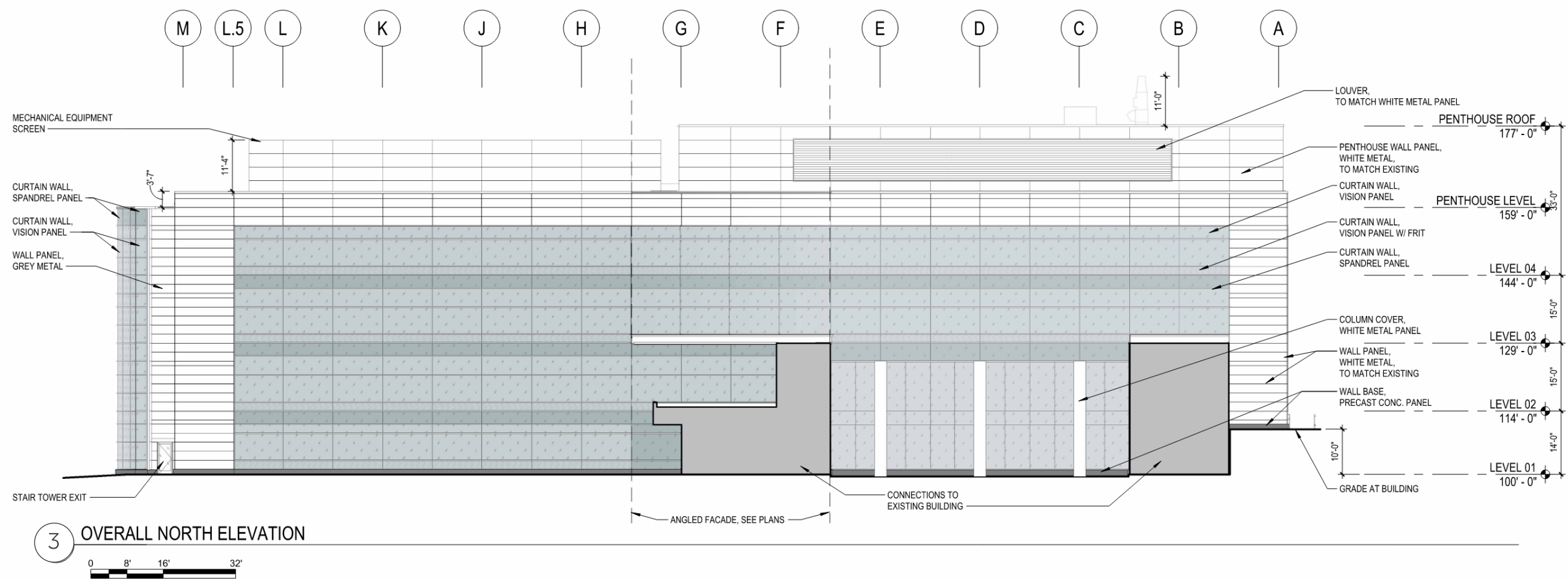


FULL SIZE  
DRAWING  
PROVIDED **REVISED**



# BUILDING ELEVATIONS

## NORTH ELEVATION



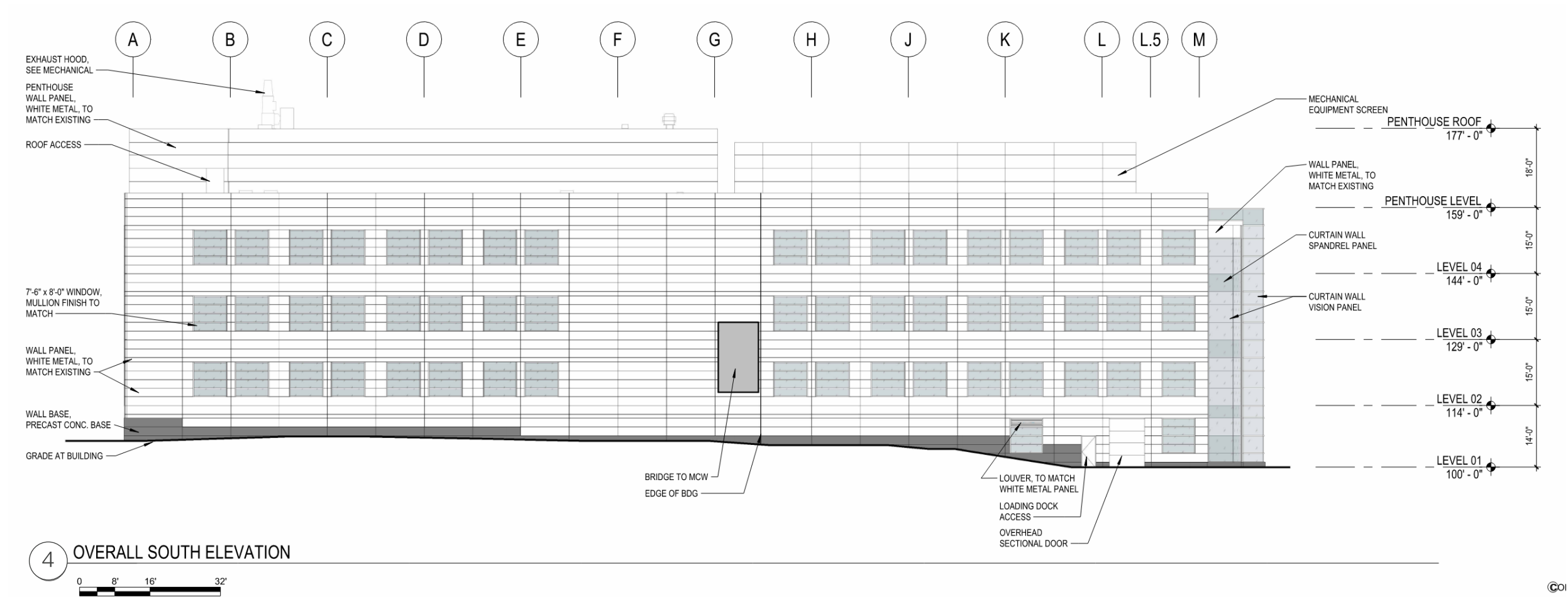
3 OVERALL NORTH ELEVATION

FULL SIZE  
DRAWING  
PROVIDED **REVISED**



# BUILDING ELEVATIONS

## SOUTH ELEVATION

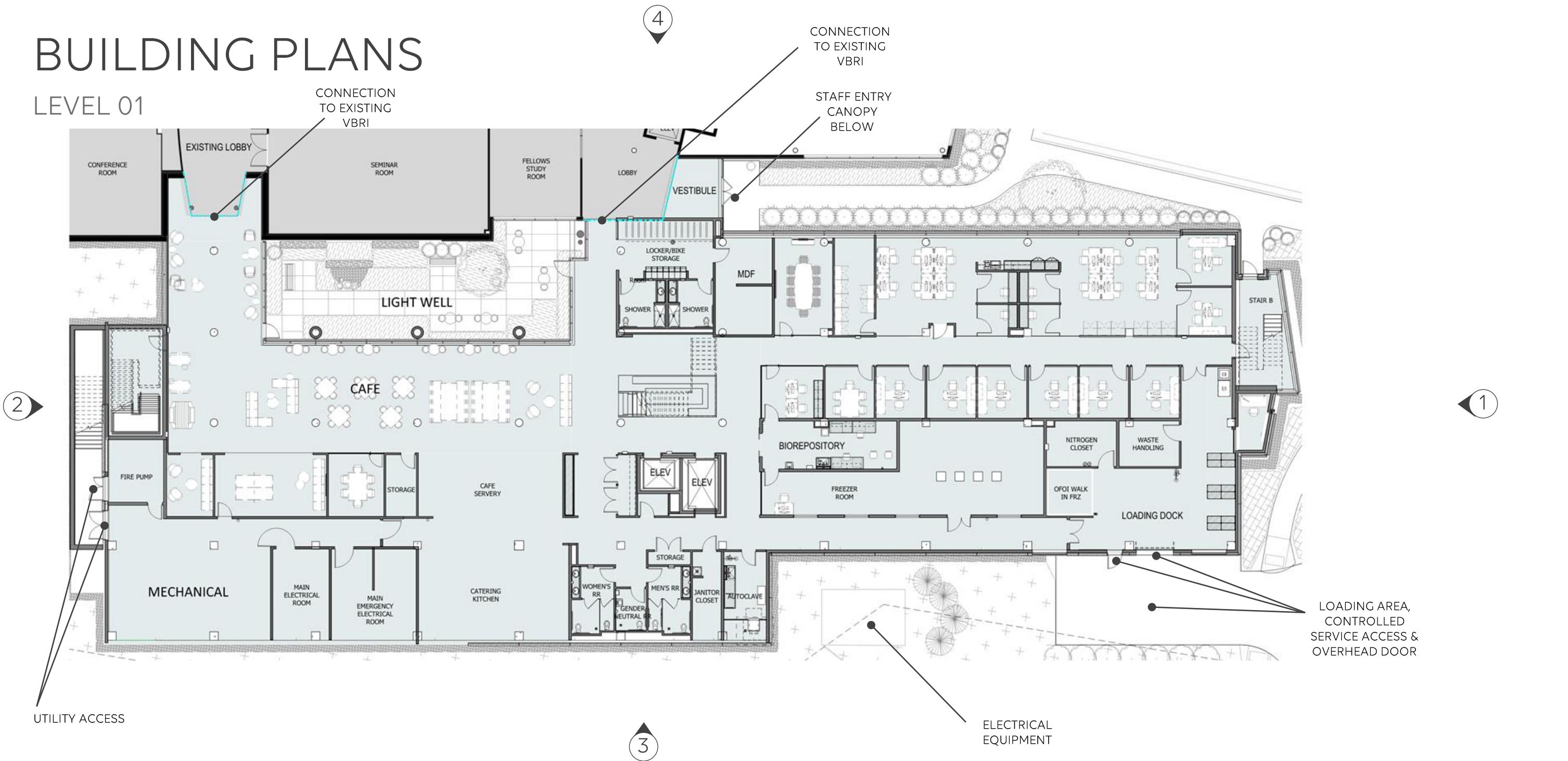


FULL SIZE  
DRAWING  
PROVIDED **REVISED**



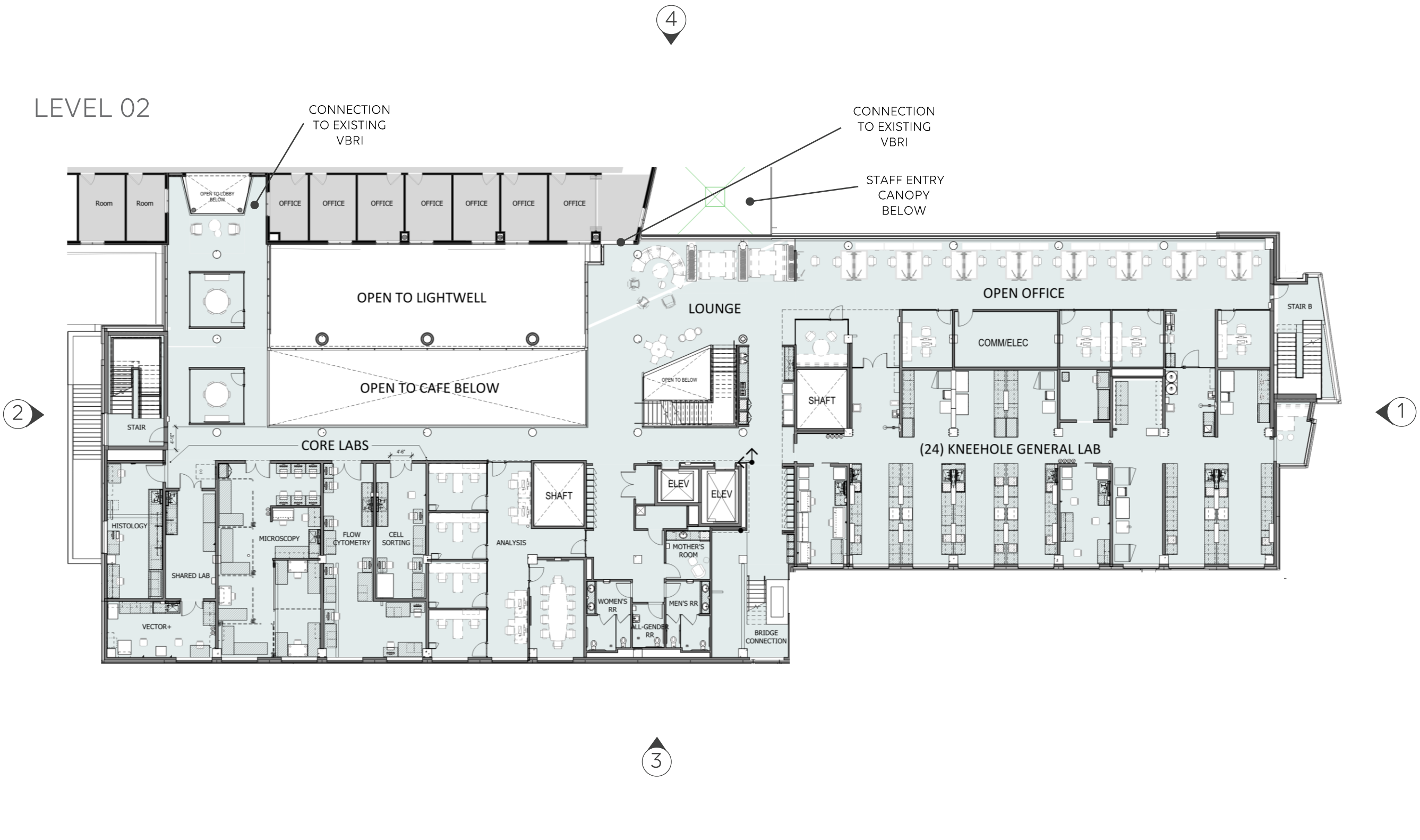
# BUILDING PLANS

LEVEL 01





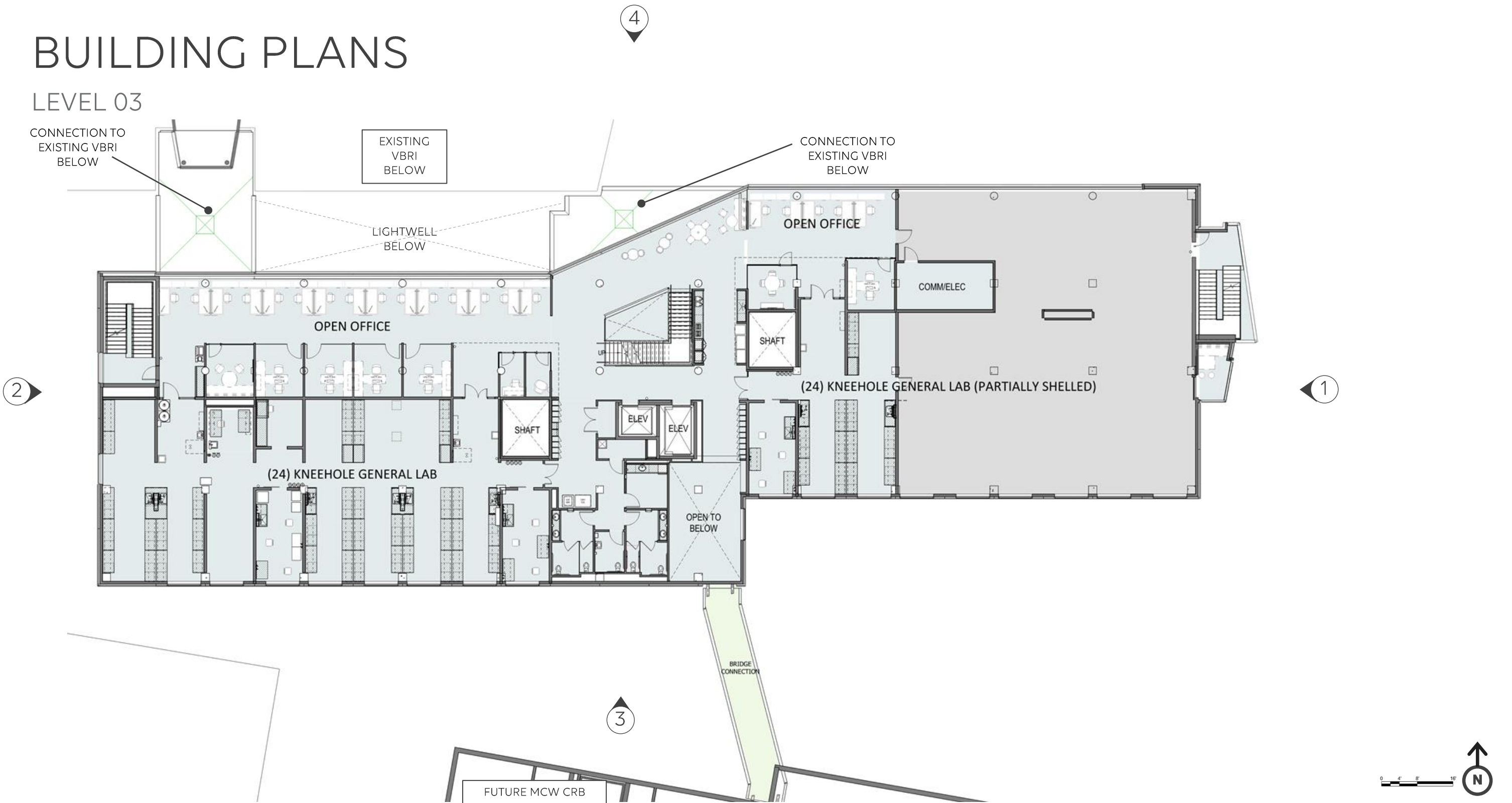
LEVEL 02





# BUILDING PLANS

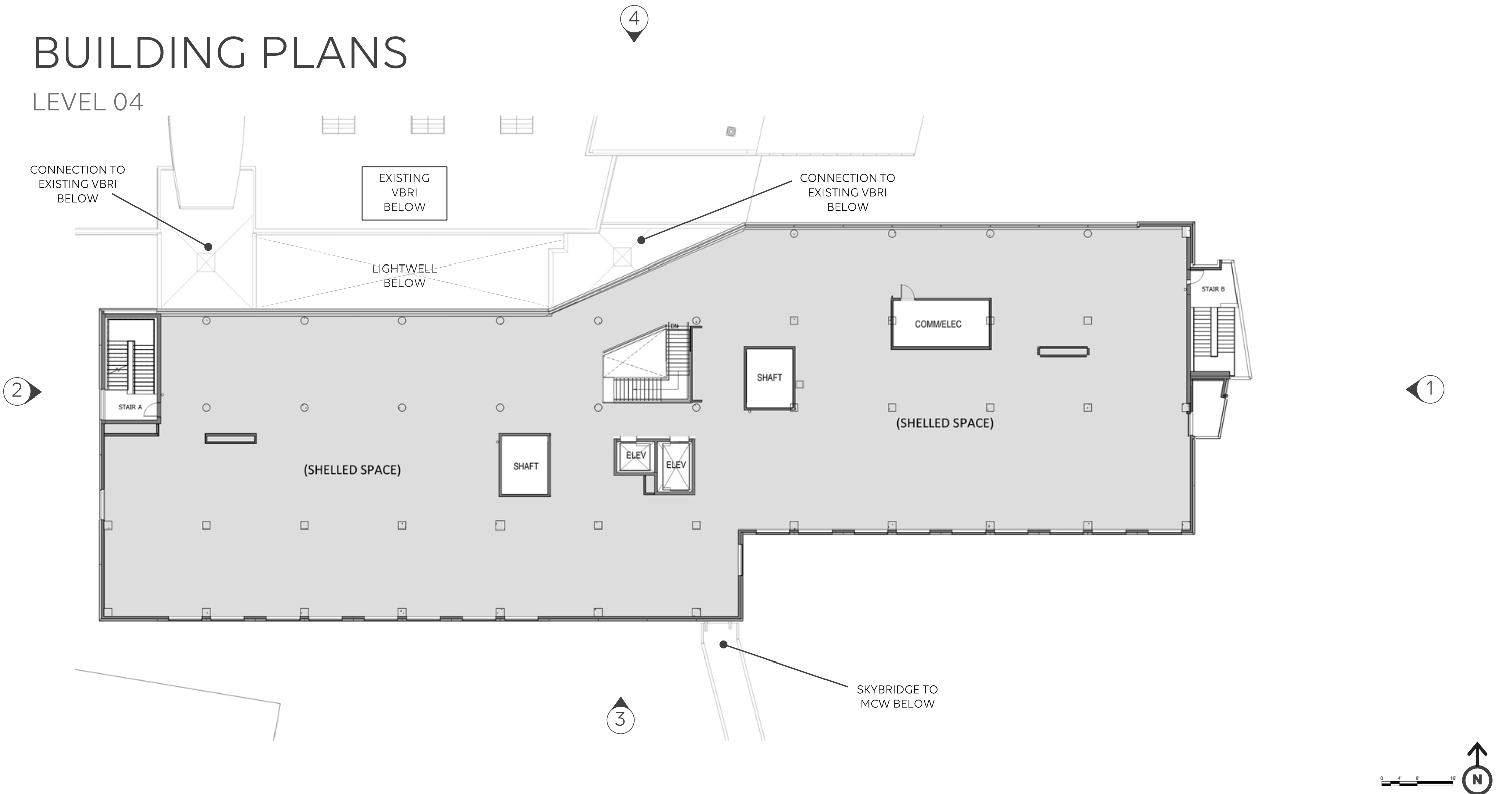
## LEVEL 03





# BUILDING PLANS

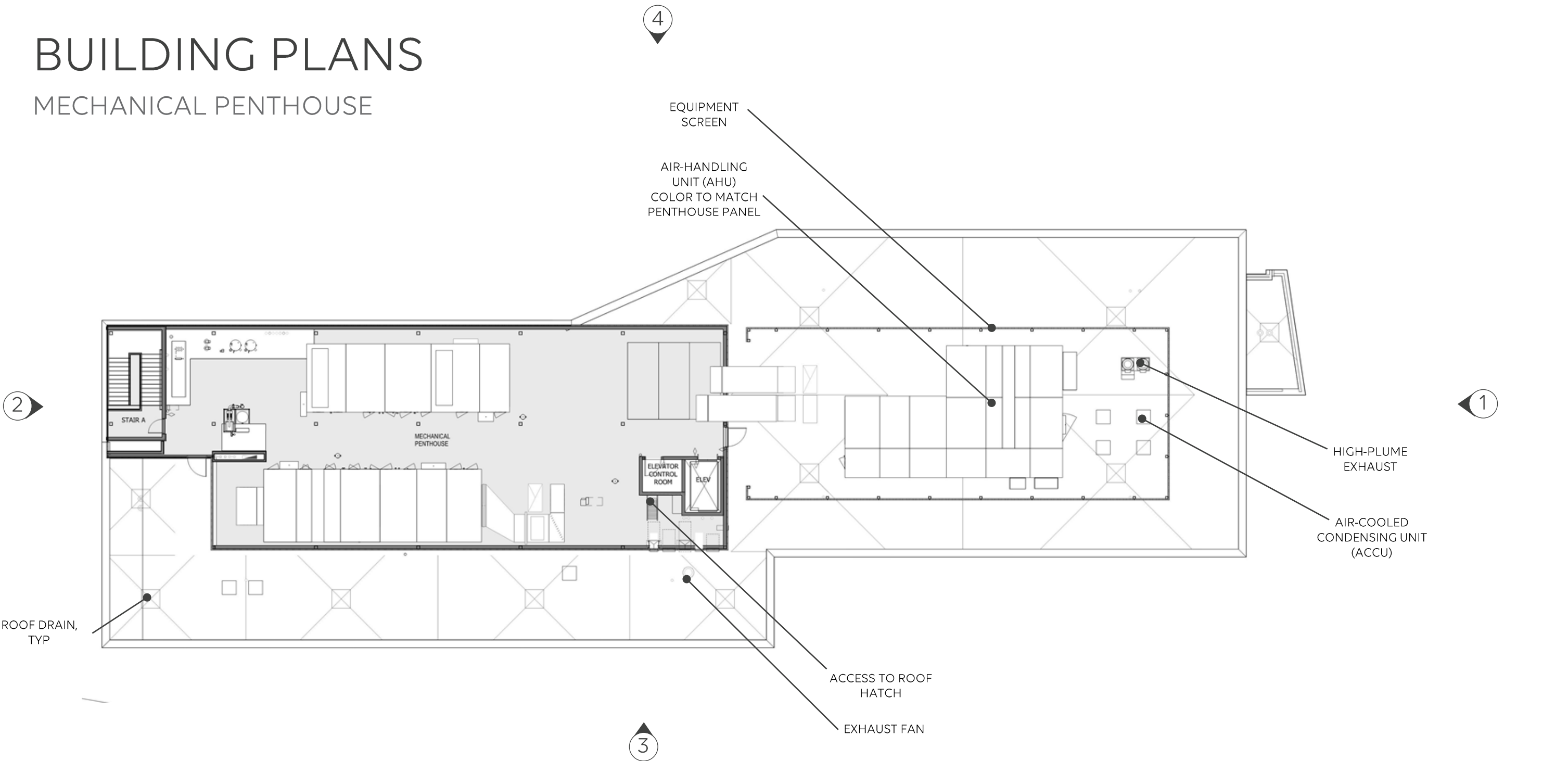
## LEVEL 04





# BUILDING PLANS

## MECHANICAL PENTHOUSE



REVISED



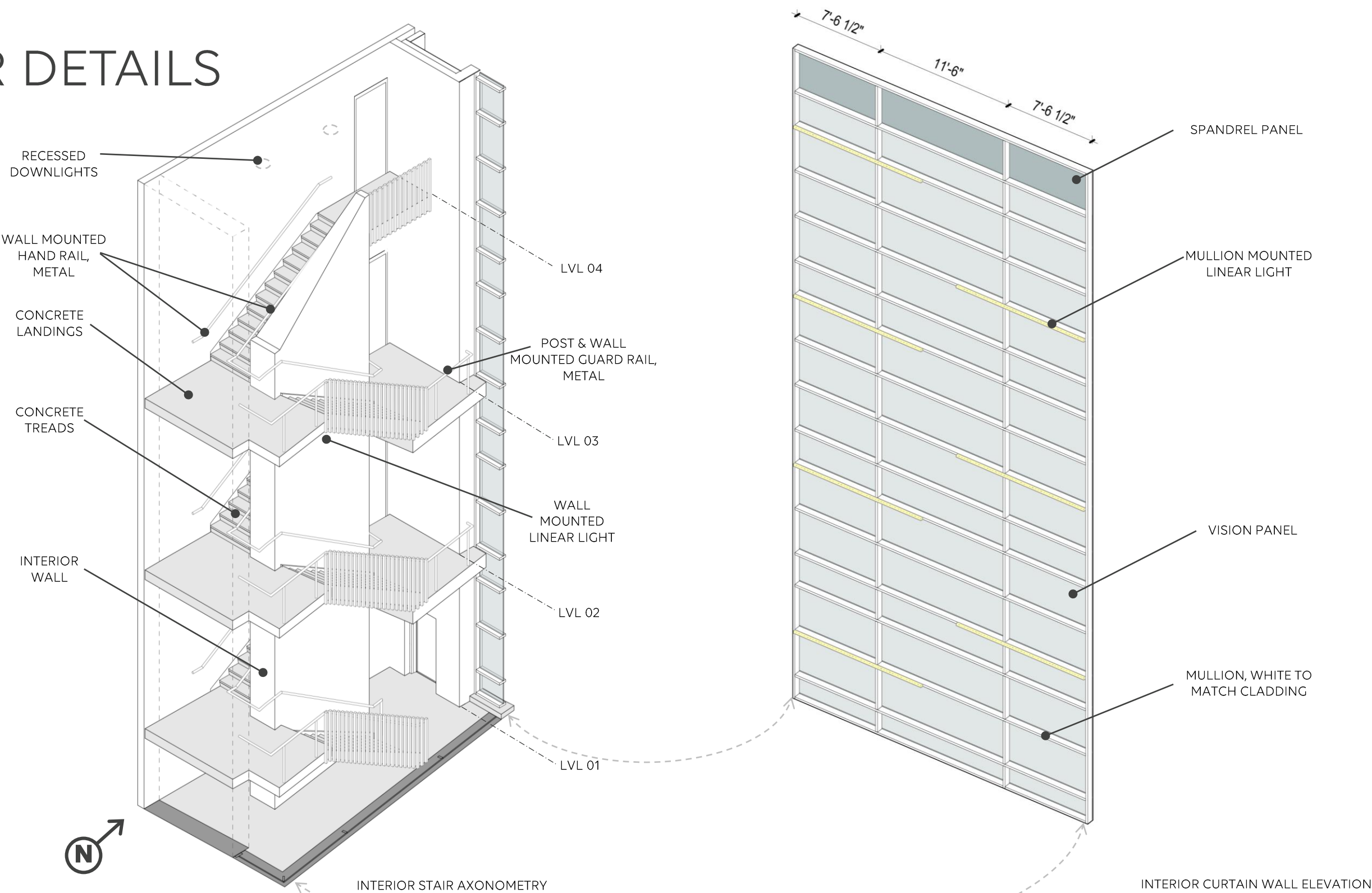
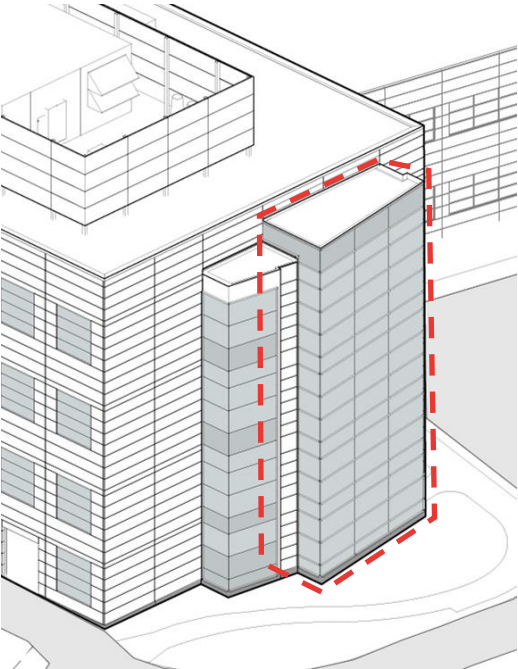
# SIGNAGE OPTIONS



NEW CONTENT



# EAST STAIR DETAILS

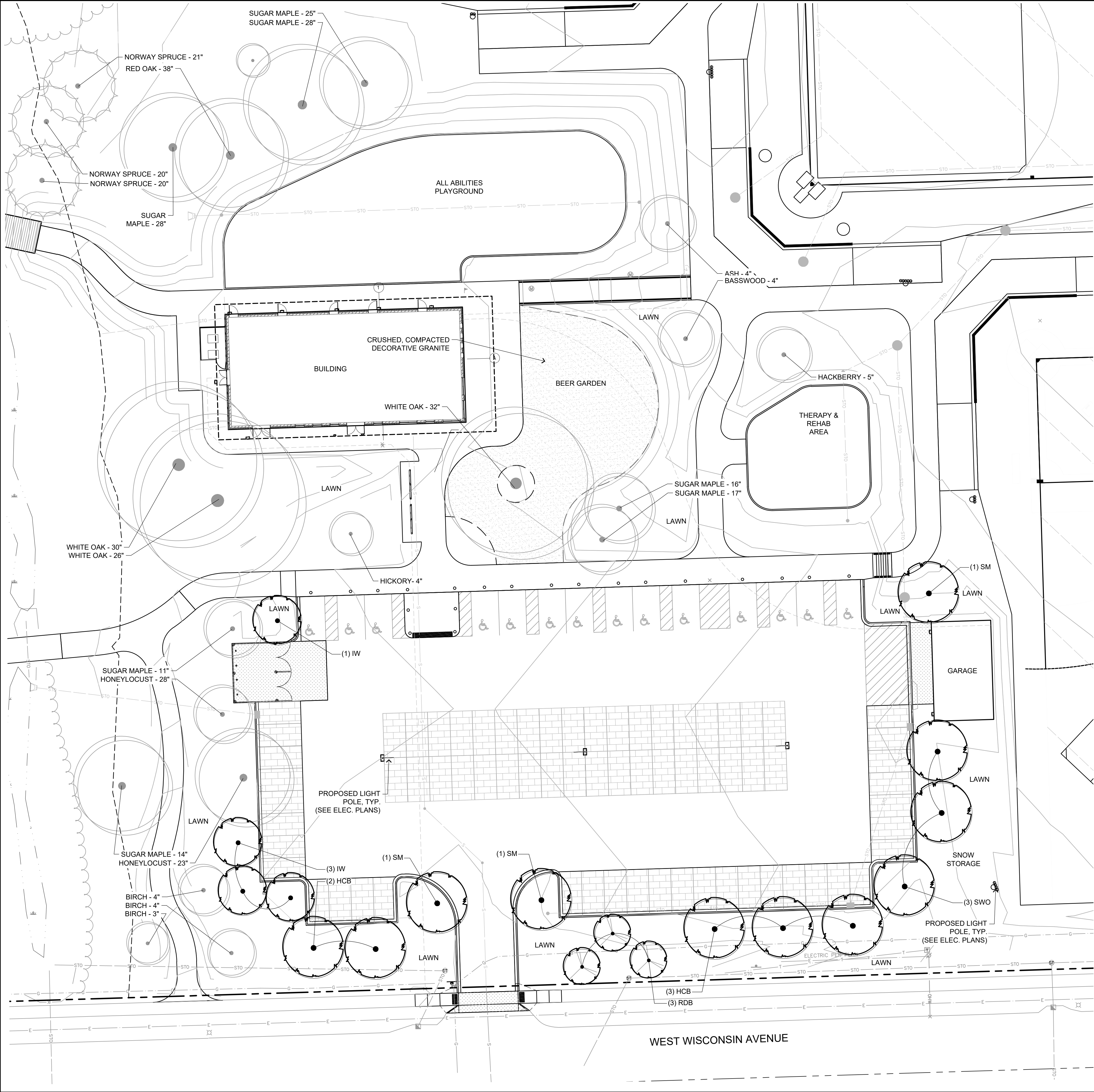


NEW CONTENT









Title 24 - ZONING

Chapter 24.12 LANDSCAPING AND SCREENING

Wauwatosa, Wisconsin, Code of Ordinances      Created: 2023-06-07 12:48:08 [EST]

(Supp. No. 80)

Chapter 24.12 LANDSCAPING AND SCREENING

24.12.020 Perimeter Vehicular Use Area Landscaping.

A landscape strip with a minimum depth of 10 feet must be provided between the vehicular use area and the public right-of-way. This perimeter vehicular use area must include at least 2 deciduous trees and 8 shrubs per 50 feet of vehicular use area frontage.

West Wisconsin Ave. Vehicle Use Area - 127 + 37 = 164 LF

REQUIRED: 164 / 50 = 4      4 x 2 = 8 deciduous trees

4 x 8 = 32 shrubs

PROVIDED:      8 deciduous trees

24.12.030 Interior Vehicular Use Area Landscaping.

Minimum Interior Landscape Area. At least 10% of the interior of vehicular use areas must be landscaped.

Vehicle Use Area = 32,020 SF

REQUIRED: 32,030 x 10% = 3,203 SF

PROVIDED: 1,766 SF

Shade trees must be provided in interior landscape islands at a minimum rate of one tree per 180 square feet of required interior landscape area

Required Interior landscape Area = 3,203 SF

REQUIRED: 3,203 / 180 = 18 Shade trees

PROVIDED:    3 Existing Shade trees

10 Proposed Shade trees

NOTE: Milwaukee County Parks will be seeking a variance to the interior landscape requirements, greenspace and shrub plantings for the parking lot.

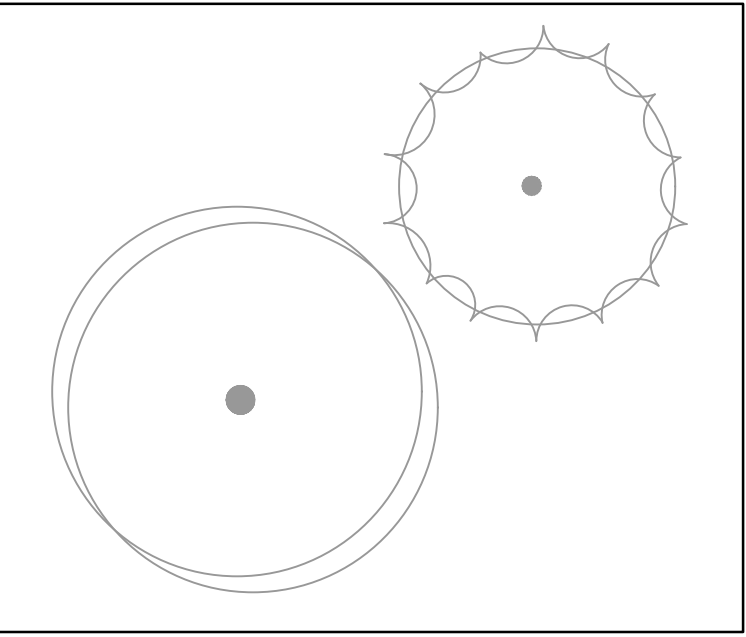
PLANT SCHEDULE PARKING LOT

| CODE        | QTY | COMMON NAME      | BOTANICAL NAME      | INSTALLED SIZE | ROOT | SPACING              | MATURE SIZE |
|-------------|-----|------------------|---------------------|----------------|------|----------------------|-------------|
| SHADE TREES |     |                  |                     |                |      |                      |             |
| SM          | 2   | Sugar Maple      | Acer saccharum      | 2" CAL         | B&B  | Full, matching heads | 60' x 45'   |
| HCB         | 5   | Common Hackberry | Celtis occidentalis | 2" CAL         | B&B  | Full, matching heads | 50' x 50'   |
| IW          | 4   | Ironwood         | Ostrya virginiana   | 2" CAL         | B&B  | Full, matching heads | 25' x 15'   |
| SWO         | 3   | Swamp White Oak  | Quercus bicolor     | 2" CAL         | B&B  | Full, matching heads | 75' x 65'   |

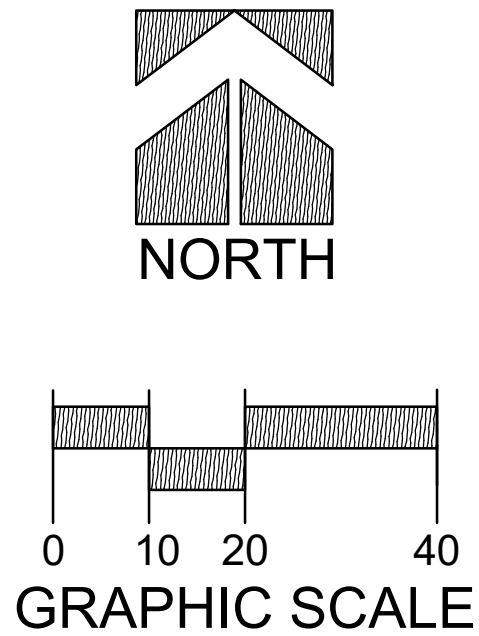
|                  |   |                |                   |        |     |                                      |           |
|------------------|---|----------------|-------------------|--------|-----|--------------------------------------|-----------|
| ORNAMENTAL TREES |   |                |                   |        |     |                                      |           |
| RDB              | 3 | Eastern Redbud | Cercis canadensis | 2" CAL | B&B | Full, matching heads. Northern grown | 25' x 30' |

Proposed trees : 34 caliper inches

- NOTES:
- Milwaukee County Parks requires using native trees and shrub species (no cultivars)
  - Top-dress and seed all lawn areas disturbed due to construction



EXISTING TREE TO BE PRESERVED AND PROTECTED

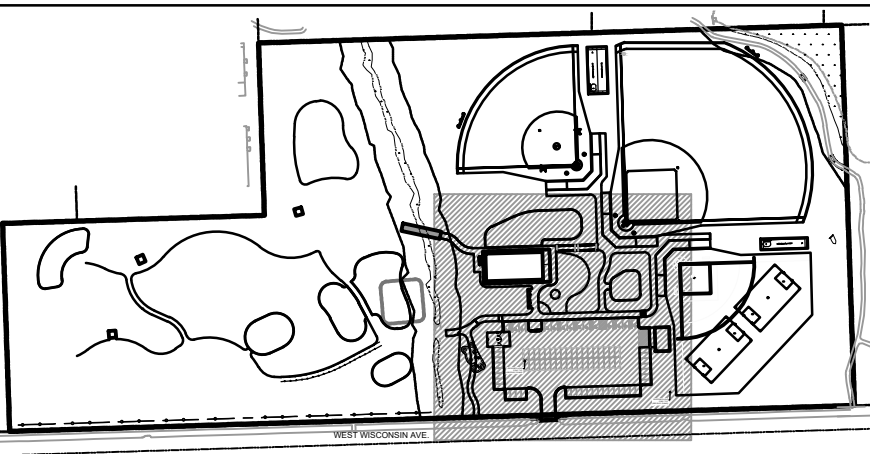


EXISTING PARKING STATISTICS

|   |     |
|---|-----|
| STANDARD PARKING STALLS                                     | 80  |
| ACCESSIBLE STALLS   | 0   |
| TOTAL PARKING STALLS  | 80  |
| BIKE PARKING STALLS   | 0   |
| ON STREET PARKING ON WISCONSIN AVE. - ONLY W/ PROP FRONTAGE |     |
| NORTH SIDE  | 59  |
| SOUTH SIDE  | 54  |
| TOTAL ON-STREET PARKING                                     | 113 |

PROPOSED PARKING STATISTICS

|   |     |
|---|-----|
| STANDARD PARKING STALLS                                       | 69  |
| ACCESSIBLE STALLS   | 14  |
| TOTAL PARKING STALLS  | 83  |
| BIKE PARKING STALLS   | 26  |
| ON STREET PARKING ON WISCONSIN AVE. - (ALONG STREET FRONTAGE) |     |
| NORTH SIDE  | 59  |
| SOUTH SIDE  | 54  |
| TOTAL ON-STREET PARKING                                       | 113 |



SITE KEY



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DESCRIPTION

DATE

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Brookfield, WI 53005-5938  
(262) 781-1000  
rasmith.com

**raSmith**  
CREATIVITY BEYOND ENGINEERING

Brookfield, WI | Milwaukee, WI | Appleton, WI | Madison, WI  
Cedarburg, WI | Naperville, IL | Irvine, CA

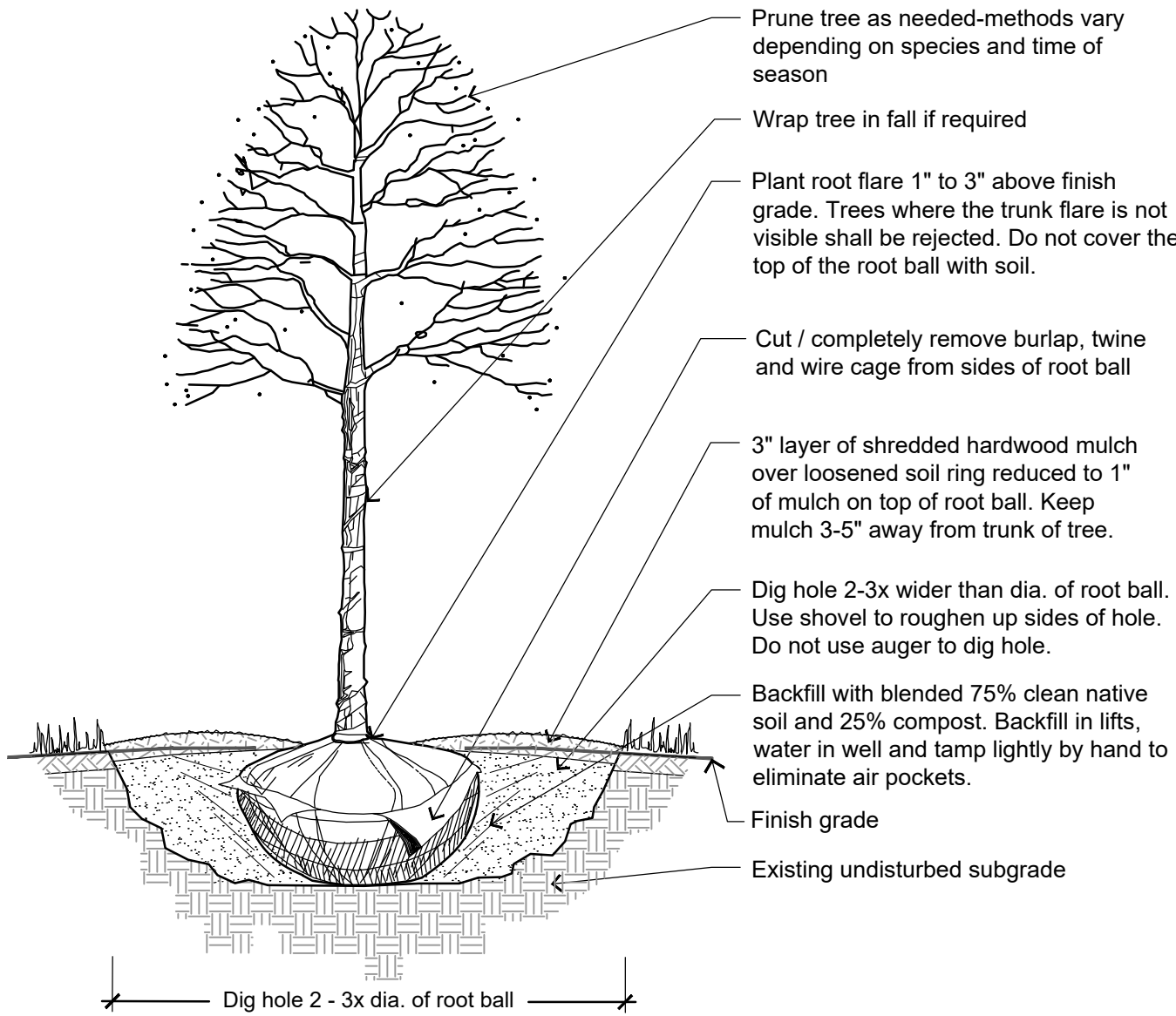
MOSS UNIVERSAL PARK  
MILWAUKEE COUNTY PARKS

LANDSCAPING PLAN  
PARKING LOT & BEER GARDEN

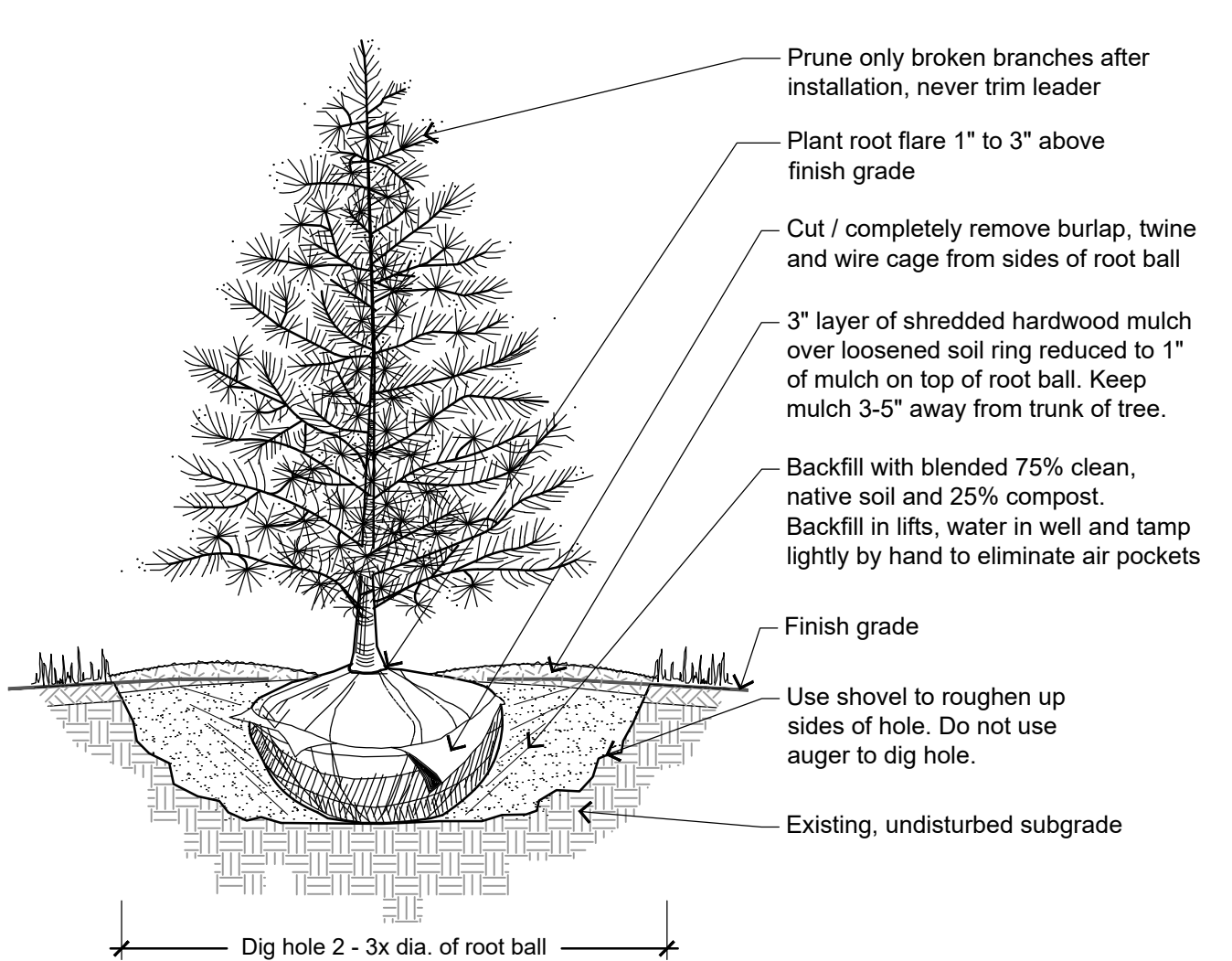
CONDITIONAL  
USE PERMIT

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DATE: 03/25/2024  
SCALE: 1" = 20'  
JOB NO. 3200001  
PROJECT MANAGER:  
TOM MORTENSEN, PLA, ASLA  
DESIGNED BY: ##  
CHECKED BY: ##  
SHEET NUMBER  
L100

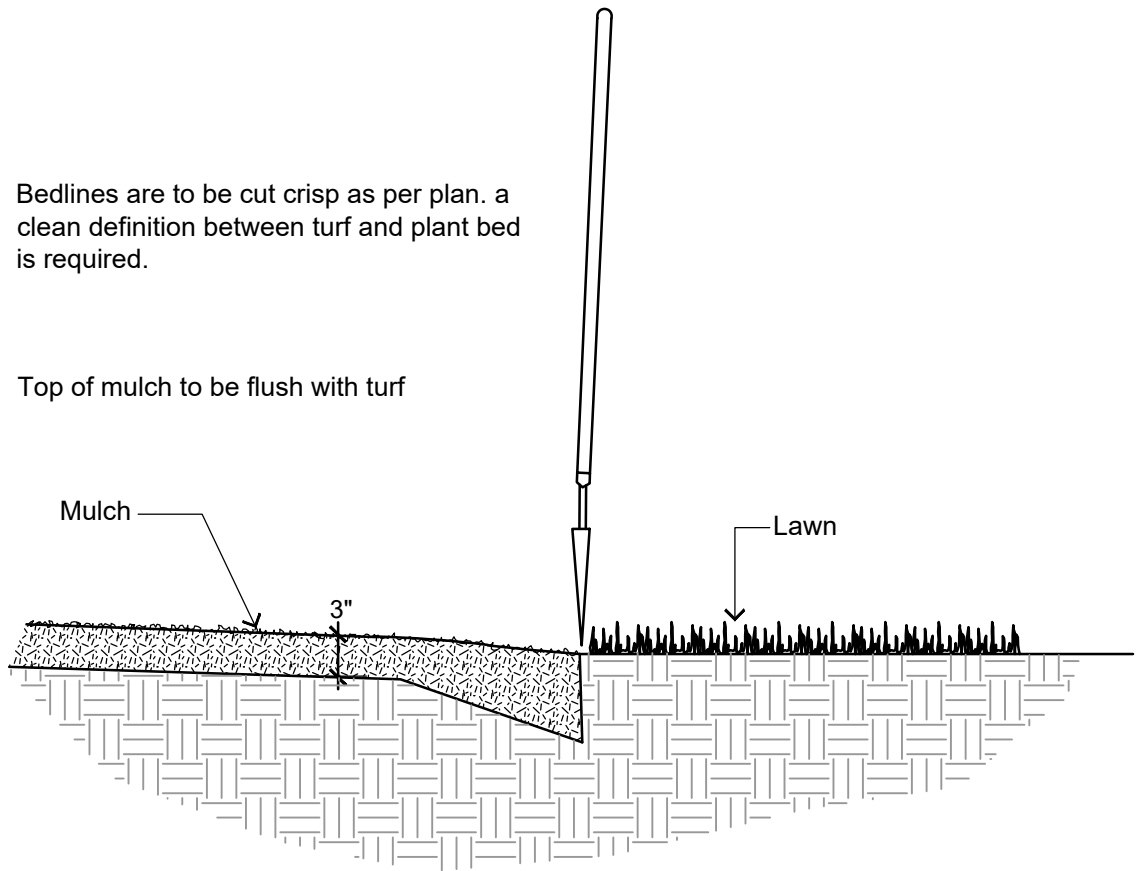




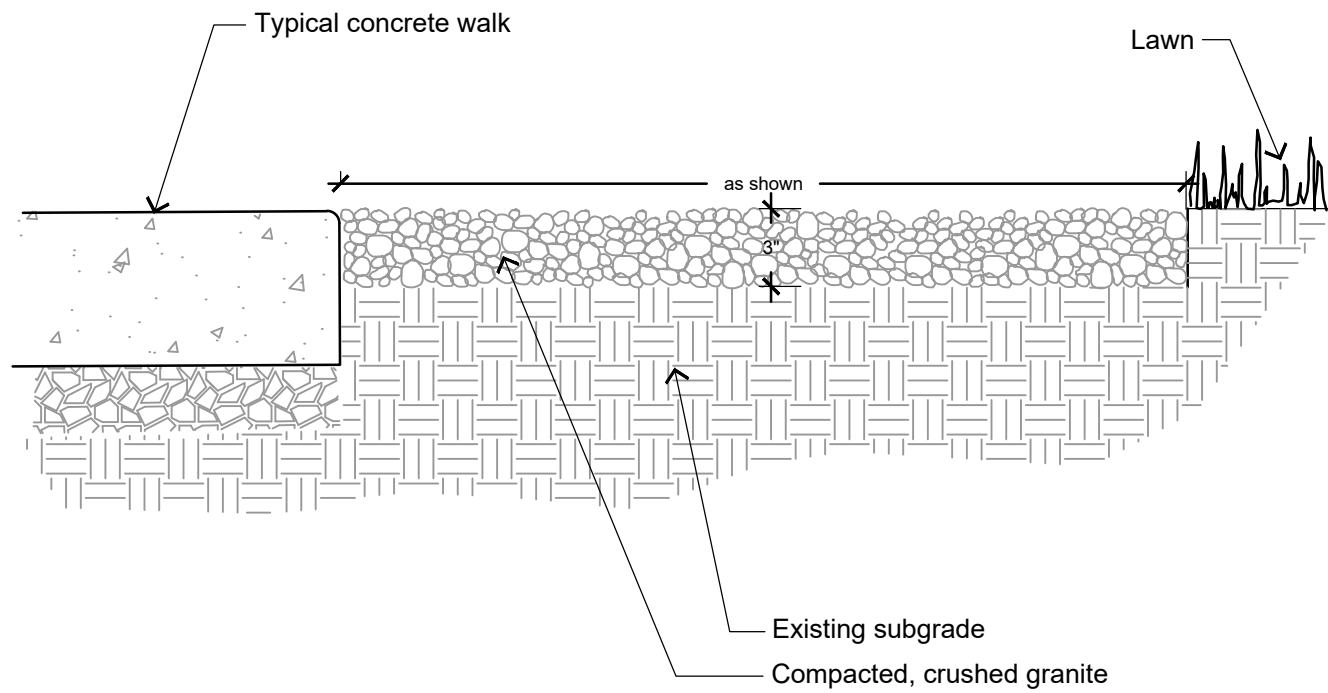
1 DECIDUOUS TREE PLANTING DETAIL  
NOT TO SCALE



2 EVERGREEN TREE PLANTING DETAIL  
NOT TO SCALE



3 SHOVEL CUT PLANT BED EDGING DETAIL  
NOT TO SCALE



4 BEER GARDEN GRAVEL DETAIL  
NOT TO SCALE

#### DIVISION 1 - GENERAL REQUIREMENTS

##### 01 5 00 Substitution Procedures

- Any potential plant substitutions must be submitted in writing to the general contractor and approved by the owner's representative or landscape architect prior to installation. All plants must be installed as per sizes and quantities shown on plant material schedule, unless approved by owner's representative or landscape architect. Any potential changes to sizes shown on plan and appropriate cost credits / adjustments must be submitted in writing to the general contractor and approved by the owner's representative or landscape architect prior to installation.

##### 01 11 13 Work Covered by Contract Documents

- The landscape contractor is responsible for the watering and maintenance of all landscape areas at time of planting and throughout construction until the substantial completion of the installation and acceptance by the owner. This includes all trees, evergreens and turf grass areas. Maintenance includes mowing, weeding, watering, mulching, edging, pruning, deadheading, raking leaves / debris, sweeping up grass clippings, fertilizing and maintaining turf areas (including applying pre and post emergent herbicides), applying deer fencing as needed, and any other needs that are required to keep the landscape healthy and well maintained.
- Substantial Completion of Landscape: after the landscape has been installed, the landscape contractor is responsible to conduct a final review with the owner's representative and the general contractor to ensure that all plans and specifications have been met. After this review, the landscape will be considered to be installed in substantial completion unless otherwise noted by the owner's representative and/or general contractor. Any items missing or incomplete, shall be corrected within 30 days. The landscape contractor shall provide written watering and maintenance instructions for the new plantings and lawn to the owner.
- Warranty and replacements: All plants (trees and evergreens) shall be warranted by the landscape contractor to be in healthy and flourishing condition for a period of one year from the date of substantial completion. This assumes the owner performs required maintenance (i.e. regular watering) after substantial completion of the landscape. Only one replacement per plant will be required during the warranty period, except for losses or replacements due to failure to comply with specified requirements. Replacements shall be plants of the same variety specified on the plan and closely match adjacent specimens in size. The landscape contractor is responsible for keeping a documented record of which plants have been replaced during the warranty period.

##### 012 16 Work Sequence

- Contractor responsible for contacting public and private underground utility locating service to have site marked prior to any digging or earthwork.
- Contractor to verify all plant quantities shown on plant list and verify with plan. Report any discrepancies immediately to general contractor. Inform landscape architect and general contractor of date(s) when planting shall commence.

#### DIVISION 32 - EXTERIOR IMPROVEMENTS

##### 32 91 00 - PLANTING PREPARATION

###### 32 91 13 Soil Preparation

- Areas to be seeded: remove / kill off any existing unwanted vegetation prior to seeding with a glyphosate herbicide, applied only by a state certified applicator no sooner than 2 weeks prior to seed installation. Prepare seed bed areas to a maximum depth of 1 inch. Prepare the topsoil by removing all surface stones 1" or larger. Soil's surface should be loose and free of any soil clumps exceeding 1 inch in diameter. Do not fertilize native seeding areas.
- Erosion control measures are to be used in swales and on steep grades, where applicable.
- Compost shall be stable, and weed-free organic matter. It shall be resistant to further decomposition and free of compounds, such as ammonia and organic acids, in concentrations toxic to plant growth. The compost shall contain no pathogens or other chemical contaminants and meet the requirements of WisDNR S100 Compost Specification.

###### 32 91 13.16 Mulching

- All tree planting beds to receive a 3" deep layer of high quality shredded hardwood bark mulch (not enviromulch or wood chips). Mulch shall be uniform in size, color, quality and overall appearance. Mulch shall be free of debris, large wood chunks, soil, rocks, weeds, invasive plant parts or seeds and any other material injurious to plant growth. Do not allow mulch to contact tree trunks.

##### 32 91 19 LANDSCAPE GRADING

###### 32 91 19.13 Topsoil Placement and Grading

- The subsequent requirements regarding topsoil should be coordinated between the general contractor, grading contractor and landscape contractor.
- Subgrade areas shall be graded to within 1", more or less, of proposed subgrade. Deviations shall not be consistent in one direction.
- Topsoil shall be placed to meet proposed finished grade. Parking lot islands to be backfilled with screened topsoil (per note below) to a minimum depth of 18" by general / grading contractor to insure long term plant health. All other landscaped areas to receive a minimum depth of 3" of clean topsoil (per note below).
- Topsoil shall be: screened existing stockpiled topsoil, existing in-place soil, or screened soil from an off-site source that will support plant growth, and meets the following requirements. Clean topsoil shall be free of rocks, coarse fragments, gravel, sticks, trash, roots, debris over 3/4" and any substances harmful to plant growth. It also must be free of plants or plant parts of any noxious weeds. Topsoil shall contain 3 to 5 percent decomposed organic matter and a pH between 5.5 and 7.0.
- Planting beds and parking lot islands: Landscape contractor is responsible for ensuring that unwanted material (gravel, debris, roots and other extraneous material harmful to plant growth) has been removed from the topsoil and for the fine grading of all landscaped areas. The fine grading of planting beds and parking lot islands may require additional topsoil to bring to finish grade, allowing for mulch depth. Crown all planting islands and planting beds not adjacent to buildings, a minimum of 6" to provide proper drainage, unless otherwise specified. All other finished landscaped areas to be smooth, uniform and provide positive drainage away from structures and pavement.
- Seeded areas: to receive a settled minimum depth of 3" of blended, prepared and non-compacted topsoil. Landscape contractor is responsible for excavation and removal of unwanted material (gravel, debris, roots and other extraneous material harmful to plant growth) to the specified depth, supplementing with additional topsoil (if necessary) and the fine grading of all seeded areas.

##### 32 92 00 - TURF AND GRASSES

###### 32 92 19 Seeding

- Seed type for lawn areas - use only a premium quality seed mix. Premium blend seed mix example (or equivalent): 50% blended bluegrass, 25% creeping red fescue, 25% perennial ryegrass applied at 5 lbs per 1,000 SF or at recommended rates from supplier. Provide seed specifications to general contractor prior to installation.
- Erosion control measures are to be used in swales and on steep grades, where applicable.
- If straw mulch is used as a covering for seeding, a tackifier may be necessary to avoid wind damage.
- Methods of installation may vary at the discretion of the landscape contractor on his/her responsibility to establish and guarantee a smooth, uniform, quality turf and evenly seeded native areas.
- An acceptable quality seed installation is defined as having:
  - No bare spots larger than 1/2 square foot
  - No more than 5% of the total area with bare spots larger than 1/2 square foot
  - A uniform coverage throughout all areas

##### 32 93 00 - PLANTS

- All plantings shall comply with standards as described in American Standard of Nursery Stock - ANSI Z60.1 (latest version). General contractor or owner's representative reserves the right to inspect and potentially reject any plants that are inferior, compromised, undersized, diseased, improperly transported, installed incorrectly or damaged.

##### 32 93 43 Trees

- Trees shall be planted per planting details.
- Plant all trees slightly higher than finished grade at root flare. Remove excess soil from top of root ball, if needed.
- An auger is not an acceptable method of digging tree planting holes.
- Scarify side walls of tree pit prior to installation.
- Once tree has been placed into the hole, is at the correct depth and vertical alignment and will no longer be moved; brace root ball by tamping soil around the lower portion of the root ball. Remove and discard twine / rope, burlap and support wire from the sides of root ball.
- Backfill tree planting holes with 75% existing soil removed from excavation and 25% compost blended prior to backfilling holes, in six-inch lifts. Lightly tamp each lift using foot pressure or hand tools to settle backfill, support the tree and eliminate voids. Do not over compact or use mechanical or pneumatic tamping equipment. Discard any gravel, heavy clay or stones.
- When hole has been backfilled to three-quarters of its depth, pour water around the root ball and allow to soak into soil to settle the soil. Continue backfilling until soil is brought to grade level.
- Provide a 3" deep, 4 ft. diameter shredded hardwood bark mulch ring around all trees in lawn areas, reduced to 1" deep on top of root ball. Keep mulch 3" - 5" away from trunk of tree.
- Trees that are installed incorrectly will be replaced at the time and expense of the landscape contractor.
- Trees too large for two people to lift in and out of holes, shall be placed with sling. Do not rock the trees in holes to raise them.

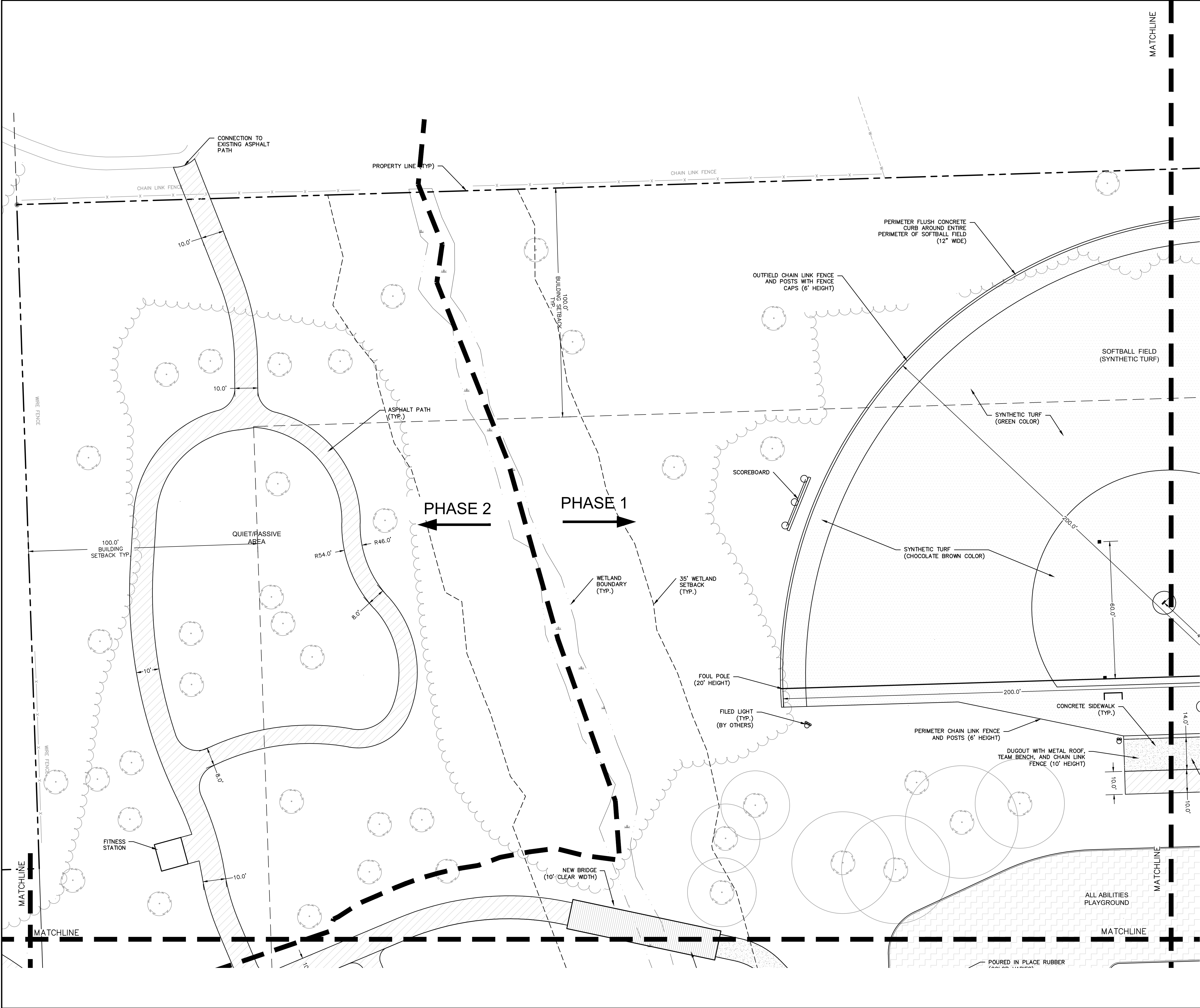
##### 32 94 00 - PLANTING ACCESSORIES

###### 32 94 13 Landscape Edging

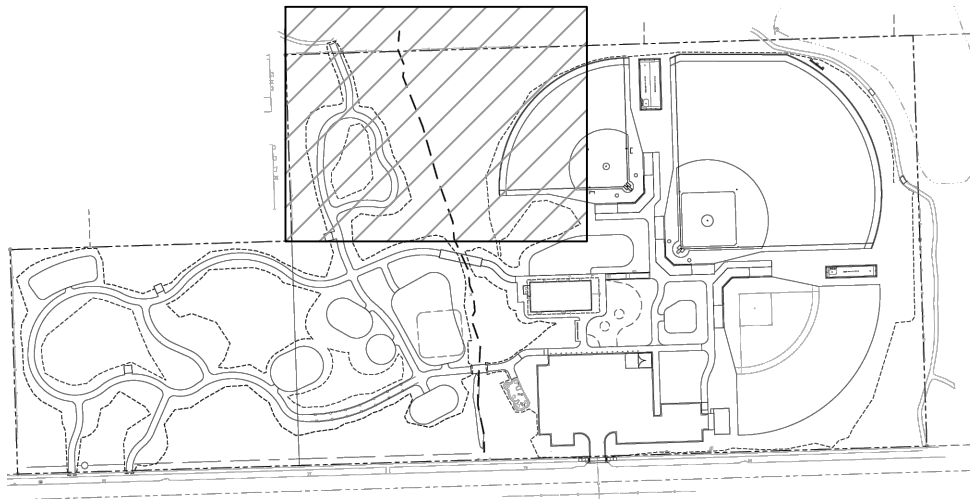
- Edge all planting beds with a 4" deep spaded edge (shovel cut or mechanical). Bedlines are to be cut crisp, as per plan. A clean definition between lawn and plant bed is required.

| DESCRIPTION                                   | DATE  | 16745 W. Bluemound Road<br>Brookfield, WI 53005-5938<br>(262) 781-1000<br>rasmith.com   | Brookfield, WI   Milwaukee, WI   Appleton, WI   Madison, WI<br>Cedarburg, WI   Naperville, IL   Irvine, CA |
|---|---|---|--|
| MOSS UNIVERSAL PARK<br>MILWAUKEE COUNTY PARKS | LANDSAPING PLAN<br>SPECIFICATIONS AND DETAILS | 811<br>Know what's below.<br>Call before you dig.<br>R.A.SMITH, INC. ASSUMES NO RESPONSIBILITY FOR<br>DAMAGES, LIABILITY OR COSTS RESULTING FROM<br>CHANGES OR ALTERATIONS MADE TO THIS PLAN WITHOUT<br>THE EXPRESSED WRITTEN CONSENT OF R.A.SMITH, INC.<br>ALL COPYRIGHTS TO THESE DRAWINGS ARE RESERVED.<br>THEY MAY NOT BE COPIED, CHANGED, OR ASSIGNED TO<br>ANY THIRD PARTY IN ANY MANNER WITHOUT OBTAINING<br>THE EXPRESSED WRITTEN PERMISSION OF R.A.SMITH, INC. |  |
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| SCALE: NOT TO SCALE                           |   | JOB NO. 3200001   |  |
| PROJECT MANAGER:<br>TOM MORTENSEN, PLA, ASLA  |   | DESIGNED BY: ###  |  |
| CHECKED BY: ##                                |   | SHEET NUMBER  |  |
| L200  |   |   |  |





KEY MAP

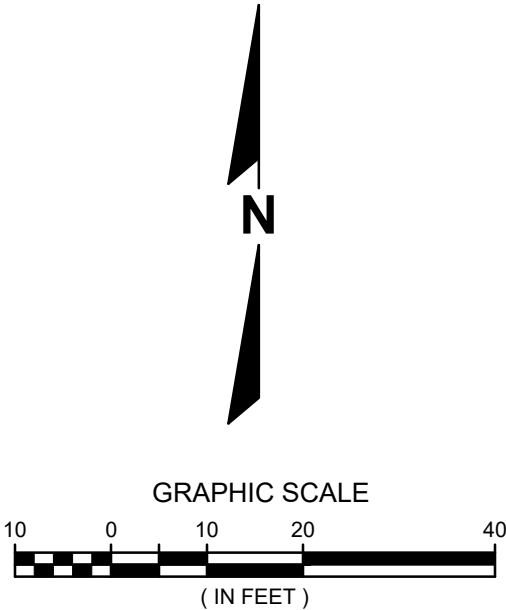


LEGEND

- ASPHALT PATH
- CONCRETE SIDEWALK
- PARKING LOT ASPHALT
- PERMEABLE PAVERS
- HEAVY-DUTY CONCRETE
- SYNTHETIC TURF
- RUBBERIZED UNIVERSAL FIELD SURFACE MATERIAL
- POURED IN PLACE RUBBER
- GRAVEL PAVING
- BRIDGE
- CONCRETE CURB AND GUTTER
- CONCRETE CURB
- BIKE RACK
- CURB TAPER
- TRUNCATED DOME PANELS
- SIGN

CONTACT:

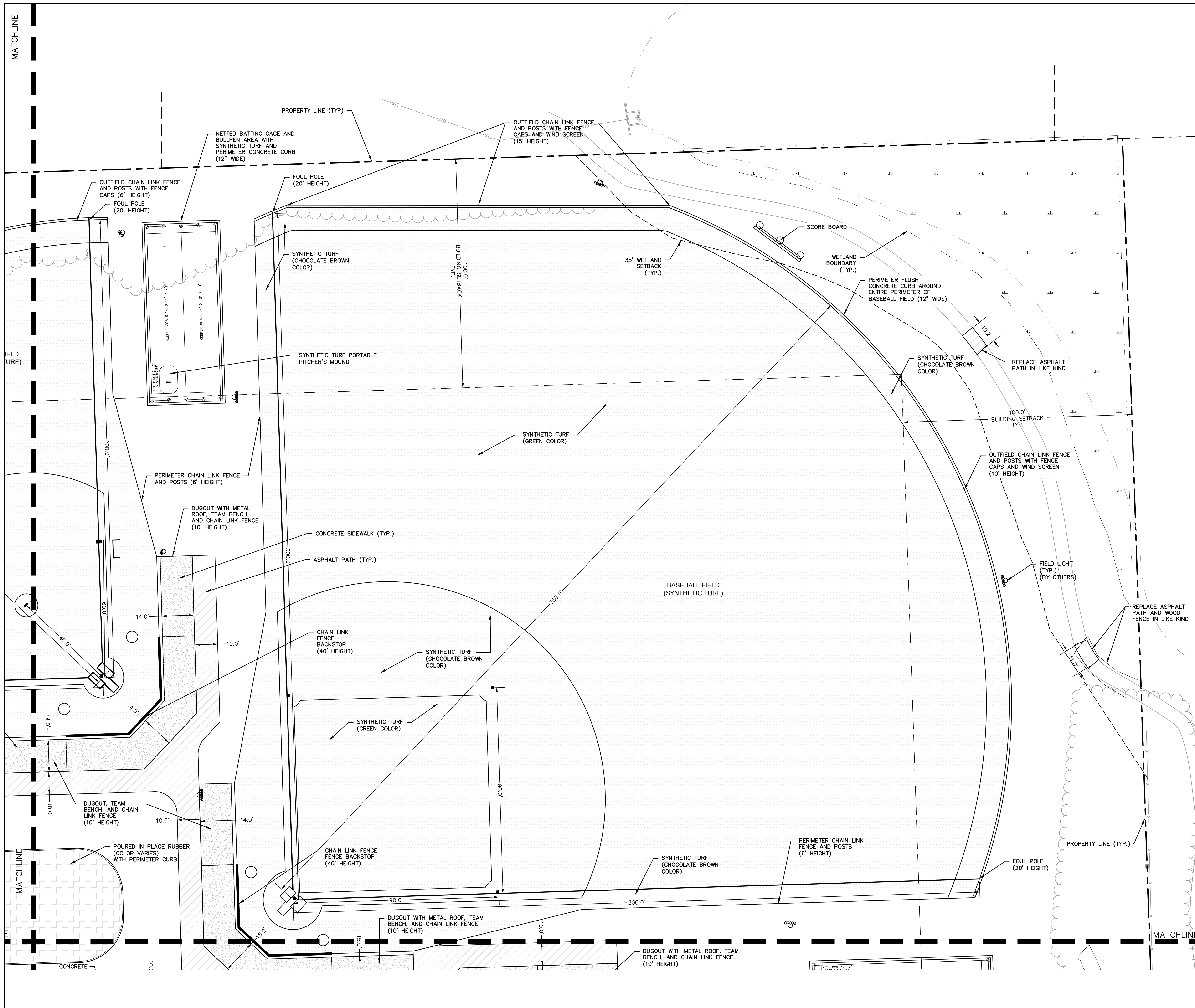
MILWAUKEE COUNTY PARKS MAINTENANCE  
BLAKE PRUSAOK:  
(414) 258-2322  
BLAKE.PRUSAOK@MILWAUKEECOUNTYWI.GOV



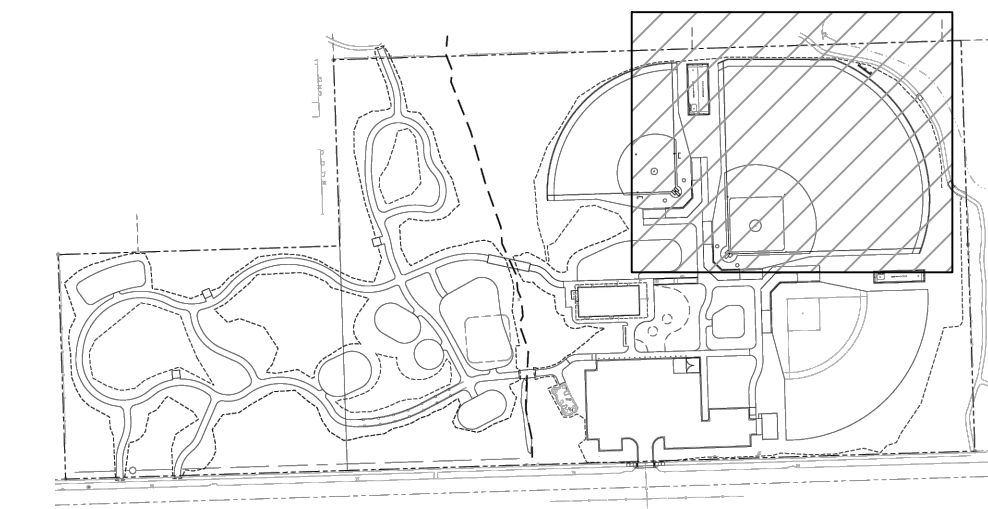
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| DESCRIPTION  |  | DATE                          |  |
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|  |  |                               |  |
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| raSmith<br>CREATIVITY BEYOND ENGINEERING   |  |                               |  |
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| MOSS UNIVERSAL PARK<br>MILWAUKEE COUNTY PARKS  |  | SITE PLAN DETAIL<br>NORTHWEST |  |
| CONDITIONAL<br>USE PERMIT  |  |                               |  |
| © COPYRIGHT 2024<br>R.A. Smith, Inc.   |  |                               |  |
| DATE: 03/25/2024   |  |                               |  |
| SCALE: 1" = 20'  |  |                               |  |
| JOB NO. 3200001  |  |                               |  |
| PROJECT MANAGER:<br>DAVID M. MORTENSEN, P.E.   |  |                               |  |
| DESIGNED BY: CBT   |  |                               |  |
| CHECKED BY: DMM  |  |                               |  |
| SHEET NUMBER   |  |                               |  |
| C301   |  |                               |  |




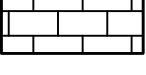

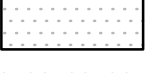


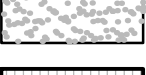











## KEY MAP

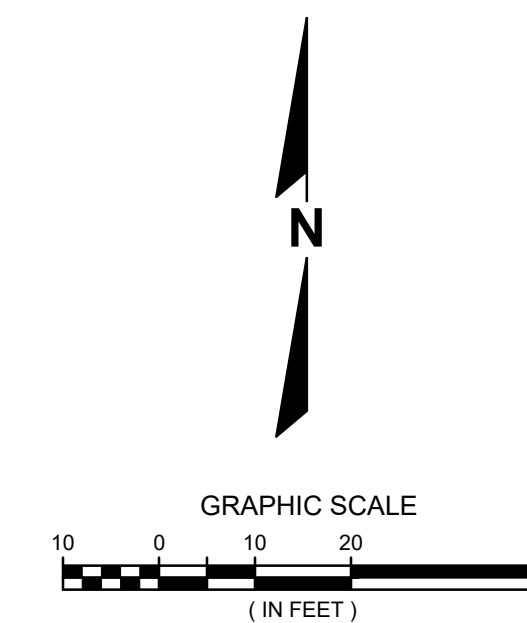


## LEGEND

- |   |   |
|---|---|
|    | ASPHALT PATH                                |
|    | CONCRETE SIDEWALK                           |
|    | PARKING LOT ASPHALT                         |
|    | PERMEABLE PAVERS                            |
|    | HEAVY-DUTY CONCRETE                         |
|    | SYNTHETIC TURF                              |
|    | RUBBERIZED UNIVERSAL FIELD SURFACE MATERIAL |
|    | POURED IN PLACE RUBBER                      |
|    | GRAVEL PAVING                               |
|    | BRIDGE                                      |
|    | CONCRETE CURB AND GUTTER                    |
|    | CONCRETE CURB                               |
|   | BIKE RACK                                   |
|  | CURB TAPER                                  |
|  | TRUNCATED DOME PANELS                       |
|  | SIGN  |

**CONTACT:**


MILWAUKEE COUNTY PARKS MAINTENANCE  
BLAKE PRUSAK:  
(414) 258-2322  
BLAKE.PRUSAK@MILWAUKEECOUNTYWI.GOV



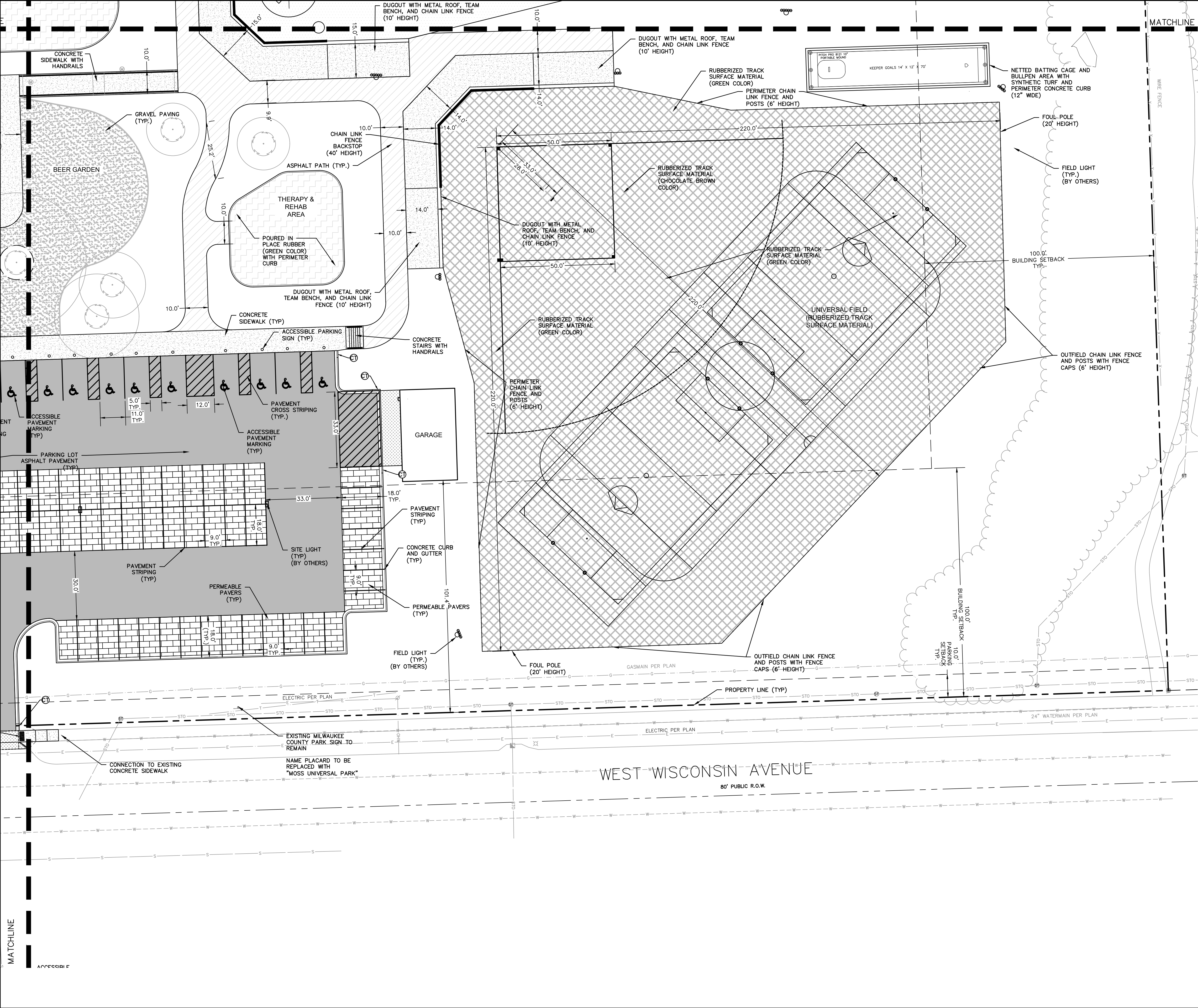
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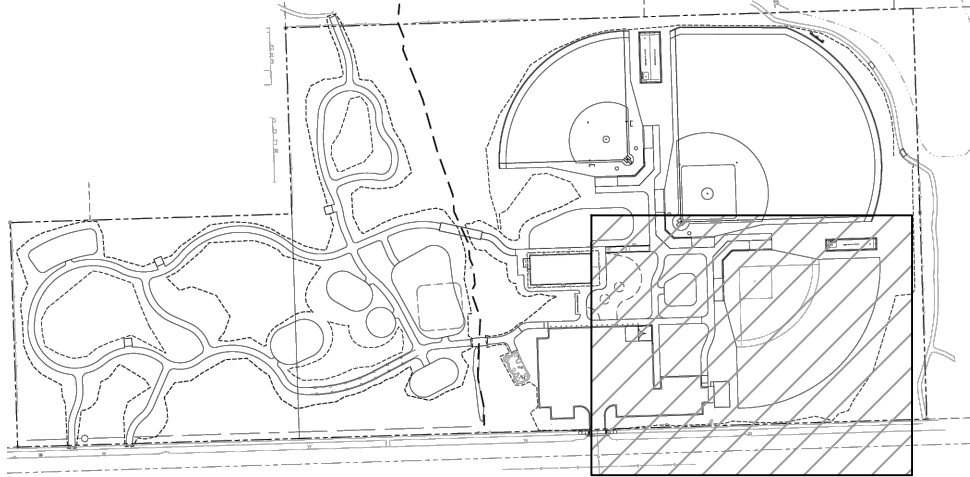
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|   |  |  |  |      |             |
|---|--|--|--|------|-------------|
| <div>MOSS UNIVERSAL PARK<br/>MILWAUKEE COUNTY PARKS</div> <div>SITE PLAN DETAIL<br/>NORTHEAST</div> |  | <div><div>CREATIVITY BEYOND ENGINEERING</div><div>16745 W. Bluemound Road<br/>Brookfield, WI 53005-5938<br/>(262) 781-1000<br/>rasmith.com</div></div> <div>Brookfield, WI   Milwaukee, WI   Appleton, WI   Madison, WI<br/>Cedarburg, WI   Naperville, IL   Irvine, CA</div> |  | DATE | DESCRIPTION |
|   |  |  |  |      |             |
|   |  |  |  |      |             |
|   |  |  |  |      |             |
|   |  |  |  |      |             |
| <div>CONDITIONAL<br/>USE PERMIT</div>   |  |  |  |      |             |
|   |  | © COPYRIGHT 2024<br>R.A. Smith, Inc.   |  |      |             |
|   |  | DATE: 03/25/2024   |  |      |             |
|   |  | SCALE: 1" = 20'  |  |      |             |
|   |  | JOB NO. 3200001  |  |      |             |
|   |  | PROJECT MANAGER:<br>DAVID M. MORTENSEN, P.E.   |  |      |             |
|   |  | DESIGNED BY: CBT   |  |      |             |
|   |  | CHECKED BY: DMM  |  |      |             |
|   |  | SHEET NUMBER   |  |      |             |
|   |  | C302   |  |      |             |





KEY MAP

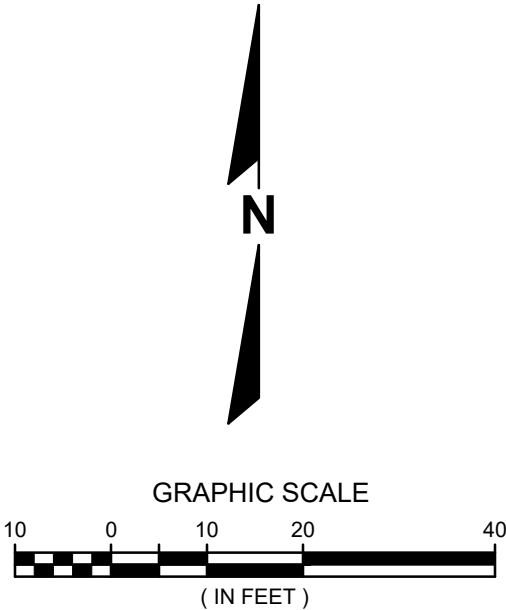


LEGEND

- ASPHALT PATH
- CONCRETE SIDEWALK
- PARKING LOT ASPHALT
- PERMEABLE PAVERS
- HEAVY-DUTY CONCRETE
- SYNTHETIC TURF
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- CONCRETE CURB
- BIKE RACK
- CURB TAPER
- TRUNCATED DOME PANELS
- SIGN

CONTACT:

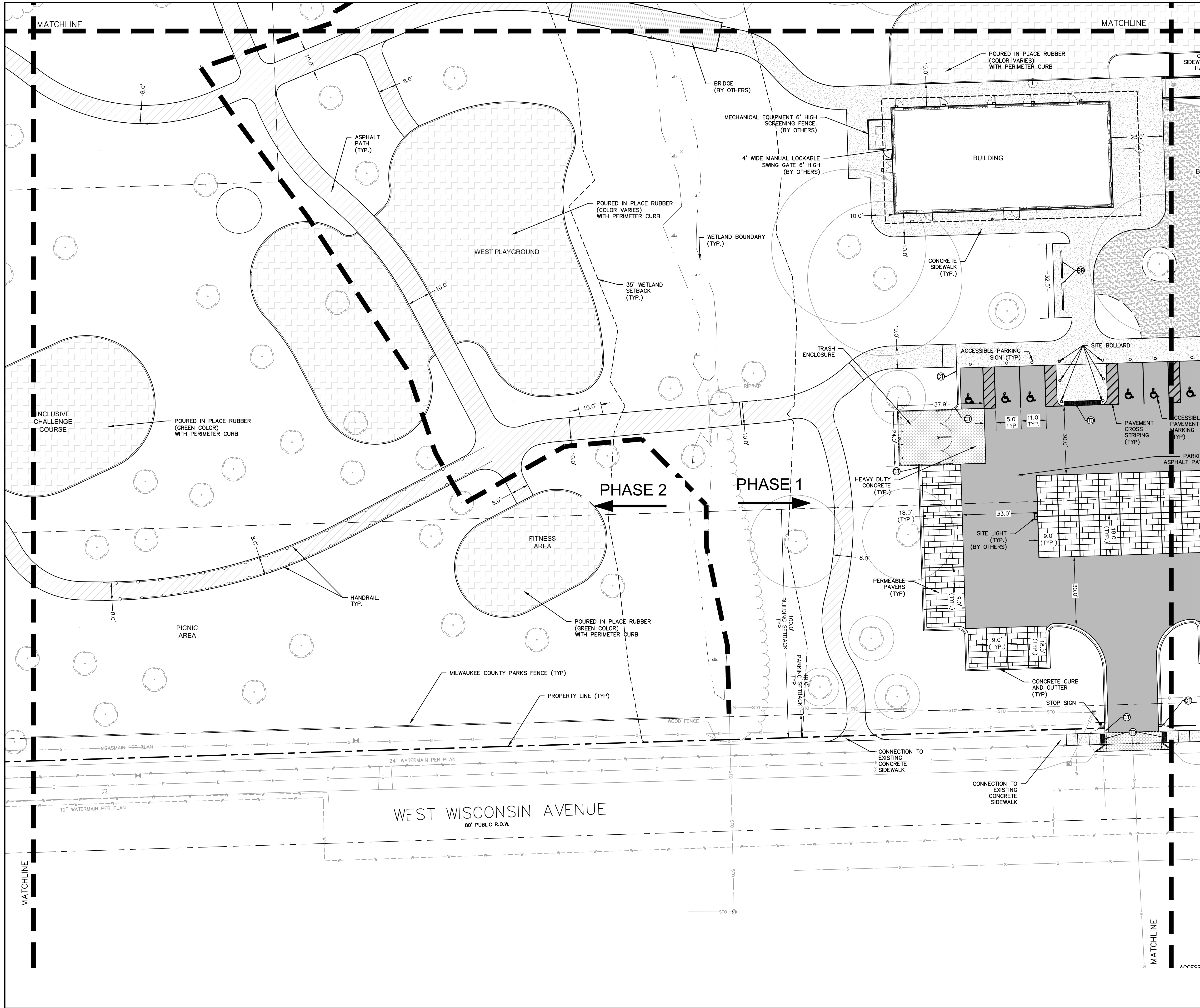
MILWAUKEE COUNTY PARKS MAINTENANCE  
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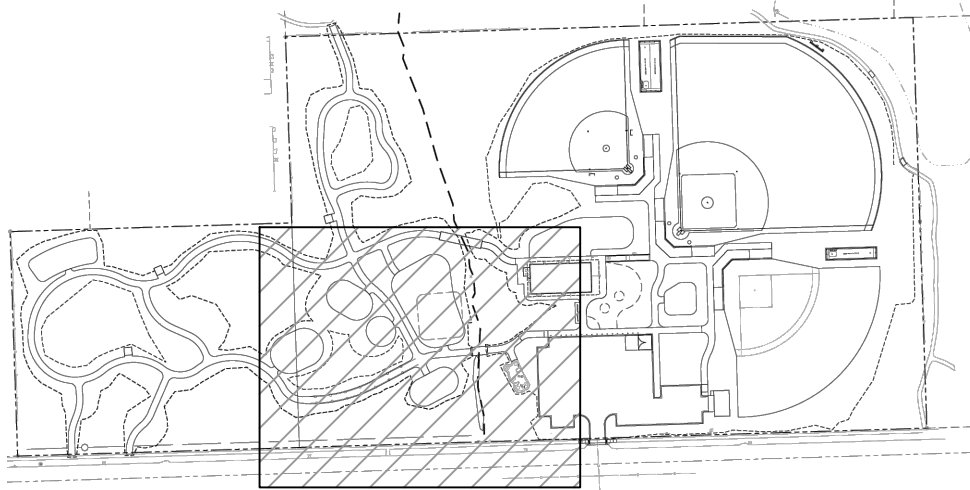
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| DESCRIPTION  | DATE |
|--|------|
| 16745 W. Bluemound Road<br>Brookfield, WI 53005-5938<br>(262) 781-1000<br>rasmith.com                      |      |
| <b>raSmith</b><br>CREATIVITY BEYOND ENGINEERING  |      |
| Brookfield, WI   Milwaukee, WI   Appleton, WI   Madison, WI<br>Cedarburg, WI   Naperville, IL   Irvine, CA |      |
| <b>MOSS UNIVERSAL PARK<br/>MILWAUKEE COUNTY PARKS</b>  |      |
| <b>SITE PLAN DETAIL<br/>SOUTHEAST</b>  |      |
| <b>CONDITIONAL<br/>USE PERMIT</b>  |      |
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| DATE: 03/25/2024   |      |
| SCALE: 1" = 20'  |      |
| JOB NO. 3200001  |      |
| PROJECT MANAGER:<br>DAVID M. MORTENSEN, P.E.   |      |
| DESIGNED BY: CBT   |      |
| CHECKED BY: DMM  |      |
| <b>SHEET NUMBER</b>  |      |
| C303   |      |





KEY MAP

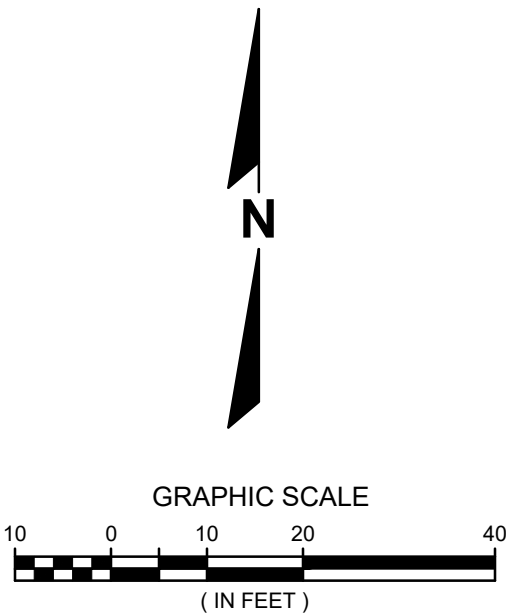


LEGEND

- ASPHALT PATH
- CONCRETE SIDEWALK
- PARKING LOT ASPHALT
- PERMEABLE PAVERS
- HEAVY-DUTY CONCRETE
- SYNTHETIC TURF
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| <b>MOSS UNIVERSAL PARK<br/>MILWAUKEE COUNTY PARKS</b>  |      |
| <b>SITE PLAN DETAIL<br/>SOUTHWEST</b>  |      |
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| DESIGNED BY: CBT   |      |
| CHECKED BY: DMM  |      |
| <b>SHEET NUMBER</b>  |      |
| C304   |      |











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# MOSS UNIVERSAL PARK PAVILION

WAUWATOSA DESIGN REVIEW BOARD

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**Kahler Slater**

**raSmith**

04/04/2024



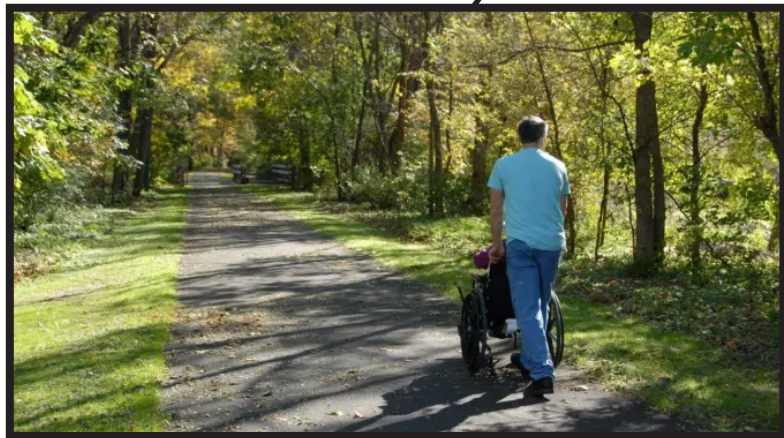
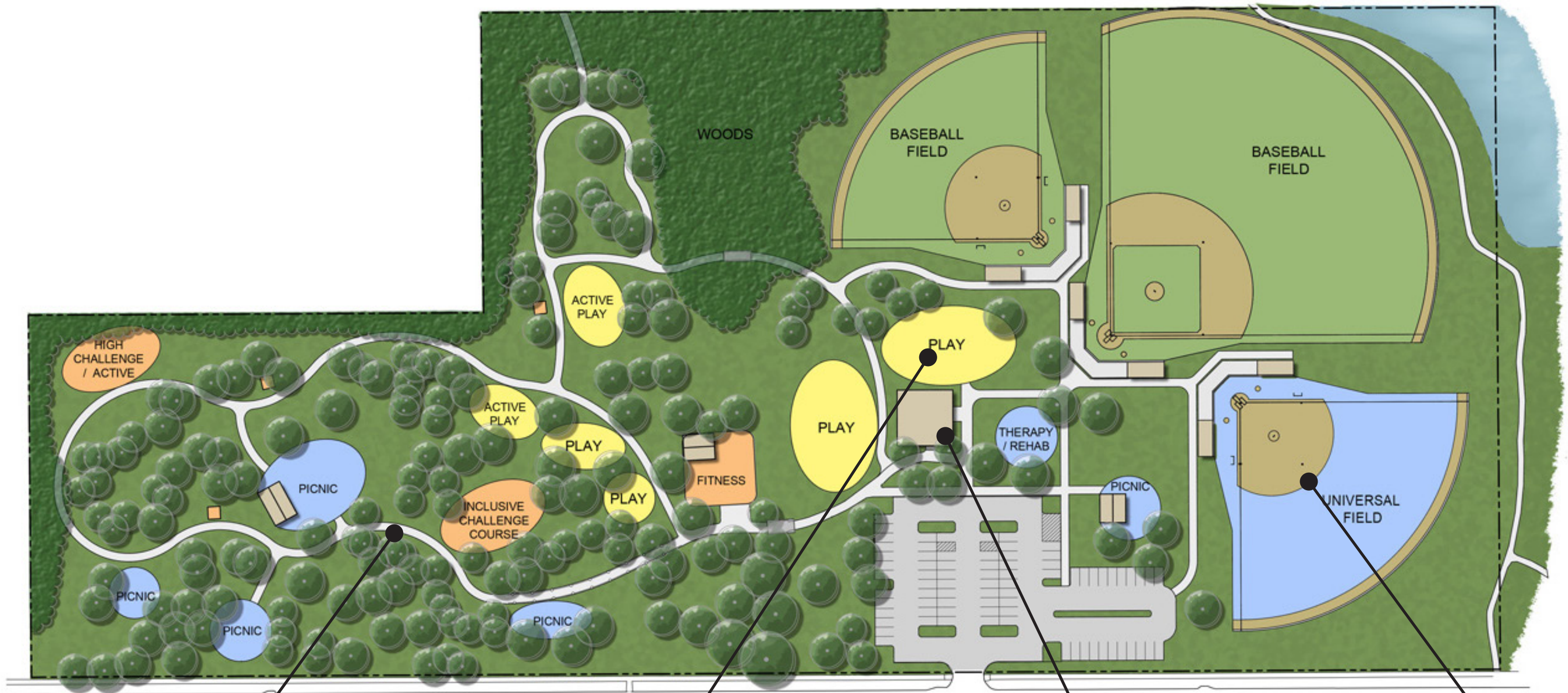


# THE ABILITY CENTER

Giving everybody the  
opportunity to play  
**TOGETHER.**











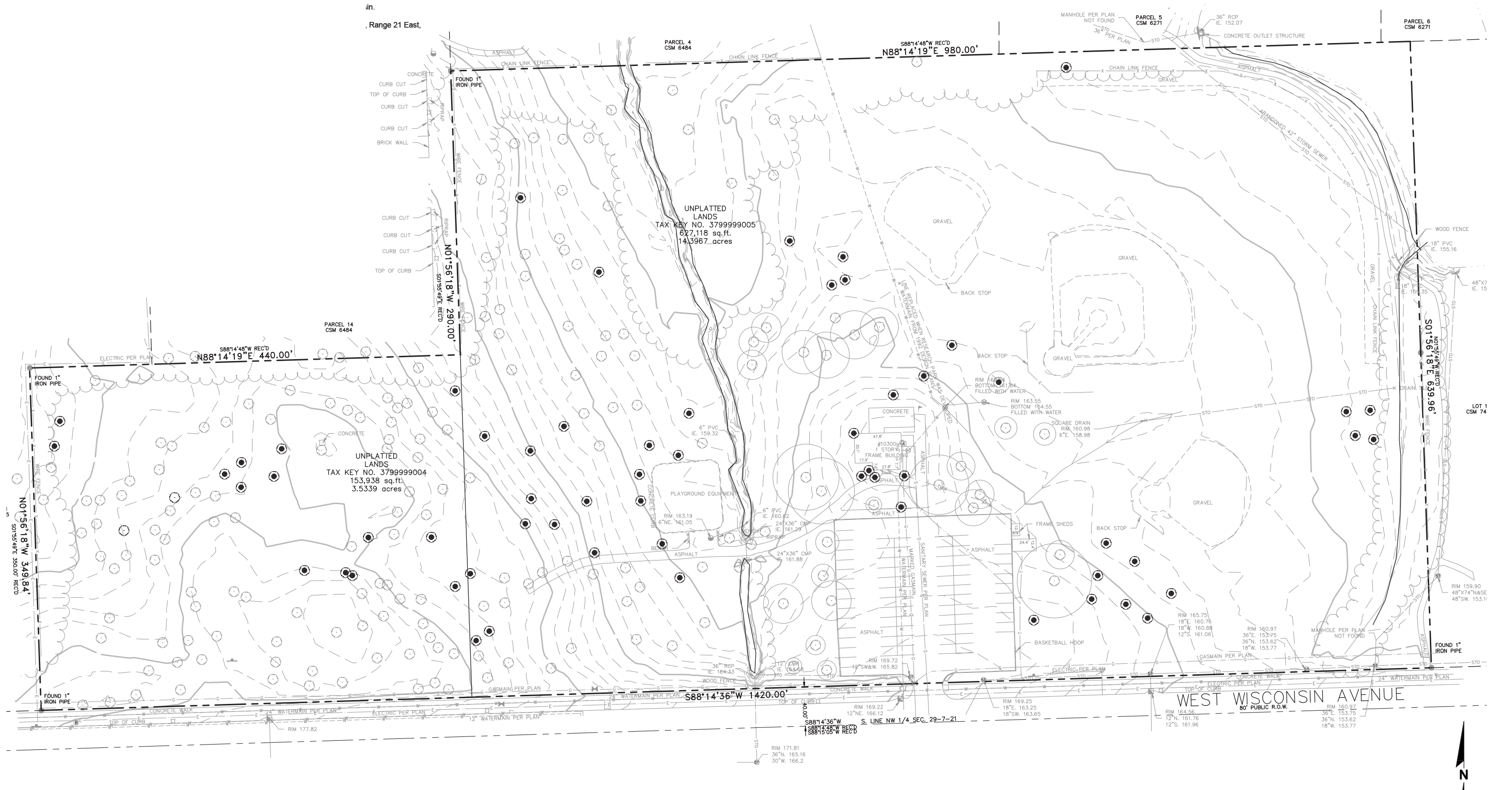






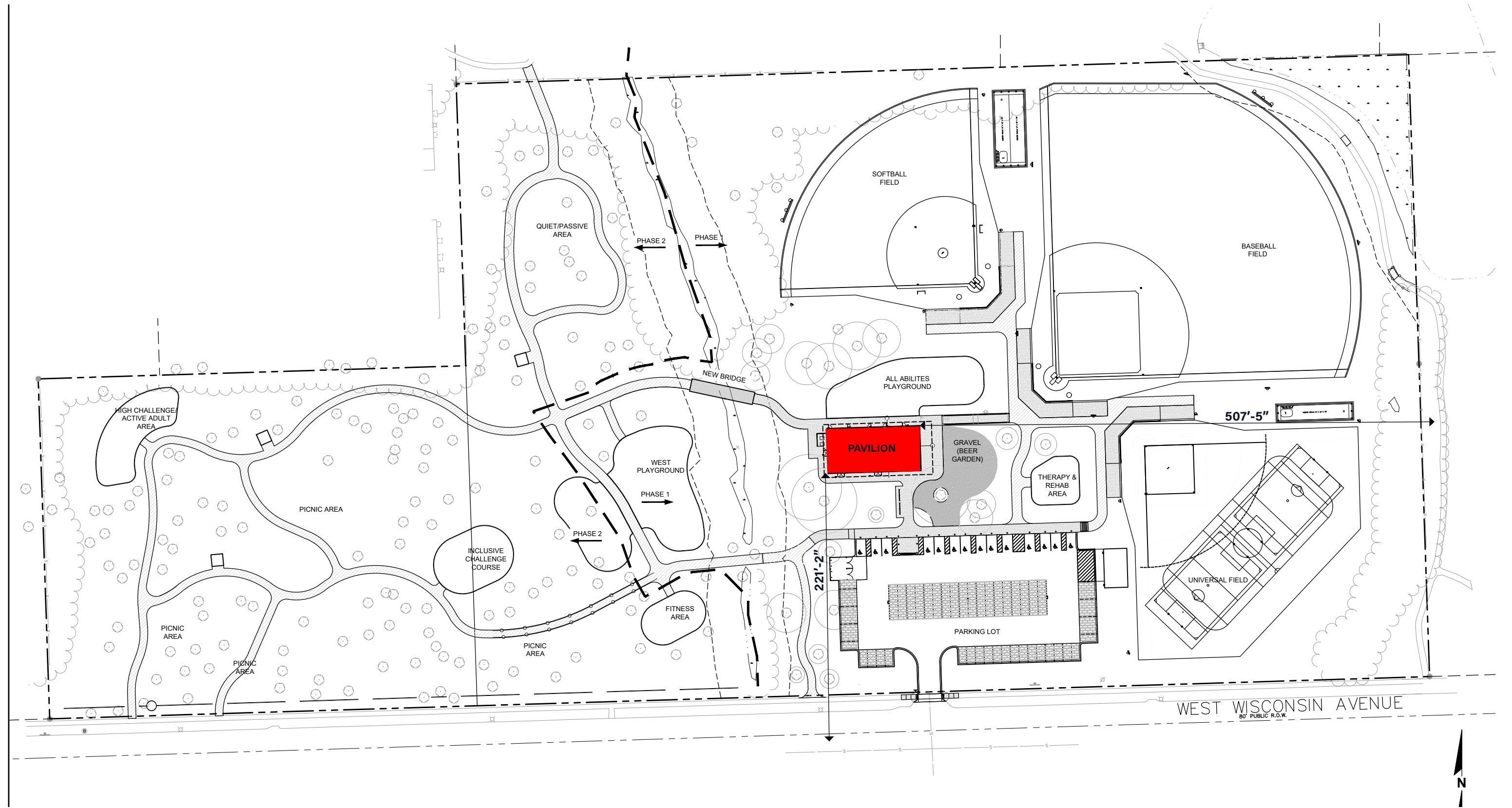






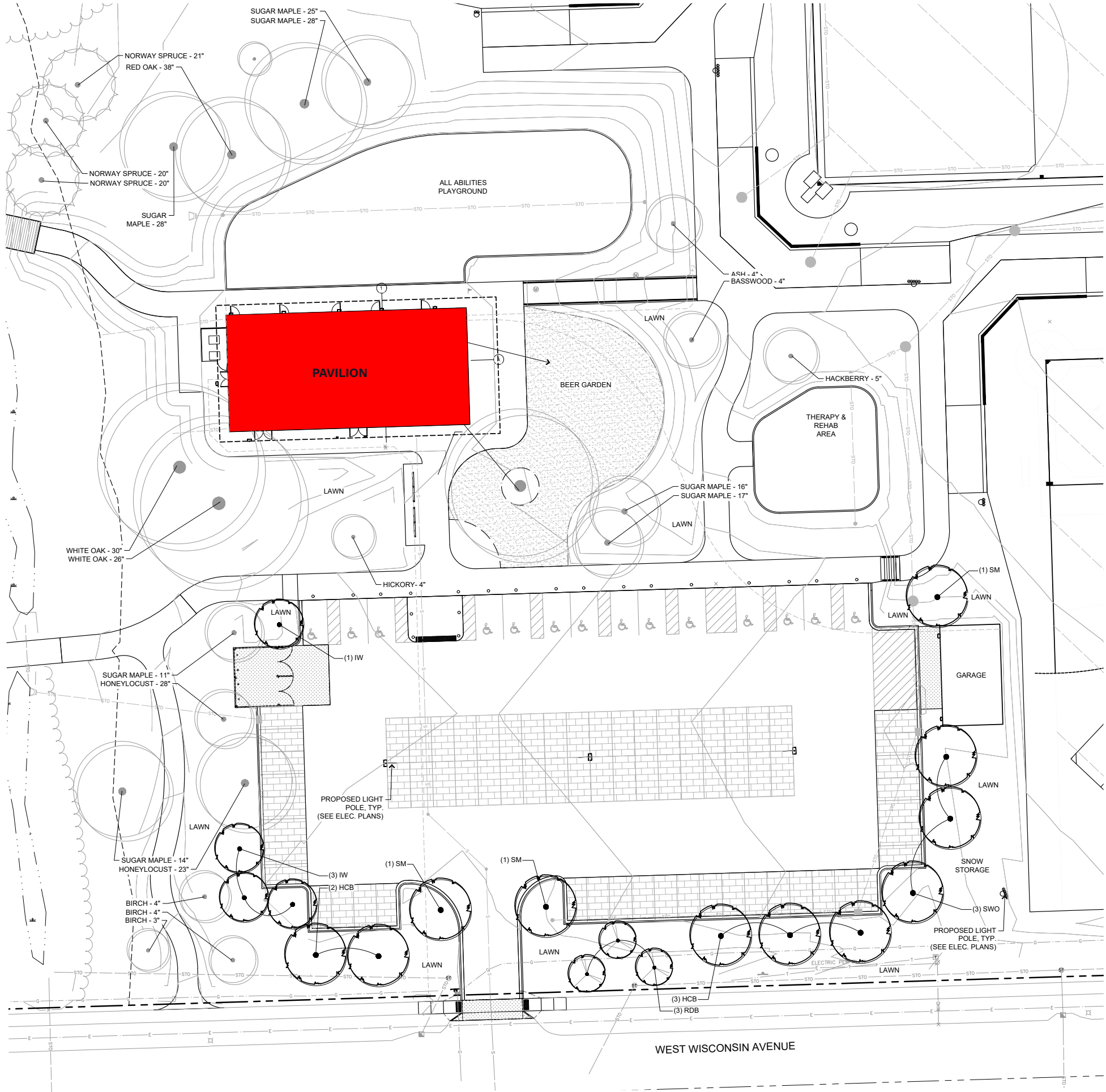
(see attached "Civil" package for scaled drawing)





(see attached "Civil" package for scaled drawing)





Title 24 - ZONING

Chapter 24.12 LANDSCAPING AND SCREENING  
Wauwatosa, Wisconsin, Code of Ordinances      Created: 2023-06-07 12:48:08 [EST]

(Supp. No. 80)  
Chapter 24.12 LANDSCAPING AND SCREENING

24.12.020 Perimeter Vehicular Use Area Landscaping.

A landscape strip with a minimum depth of 10 feet must be provided between the vehicular use area and the public right-of-way. This perimeter vehicular use area must include at least 2 deciduous trees and 8 shrubs per 50 feet of vehicular use area frontage.

West Wisconsin Ave. Vehicle Use Area - 127 + 37 = 164 LF

REQUIRED: 164 / 50 = 4      4 x 2 = 8 deciduous trees  
4 x 8 = 32 shrubs  
PROVIDED:      8 deciduous trees

24.12.030 Interior Vehicular Use Area Landscaping.

Minimum Interior Landscape Area. At least 10% of the interior of vehicular use areas must be landscaped. Vehicle Use Area = 32,020 SF

REQUIRED: 32,030 x 10% = 3,203 SF  
PROVIDED: 1,766 SF

Shade trees must be provided in interior landscape islands at a minimum rate of one tree per 180 square feet of required interior landscape area

Required Interior landscape Area = 3,203 SF  
REQUIRED: 3,203 / 180 = 18 Shade trees  
PROVIDED:    3 Existing Shade trees  
10 Proposed Shade trees

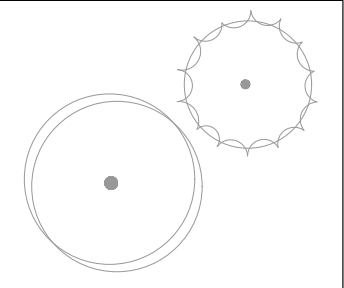
NOTE: Milwaukee County Parks will be seeking a variance to the interior landscape requirements, greenspace and shrub plantings for the parking lot.

PLANT SCHEDULE PARKING LOT

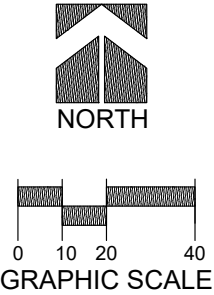
| CODE             | QTY | COMMON NAME      | BOTANICAL NAME      | INSTALLED SIZE | ROOT | SPACING                              | MATURE SIZE |
|------------------|-----|------------------|---------------------|----------------|------|--------------------------------------|-------------|
| SHADE TREES      |     |                  |                     |                |      |                                      |             |
| SM               | 2   | Sugar Maple      | Acer saccharum      | 2' CAL         | B&B  | Full, matching heads                 | 60' x 45'   |
| HCB              | 5   | Common Hackberry | Celtis occidentalis | 2' CAL         | B&B  | Full, matching heads                 | 50' x 50'   |
| IW               | 4   | Ironwood         | Ostrya virginiana   | 2' CAL         | B&B  | Full, matching heads                 | 25' x 15'   |
| SWO              | 3   | Swamp White Oak  | Quercus bicolor     | 2' CAL         | B&B  | Full, matching heads                 | 75' x 65'   |
| ORNAMENTAL TREES |     |                  |                     |                |      |                                      |             |
| RDB              | 3   | Eastern Redbud   | Cercis canadensis   | 2' CAL         | B&B  | Full, matching heads, Northern grown | 25' x 30'   |

Proposed trees : 34 caliper inches

- NOTES:
- Milwaukee County Parks requires using native trees and shrub species (no cultivars)
  - Top-dress and seed all lawn areas disturbed due to construction

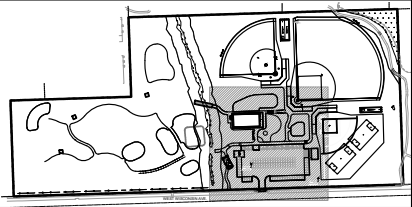


EXISTING TREE TO BE PRESERVED AND PROTECTED



| EXISTING PARKING STATISTICS                                |     |
|--|-----|
| STANDARD PARKING STALLS                                    | 80  |
| ACCESSIBLE STALLS  | 0   |
| TOTAL PARKING STALLS                                       | 80  |
| BIKE PARKING STALLS  | 0   |
| ON STREET PARKING ON WISCONSIN AVE - ONLY W/ PROP FRONTAGE |     |
| NORTH SIDE   | 59  |
| SOUTH SIDE   | 54  |
| TOTAL ON-STREET PARKING                                    | 113 |

| PROPOSED PARKING STATISTICS                                  |     |
|--|-----|
| STANDARD PARKING STALLS                                      | 69  |
| ACCESSIBLE STALLS  | 14  |
| TOTAL PARKING STALLS   | 83  |
| BIKE PARKING STALLS  | 26  |
| ON STREET PARKING ON WISCONSIN AVE - (ALONG STREET FRONTAGE) |     |
| NORTH SIDE   | 59  |
| SOUTH SIDE   | 54  |
| TOTAL ON-STREET PARKING                                      | 113 |



SITE KEY

**811**

Know what's below.  
Call before you dig.

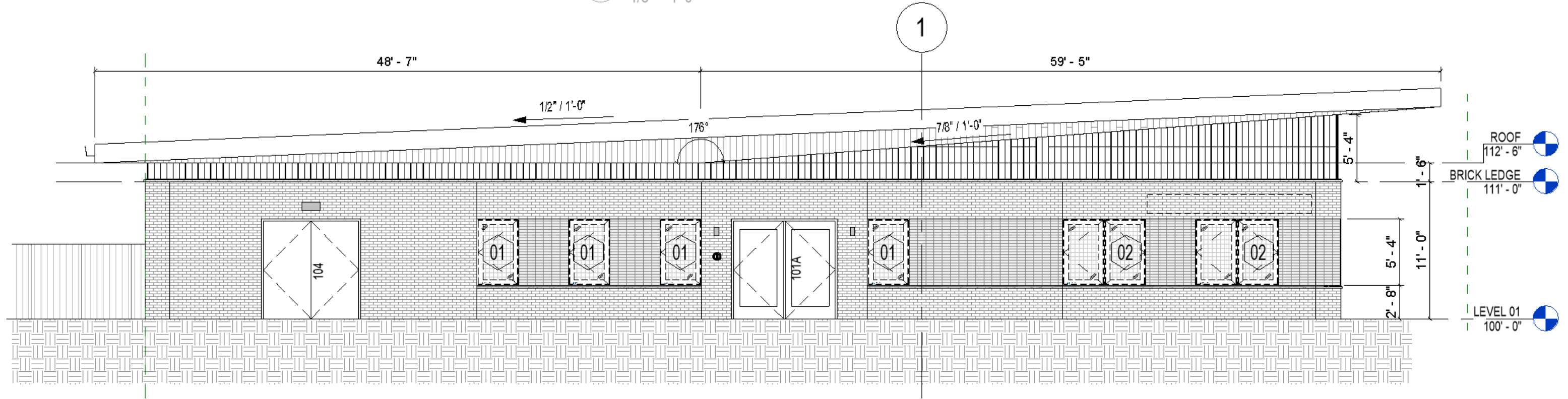
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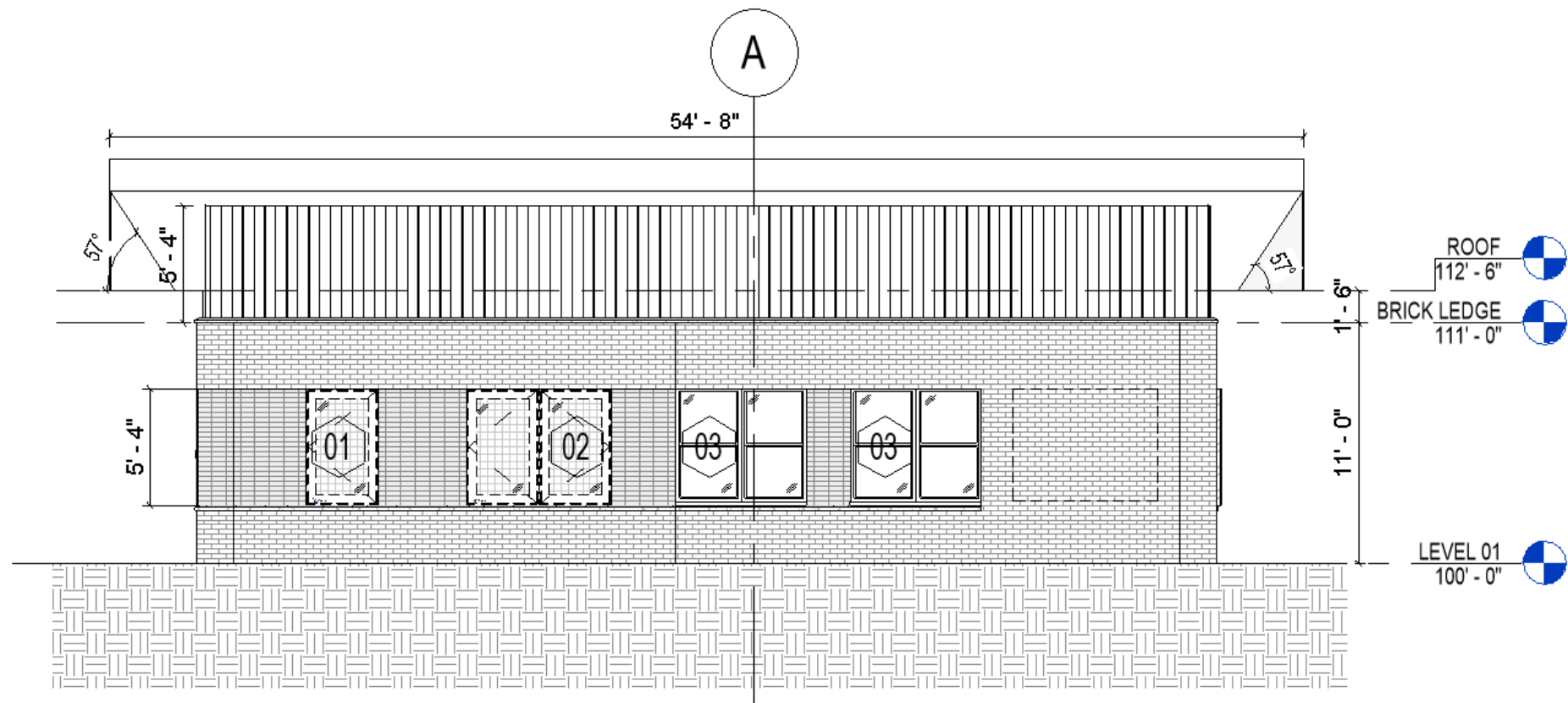






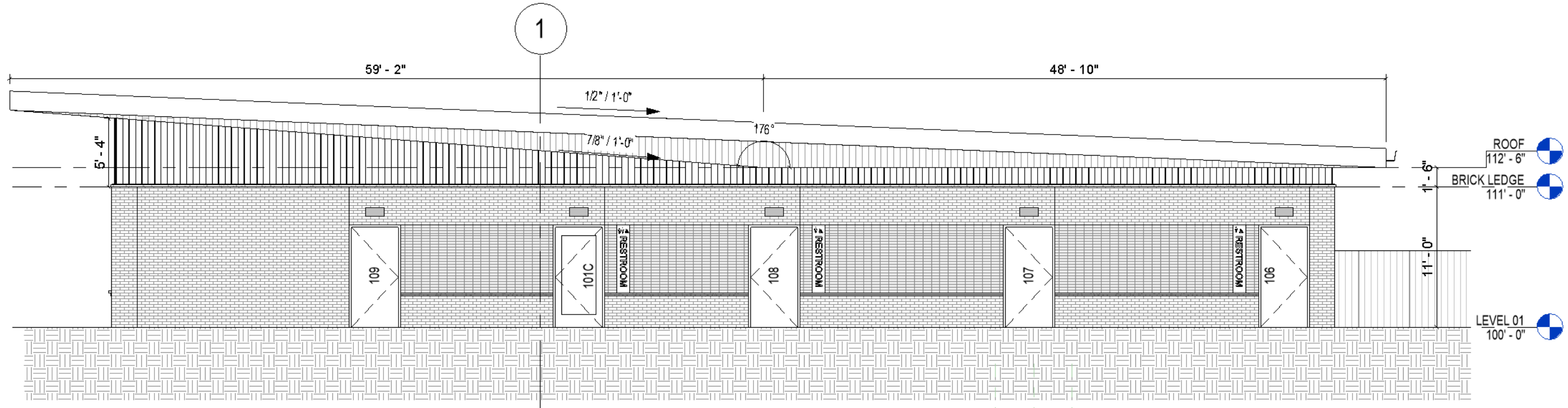


SOUTH ELEVATION

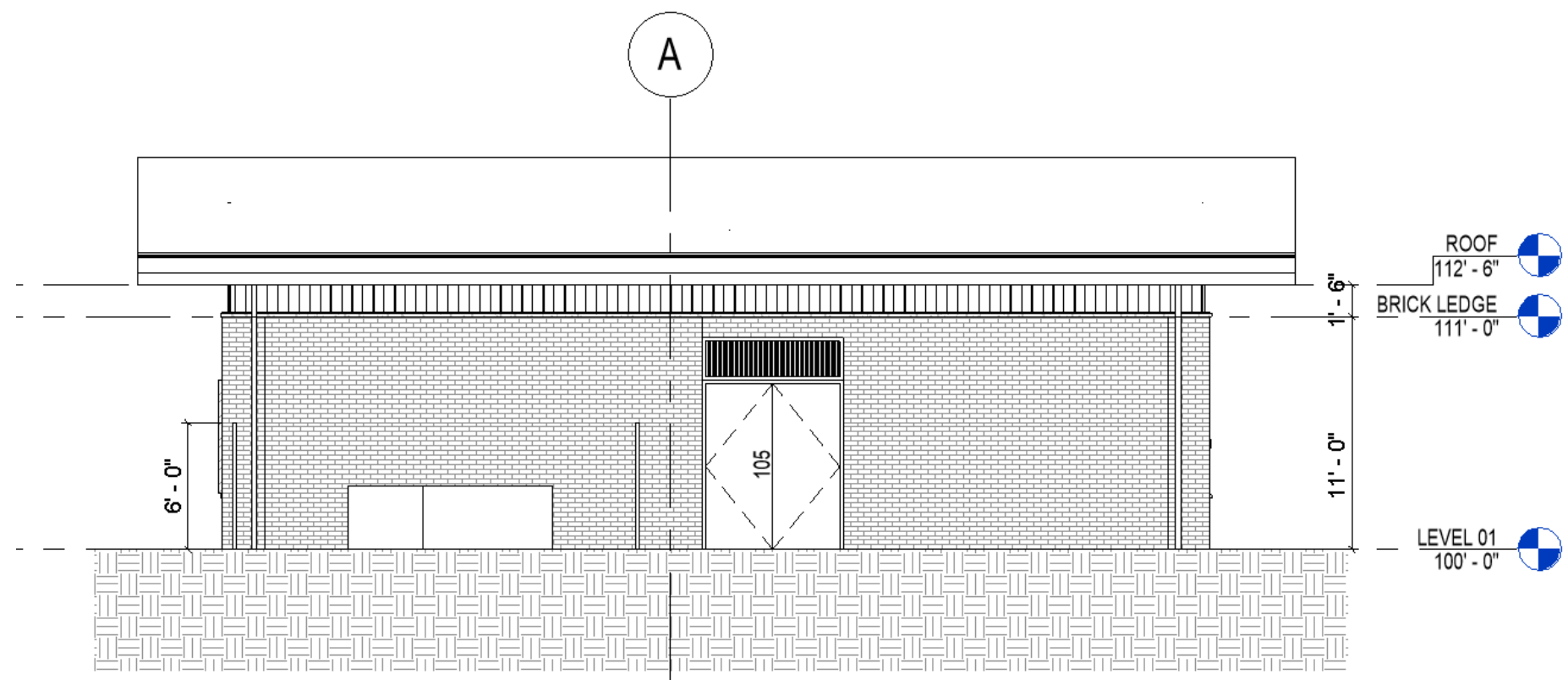


EAST ELEVATION





SOUTH ELEVATION



EAST ELEVATION















# RampUp Universal Community























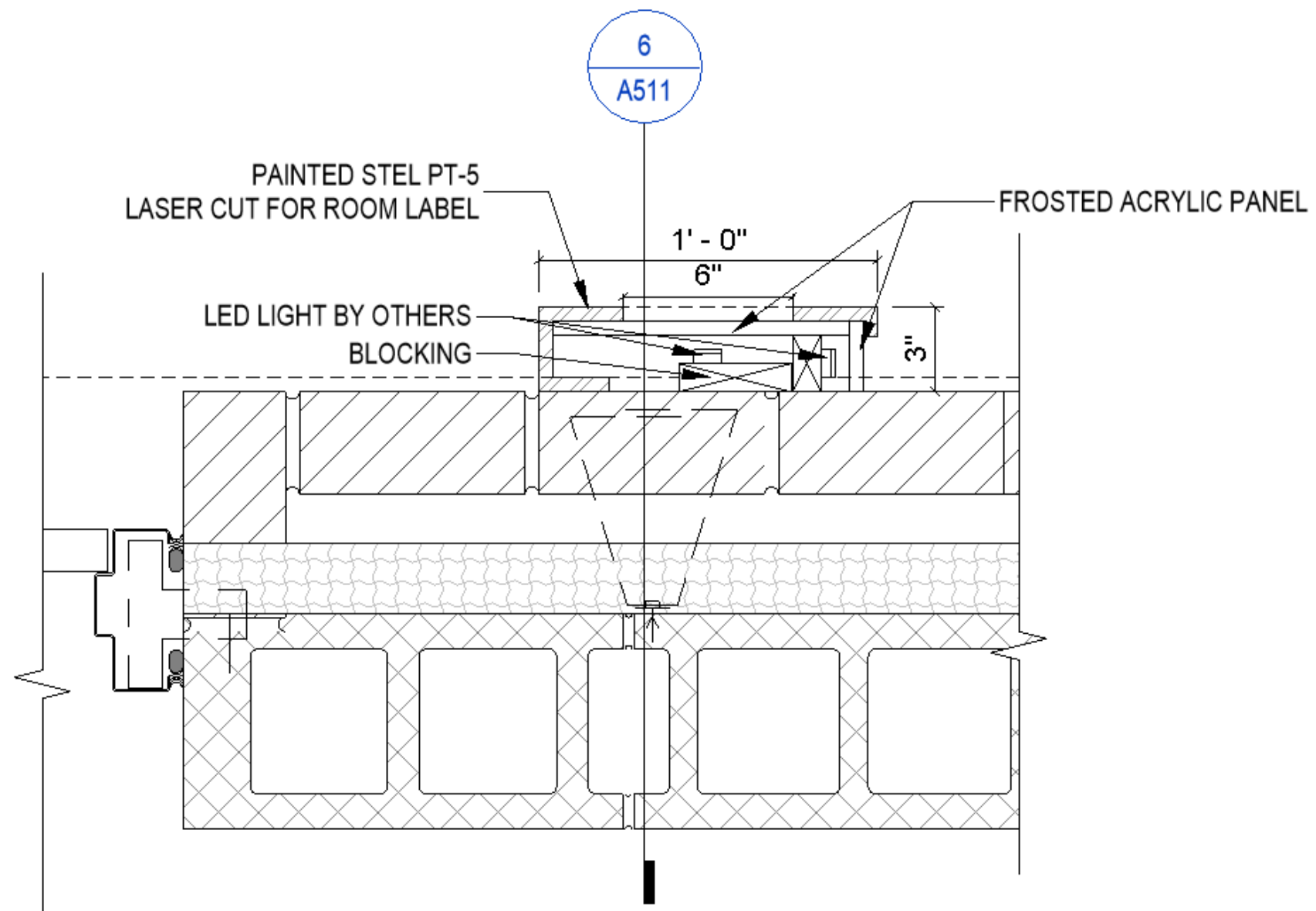




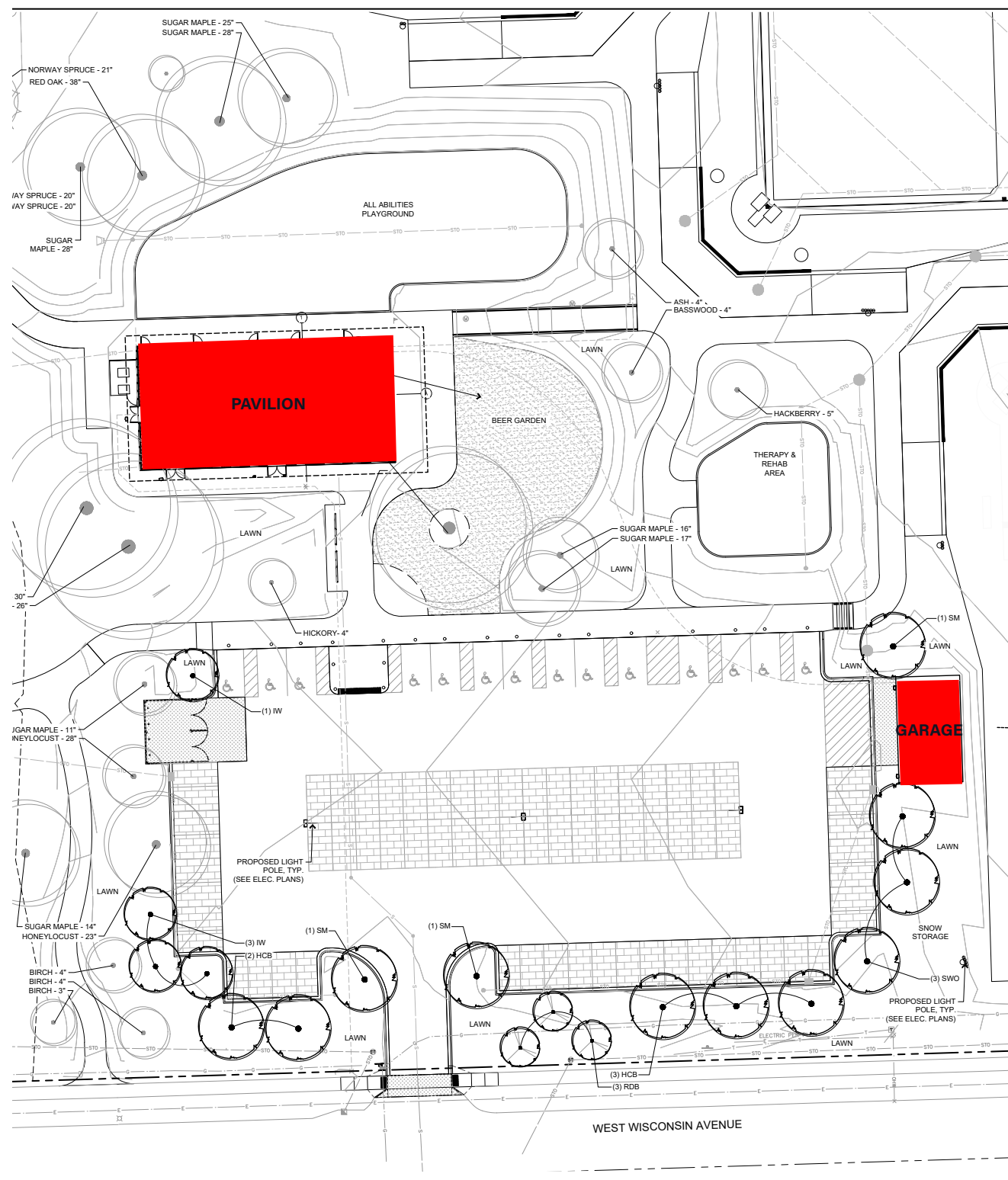
























# Wauwatosa, WI

7725 W. North Avenue  
Wauwatosa, WI 53213

## Staff Report

---

**File #:** 24-0513

**Agenda Date:** 4/4/2024

**Agenda #:** 3.

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Froedtert Parking 6, Electrical Equipment Building











