



Wauwatosa, WI

Board of Public Works

Meeting Agenda

7725 W. North Avenue
Wauwatosa, WI 53213

Wednesday, October 22, 2025

8:30 AM

Zoom Only:
<https://servetosa.zoom.us/j/89415047159>,
Meeting ID: 894 1504 7159

Regular Meeting

VIRTUAL MEETING INFORMATION

Members of the public may observe and participate in the meeting via Zoom only at the link above. To access the Zoom meeting via phone, call 1-312-626-6799 and enter the Meeting ID.

CALL TO ORDER

ROLL CALL

APPROVAL OF MINUTES

1. Approval of Minutes from September 24th, 2025 Regular Meeting [25-1737](#)

NEW BUSINESS

1. Request by Terry Meyer of The Sigma Group on behalf of Midwest GI Specialists LLC for an encroachment within a public utility easement at 1033 N. Mayfair Road [25-1838](#)
Recommendation: Common Council
2. Request by Aspen Homes, Inc. for an extended Street Occupancy Permit duration for Storage in the Right of Way for a new home construction at 8024 W. Chestnut Street. [25-1870](#)
3. Request by MMSD for Nighttime Work Hours, 7:00 P.M. to 7:00A.M, on Honey Creek - Bluemound Road to Honey Creek Parkway [25-1971](#)
4. Request by the Engineering Services Division to vacate an existing Storm Sewer Easement within the parcel owned by Pilgrim Evangelical Lutheran Church at 6717 W. Center Street. [25-1869](#)
Recommendation: Common Council
5. Consideration of approval of final payment for Project 5118 / Contract 25-50 Alice Street Water Reservoir Rehabilitation [25-1902](#)
Recommendation: Common Council

6. Monthly Pumpage Report September 2025 [25-1813](#)
7. Consideration of ratification of project partial payments for work completed pursuant to the terms of the contract [25-1736](#)
8. Project Updates [25-1957](#)

ADJOURNMENT

NOTICE TO PERSONS WITH A DISABILITY

Persons with a disability who need assistance to participate in this meeting should call the City Clerk's office at (414) 479-8917 or send an email to tclerk@wauwatosa.net, with as much advance notice as possible.



Wauwatosa, WI

7725 W. North Avenue
Wauwatosa, WI 53213

Staff Report

File #: 25-1737

Agenda Date: 10/22/2025

Agenda #: 1.

Approval of Minutes from September 24th, 2025 Regular Meeting



Staff Report

File #: 25-1838

Agenda Date: 10/22/2025

Agenda #: 1.

Request by Terry Meyer of The Sigma Group on behalf of Midwest GI Specialists LLC for an encroachment within a public utility easement at 1033 N. Mayfair Road

Submitted by:

Jennifer Stilling

Department

Public Works (Engineering Services Division)

A. Issue

The applicant is requesting a landscaping encroachment to be installed within a 20 feet wide utility easement located at 1033 N. Mayfair Road.

B. Background/Options

The encroachment area is highlighted on the attached plan.

An existing 10-inch sanitary sewer main is located within a 20 feet wide easement on the west side of the property, parallel to N. Mayfair Road. The sanitary sewer main was installed in 1974 and was lined in 2012. A privately owned and maintain storm sewer is also located within the easement.

Existing landscaping, monument sign, landscaping wall, concrete steps and a planter are currently located within the easement, but Staff was unable to confirm if an encroachment agreement was previously approved for these items. The proposed improvements to the site include removing the concrete stairs and updating the landscaping. The existing planter, landscape wall and monument sign will remain in place. At the request of the Design Review Board, a landscaping bed of trees and shrubs will be added within the easement and north of landscaping bed that surrounds the monument sign.

Staff has reviewed the plan and proposed species within the easement and does not have any objections. The applicant will be required to provide a televised report of the post-construction condition of the public sanitary sewer within the limits of disturbance to verify that the sanitary sewer has not been impacted by the proposed construction.

C. Strategic Plan (Area of Focus)

Economic Development and Financial Resilience

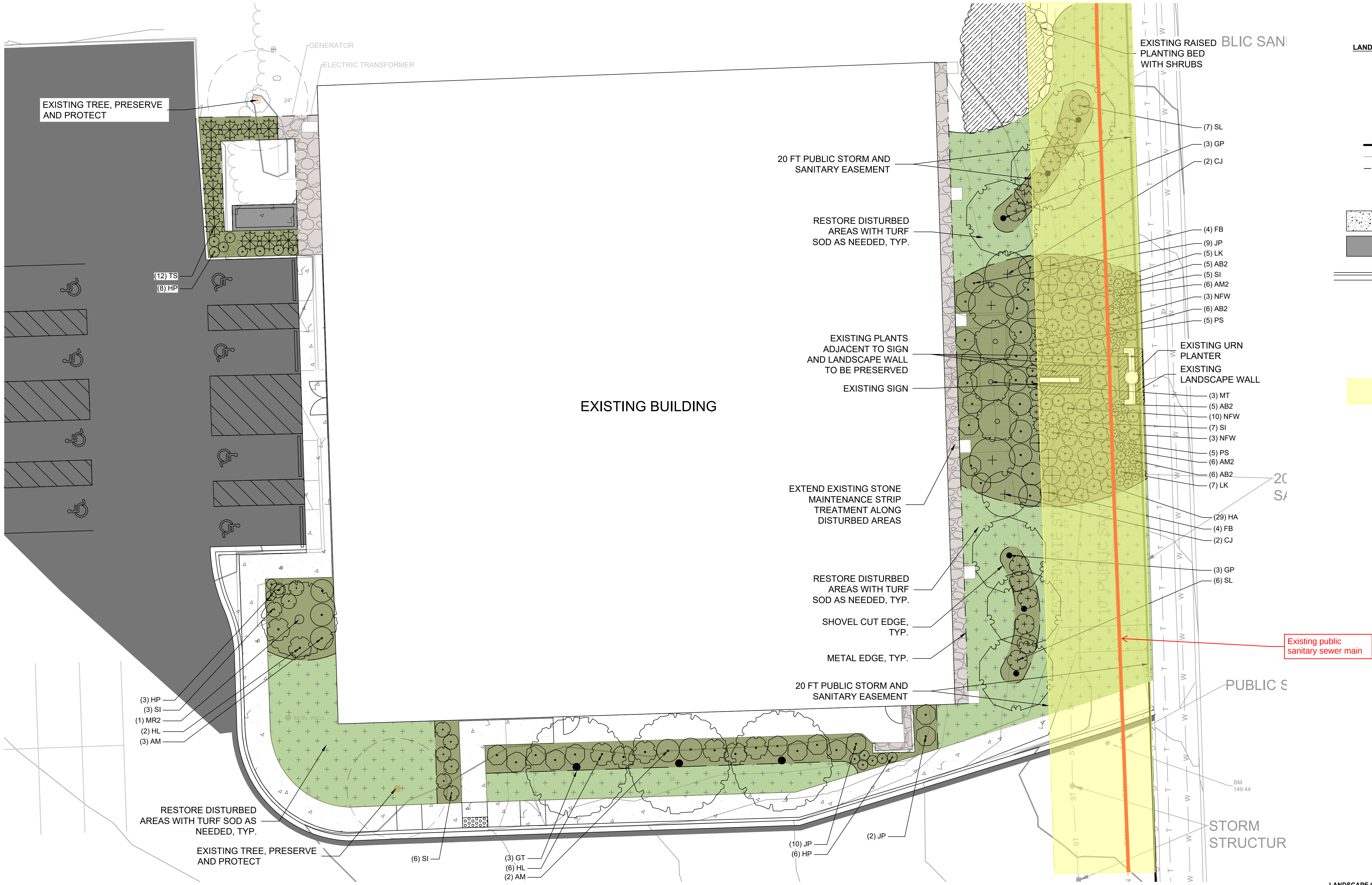
D. Fiscal Impact

No impact to the City of Wauwatosa. Proposed landscaping improvements will be done at the Owner's expense.

E. Recommendation

Staff recommends that the Board of Public Works allow the landscaping encroachment at 1033 N. Mayfair Road with the execution of a hold harmless agreement.

Recommendation: Common Council



LANDSCAPE LEGEND:

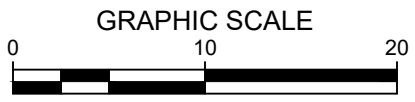
- TURFGRASS SOD
- HARDWOOD BARK MULCH PLANT BED
- STONE MULCH
- P/L PROPERTY LINE
- SHOVEL CUT PLANT EDGING
- METAL PLANT EDGING

LEGEND:

- 5" THICK CONCRETE WALK
- ASPHALT SURFACE
- CURB & GUTTER (ACCEPT)



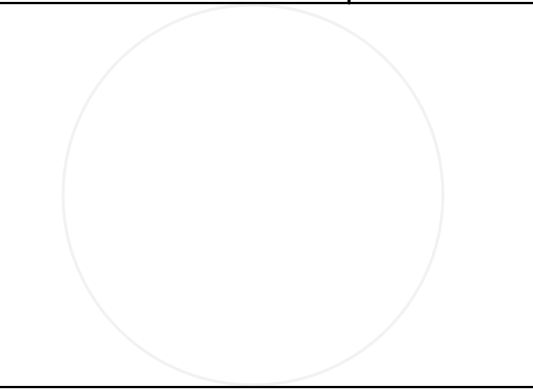
Single Source. Sound Solutions.
www.thesigmagroup.com
1300 West Canal Street
Milwaukee, WI 53233
Phone: 414-643-4200
Fax: 414-643-4210



GI ASSOCIATES - MAYFAIR IMPROVEMENTS

1033 N. MAYFAIR RD
WAUWATOSA, WI 53226

LANDSCAPE PLAN



ISSUANCE	DATE
SD SUBMITTAL	2025-01-25
CITY SUBMITTAL	2025-03-11
CD SUBMITTAL	2025-05-23
CITY SUBMITTAL	2025-09-09
CITY SUBMITTAL	2025-09-19

NO. REVISION	DATE
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PROJECT NO:	23658
DESIGN DATE:	----
PLOT DATE:	2025.09.19
DRAWN BY:	JO
CHECKED BY:	TPM
APPROVED BY:	PJI
SHEET NO:	

L100

PLANT SCHEDULE L100

SYMBOL	CODE	BOTANICAL / COMMON NAME	SIZE	CONTAINER	QTY
DECIDUOUS TREES					
	GP	Ginkgo biloba 'Princeton Sentry' / Princeton Sentry Maidenhair Tree	2.5" Cal.	B&B	6
	GT	Gleditsia triacanthos inermis 'Draves' TM / Street Keeper Honey Locust	2.5" Cal.	B&B	3
ORNAMENTAL TREES					
	CJ	Carpinus caroliniana 'J.N. Upright' / Firespire® American Hornbeam	1.5" Cal.	B&B	4
	MR2	Malus x 'Royal Raindrops' / Royal Raindrops Crabapple	1.5" Cal.	B&B	1
	MT	Malus x 'Tina' / Tina Crabapple	1.5" Cal.	B&B	3

DECIDUOUS SHRUBS

	AM	Aronia melanocarpa 'Morton' / Iroquois Beauty™ Black Chokeberry	3 gal.	Cont.	16
	SL	Diervilla lonicera 'Jewel' / Jewell Bush Honeysuckle	3 gal.	Cont.	13
	FB	Fothergilla gardenii 'Beaver Creek' / Beaver Creek Dwarf Fothergilla	3 gal.	Cont.	8
	HL	Hydrangea paniculata 'SMHPLQF' / Little Quick Fire® Panicle Hydrangea	3 gal.	Cont.	8
	HA	Hypericum kalmianum 'Ames' / Ames St. Johnswort	3 gal.	Cont.	29
	SI	Spiraea fritschiana 'J.N. Select A' / Pink-a-licious™ Fritch Spirea	3 gal.	Cont.	22

EVERGREEN SHRUBS

	JP	Juniperus chinensis 'Kallays Compact' / Kallay Compact Pfitzer Juniper	3 gal.	Cont.	21
	PS	Pinus mugo 'Slowmound' / Slowmound Mugo Pine	3 gal.	Cont.	10
	TS	Thuja occidentalis 'Smaragd' / Emerald Green Arborvitae	5' Ht.	B&B	12

PERENNIALS

	AM2	Achillea x 'Moonshine' / Moonshine Yarrow	1 gal.	Cont.	12
	AB2	Amsonia x 'Blue Ice' / Blue Ice Bluestar	1 gal.	Cont.	22
	HP	Hemerocallis x 'Pardon Me' / Pardon Me Daylily	1 gal.	Cont.	17
	LK	Liatis spicata 'Kobold' / Kobold Blazing Star	1 gal.	Cont.	12
	NFW	Nepeta x faassenii 'Walker's Low' / Walker's Low Catmint	1 gal.	Cont.	16

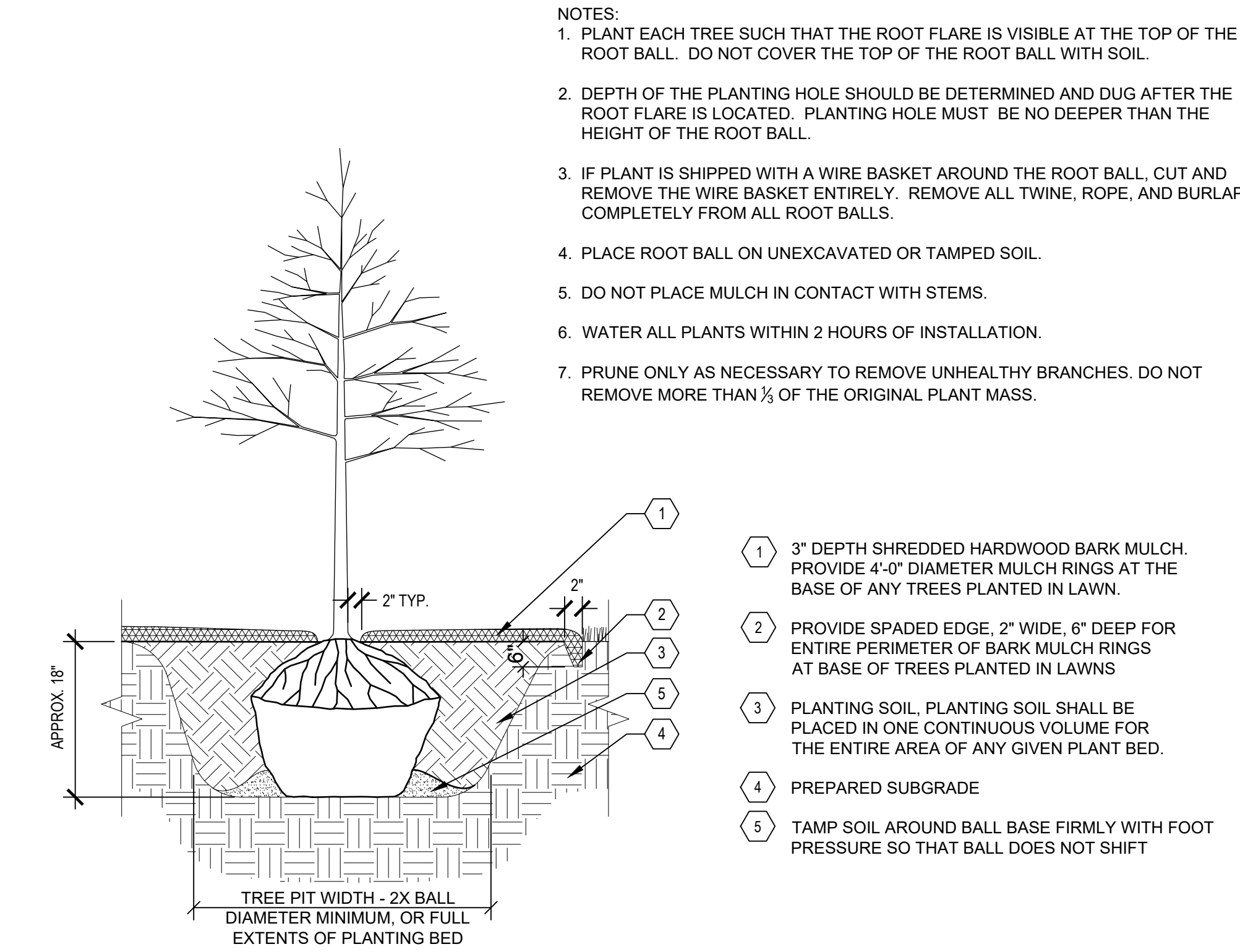
THE UNDERGROUND UTILITY INFORMATION SHOWN ON THIS MAP IS BASED ON FIELD MARKINGS AND INFORMATION FURNISHED BY UTILITY COMPANIES AND THE LOCAL MUNICIPALITY. WHILE THIS INFORMATION IS BELIEVED TO BE RELIABLE, ITS ACCURACY AND COMPLETENESS CANNOT BE GUARANTEED.



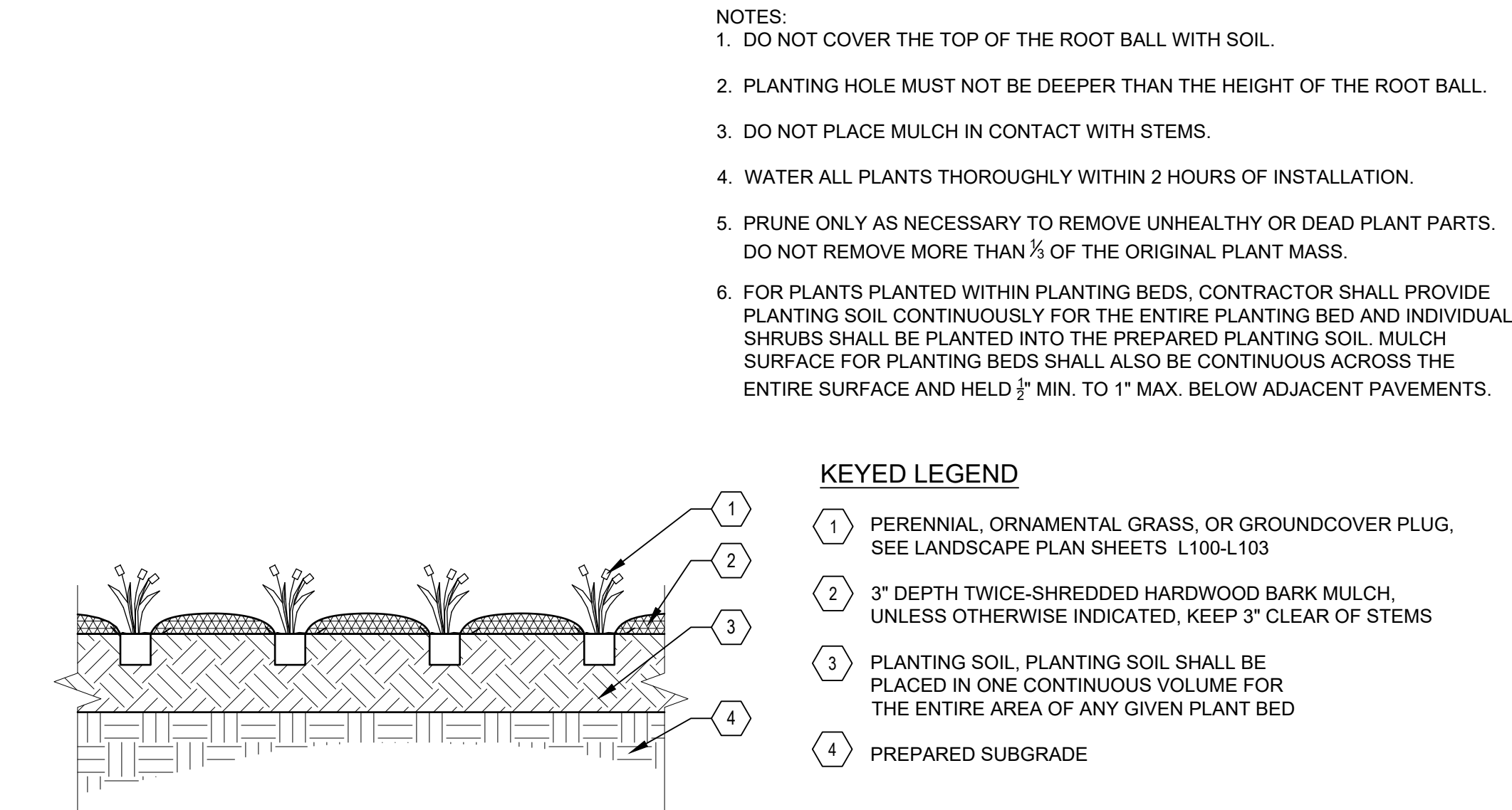
CALL DIGGERS' HOTLINE
1-800-242-8511
TOLL FREE
WS STATUTE 182.0176(974)
REQUIRES MIN. 3 WORK DAYS
NOTICE BEFORE YOU EXCAVATE
MILWAUKEE AREA 259-1181

LANDSCAPE GENERAL NOTES:

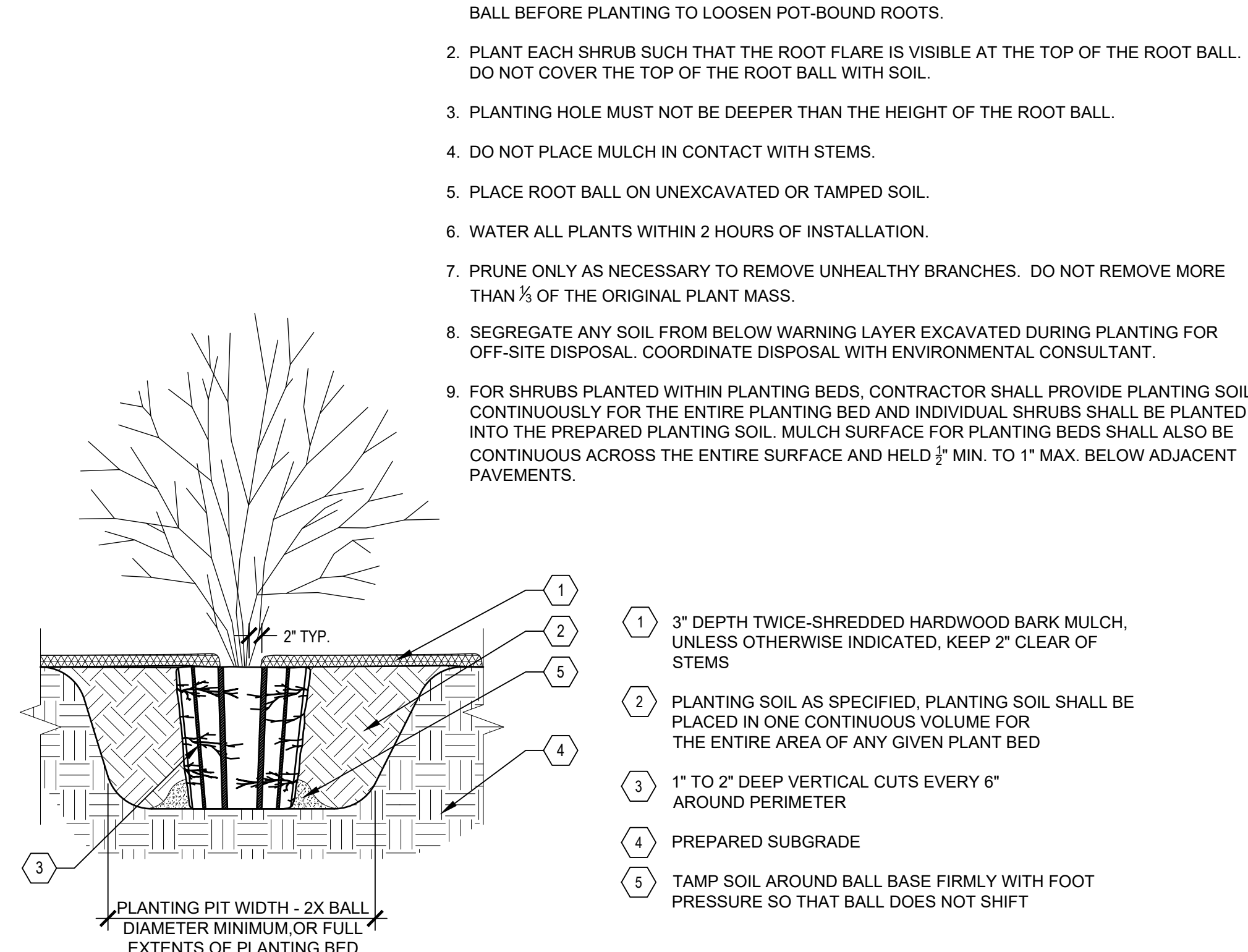
- VERIFY EXISTING AND PROPOSED CONDITIONS, UTILITIES, PIPES, AND STRUCTURES, ETC. PRIOR TO BIDDING AND CONSTRUCTION.
- INSPECT THE SITE PRIOR TO COMMENCING WORK. DOCUMENT IN WRITING AND PHOTOGRAPH EXISTING CONDITIONS WITHIN, AND IN AREAS ADJACENT TO THE LIMITS OF CONSTRUCTION. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGES NOT DOCUMENTED IN THE PHOTOGRAPHS PRIOR TO COMMENCEMENT OF DEMOLITION ACTIVITIES.
- COORDINATE THE INSTALLATION OF PLANT MATERIAL WITH INSTALLATION OF ADJACENT PAVEMENTS, DRAINAGE, CURB RELATED STRUCTURES WITH OTHER TRADES.
- RESTORE AREAS OF THE SITE, OR ADJACENT AREAS, WHERE DISTURBED. DAMAGE CAUSED DURING LANDSCAPE INSTALLATION TO EXISTING CONDITIONS AND IMPROVEMENTS IS THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR.
- CONTRACTOR SHALL THOROUGHLY REVIEW ALL SPECIFICATIONS RELATED TO TREE PROTECTION, SOIL PREPARATION, TURF, GRASSES AND PLANTS. THESE SECTIONS PROVIDE ADDITIONAL INFORMATION ON MATERIALS AND SET STANDARDS FOR QUALITY AND INSTALLATION REQUIREMENTS.
- PROVIDE 3" DOUBLE SHREDDED BARK MULCH FOR ALL PLANTED TREES, SHRUBS AND LANDSCAPE BEDS.
- IF CONSTRUCTION OF THE PROPOSED IMPROVEMENTS WILL IMPACT THE TRAVEL ON MAYFAIR ROAD, A MINIMUM OF 7 DAY NOTIFICATION TO THE WISDOT IS REQUIRED.
- CONSTRUCTION MATERIAL SHALL BE ARE TO BE STORED ON SITE.



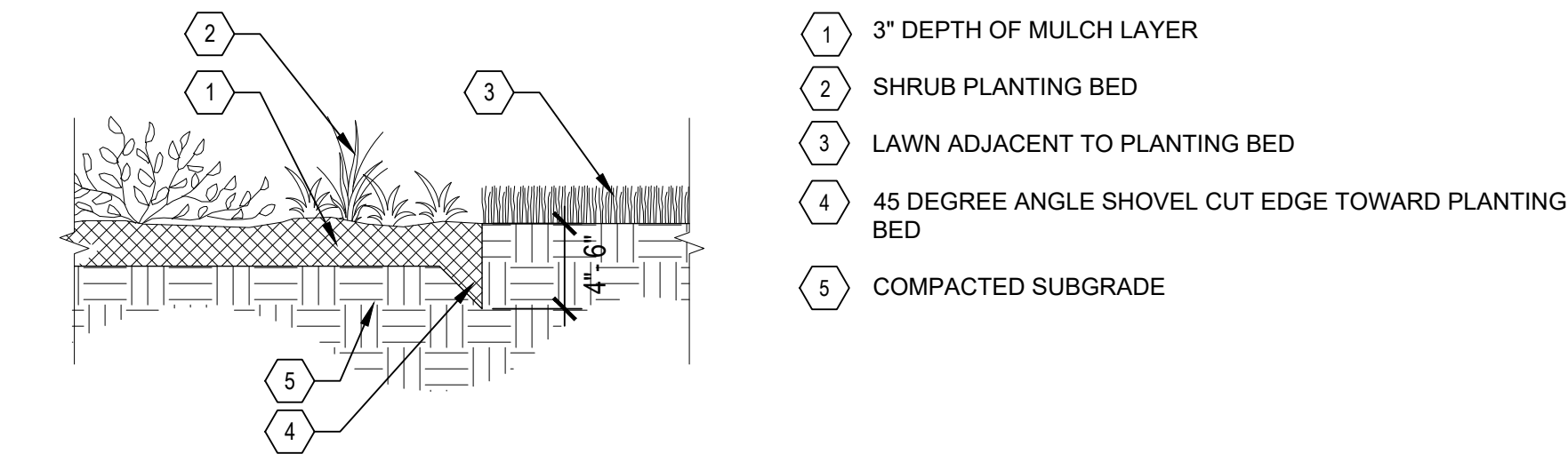
A TYPICAL TREE PLANTING
SCALE:NTS



D TYPICAL PERENNIAL & ORNAMENTAL GRASS PLANTING
SCALE:NTS



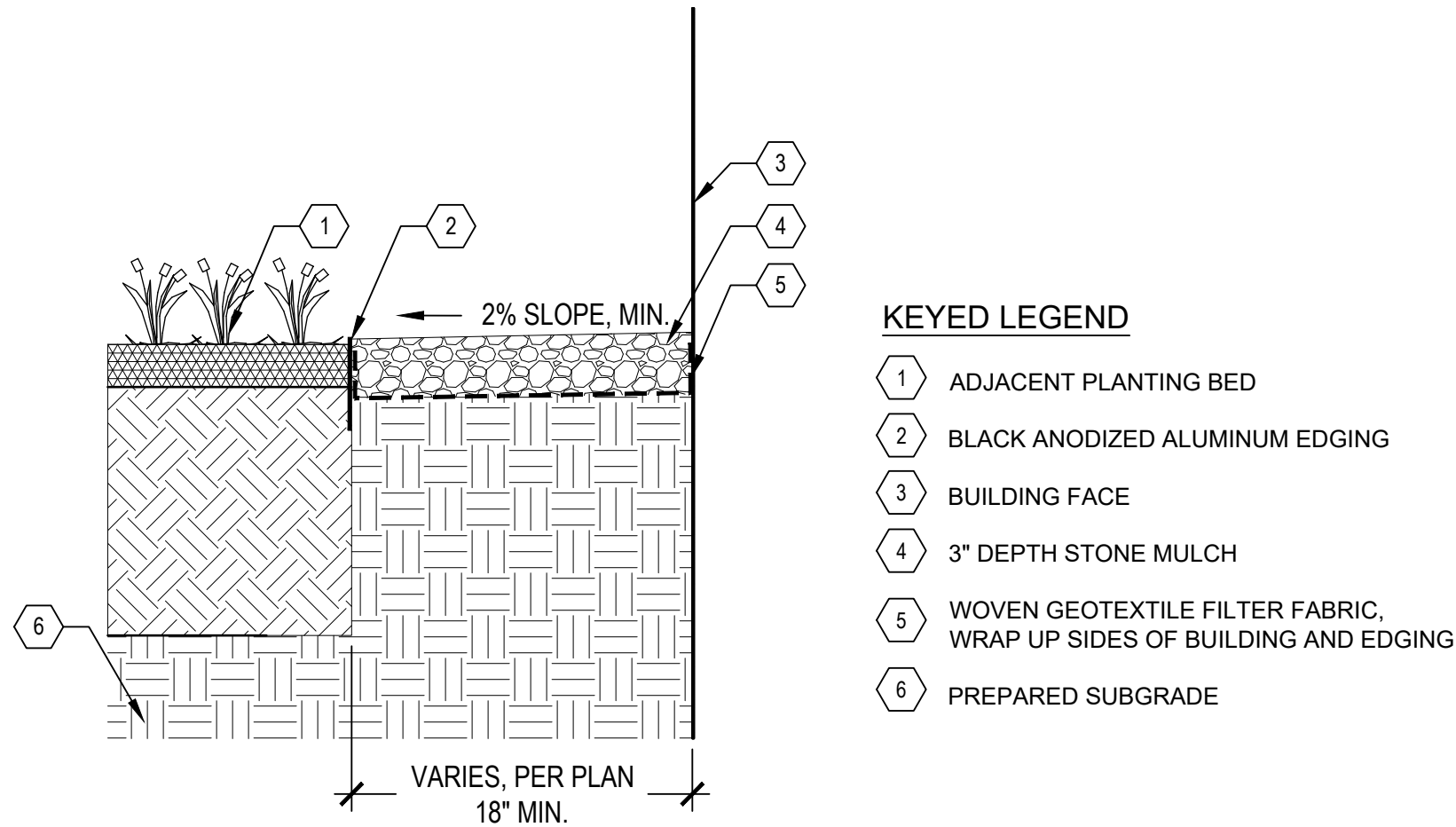
B TYPICAL SHRUB PLANTING
SCALE:NTS



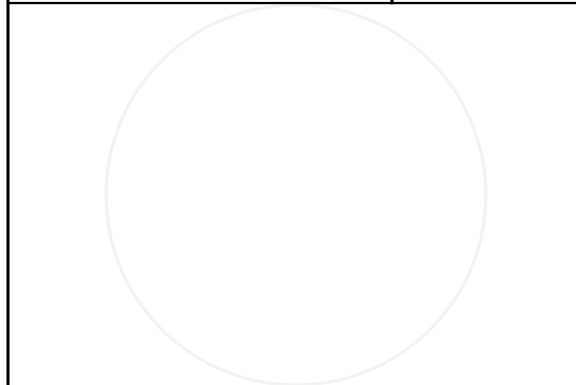
C SHOVEL CUT PLANT EDGE
SCALE:NTS

- NOTES
1. SET FINISH GRADE OF PLANTING AREA 2" BELOW FINISH SURFACE OF PAVING, CURB, OR HEADER
 2. SEE PLANTING SCHEDULE FOR SPACING OF ALL SHRUBS AND GROUNDCOVERS
 3. ALL SHRUBS / GROUNDCOVER TO BE PLANTED AT EQUAL SPACING (TRIANGULAR) UNLESS OTHERWISE INDICATED ON PLANS.
 4. TO DETERMINE APPROPRIATE PLANT QUANTITIES REFER TO THE PLANTING SCHEDULE OR PLAN.

- KEYED LEGEND
- 1 EDGE OF ADJACENT PAVEMENT
 - 2 SHRUB, PERENNIAL OR ORNAMENTAL GRASS PLANT CENTER LOCATION



F STONE MAINTENANCE EDGE
SCALE:NTS



ISSUANCE	DATE
SD SUBMITTAL	2025-01-25
CITY SUBMITTAL	2025-03-11
CD SUBMITTAL	2025-05-23
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NO. REVISION	DATE
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PROJECT NO:	23658
DESIGN DATE:	----
PLOT DATE:	2025.09.19
DRAWN BY:	JO
CHECKED BY:	TPM
APPROVED BY:	PJI
SHEET NO:	L200

PLANTING QUALITY ASSURANCE

1.

PLANTS ARE TO BE INSPECTED UPON DELIVERY TO PROJECT SITE AND THE LANDSCAPE ARCHITECT OR OWNER'S PROJECT REPRESENTATIVE MAY REJECT ANY SPECIMENS NO LONGER MEETING THE SPECIFIED STANDARDS OR THAT HAVE BEEN DAMAGED IN TRANSIT.
2.

ALL PLANT MATERIAL SHALL BE TRUE TO SPECIES AND VARIETY/HYBRID/CULTIVAR SPECIFIED, AND NURSERY GROWN IN ACCORDANCE WITH GOOD HORTICULTURAL PRACTICES, AND UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE OF THE SITE LOCATION. SPECIMENS NURSERY-DUG TO BE REPLANTED SHALL HAVE BEEN FRESHLY DUG AND PROPERLY PREPARED FOR PLANTING.
3.

TREES:

3.1.

SHALL BE TRAINED IN DEVELOPMENT AND APPEARANCE AS TO BE SUPERIOR IN FORM, COMPACTNESS AND SYMMETRY. TREES WITH MULTIPLE LEADERS, UNLESS SPECIFIED OTHERWISE, AND SHRUBS WITH DAMAGED OR CUT MAINSTEM(S), WILL BE REJECTED.

3.2.

WITH A DAMAGED, CUT OR CROOKED LEADER, ABRASION OF BARK, SUNSCALD, FROST CRACK, DISFIGURING KNOTS, INSECTS (INCLUDING EGGS AND LARVAE) OR INSECT DAMAGE, CANKERS/CANKEROUS LESIONS OR FUNGAL MATS, MOLD, PREMATURELY-OPENED BUDS, OR CUTS OF LIMBS OVER ¼" DIAMETER THAT ARE NOT COMPLETELY CALLEDUS WILL BE REJECTED.

3.3.

SHALL HAVE HEALTHY, WELL-DEVELOPED ROOT SYSTEMS, AND BE FREE FROM PHYSICAL DAMAGE OR OTHER HINDRANCES TO HEALTHY GROWTH.

3.4.

BALLED AND BURLAPPED PLANTS SHALL BE DUG WITH SOLID BALLS OF A DIAMETER NOT LESS THAN THAT RECOMMENDED BY THE AMERICAN STANDARDS FOR NURSERY STOCK, AND OF SUFFICIENT DEPTH TO INCLUDE BOTH FIBROUS AND FEEDING ROOTS. BALLS SHALL BE SECURELY WRAPPED WITH BURLAP, AND TIGHTLY BOUND WITH ROPE OR TWINE. NO PLANTS SHALL BE BOUND WITH ROPE OR WIRE IN SUCH A MANNER AS TO DAMAGE BARK OR BREAK BRANCHES. THE ROOT FLARE SHOULD BE WITHIN THE TOP 2" OF THE SOIL BALL. BALLED AND BURLAPPED PLANTS WILL NOT BE ACCEPTED IF THE BALL IS DRY, CRACKED, OR BROKEN BEFORE OR DURING PLANTING.
4.

PLANTS SHALL CONFORM TO THE MEASUREMENTS SPECIFIED WITHIN THE PLANT SCHEDULE.

PLANTING PROJECT CONDITIONS:

1.

VERIFY SERVICE AND UTILITY LOCATIONS, AND DIMENSIONS OF CONSTRUCTION CONTIGUOUS WITH NEW PLANTINGS BY FIELD MEASUREMENTS BEFORE PROCEEDING WITH PLANTING WORK.
2.

INTERRUPTION OF EXISTING SERVICES OR UTILITIES; DO NOT INTERRUPT SERVICES OR UTILITIES UNLESS PERMITTED UNDER THE FOLLOWING CONDITIONS AND THEN ONLY AFTER ARRANGING TO PROVIDE TEMPORARY SERVICES OR UTILITIES ACCORDING TO REQUIREMENTS INDICATED:

2.1.

NOTIFY OWNER'S PROJECT REPRESENTATIVE NO FEWER THAN TWO DAYS IN ADVANCE OF PROPOSED INTERRUPTION OF EACH SERVICE OR UTILITY.

2.2.

DO NOT PROCEED WITH INTERRUPTION OF SERVICES OR UTILITIES WITHOUT REPRESENTATIVE'S WRITTEN PERMISSION.
3.

PLANTING RESTRICTIONS: PLANTING SHALL OCCUR DURING THE FOLLOWING ACCEPTABLE INSTALLATION PERIODS:

3.1.

DECIDUOUS TREES AND SHRUBS - APRIL 15 TO OCTOBER 15.

3.2.

NATIVE SEEDING AND TURFGRASS: APRIL 15 - OCTOBER 15
4.

WEATHER LIMITATIONS: PROCEED WITH PLANTING ONLY WHEN EXISTING AND FORECASTED WEATHER CONDITIONS PERMIT PLANTING TO BE PERFORMED WHEN BENEFICIAL AND OPTIMUM RESULTS MAY BE OBTAINED. APPLY PRODUCTS DURING FAVORABLE WEATHER CONDITIONS ACCORDING TO MANUFACTURER'S WRITTEN INSTRUCTIONS AND WARRANTY REQUIREMENTS.
5.

CONTRACTOR SHALL PROTECT ALL EXISTING AND/OR NEWLY INSTALLED PLANTS, LAWNS, AND GRASS AREAS FROM DAMAGE AT ALL TIMES. DAMAGED PLANTS, LAWNS OR GRASS AREAS SHALL BE REPLANTED OR TREATED AS REQUIRED TO CONFORM TO SPECIFICATIONS HEREIN FOR FRESH STOCK. WORK AREA SHALL BE KEPT CLEAN AND ORDERLY DURING THE INSTALLATION PERIOD. UNDER NO CONDITION SHALL DEBRIS FROM PLANTING ACTIVITIES RESULT IN A SAFETY HAZARD ON-SITE OR ADJACENT OFF-SITE PROPERTY. DAMAGE TO SITE IMPROVEMENTS OR ADJACENT LANDSCAPES INCURRED AS A RESULT OF PLANTING OR REPLACEMENT OPERATIONS SHALL BE REPAIRED BY THE CONTRACTOR THAT CAUSES THE DAMAGE AT NO COST TO THE OWNER.
6.

EXAMINE AREAS TO RECEIVE PLANTS FOR COMPLIANCE WITH REQUIREMENTS AND CONDITIONS AFFECTING INSTALLATION AND PERFORMANCE. PROCEED WITH INSTALLATION ONLY AFTER UNSATISFACTORY CONDITIONS HAVE BEEN CORRECTED.

6.1.

VERIFY THAT NO FOREIGN OR DELETERIOUS MATERIAL OR LIQUID SUCH AS PAINT, PAINT WASHOUT, CONCRETE SLURRY, CONCRETE LAYERS OR CHUNKS, CEMENT, PLASTER, OILS, GASOLINE, DIESEL FUEL, PAINT THINNER, TURPENTINE, TAR, ROOFING COMPOUND, OR ACID HAS BEEN DEPOSITED IN SOIL WITHIN PLANTING AREAS.

6.2.

DO NOT MIX OR PLACE SOILS IN FROZEN, WET, OR MUDDY CONDITIONS.

6.3.

SOIL PREPARATION - COMPACTED SOIL CONDITIONS AND ACCEPTABLE SUBGRADE CONDITIONS, IF COMPACTED SOIL CONDITIONS ARE ENCOUNTERED OR HAVE DEVELOPED DURING THE CONSTRUCTION PROCESS IN THE PLANTED AREAS CONTRACTOR WILL FIRST TILL AND HARROW SOIL AND SUBGRADE TO A DEPTH OF EIGHT (8) INCHES. CLEAN ACCEPTABLE SUBGRADE IS SUBSOIL THAT DOES NOT CONTAIN FOREIGN MATERIALS INCLUDING DEBRIS AND EXCESSIVE AGGREGATE FROM CONSTRUCTION ACTIVITIES. IF SUBGRADE IS NOT ACCEPTABLE, CONTRACTOR SHALL EXCAVATE AND REMOVE UNACCEPTABLE SUBGRADE A MINIMUM OF TWELVE (12) INCHES IN DEPTH AND REPLACE WITH CLEAN FILL. CONTRACTOR TO NOTIFY LANDSCAPE ARCHITECT BEFORE PROCEEDING WITH WORK IF COMPACTED SOILS OR UNACCEPTABLE SUBGRADE IS ENCOUNTERED.
- LANDSCAPE SUBMITTALS:
- PROVIDE INFORMATION SUBMITTALS FOR REVIEW AND APPROVAL OF LANDSCAPE ARCHITECT FOR THE FOLLOWING ITEMS PRIOR TO CONSTRUCTION;
1.

PLANT SPECIES, SIZES AND QUANTITIES AND ANY PROPOSED SUBSTITUTIONS

2.

FERTILIZER AND OTHER SOIL AMENDMENTS

3.

SHREDDED HARDWOOD MULCH

4.

STONE MULCH FOR MAINTENANCE BORDER

5.

ALUMINUM EDGING

6.

TURF GRASS SEED MIXES AND SUPPLIERS, IF APPLICABLE
- PLANTING DELIVERY, STORAGE, & HANDLING:
1.

BULK MATERIALS;

1.1.

DO NOT DUMP OR STORE BULK MATERIALS NEAR STRUCTURES, UTILITIES, WALKWAYS AND PAVEMENTS, OR ON EXISTING TURF AREAS OR PLANTS.

2.

DO NOT PRUNE TREES AND SHRUBS BEFORE DELIVERY. PROTECT BARK, BRANCHES, AND ROOT SYSTEMS FROM SUN SCALD, DRYING, WIND BURN, SWEATING, WHIPPING, AND OTHER HANDLING AND TYING DAMAGE. DO NOT BEND OR BIND-TIE TREES OR SHRUBS IN SUCH A MANNER AS TO DESTROY THEIR NATURAL SHAPE. PROVIDE PROTECTIVE COVERING OF PLANTS DURING SHIPPING AND DELIVERY. DO NOT DROP PLANTS DURING DELIVERY AND HANDLING.

3.

HANDLE PLANTING STOCK BY ROOT BALL.

4.

DELIVER PLANTS AFTER PREPARATIONS FOR PLANTING HAVE BEEN COMPLETED AND INSTALL IMMEDIATELY. IF PLANTING IS DELAYED MORE THAN SIX HOURS AFTER DELIVERY, SET PLANTS AND TREES IN SHADED LOCATION, PROTECT FROM WEATHER AND MECHANICAL DAMAGE, AND KEEP ROOTS MOIST.

4.1.

SET BALLED STOCK ON GROUND AND COVER BALL WITH SOIL, PEAT MOSS, SAWDUST, OR OTHER ACCEPTABLE MATERIAL.

4.2.

WATER ROOT SYSTEMS OF PLANTS STORED ON-SITE DEEPLY AND THOROUGHLY WITH A FINE-MIST SPRAY. WATER AS OFTEN AS NECESSARY TO MAINTAIN ROOT SYSTEMS IN A MOIST, BUT NOT OVERLY WET CONDITION.
- CLEAN-UP AND PROTECTION
1.

DURING PLANTING, KEEP ADJACENT PAVING AND CONSTRUCTION CLEAN AND WORK AREA IN AN ORDERLY CONDITION.

2.

PROTECT PLANTS FROM DAMAGE DUE TO LANDSCAPE OPERATIONS AND OPERATIONS OF OTHER CONTRACTORS AND TRADES. MAINTAIN PROTECTION DURING INSTALLATION. TREAT, REPAIR, OR REPLACE DAMAGED PLANTINGS.

3.

AFTER INSTALLATION REMOVE ALL NURSERY TAGS, NURSERY STAKES, TIE TAPE, LABELS, WIRE, STRING, AND OTHER DEBRIS FROM PLANT MATERIAL, PLANTING AREAS, AND PROJECT SITE.
- EXCAVATION FOR TREES & SHRUBS
1.

EXCAVATE CIRCULAR PLANTING PITS AS INDICATED IN DRAWINGS. TRIM PERIMETER OF BOTTOM LEAVING CENTER AREA OF BOTTOM RAISED SLIGHTLY TO SUPPORT ROOT BALL AND ASSIST IN DRAINAGE AWAY FROM CENTER. DO NOT FURTHER DISTURB BASE. ENSURE THAT ROOT BALL WILL SIT ON UNDISTURBED BASE SOIL TO PREVENT SETTLING. SCARIFY SIDES OF PLANTING PIT SMEARED OR SMOOTHED DURING EXCAVATION.

1.1.

EXCAVATE APPROXIMATELY THREE TIMES AS WIDE AS BALL DIAMETER FOR BALLED AND BURLAPPED STOCK.

1.2.

DO NOT EXCAVATE DEEPER THAN DEPTH OF THE ROOT BALL, MEASURED FROM THE ROOT FLARE TO THE BOTTOM OF THE ROOT BALL.

1.3.

IF AREA UNDER THE PLANT WAS INITIALLY DUG TOO DEEP, ADD SOIL TO RAISE IT TO CORRECT LEVEL AND THOROUGHLY TAMP THE ADDED SOIL TO PREVENT SETTLING.

1.4.

MAINTAIN REQUIRED ANGELS OF REPOSE OF ADJACENT MATERIALS AS SHOWN IN DRAWINGS. DO NOT EXCAVATE SUBGRADES OF ADJACENT PAVING, STRUCTURES, HARDSCAPIES, OR OTHER NEW OR EXISTING IMPROVEMENTS.

1.5.

MAINTAIN SUPERVISION OF EXCAVATIONS DURING WORKING HOURS.

1.6.

KEEP EXCAVATIONS COVERED OR OTHERWISE PROTECTED WHEN UNATTENDED BY INSTALLER'S PERSONNEL.

2.

SUBSOIL AND TOPSOIL REMOVED FROM EXCAVATIONS MAY BE USED AS PLANTING SOIL IF THEY CONFORM TO THE REQUIREMENTS LISTED IN THESE SPECIFICATIONS.

3.

NOTIFY OWNER'S PROJECT REPRESENTATIVE IF UNEXPECTED ROCK OR OBSTRUCTIONS DETRIMENTAL TO TREES OR SHRUBS ARE ENCOUNTERED IN EXCAVATIONS.

4.

NOTIFY OWNER'S PROJECT REPRESENTATIVE IF SUBSOIL CONDITIONS EVIDENCE UNEXPECTED WATER SEEPAGE OR RETENTION IN TREE OR SHRUB PLANTING PITS.
- TREE & SHRUB PLANTING
1.

BEFORE PLANTING VERIFY THAT ROOT FLARE IS VISIBLE AT TOP OF ROOT BALL. IF ROOT FLARE IS NOT VISIBLE, REMOVE SOIL IN A LEVEL MANNER FROM THE ROOT BALL TO WHERE THE TOP-MOST ROOT EMERGES FROM THE TRUNK. AFTER SOIL REMOVAL TO EXPOSE ROOT FLARE, VERIFY THAT ROOT BALL STILL MEETS SIZE REQUIREMENTS. PLANT MATERIAL WITHOUT ROOT FLARE VISIBLE OR PLANTED TOO LOW WILL BE RE-PLANTED AT THE REQUEST OF THE LANDSCAPE ARCHITECT AT NO ADDITIONAL COST TO THE OWNER.

2.

PLANTS FOUND TO HAVE STEM GIRDLING ROOTS AND/OR KINKED ROOTS AT THE TIME OF PLANTING WILL BE REJECTED AND REPLACEMENTS SHALL BE PROVIDED AT NO ADDITIONAL COST TO THE OWNER.

3.

REMOVE ALL TWINE, STRING, WIRE, AND ALL OTHER NON-BIODEGRADABLE MATERIAL ENTIRELY FROM ROOT BALL AREA.

4.

REMOVE ONLY DEAD, DYING, OR BROKEN BRANCHES. DO NOT PRUNE FOR SHAPE. DO CUT TREE LEADERS.

5.

SET BALLED AND BURLAPPED STOCK PLUMB AND IN CENTER OF PLANTING PIT OR TRENCH WITH ROOT FLARE 2 INCHES ABOVE ADJACENT FINISH GRADES.

5.1.

USE SOIL MATERIALS FROM EXCAVATION FOR BACKFILL.

5.2.

CAREFULLY CUT AND REMOVE BURLAP, ROPE, AND WIRE BASKETS FROM THE ENTIRE ROOT BALL. REMOVE PALLETS, IF ANY, BEFORE SETTING. DO NOT USE PLANTING STOCK IF ROOT BALL IS CRACKED OR BROKEN BEFORE OR DURING PLANTING OPERATION.

5.3.

BACKFILL AROUND ROOT BALL IN LAYERS, TAMPING TO SETTLE SOIL AND ELIMINATE VOIDS AND AIR POCKETS. WHEN PLANTING PIT IS APPROXIMATELY ONE-HALF FILLED, WATER THOROUGHLY BEFORE PLACING REMAINDER OF BACKFILL. REPEAT WATERING UNTIL NO MORE WATER IS ABSORBED.

5.4.

CONTINUE BACKFILLING PROCESS. WATER AGAIN AFTER PLACING AND TAMPING FINAL LAYER OF SOIL.

TREE & SHRUB MATERIAL:

1.

GENERAL: FURNISH NURSERY-GROWN PLANTS TRUE TO GENUS, SPECIES, VARIETY, CULTIVAR, STEM FORM, SHEARING, AND OTHER FEATURES INDICATED IN PLANT SCHEDULE SHOWN AND DRAWINGS.; AND WITH HEALTHY ROOT SYSTEMS DEVELOPED BY TRANSPLANTING OR ROOT PRUNING. PROVIDE WELL-SHAPED, FULLY BRANCHED, HEALTHY, VIGOROUS STOCK, DENSELY FOLIATED WHEN IN LEAF AND FREE OF DISEASE, PESTS, EGGS, LARVAE, AND DEFECTS SUCH AS KNOTS, SUN SCALD, INJURIES, ABRASIONS, AND DISFIGUREMENT.

1.1.

TREES WITH DAMAGED, CROOKED, OR MULTIPLE LEADERS; TIGHT VERTICAL BRANCHES WHERE BARK IS SQUEEZED BETWEEN TWO BRANCHES OR BETWEEN BRANCH AND TRUNK ("INCLUDED BARK"); CROSSING TRUNKS; CUT-OFF LIMBS MORE THAN ¾" IN DIAMETER; OR WITH STEM GIRDLING ROOTS WILL BE REJECTED.

1.2.

COLLECTED STOCK: DO NOT USE PLANTS HARVESTED FROM THE WILD, FROM NATIVE STANDS, FROM AN ESTABLISHED LANDSCAPE PLANTING, OR NOT GROWN IN A STATE CERTIFIED NURSERY.

1.3.

PLANT MATERIAL SHALL BE PROVIDED IN THE CONTAINER TYPE INDICATED IN THE DRAWINGS (B&B, CONTAINER, BARE ROOT, ETC.), UNLESS THE CONTRACTOR RECEIVES WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT THAT SUBSTITUTION OF CONTAINER TYPE IS ACCEPTABLE.

2.

FURNISH TREES WITH ROOT BALLS MEASURED FROM TOP OF ROOT BALL. ROOT FLARE SHALL BE VISIBLE BEFORE PLANTING.

3.

SELECT STOCK FOR UNIFORM HEIGHT AND SPREAD.

PLANTING SOIL:

PLANTING SOIL SHALL BE PLACED IN ONE CONTINUOUS VOLUME FOR THE WIDTH OF LANDSCAPE AREAS, AND A MINIMUM OF 3X THE DIAMETER OF THE ROOT BALL LENGTHWISE

1.

INSTALL PLANTING SOIL FOR PLANT BEDS IN 6" LIFTS, MINIMUM 8" DEPTH.

2.

DO NOT APPLY PLANTING SOIL TO SATURATED OR FROZEN SUBGRADES.

3.

PLANTING SOIL SHALL BE A MIX OF 6-PARTS TOPSOIL, 1-PART COMPOST (APPROVED FOR USE ON THE PROJECT), THOROUGHLY BLEND PLANTING SOIL OFF-SITE BEFORE SPREADING.

3.1.

THE PROJECT WILL ACCEPT ONLY CLEAN, SALVAGED OR IMPORTED TOPSOIL CAPABLE OF PASSING THE 1" SIEVE, FREE OF ROCKS, DEBRIS, AND OF NOXIOUS WEEDS.

3.2.

STRIPPED, SALVAGED, OR MINED TOPSOIL MUST BE TAKEN FROM THE TOP 6-INCHES OF THE A-HORIZON, HAVING A DARK BROWN TO BLACK COLOR WITH A GRANULAR STRUCTURE AND CLAY CONTENT OF LESS THAN 25%, VERIFIED WITH A RIBBON TEST THAT YIELDS NO MORE THAN 1-INCH.

METAL EDGING

1.

STANDARD PROFILE, COMMERCIAL-GRADE, EXTRUDED ALUMINUM EDGING, FABRICATED IN STANDARD LENGTHS WITH INTERLOCKING SECTIONS WITH LOOPS STAMPED FROM FACE OF SECTIONS TO RECEIVE STAKES.

1.1.

BASIS OF DESIGN: CLEANLINE BY PERMALOC OR APPROVED EQUAL.

1.2.

EDGING SIZE: 3/16-INCH-WIDE BY 5.5 INCHES DEEP

1.3.

STAKES: ALUMINUM, ASTM 221, ALLOY 6061-T6, 18-INCHES LONG.

1.4.

FINISH: BLACK DURAFLEX

1.5.

MANUFACTURERS: SUBJECT TO COMPLIANCE WITH REQUIREMENTS, AVAILABLE MANUFACTURERS OFFERING PRODUCTS THAT MAY BE INCORPORATED INTO THE WORK INCLUDE BUT ARE NOT LIMITED TO THE FOLLOWING: CURV-RITE, INC., PERMALOC CORPORATION, RUSSELL, J.D. COMPANY (THE), SURE-LOC EDGING CORPORATION

2.

INSTALL METAL EDGE IN ACCORDANCE WITH MANUFACTURER'S WRITTEN INSTRUCTIONS.

3.

ENSURE THAT METAL EDGING IS PROPERLY INSTALLED AND SECURED BEFORE INSTALLING STONE MULCH.

STONE MULCH MATERIAL & INSTALLATION:

1.

SHALL BE HARD, DURABLE, STONE, WASHED FREE OF LOAM, SAND, CLAY, AND OTHER FOREIGN SUBSTANCES, OF THE FOLLOWING TYPE, SIZE RANGE, AND COLOR:

1.1.

MATERIAL: ANGULAR WASHED STONE.

1.2.

SIZE: 1-1/2" DIAMETER

1.3.

DEPTH: 3" MINIMUM DEPTH PLACED IN ONE LIFT

1.4.

COLOR RANGE: BLEND OF DARK GREY & BLUE TONES

1.5.

BASIS OF DESIGN: 1-1/2" 'AMERICAN HERITAGE' AGGREGATE BY COUNTY MATERIALS.

2.

LIGHTLY COMPACT AREAS TO RECEIVE STONE MULCH

3.

INSTALL WEED BARRIER FABRIC IN ACCORDANCE WITH MANUFACTURER'S WRITTEN INSTRUCTIONS, COMPLETELY COVER AREA TO BE MULCHED, OVERLAPPING EDGES OF FABRIC LENGTHS A MINIMUM OF 6-INCHES AND SECURING SEAMS WITH GALVANIZED PINS. WEED BARRIER FABRIC SHALL BE WRAPPED VERTICALLY UP THE OUTSIDE EDGES OF SURROUNDING CONCRETE FLATWORK OR CURB AND SECURED IN PLACE. HOLD FABRIC 2" CLEAR OF TOP OF ADJACENT CURB AND CONCRETE FLATWORK SO IT IS NOT VISIBLE FROM SURFACE.

4.

PLACE AND FINISH STONE MULCH AS INDICATED IN DRAWINGS, ENSURING A SMOOTH, LEVEL TOP SURFACE FOR ALL STONE MULCH AREAS HELD APPROXIMATELY 1/2" BELOW THE TOP SURFACE OF ADJACENT PAVED AREAS OR METAL EDGING.

BARK MULCH MATERIAL & INSTALLATION

1.

TWICE-SHREDDED HARDWOOD BARK MULCH TO BE PROVIDED AS TOP-DRESSING FOR ALL AT-GRADE PLANTING BEDS IN LOCATIONS INDICATED ON PLANTING PLANS.

1.1.

SIZE RANGE: MAXIMUM 2.5" TO 3"

1.2.

COLOR: NATURAL, UN-DYED

1.3.

PROVIDE 3" DEPTH MULCH FOR ALL PLANTING BEDS INDICATED AS BARK MULCH PLANTING BED.

2.

KEEP BARK MULCH 2" CLEAR OF ALL STEMS OF PLANT MATERIAL.

TURF SOD INSTALLATION:

1.

PROTECT STRUCTURES, UTILITIES, SIDEWALKS, PAVEMENTS, AND OTHER FACILITIES, TREES, SHRUB, AND PLANTINGS FROM DAMAGE CAUSED BY PLANTING OPERATIONS.

2.

INSTALL EROSION-CONTROL MEASURES TO PREVENT EROSION OR DISPLACEMENT OF SOILS AND DISCHARGE OF SOIL-BEARING WATER RUNOFF OR AIRBORNE DUST TO ADJACENT PROPERTIES AND WALKWAYS.

3.

LOOSEN SUBGRADE TO A MINIMUM DEPTH OF 4 INCHES. REMOVE STONES LARGER THAN 1 INCH. SPREAD PLANTING SOIL TO A DEPTH OF 4 INCHES. FINISH GRADE TOPSOIL TO PLUS OR MINUS ½ INCH OF FINISH ELEVATIONS.

4.

APPLY GRANULAR STARTER LAWN FERTILIZER DIRECTLY TO THE SURFACE OF THE FINISH GRADE. MOISTEN PREPARED AREA BEFORE PLANTING IF SOIL IS DRY. DO NOT CREATE MUDDY SOIL.

5.

LAY SOD WITHIN 24 HOURS OF HARVESTING. LAY SOD TO FORM A SOLID MASS WITH TIGHTLY FITTED JOINTS. BUTT ENDS AND SIDES OF SOD; DO NOT STRETCH OR OVERLAP. STAGGER SOD STRIPS OR PADS TO OFFSET JOINTS IN ADJACENT COURSES.

6.

SATURATE SOD WITH FINE WATER SPRAY WITHIN TWO HOURS OF PLANTING. DURING FIRST WEEK AFTER PLANTING, WATER DAILY OR MORE FREQUENTLY AS NECESSARY TO MAINTAIN MOIST SOIL TO A MINIMUM DEPTH OF 1 ½ INCHES BELOW SOD.

THE SIGMA GROUP

Single Source. Sound Solutions.

www.thesigmagroup.com

1300 West Canal Street

Milwaukee, WI 53233

Phone: 414-643-4200

Fax: 414-643-4210

GI ASSOCIATES - MAYFAIR IMPROVEMENTS

1033 N. MAYFAIR RD

WAUWATOSA, WI 53226

LANDSCAPE SPECIFICATIONS

ISSUANCE	DATE
SD SUBMITTAL	2025-01-25
CITY SUBMITTAL	2025-03-11
CD SUBMITTAL	2025-05-23
CITY SUBMITTAL	2025-09-09
CITY SUBMITTAL	2025-09-19
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NO. REVISION	DATE
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PROJECT NO:

23658

DESIGN DATE:

PLOT DATE:

2025.09.19

DRAWN BY:

JO

CHECKED BY:

TPM

APPROVED BY:

PJI

SHEET NO:

L300

1:\Eppstein Uhen\23658 - GI Associates Mayfair\060 CAD\030_Production Sheets\L400_Landscape\L300 Landscape Specifications.dwg



Wauwatosa, WI

7725 W. North Avenue
Wauwatosa, WI 53213

Staff Report

File #: 25-1870

Agenda Date: 10/22/2025

Agenda #: 2.

Request by Aspen Homes, Inc. for an extended Street Occupancy Permit duration for Storage in the Right of Way for a new home construction at 8024 W. Chestnut Street.

Submitted by:

Mike Steiner, Assistant City Engineer

Department:

Public Works (Engineering Services Division)

A. Issue

Request by Aspen Homes, Inc. for an extended Street Occupancy Permit duration for Storage in the Right of Way for a new home construction at 8024 W. Chestnut Street.

B. Background/Options

A new home is under construction at the vacant lot at 8024 W. Chestnut Street. Aspen Homes is requesting approval for placement of a dumpster on the street for an extended amount of time. A Street Occupancy Permit for Storage in the Right of Way is only valid for 7 days. Construction of a new home requires a large amount of material disposal management. Placement of the dumpster on the small parcel is not an option as it will impede storage and construction activities.

The Public Works Operations Superintendent has reviewed the request and can support locating a dumpster on the street during leaf collection season, but requires removal of the dumpster for the winter snow season. The dumpster can be placed on the street again in the Spring of 2026, after the winter season, and if construction is still underway.

The applicant will be present at the Board meeting to answer any questions.

C. Strategic Plan (Area of Focus)

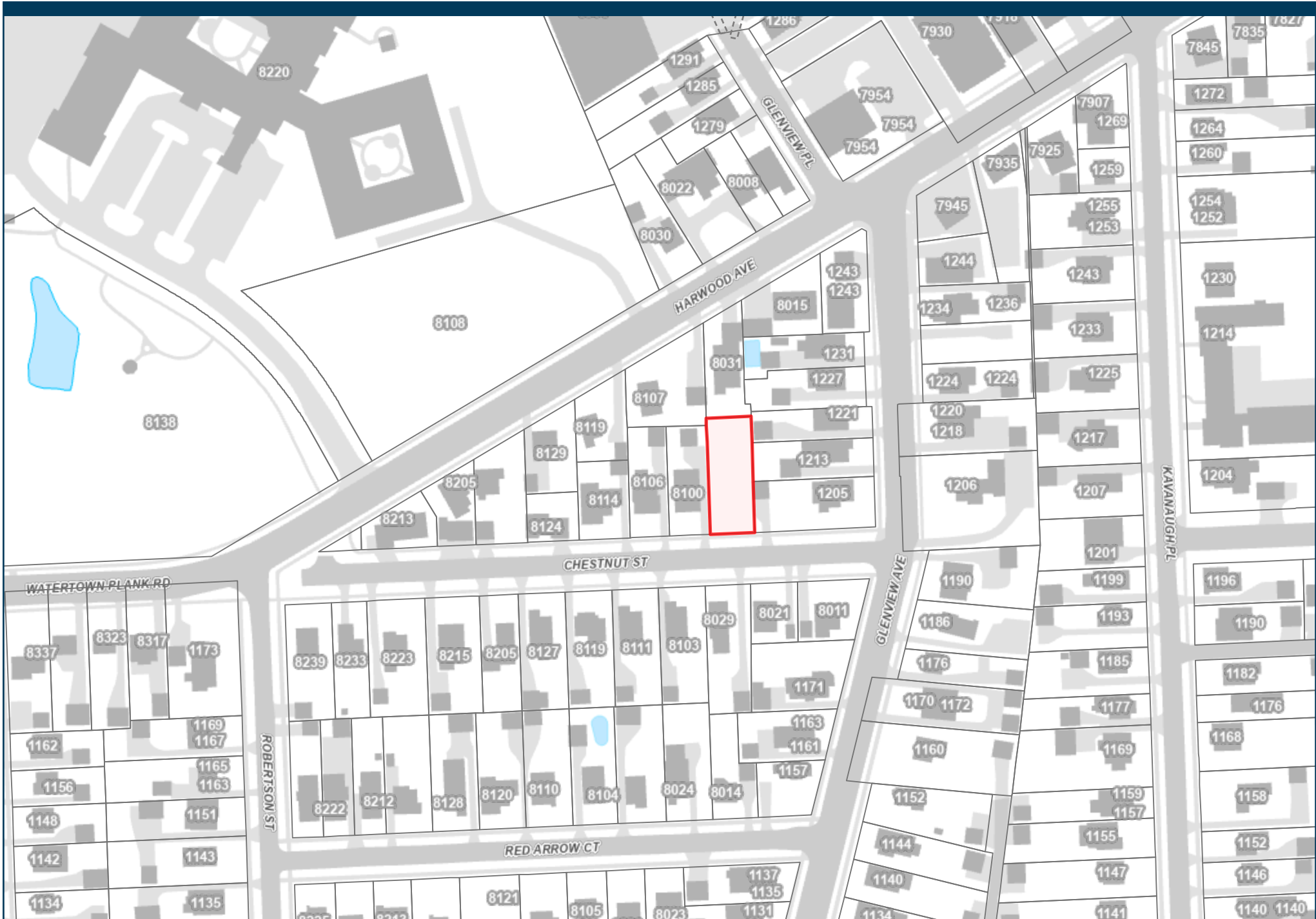
Priority Area One: Economic Development and Financial Resilience

D. Fiscal Impact

No impact to the City of Wauwatosa.

E. Recommendation

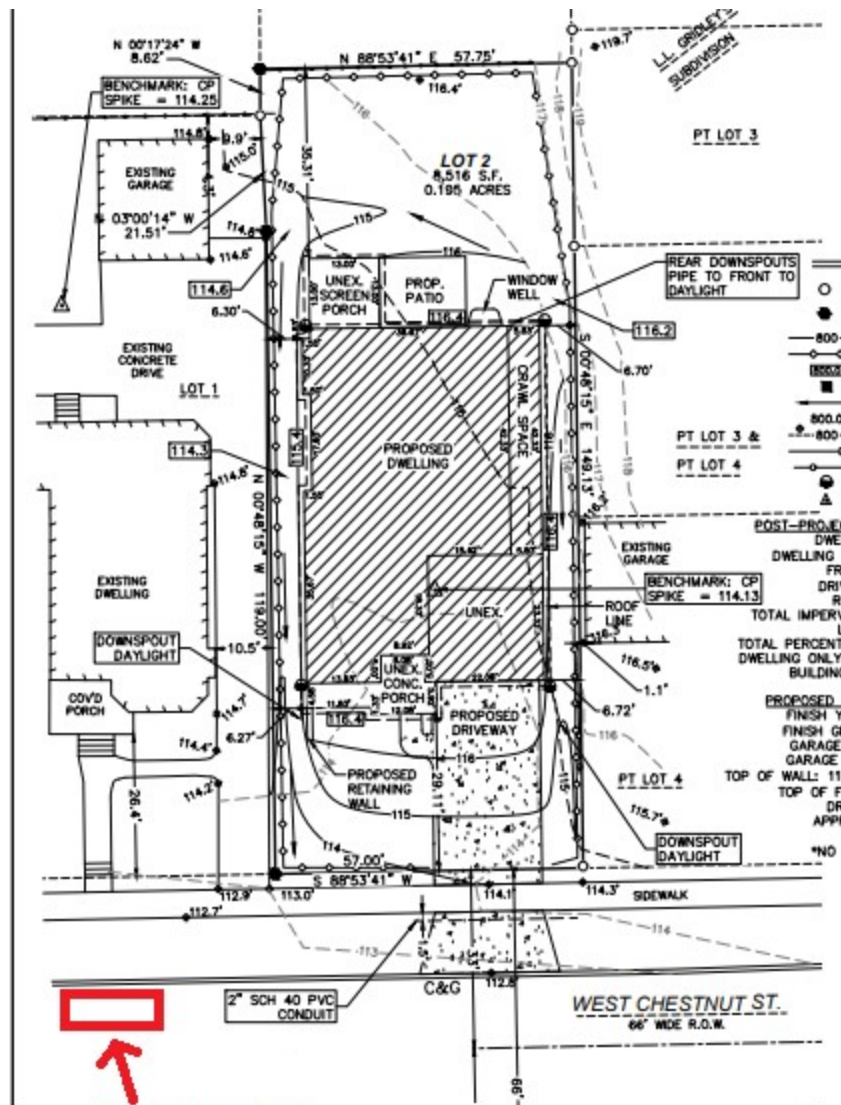
Staff recommends approval of an extended Street Occupancy Permit duration for Storage in the Right of Way at 8024 W. Chestnut Street. Removal dates will be coordinated between the applicant and the Public Works Department this year based on weather conditions.



8024 Chestnut St

City of
Wauwatosa





**Dumpster
Location**



Wauwatosa, WI

7725 W. North Avenue
Wauwatosa, WI 53213

Staff Report

File #: 25-1971

Agenda Date: 10/22/2025

Agenda #: 3.

Request by MMSD for Nighttime Work Hours, 7:00 P.M. to 7:00A.M, on Honey Creek - Bluemound Road to Honey Creek Parkway

Submitted by:

Maggie Anderson, Senior Civil Engineer

Department:

Engineering Division

A. Issue

Request by MMSD for Nighttime Work Hours, 7:00 P.M. to 7:00A.M, on Honey Creek - Bluemound Road to Honey Creek Parkway

B. Background/Options

During the August 9th-10th flood in Wauwatosa a portion of the concrete streambank in Honey Creek was severely damaged. MMSD has worked with Jacobs to produce plans and specifications for the emergency repair of the concrete. The project will protect the shallow foundation bridges and streambank from further scour. Work in the streambank will require a generator for stream bypass pumping 24 hours a day.

MMSD has provided a project schedule, and resident outreach plan in anticipation of the work.

Municipal Code Section 15.02.100 states:

1. No person, firm or corporation shall at any time between the hours of seven p.m. and seven a.m. Monday through Saturday, or during any hours on Sunday create any loud or sharp noises, concussions, or disturbing sounds associated with the construction, excavation, demolition, alteration, or repair of any building or development. The board of public works may modify these times upon request for variance and based on exceptional circumstances.

Due to the unplanned nature of the work and the approaching winter season, MMSD is requesting approval for working hours between 7:00 P.M. and 7:00 A.M. to complete this project.

C. Strategic Plan (Area of Focus)

Infrastructure

D. Fiscal Impact

No impact to the City of Wauwatosa

E. Recommendation

Staff recommends approval of the request subject to:

1. Applicant to provide written notices to properties within one city block of the project location, 3 days prior to work.

Contract Documents
Milwaukee Metropolitan
Sewerage District

HONEY CREEK EMERGENCY REPAIR PROJECT BLUE MOUND ROAD TO ST ANNES COURT

Contract XXXXXXXXXX
Plans

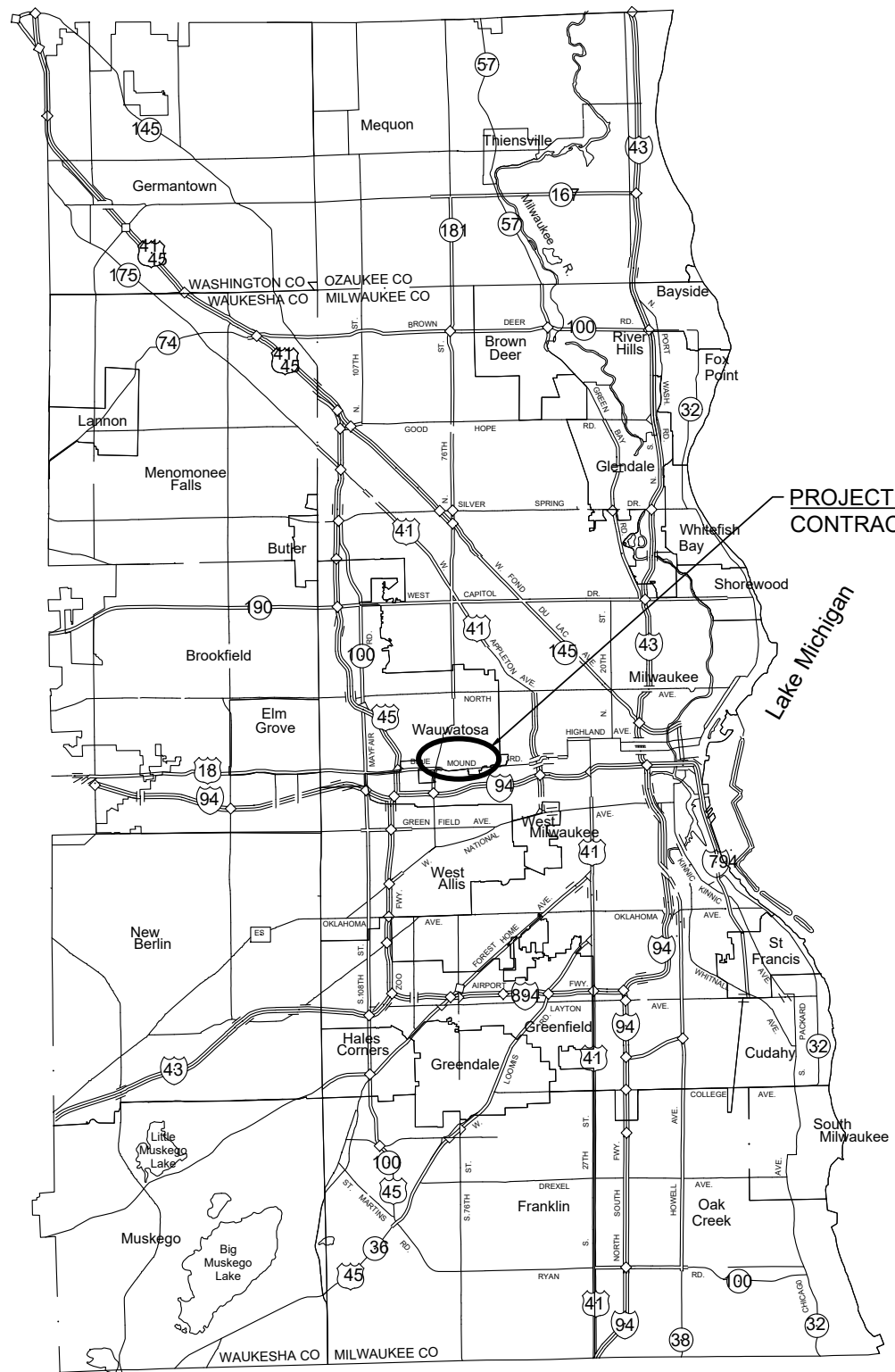
CONTRACT #---- INDEX TO DRAWINGS			
MMSD FILE NO.	SHEET NO.	DRAWING NO.	DRAWING TITLE
	1	G-01	COVER SHEET AND DRAWING LIST
	2	G-02	VICINITY MAP AND LOCATION MAP
	3	G-03	ABBREVIATIONS AND SECTION AND DETAIL DESIGNATIONS
	4	G-04	STANDARD SYMBOLS
	5	G-05	CONSTRUCTION SPECIFICATIONS AND NOTES
	6	C-01	EROSION CONTROL DETAILS AND NOTES
	7	C-02	PROJECT ALIGNMENT; SITE ACCESS AND CONSTRUCTION LIMITS
	8	C-03	BLUEMOUND ROAD CHANNEL CONSTRUCTION PLAN
	9	C-04	ST ANNES CT CHANNEL CONSTRUCTION PLAN
	10	C-05	STANDARD DETAILS

For information regarding this project contact: MMSD Procurement Specialist: *NAME* Email: procurement@mmsd.com

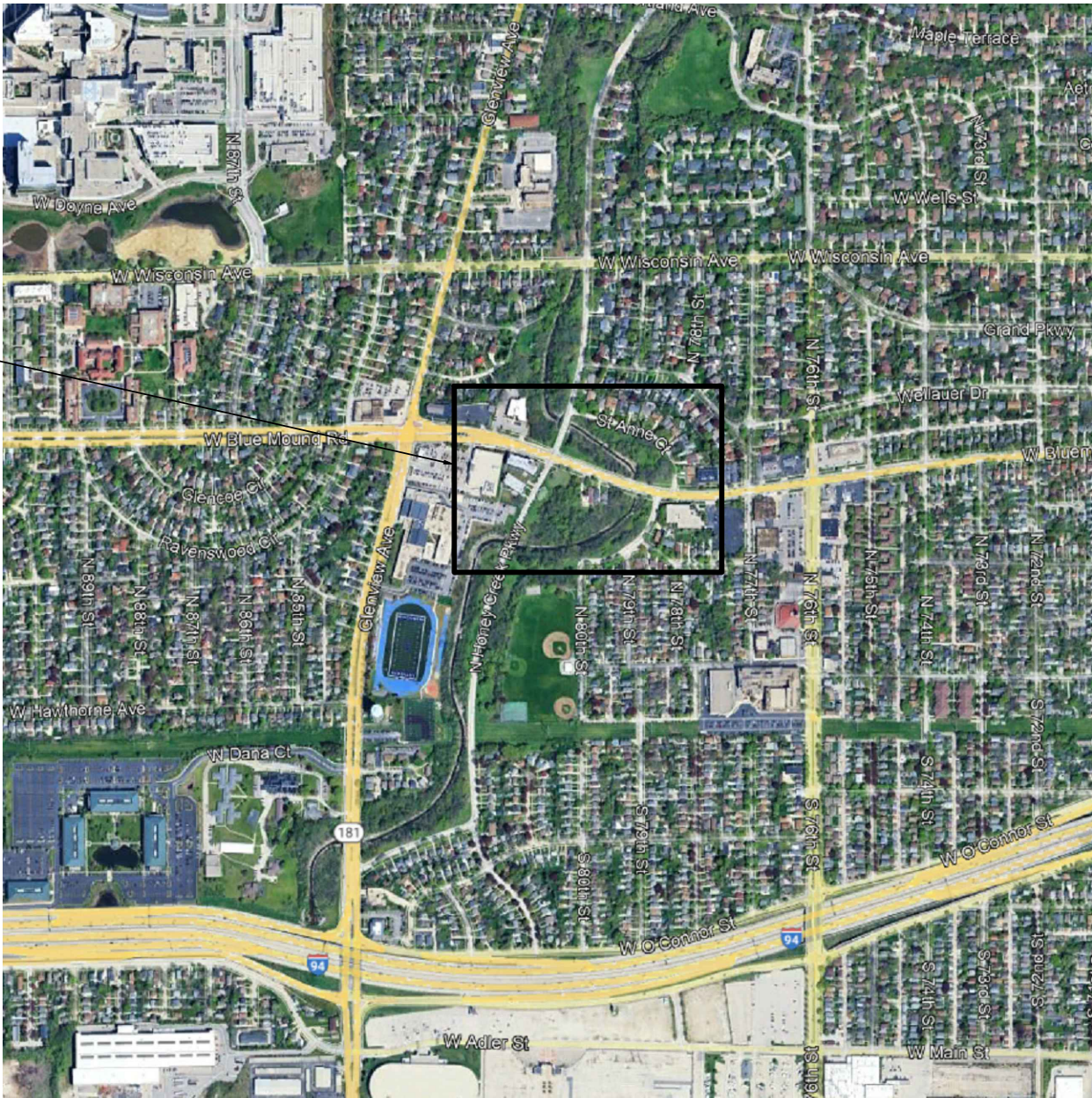


FOR AGENCY REVIEW ONLY
10/7/2025

DRAWING STATUS
MMSD FILE NO. XXXXXXXXXX.dwg



VICINITY MAP
NTS



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LOCATION MAP
NTS

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HORIZONTAL DATUM
NAD83 WISCONSIN STATE
PLANE SOUTH ZONE
COORDINATE SYSTEM
VERTICAL DATUM
NGVD29 NATIONAL
GEODETTIC VERTICAL
DATUM ON 1929

DSGN

DR
WKB
CHK

APVD
#####

This Design Prepared For MMSD By:
JACOBS
In Association With:

REV. NO. DATE

FOR AGENCY REVIEW ONLY
10/7/2025

REVISION DESCRIPTION BY APVD



MILWAUKEE METROPOLITAN SEWERAGE DISTRICT
WATERCOURSE
HONEY CREEK EMERGENCY REPAIR PROJECT
BLUEMOUND ROAD TO ST ANNES COURT
VICINITY MAP AND LOCATION MAP

PRELIMINARY DESIGN REVIEW

DRAWING NO.: G-02
SHEET: 2 OF 10
DATE: OCTOBER, 2025
CONTRACT: W40012D01
MMSD FILE: VIC MAP.DWG

ABBREVIATIONS

@
ABDN
ADDL
AGGR
AHD
AL
ALT
APPROX
APVD
ASPH
ASTM

AT
ABANDONED
ADDITIONAL
AGGREGATE
AHEAD
ALUMINUM
ALTERNATE
APPROXIMATE
APPROVED
ASPHALT
THE AMERICAN SOCIETY OF
TESTING AND MATERIALS

AVE
B
BHD
BK
BLDG
BM
BOT
BTWN
C
CB
C-C
CJ
CL
CLR
CMP
CONC
CONN
CONT
CONST
CTR
DET
DIA
DIM
DIP
DRAIN
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DWG
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EG
EL
ELEV
EQL
EXP JT
EXST
EW
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FCC
FES
FIG
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GCB
GND
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HORIZ
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IF
INVT
JT
LB
LBS
LF
LFC
LONG. JT
L JT
LT
MATL
MAX
METRO
MH

AVENUE
BORING
BULKHEAD
BACK
BUILDING
BENCHMARK
BOTTOM
BETWEEN
CONSTRUCTION, CONDUIT
CATCH BASIN
CENTER TO CENTER
CONSTRUCTION JOINT
CENTERLINE
CLEAR
CORRUGATED METAL PIPE
CONCRETE
CONNECTION
CONTINUOUS
CONSTRUCT, CONSTRUCTION
CENTER
DETAIL
DIAMETER
DIMENSION
DUCTILE IRON PIPE
DRAINAGE
DESIGN REFERENCE LINE
DESIGNER
DRAWING
EASTING, EAST
EACH
EACH FACE
EXISTING GRADE
ELEVATION
ELEVATION
EQUAL
EXPANSION JOINT
EXISTING
EACH WAY
FACILITY
FLOOD CONVEYANCE CHANNEL
FABRIC ENCAPSULATED SOIL
FIGURE
FLOWLINE
FIBERGLASS REINFORCED PIPE
FLOOD CHANNEL SIDE SLOPES
FOOT, FEET
FOOTING
FOOT PER FOOT
GAS
GAUGE
GRADE CONTROL BASE
GROUND
GRADE
HORIZONTAL
HIGH POINT
HYDRANT
INSIDE DIAMETER
INSIDE FACE
INVERT
JOINT
POUND
POUNDS
LINEAL FEET
LOW FLOW CHANNEL
LONGITUDINAL JOINT
LONGITUDINAL JOINT
LEFT
MATERIAL
MAXIMUM
METROPOLITAN
MANHOLE

ABBREVIATIONS

MIN
MIS
MISC
MMSD

N
NE
NC
NIC
NO

NTS
NW
OC
OD
OF
OPNG
OVHD ELEC
PC
PI
POB
POE
PP
PRC
PROP
PSI
PT
PVI
PVMT
PZ
R
RR
RT
REINF
RCB
RCP
REPL
REQD
R/L
RMV
ROW
R/W
RPP
S
SAN
SB#
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SECT
SHT
SI
SIM
SPG
SPEC
SQ
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STA
STD
STK
SS
SW
T
T&B
TC
TOC
TOR
TOS
TOPO
TYP
VC
VERT
VRM
W
W
WS
W/
WEPCO
WISDOT
WP
WS
WWF

MINIMUM
METRO INTERCEPTING SEWER
MISCELLANEOUS
MILWAUKEE METROPOLITAN
SEWERAGE DISTRICT
NORTH, NORTHING
NORTHEAST
NOT IN CONFLICT
NOT IN CONTRACT
NUMBER
NUMBER
NOT TO SCALE
NORTHWEST
ON CENTER
OUTSIDE DIAMETER
OUTSIDE FACE
OPENING
OVERHEAD ELECTRIC UTILITIES
POINT OF CURVATURE
POINT OF INTERSECTION
POINT OF BEGINNING
POINT OF ENDING
POWER POLE
POINT OF REVERSE CURVATURE
PROPOSED
POUND PER SQUARE INCH
POINT OF TANGENCY
POINT OF VERTICAL INTERSECTION
PAVEMENT
PIEZOMETER
RANGE
RAILROAD
RIGHT
REINFORCING
REINFORCED CONCRETE BOX
REINFORCED CONCRETE PIPE
REPLACE
REQUIRED
REFERENCE LINE
REMOVE
RIGHT OF WAY
RIGHT OF WAY
REINFORCED POLYPROPYLENE
SOUTH, SLOPE
SANITARY SEWER
SOIL BORING
SOUTHEAST
SECTION
SHEET
SLOPE INTERCEPT
SIMILAR
SPACING
SPECIFICATIONS
SQUARE
STREET
STATION
STANDARD
STAKE
STORM SEWER SPECIAL SECTION
SOUTHWEST
TOWNSHIP
TOP AND BOTTOM
TELEPHONE CABLE
TOP OF CHANNEL
TOP OF REVETMENT
TOP OF SLOPE
TOPOGRAPHIC
TYPICAL
VITRIFIED CLAY
VERTICAL
VEGETATED REVETMENT MATTRESS
WEST
WATER
WATER SURFACE
WITH
WISCONSIN ELECTRIC POWER
COMPANY
WISCONSIN DEPARTMENT OF
TRANSPORTATION
WORKING POINT
WATER SURFACE
WELDED WIRE FABRIC

SECTION AND DETAIL TITLES

SECTION
1/4" = 1'-0"

A
243-M-2

DETAIL
1/4" = 1'-0"

A
243-M-2

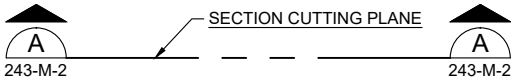
SECTION OR DETAIL DESIGNATION

SECTION ARROW: SHOWS
DIRECTION OF SIGHT FOR
SECTION VIEW

SECTION DESIGNATION: LETTER
DETAIL DESIGNATION: NUMBER

DRAWING NUMBER: (REPLACE
WITH A LINE IF TAKEN AND
SHOWN ON SAME SHEET)

SECTION DRAWING NUMBER:
INDICATES DRAWING SECTION
VIEW WAS CUT FROM OR BEING
SHOWN ON



PROJECT DETAIL DESIGNATION

ON DRAWINGS WHERE
PROJECT DETAIL IS TAKEN

ON DRAWING WHERE
PROJECT DETAIL IS SHOWN

SEE DETAIL (311)
OR
SEE DETAIL 311

DESIGNATION SYMBOLS

OR

(311)
311

DETAIL DESIGNATION NUMBERS

TYPE	DETAIL NUMBERS
CIVIL	1 THRU 49
ARCHITECTURAL	50 THRU 199
STRUCTURAL	200 THRU 299
MECHANICAL	300 THRU 499
HVAC	500 THRU 599
I & C	600 THRU 699
ELECTRICAL	700 THRU 799

GENERAL NOTES:

2. THIS IS A STANDARD LEGEND SHEET. SO SYMBOLS OR ABBREVIATIONS
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This Design Prepared For MMSD By:

JACOBS

REV. NO.

DATE

FOR AGENCY REVIEW ONLY
10/7/2025

REVISION DESCRIPTION

BY

APVD



MILWAUKEE METROPOLITAN SEWERAGE DISTRICT

WATERCOURSE
HONEY CREEK EMERGENCY REPAIR PROJECT
BLUEMOUND ROAD TO ST ANNES COURT

ABBREVIATIONS AND SECTION AND DETAIL DESIGNATIONS

DRAWING NO.: G-03

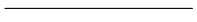
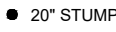
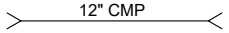
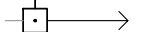
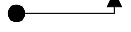
SHEET: 3 OF 10

DATE: OCTOBER, 2025

CONTRACT: W40012D01

MMSD FILE: GEN NOTES.DWG

SYMBOLS



WATER PIPELINE WITH FIRE HYDRANT & VALVE WITH BOX

WATER VALVE

WATER FIRE HYDRANT

GAS VALVE

HANDHOLE

TRAFFIC SIGNAL PEDESTAL

TRAFFIC SIGNAL OVERHEAD

FIRE AND POLICE BOX

LUMINAIRE AND POLE

UTILITY POLE W/DIRECTION OF CABLE & GUY ANCHOR

CULVERT (SIZE AND TYPE INDICATED)

DECIDUOUS TREE

CONIFEROUS TREE

SHRUB / BUSH

20" STUMP

SIGN

BOLLARD

SURFACE RESTORATION TYPE

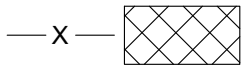
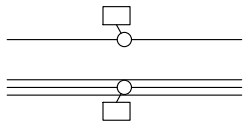
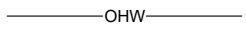
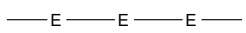
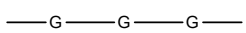
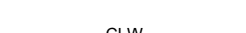
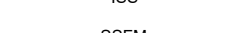
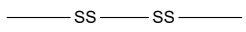
RIP-RAP

STRUCTURES

FENCE LINE

RAILROAD

PIPE & UTILITY IDENTIFICATION



NEW

EXISTING

STORM SEWER

SANITARY SEWER

COMBINED SEWER

PRESSURE SEWER

MIS (MILWAUKEE INTERCEPTING SEWER)

NEAR SURFACE COLLECTOR

COMBINED SEWER OUTFALL

INLINE STORAGE SYSTEM

SOUTH SHORE FORCE MAIN

CLEARWATER SEWER

INTERPLANT SOLIDS

SPECIAL SECTION MIS SEWER

ABANDONED MIS SEWER

GAS PIPELINE

ELECTRICAL

OVERHEAD UTILITY WIRE

FIBER OPTIC CABLE

WATER

INLET / CATCH BASIN

EXISTING MANHOLE

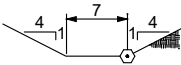
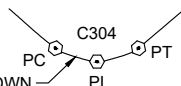
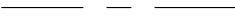
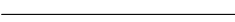
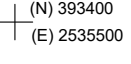
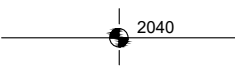
NEW MANHOLE

BULKHEAD

STORM SEWER WITH CATCH BASIN & MANHOLE (SINGLE AND DOUBLE LINE)

REMOVE UNDER THIS CONTRACT

SURVEY



2040

(N) 393400
(E) 2535500

SECTION LINE AND CORNER W/NUMBER

STATE PLANE COORDINATE GRID SOUTH ZONE

SECTION LINE

1/4 SECTION LINE

STREET RIGHT-OF-WAY LINE

BACK OF CURB LINE

FRONT OF CURB LINE

GUTTER / FLOW LINE

FLANGE

CENTERLINE

LOT LINE

CONTROL POINT

TRAVERSE POINT

BORING LOCATION

POINT OF CURVATURE (PC), TANGENCY (PT), OR INTERSECTION (PI) ON SURVEY REFERENCE LINE

TYPICAL CURVE LAYOUT
SEE SHEET FOR COORDINATE GEOMETRY

CHANNEL BOTTOM (5 FEET WIDE)
W/ REFERENCE LINE SHOWN

REFERENCE LINE LOCATION ON CHANNEL SECTION

SURVEYED RIVER CENTERLINE AND POINTS

REUSE OF DOCUMENTS

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HORIZONTAL DATUM

NAD83 WISCONSIN STATE PLANE SOUTH ZONE COORDINATE SYSTEM

VERTICAL DATUM

NGVD29 NATIONAL GEODETIC VERTICAL DATUM ON 1929

DSGN

#####

DR

WKB

CHK

#####

APVD

#####

This Design Prepared For MMSD By:

JACOBS

In Association With:

REV. NO.

DATE

FOR AGENCY REVIEW ONLY

10/7/2025

REVISION DESCRIPTION

BY

APVD



MILWAUKEE METROPOLITAN SEWERAGE DISTRICT

WATERCOURSE

HONEY CREEK EMERGENCY REPAIR PROJECT

BLUEMOUND ROAD TO ST ANNES COURT

STANDARD SYMBOLS

PRELIMINARY DESIGN REVIEW

DRAWING NO.: G-04

SHEET: 4 OF 10

DATE: OCTOBER, 2025

CONTRACT: W40012D01

MMSD FILE: LEGEND.DWG

GENERAL REQUIREMENTS

SPECIFICATIONS

UNLESS OTHERWISE NOTES, MATERIALS AND FINISHED WORK SHALL CONFIRM TO THE CURRENT EDITION OF THE WISCONSIN DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, HEREINAFTER REFERRED TO AS THE STANDARD SPECIFICATIONS.

MATERIALS

CONCRETE

GENERAL - CONCRETE SHALL CONFORM TO SECTION 501, GRADE A, OF THE STANDARD SPECIFICATIONS.

FOR FILLING VOIDS - CONCRETE FOR FILLING VOIDS UNDER EXISTING AND DISPLACED CHANNEL LINER CONCRETE SLABS SHALL INCLUDE A HIGH RANGE WATER REDUCER PER 502.3.5.3(2) OF THE STANDARD SPECIFICATIONS.

DEPOSITED UNDER WATER - CONCRETE DEPOSITED UNDER STANDING OR SEEPING WATER SHALL INCLUDE A HIGH RANGE WATER REDUCER PER 502.3.5.3(2) AND BE DEPOSITED USING A TREMIE AS SPECIFIED IN 502.3.5.3(3) OF THE STANDARD SPECIFICATIONS

DEFORMED CARBON STEEL DEFORMED REINFORCEMENT BARS: CONFORM TO ASTM A615, GRADE 60.

WELDED WIRE FABRIC (WWF)

CONFORM TO ASTM A1064. WWF SHALL BE DELIVERED AND PLACED AS FLAT PANELS. ROLLED WWF IS NOT PERMITTED.

RIPRAP

CONFORM TO LIGHT RIPRAP PER SECTION 606 OF THE STANDARD SPECIFICATIONS.

CONSTRUCTION

TRAFFIC

MAINTAIN TRAFFIC AND ACCESS TO ALL DRIVEWAYS ON ST. ANNE COURT BETWEEN HONEY CREEK PARKWAY AND WEST BLUEMOUND ROAD AT ALL TIMES.

A SINGLE LANE CLOSURE ON SOUTHBOUND HONEY CREEK PARKWAY IS PERMITTED DURING BUSINESS HOURS ONLY. MAINTAIN ONE LANE OF TRAFFIC WITH A FLAGGER DURING BUSINESS HOURS.

SITE ACCESS

THE CONTRACTOR SHALL PREPARE AND SUBMIT A SITE ACCESS PLAN TO THE ENGINEER DETAILING ACCESS TO THE SITE FOR EQUIPMENT AND MATERIAL DELIVERY AND REMOVAL OF DEBRIS. ACCESS VIA THE HONEY CREEK PARKWAY AND ST ANNES CT IS PERMITTED WITHOUT REMOVAL OR DAMAGE TO STANDING TREES AND BUSHES. AS MUCH AS PRACTICAL, EXERCISE CARE AND IMPLEMENT MITIGATION MEASURES TO MINIMIZE DAMAGE TO EXISTING GRASS AND GROUND COVER VEGETATION. SEE SHEET C-01 FOR EROSION AND SEDIMENTATION CONTROL REQUIREMENTS.

SITE RESTORATION

RESTORE ALL EXISTING GRADES, DAMAGED GRASS, AND GROUND COVER VEGETATION UPON COMPLETION OF THE CREEK RESTORATION AND DEMOBILIZATION FROM THE SITE.

DEBRIS REMOVAL

REMOVE ALL DEBRIS WITHIN HONEY CREEK BETWEEN THE LIMITS SHOWN ON THE PLAN. DEBRIS REMOVAL INCLUDES ALL DISPLACED CONCRETE CHANNEL LINER SLABS; BROKEN CONCRETE PIECES; DISPLACED CONCRETE CHANNEL LINER SLABS; BROKEN CONCRETE PIECES; DISPLACED RIPRAP; GRAVEL, SAND, AND SILT DEPOSITS; DISPLACED TREE LIMBS AND BRANCHES; AND REFUSE CUT OFF AND REMOVE ALL VEGETATION GROWING BETWEEN CRACKS AND JOINTS OF THE EXISTING CONCRETE CHANNEL LINER SLABS THAT ABUT NEWLY PLACED CONCRETE.

CONCRETE CHANNEL LINER SLAB REMOVAL

REMOVE EXISTING CONCRETE CHANNEL LINER SLABS OR PORTIONS THEREOF TO THE LIMITS INDICATED ON THE PLANS AND AS DIRECTED BY THE ENGINEER. CHANNEL LINER SLAB REMOVALS SHALL BE GENERALLY TAKEN TO JOINTS OF THE EXISTING CHANNEL LINER SLABS. WHERE THIS IS NOT POSSIBLE, DEFINE THE CONCRETE CHANNEL LINER SLAB REMOVAL LIMIT WITH A FULL DEPTH SAW CUT.

VOIDS

CLEAN OUT EXPOSED VOIDS UNDER REMOVED CONCRETE CHANNEL LINER SLABS OF ANY LOOSE DEBRIS AND DELETERIOUS MATERIAL. FILL VOIDS WITH FLOWABLE, HIGH SLUMP CONCRETE. IF VOIDS HAVE STANDING, SEEPING OR RUNNING WATER, PUMP WATER FROM VOID PRIOR TO FILLING VOID WITH CONCRETE. IF CONCRETE MUST BE DEPOSITED UNDER WATER, DEPOSIT USING A TREMIE PER THE STANDARD SPECIFICATIONS. FILL VOIDS WITH FLOWABLE HIGH SLUMP CONCRETE TO THE BOTTOM OF THE FINISHED CONCRETE CHANNEL LINER SLABS THAT WILL BE A SUBSEQUENT PLACEMENT.

REPLACE CONCRETE CHANNEL LINER SLABS

REPLACE CONCRETE CHANNEL LINER SLABS TO THE LIMITS SHOWN ON THE PLANS AND AS DELINEATED BY THE ENGINEER. PROVIDE MINIMUM CONCRETE CHANNEL LINER THICKNESS, REINFORCEMENT AND JOINTS AS SHOWN IN THE PLANS. MAINTAIN AND MATCH EXISTING CHANNEL ELEVATIONS AND GRADES. PROVIDE A BROOM FINISH OF THE EXPOSED FINAL CHANNEL LINER SURFACE.

LINE ITEM AND QUANTITY TABLE BY BRIDGE/SITE

PRELIMINARY DESIGN REVIEW

REUSE OF DOCUMENTS THIS DOCUMENT AND THE IDEAS AND DESIGNS INCORPORATED HEREIN IS AN INSTRUMENT OF PROFESSIONAL SERVICE AND IS NOT TO BE USED, IN WHOLE OR IN PART, FOR ANY OTHER PROJECT WITHOUT THE WRITTEN AUTHORIZATION OF THE MILWAUKEE METROPOLITAN SEWERAGE DISTRICT.	HORIZONTAL DATUM NAD83 WISCONSIN STATE PLANE SOUTH ZONE COORDINATE SYSTEM VERTICAL DATUM NGVD29 NATIONAL GEODETIC VERTICAL DATUM ON 1929	DSGN ##### DR WKB CHK ##### APVD #####	This Design Prepared For MMSD By:		JACOBS In Association With:			FOR AGENCY REVIEW ONLY 10/7/2025	 PARTNERS FOR A CLEANER ENVIRONMENT	MILWAUKEE METROPOLITAN SEWERAGE DISTRICT		DRAWING NO.:	G-05
			WATERCOURSE							SHEET:	5 OF 10		
			HONEY CREEK EMERGENCY REPAIR PROJECT							DATE:	OCTOBER, 2025		
			BLUEMOUND ROAD TO ST ANNES COURT							CONTRACT:	W40012D01		
										MMSD FILE: SPECS-NOTES.DWG			
		REV. NO.	DATE	REVISION DESCRIPTION			BY	APVD					

GENERAL EROSION CONTROL NOTES:

- 1. ALL EROSION CONTROL MEASURES MUST BE IN PLACE BEFORE CONSTRUCTION ACTIVITIES BEGIN. THESE MEASURES MUST REMAIN IN PLACE AND FUNCTIONAL THROUGHOUT THE COURSE OF EARTH DISTURBING ACTIVITY AND MAY ONLY BE REMOVED ONCE THE DISTURBED SITE IS RE-STABILIZED.
- 2. MINIMIZE DISRUPTION TO THE EXISTING VEGETATED GROUND COVER TO THE GREATEST EXTENT POSSIBLE.
- 3. EROSION AND SEDIMENT CONTROL MEASURES SHALL MEET THE REQUIREMENTS OF CH. NR 151, WIS., ADMIN. CODE. REFER TO THE "WISCONSIN CONSTRUCTION SITE EROSION CONTROL FIELD GUIDE" FOR ADDITIONAL INFORMATION.
- 4. SOIL STOCKPILED MUST BE STABILIZED AND PROTECTED WITH SEDIMENT TRAPPING TO PREVENT SOIL LOSS.
- 5. UNLESS OTHERWISE NOTED, STANDARDS AND SPECIFICATIONS ESTABLISHED IN THE LATEST EDITION OF THE DEPARTMENT OF NATURAL RESOURCES "RAINWATER AND LAND DEVELOPMENT" MANUAL, CURRENT EDITION, SHALL GOVERN THE EROSION AND SEDIMENT CONTROL INSTALLATIONS SPECIFIED ON THIS PLAN.
- 6. SILT FENCES AND INLET PROTECTION ARE TO BE CONTINUOUSLY MAINTAINED BY THE CONTRACTOR UNTIL RISK OF EROSION/SEDIMENTATION OCCURRING HAS BEEN ELIMINATED.
- 7. THE CONTRACTOR SHALL PERFORM STREET SWEEPING, ON A REGULAR BASIS, AND IMMEDIATELY IN THE EVENT THAT MUD OR OTHER DEBRIS ARE TRACKED ONTO THE STREET.
- 8. THE CONTRACTOR SHALL INSPECT STREETS AND JOBSITE PERIMETER AT THE END OF EACH WORKING DAY TO ENSURE THAT ALL DEBRIS WITH POTENTIAL TO ENTER EXISTING STORM SEWERS AND WATER COURSES ARE REMOVED.

STABILIZATION:

DISTURBED AREAS MUST BE STABILIZED AS FOLLOWS:

- 1. ALL GROUND SURFACE AREAS THAT HAVE BEEN EXPOSED OR LEFT BARE AS A RESULT OF CONSTRUCTION ACTIVITIES THAT ARE TO FINAL GRADE, AND ARE TO REMAIN SO, SHALL BE SEEDED AND MULCHED WITHIN 7 CALENDAR DAYS.
- 2. ALL GROUND SURFACE AREAS THAT HAVE BEEN EXPOSED OR LEFT BARE AS A RESULT OF CONSTRUCTION ACTIVITIES, AND IN WHICH NO CONSTRUCTION ACTIVITIES WILL OCCUR FOR ONE YEAR OR MORE SHALL BE SEEDED AND MULCHED WITHIN 7 CALENDAR DAYS.
- 3. TEMPORARY SEEDING WILL CONSIST OF THE FOLLOWING OR AN APPROVED EQUAL:

SEEDING PERIOD	TYPE	RATE (1000 SF)
SPRING AND SUMMER	1. OATS	3 LBS
	2. PEREN. RYEGRASS	1 LBS
	3. TALL FESCUE	1 LBS
FALL	1. PEREN. RYEGRASS	1 LBS
	2. RYE	3 LBS
	3. WHEAT	3 LBS
	4. TALL FESCUE	1 LBS

3.1 SEEDBED PREPARATION:

- A. LIME (IN LIEU OF A SOIL TEST RECOMMENDATION) SHALL BE APPLIED ON ACID SOIL (ph=5.5 OR LESS) AND SUBSOIL AT A RATE OF 100 POUNDS PER 1000 SF, OR TWO (2) TONS PER ACRE OF AGRICULTURAL GROUND LIMESTONE.
- B. FERTILIZER (IN LIEU OF A SOILS TEST RECOMMENDATION), SHALL BE APPLIED AT A RATE OF 12-15 POUNDS (25 POUNDS FOR PERMANENT SEEDING), PER 1000 SF OF 10-10-10 OR 12-12-12 ANALYSIS OR EQUIVALENT.

3.2 SEED APPLICATION:

APPLY THE SEED UNIFORMLY WITH A HYDRO-SEEDER (SLURRY MAY INCLUDE SEED AND FERTILIZER) PREFERABLY ON A FIRM, MOIST SEEDBED. SEED WHEAT OR RYE NO DEEPER THAN ONE (1) INCH. SEED RYEGRASS NO DEEPER THAN ONE QUARTER OF AN INCH.

INLET PROTECTION:

- 1. CURB INLETS AND TRENCH DRAINS MUST BE PROTECTED BY A DANDY BAG OR APPROVED EQUAL.
- 2. CATCH BASIN (OUTSIDE OF TRAVELWAY) INLETS MUST BE PROTECTED BY THE USE OF STRAW BALES AND SILT FENCING COMPLETELY SURROUNDING THE STRUCTURE.
- 3. INLET PROTECTION DEVICES MUST BE INSPECTED FOR PROPER FUNCTION WEEKLY IF NO WEATHER EVENTS HAVE OCCURRED.
- 4. INLET PROTECTION DEVICES MUST BE INSPECTED BEFORE AND AFTER WEATHER EVENTS FOR PROPER FUNCTION AND REPLACED AS SUGGESTED BY MANUFACTURER RECOMMENDATIONS OR AS DIRECTED BY THE CITY.

CONSTRUCTION ENTRANCE:

- 1. TIMING--THE CONSTRUCTION ENTRANCE SHALL BE INSTALLED PRIOR TO MAJOR EQUIPMENT AND DUMP TRUCKS UTILIZING THE SITE.
- 2. INSTALL THE STONE TRACKING PAD TO ENSURE VEHICLES THAT DRIVE OVER EXPOSED SOIL EXIT ALONG THE FULL LENGTH OF THE PAD.
- 3. USE HARD, DURABLE, ANGULAR STONE OR RECYCLED CONCRETE MEETING THE GRADATION IN TABLE 1. DRIVING SURFACE SHALL BE AT LEAST 12 FEET WIDE, 1 FOOT THICK AND 50 FEET LONG.
- 4. MAINTENANCE -TOP DRESSING OF ADDITIONAL STONE SHALL BE APPLIED AS CONDITIONS DEMAND. MUD SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC ROADS, OR ANY SURFACE WHERE RUNOFF IS NOT CHECKED BY SEDIMENT CONTROLS, SHALL BE REMOVED IMMEDIATELY. REMOVAL SHALL BE ACCOMPLISHED BY SCRAPING OR SWEEPING.
- 5. CONSTRUCTION ENTRANCES SHALL NOT BE RELIED UPON TO REMOVE MUD FROM VEHICLES AND PREVENT OFF-SITE TRACKING. VEHICLES THAT ENTER AND LEAVE THE CONSTRUCTION-SITE SHALL BE RESTRICTED FROM MUDDY AREAS.
- 6. REMOVAL--THE ENTRANCE SHALL REMAIN IN PLACE UNTIL THE DISTURBED AREA IS STABILIZED.

SILT FENCE SPECIFICATIONS:

- 1. SILT FENCE SHALL BE CONSTRUCTED BEFORE UPSLOPE GROUND COVER IS REMOVED. CLEARING, GRUBBING, AND STUMPING CAN OCCUR BEFORE SILT FENCE INSTALLATION IF GROUND COVER IS NOT REMOVED.
- 2. WHERE POSSIBLE, SILT FENCE SHALL BE PLACED ON THE FLATTEST AREA AVAILABLE.
- 3. A RUN OF SILT FENCE SHALL FOLLOW THE CONTOUR AS CLOSE AS POSSIBLE WITH THE ENDS TURNED UPSLOPE TO POND WATER BEHIND THE FENCE.
- 4. THE SILT FENCE SHALL BE BURIED AT LEAST 6. THIS CAN BE ACCOMPLISHED WITH A TRENCHER, CABLE LAYING MACHINE, SLICING MACHINE OR OTHER SUITABLE DEVICE WHICH WILL ENSURE AN ADEQUATELY UNIFORM TRENCH DEPTH.
- 5. THE STAKES SHALL BE PLACED ON THE DOWN SLOPE SIDE OF THE FILTER FABRIC. THE STAKES SHALL BE A MINIMUM OF 2X2 NOMINAL (1-1/2" X 1-1/2" ACTUAL) HARDWOOD STAKE OF SOUND QUALITY. T-POSTS MAY BE SUBSTITUTED IF GROUND CONDITIONS REQUIRE.
- 6. FILTER FABRIC SHALL BE FASTENED TO WOODEN POSTS USING 1/2" HEAVY DUTY STAPLES.
- 7. FILTER FABRIC SHALL BE PLACED IN A CONTINUOUS ROLL TO MINIMIZE THE OCCURRENCE OF JOINTS. WHERE JOINTS CANNOT BE AVOIDED, FABRIC SHALL BE SPLICED TOGETHER AT SUPPORT POSTS, WITH A MINIMUM OF 6-INCH OVERLAP, AND SECURELY SEALED.
- 8. WHERE TWO SILT FENCE SECTIONS ARE COMBINED INTO ONE RUN THE END STAKES SHALL BE CONNECTED TOGETHER, NOT SIMPLY OVERLAPPED. SEE DETAIL BELOW.
- 9. IF RUNOFF OVERTOPS THE SILT FENCE, FLOWS AROUND THE ENDS, OR IN ANY OTHER WAY BECOMES A CONCENTRATED FLOW, ONE OF THE FOLLOWING SHALL BE PERFORMED, AS APPROPRIATE: 1) AN ADDITIONAL RUN OF SILT FENCE SHALL BE PLACED UPSTREAM. 2) THE LAYOUT OF THE SILT FENCE SHALL BE CHANGED, 3) ACCUMULATED SEDIMENT SHALL BE REMOVED, OR 4) OTHER PRACTICES SHALL BE IMPLEMENTED.
- 10. SILT FENCE SHALL MEET THE FOLLOWING SPECIFICATION REQUIREMENTS: MINIMUM TENSILE STRENGTH - 100 LBS.; MINIMUM PUNCTURE STRENGTH - 50 LBS.; MINIMUM TEAR STRENGTH - 40 LBS.

NOTES FOR CONSTRUCTION:

EROSION CONTROL DEVICES SHALL BE INSTALLED, IN ADVANCE,

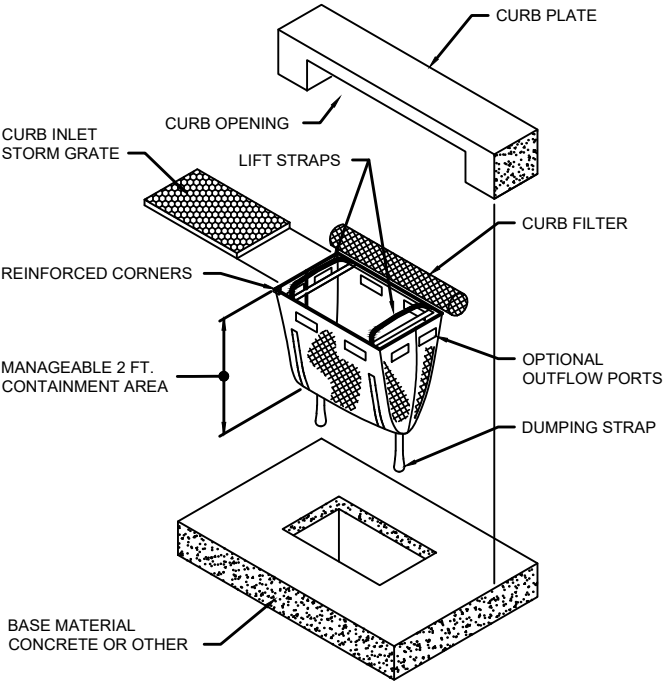
ALONG THE LIMITS OF CONSTRUCTION AS PER DETAIL ON THIS SHEET.

FILL MATERIAL, EQUIPMENT, ETC., SHALL BE STORED WITHIN THE

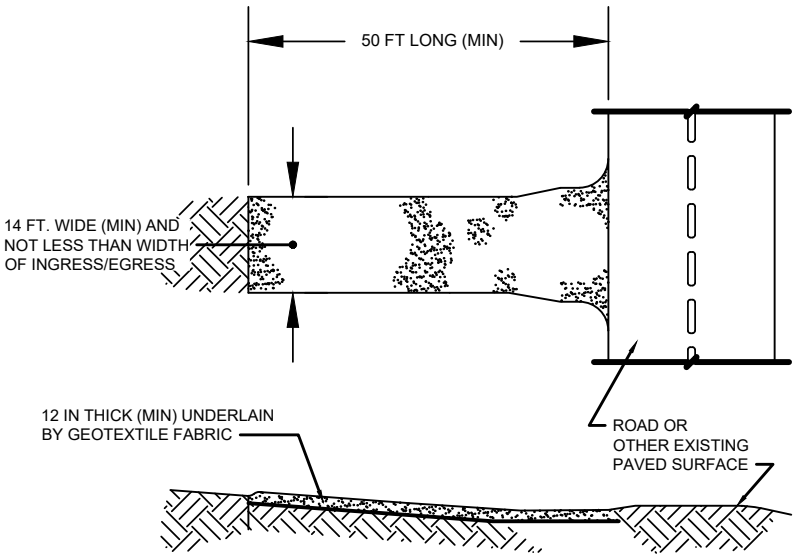
RIGHT-OF-WAY, CONSTRUCTION LIMITS, OR IN STAGING AREAS AND NOT STORED WITHIN THE DRIPLINE OF ANY REMAINING TREES.

DISTURBED AREAS SHALL BE SEEDED AND/OR MULCHED, IN

STAGES, AS THE PROJECT PROGRESSES TO HELP PREVENT SOIL EROSION.



DETAIL
EROSION CONTROL
INLET PROTECTION
SCALE: NTS



CONSTRUCTION ENTRANCE
STONE TRACKING PAD
SCALE: NTS

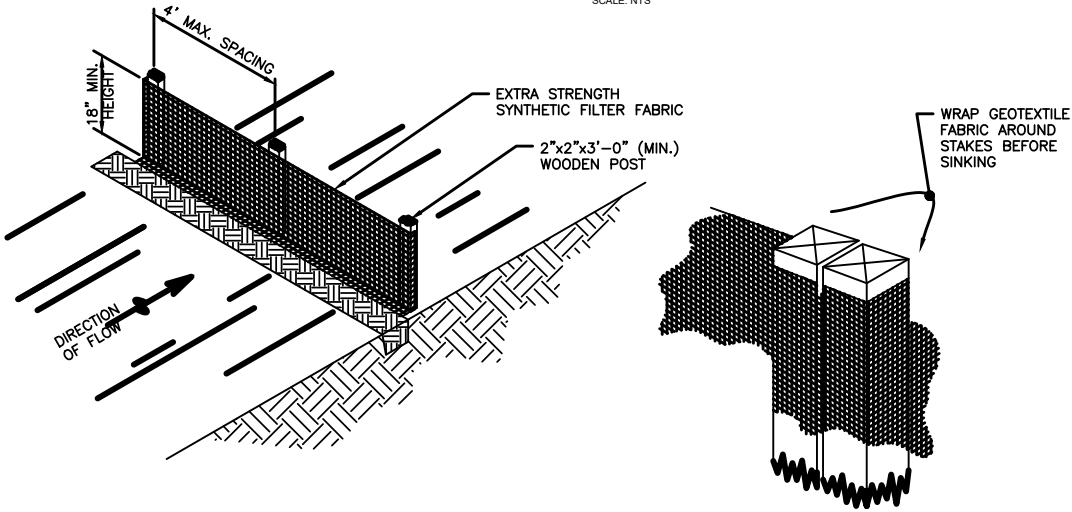


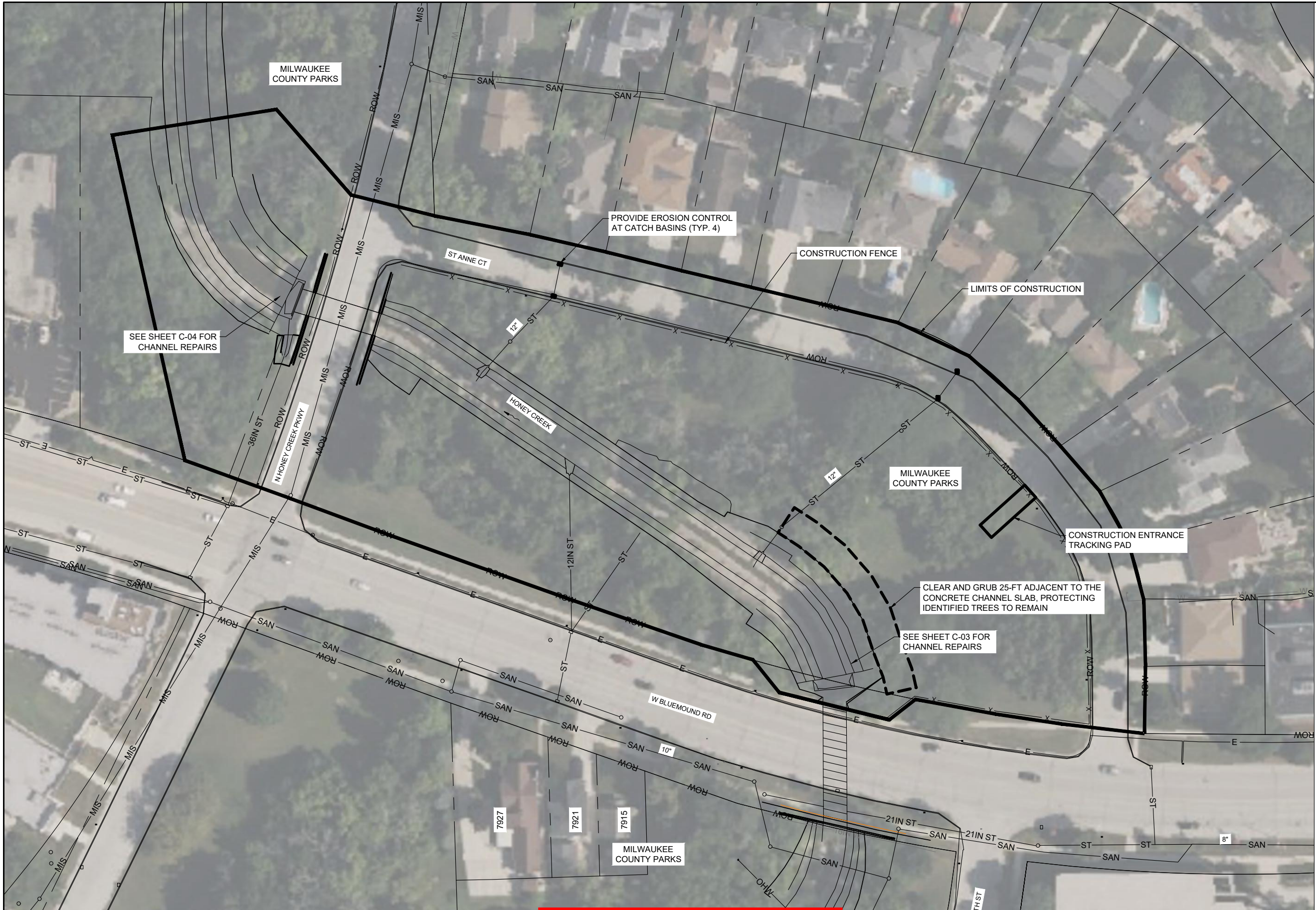
TABLE 1

SIEVE SIZE	% PASSING BY WEIGHT
3"	100
2-1/2"	90-100
1-1/2"	26-60
3/4"	0-20
3/8"	0-5

PRELIMINARY DESIGN REVIEW

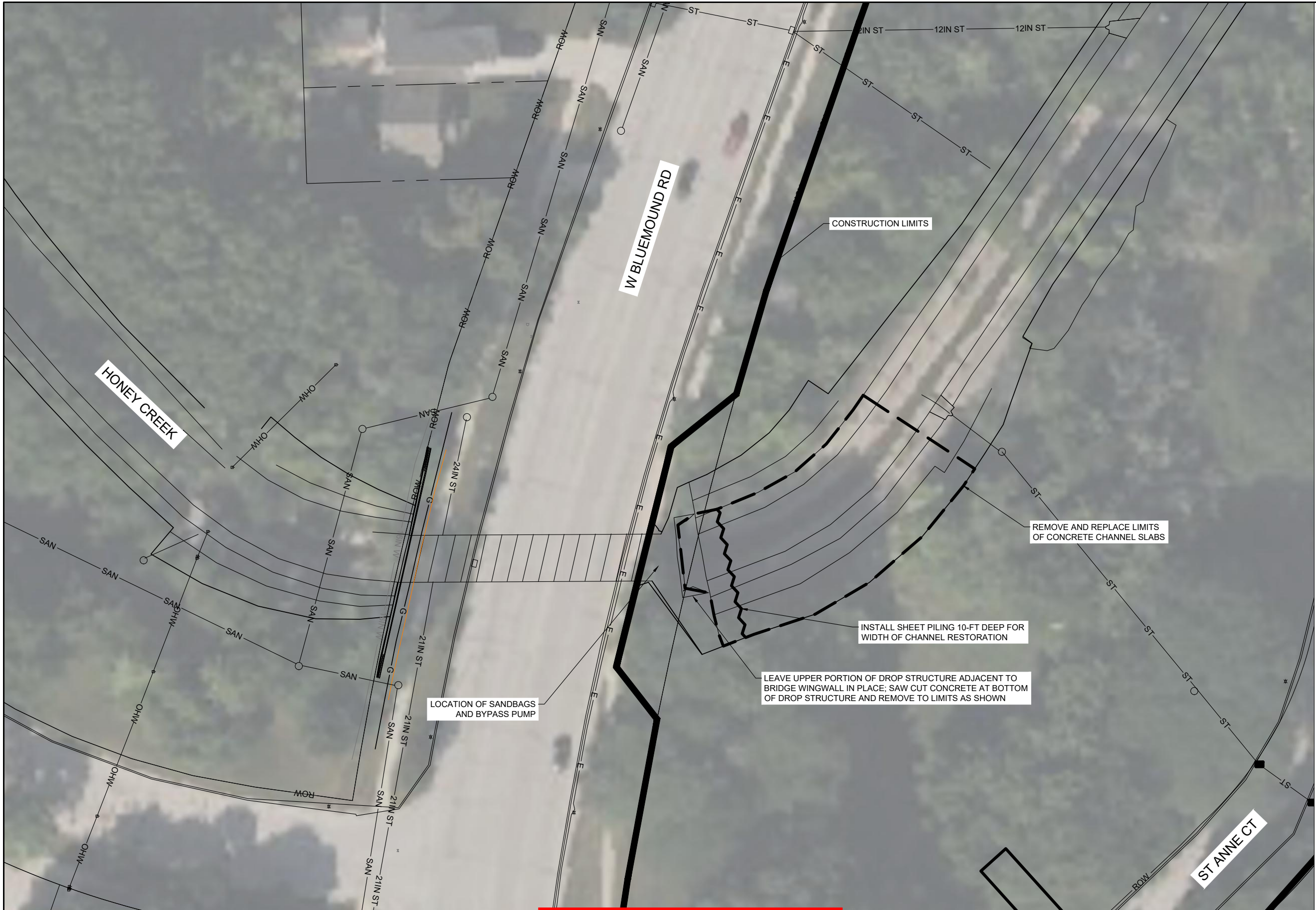
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	VERTICAL DATUM NGVD29 NATIONAL GEODETIC VERTICAL DATUM ON 1929	DR WKB										CHK #####	APVD #####		WATERCOURSE HONEY CREEK EMERGENCY REPAIR PROJECT BLUEMOUND ROAD TO ST ANNES COURT		SHEET: 6 OF 10	
													DATE: OCTOBER, 2025					
													CONTRACT: W40012D01					
												EROSION CONTROL DETAILS AND NOTES		MMSD FILE: SPECS-NOTES.DWG				

FOR AGENCY REVIEW ONLY
10/7/2025

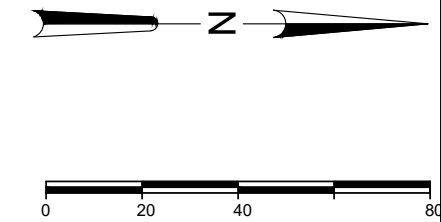


PRELIMINARY DESIGN REVIEW

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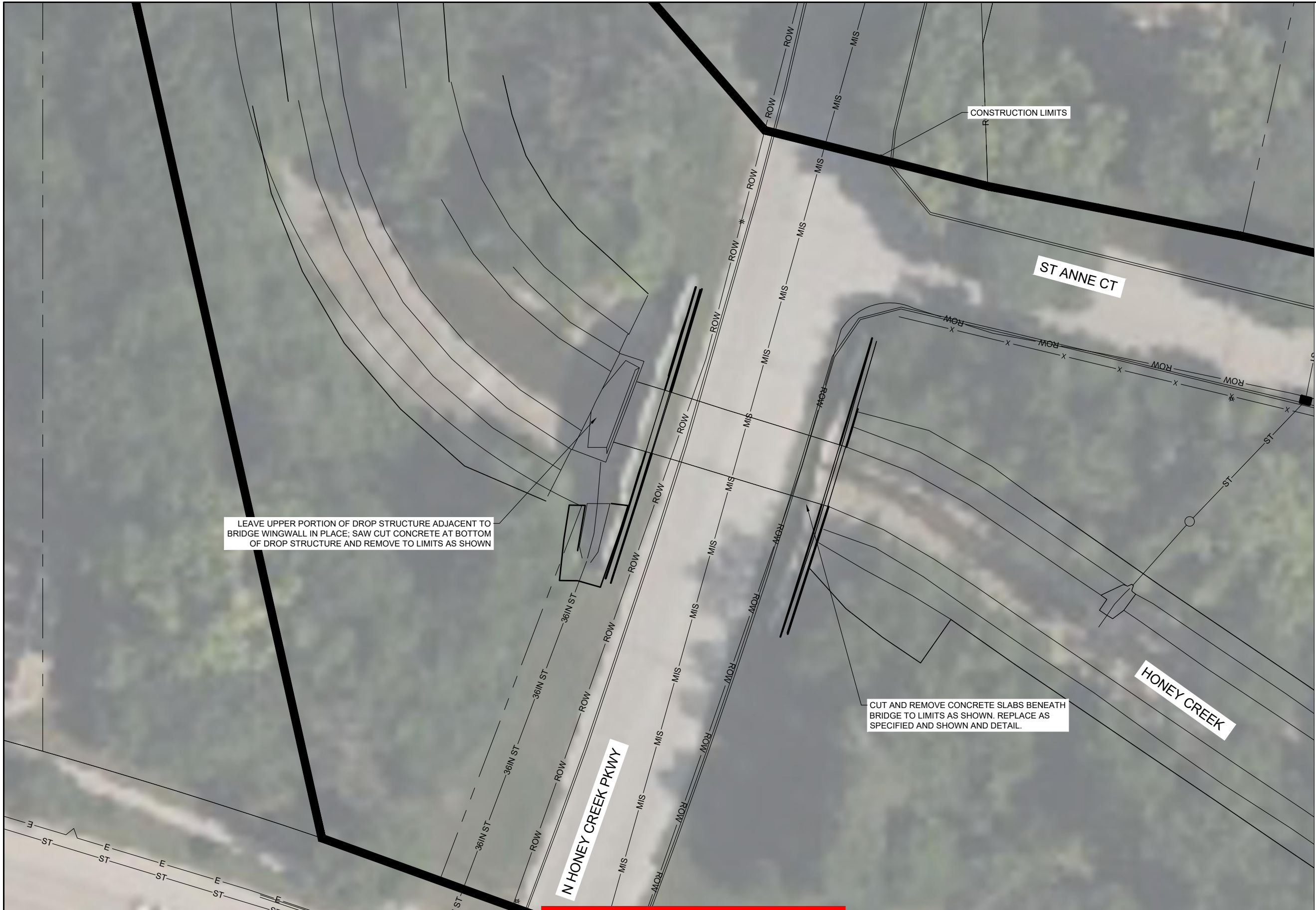


- NOTES:
1. SEE SHEET C-01 FOR SITE ACCESS
 2. GENERATOR FOR BYPASS PUMP MUST BE LOCATED OUTSIDE OF ROADWAY RIGHT-OF-WAY
 3. REMOVE ALL CONCRETE AND SEDIMENT DEBRIS, AND BYPASS CREEK FLOW TO FACILITATE MAKING FINAL DETERMINATION ON CONSTRUCTION LIMITS AND REPAIR TECHNOLOGY

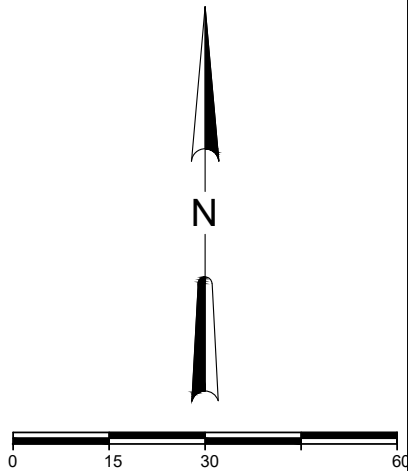


PRELIMINARY DESIGN REVIEW

REUSE OF DOCUMENTS THIS DOCUMENT AND THE IDEAS AND DESIGNS INCORPORATED HEREIN IS AN INSTRUMENT OF PROFESSIONAL SERVICE AND IS NOT TO BE USED, IN WHOLE OR IN PART, FOR ANY OTHER PROJECT WITHOUT THE WRITTEN AUTHORIZATION OF THE MILWAUKEE METROPOLITAN SEWERAGE DISTRICT.	HORIZONTAL DATUM NAD83 WISCONSIN STATE PLANE SOUTH ZONE COORDINATE SYSTEM VERTICAL DATUM NGVD29 NATIONAL GEODETIC VERTICAL DATUM ON 1929	DSGN #####	This Design Prepared For MMSD By:		FOR AGENCY REVIEW ONLY 10/7/2025			MILWAUKEE METROPOLITAN SEWERAGE DISTRICT	DRAWING NO.:	C-03				
		DR WKB	 In Association With:	REV. NO.				DATE	REVISION DESCRIPTION	BY	APVD	WATERCOURSE	SHEET:	8 OF 10
		CHK #####										HONEY CREEK EMERGENCY REPAIR PROJECT	DATE:	OCTOBER, 2025
		APVD #####										BLUEMOUND ROAD TO ST ANNES COURT	CONTRACT:	#####
												BLUEMOUND ROAD CHANNEL CONSTRUCTION PLAN	MMSD FILE:	PLAN VIEW.DWG



- NOTES:
- SEE SHEET C-01 FOR SITE ACCESS



PRELIMINARY DESIGN REVIEW

REUSE OF DOCUMENTS THIS DOCUMENT AND THE IDEAS AND DESIGNS INCORPORATED HEREIN IS AN INSTRUMENT OF PROFESSIONAL SERVICE AND IS NOT TO BE USED, IN WHOLE OR IN PART, FOR ANY OTHER PROJECT WITHOUT THE WRITTEN AUTHORIZATION OF THE MILWAUKEE METROPOLITAN SEWERAGE DISTRICT.	HORIZONTAL DATUM NAD83 WISCONSIN STATE PLANE SOUTH ZONE COORDINATE SYSTEM VERTICAL DATUM NGVD29 NATIONAL GEODETIC VERTICAL DATUM ON 1929	DSGN #####	This Design Prepared For MMSD By:		FOR AGENCY REVIEW ONLY 10/7/2025					MILWAUKEE METROPOLITAN SEWERAGE DISTRICT		DRAWING NO.: C-04	
		DR WKB	In Association With:							WATERCOURSE HONEY CREEK EMERGENCY REPAIR PROJECT BLUEMOUND ROAD TO ST ANNES COURT		SHEET: 9 OF 10	
		CHK #####								DATE: OCTOBER, 2025		CONTRACT: #####	
		APVD #####								ST ANNES CT CHANNEL CONSTRUCTION PLAN		MMSD FILE: PLAN VIEW.DWG	
					REV. NO.	DATE	REVISION DESCRIPTION				BY	APVD	

October 8, 2025

W98009C04 Honey Creek Emergency Repairs

Resident Outreach Schedule:

- October 3, 2025: Project information letter #1 mailed to project area residents (map of distribution area illustrated in Figure 1)
- October 6, 2025: Project information letter distributed door to door to project area residents including conversations with six property owners
- October 15, 2025: Anticipated mailing date of project information letter #2 including notification of the variance application to the City
- October 27, 2025 – December 31, 2025: Weekly construction updates by email with project information letter updates by mail approximately bi-weekly or as necessary for any significant project changes



Figure 1: Resident Outreach Area (bounded by red dash line)



October 8, 2025

W98009C04 Honey Creek Emergency Repairs

Tentative Project Schedule:

- September 2, 2025 – October 17, 2025: Planning and design
- October 6, 2025 – December 31, 2025: Resident outreach
- October 20, 2025 – October 24, 2025: Construction staging
- October 27, 2025 – December 19, 2025: Construction of repairs and temporary restoration
- April 1, 2026 – June 30, 2026: Final clean up and restoration

W98009

Honey Creek Damage

August 9-10, 2025

Agenda:

1. Honey Creek at Honey Creek Parkway
Bridge at St. Anne Ct, City of Wauwatosa
2. Honey Creek at W. Blue Mound Road Bridge,
City of Wauwatosa/Milwaukee

Honey Creek Pkwy Bridge at St. Anne Ct: in stream channel under SE corner of bridge, facing W downstream



Honey Creek Pkwy Bridge at St. Anne Ct: in stream channel under SE corner of bridge, facing W downstream



Honey Creek Pkwy Bridge at St. Anne Ct: in stream channel under SE corner of bridge, facing E upstream



Honey Creek Pkwy Bridge at St. Anne Ct: SW bridge approach, 6" and 24" stormsewer and apron to stream channel

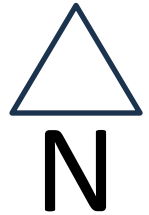
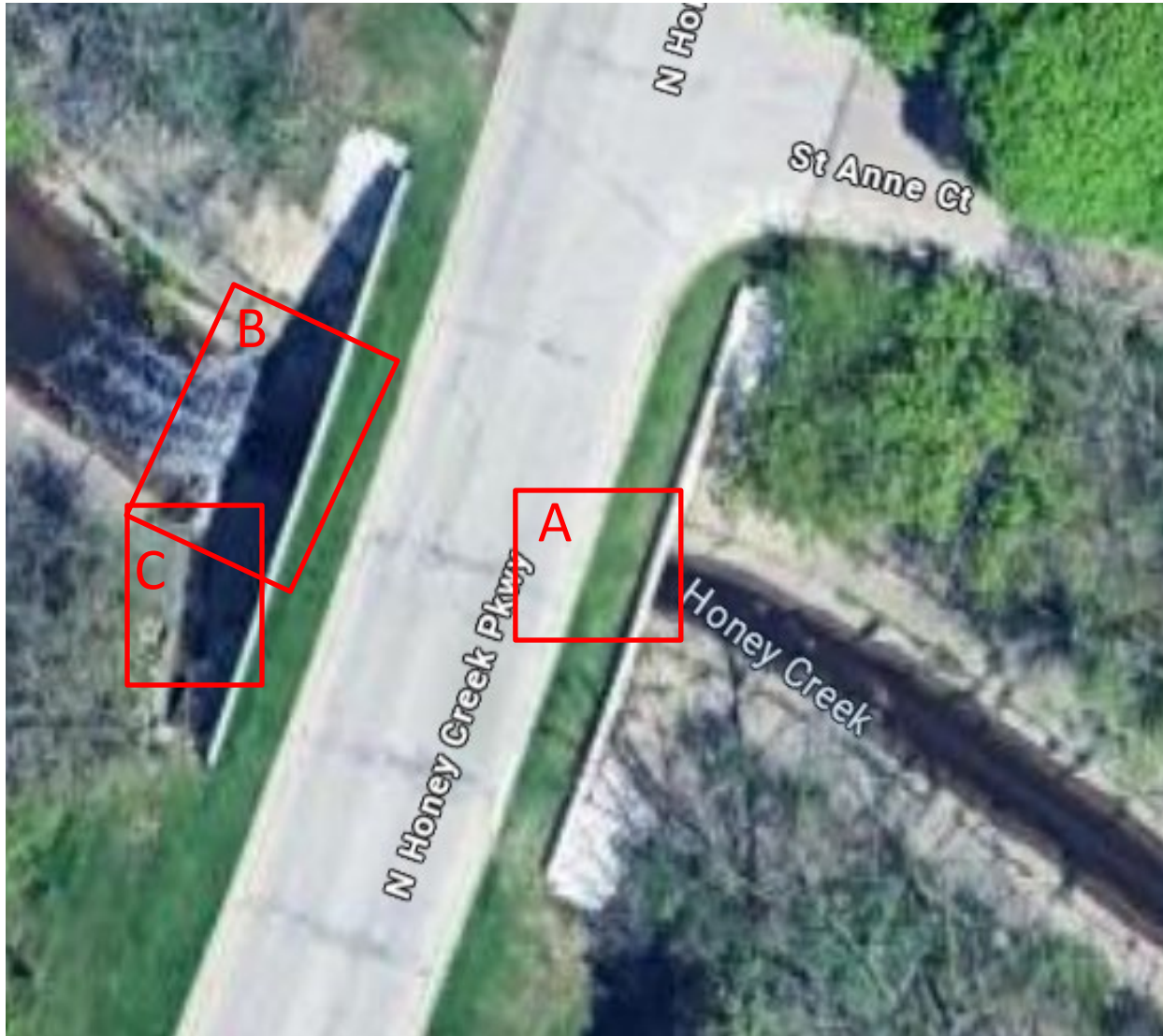


Honey Creek Pkwy Bridge at St. Anne Ct: anticipated construction repair areas (red boxes)

A: replace missing and displaced concrete channel

B: replace displaced concrete, remove debris, rock reinforcement

C: stabilize undercut sewers



W. Blue Mound Road Bridge: facing SE upstream toward Blue Mound Rd.



W. Blue Mound Road Bridge: facing downstream from S. bridge abutment, NW toward St. Anne Ct



W. Blue Mound Road Bridge: from S. stream bank, facing N. towards St. Anne Ct; 50' DS from bridge

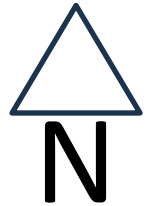


W. Blue Mound Road Bridge: anticipated construction repair areas (red boxes)

A: access

B: concrete channel reinforcement, reshape and stabilize N. embankment, rock reinforcement

C: remove debris field





Staff Report

File #: 25-1869

Agenda Date: 10/22/2025

Agenda #: 4.

Request by the Engineering Services Division to vacate an existing Storm Sewer Easement within the parcel owned by Pilgrim Evangelical Lutheran Church at 6717 W. Center Street.

Submitted by:

Mike Steiner, Assistant City Engineer

Department

Public Works (Engineering Division)

A. Issue

Request by the Engineering Services Division to vacate an existing Storm Sewer Easement within the parcel owned by Pilgrim Evangelical Lutheran Church at 6717 W. Center Street.

B. Background/Options

Pilgrim Evangelical Lutheran Church is in the process of selling the parcel at 6717 W. Center Street. It has been discovered during the real estate process that a City storm sewer easement from 1949 is still identified as an encumbrance on the property. The original 1949 easement is 10 feet wide and was located on the south 10 feet of Lots 4, 5, and 6 of the Ritter Highland View Extension subdivision. The easement document and location exhibit are included in the packet.

In 1975, the Church proposed construction of a building in the location of the storm sewer and easement. The City and Church agreed to move the storm sewer into the area of a vacated alley just south of Lots 4, 5, and 6; and execute a new easement agreement. The storm sewer located in the 1975 easement is still functioning and the easement is still in full effect. The easement document, easement exhibit, and meeting minutes from the Board of Public Works in 1975 are attached for reference. It appears from the meeting minutes that it was the intention of the City to vacate the 1949 easement when the new easement was created. The City has no record of vacating the easement and releasing all rights, title, and interest in the property on Lots 4, 5, and 6 of the Ritter Highland View Extension subdivision.

The City Attorney has drafted the attached vacation document.

C. Strategic Plan (Area of Focus)

Priority Area One: Economic Development and Financial Resilience

D. Fiscal Impact

No impact to the City of Wauwatosa.

E. Recommendation

Staff recommends approval of vacating the 1949 storm sewer easement within the parcel owned by Pilgrim Evangelical Lutheran Church at 6717 W. Center Street.

Recommendation: Common Council

#02859898

DEED 2613 PAGE 341

THIS INDENTURE, Made this 24th day of February, A.D. 1949, between the PILGRIM EVANGELICAL LUTHERAN CHURCH, a domestic corporation, party of the first part, and the CITY OF WAUWATOSA, a municipal corporation, party of the second part.

W I T N E S S E T H: That party of the first part for valuable consideration do hereby grant to party of the second part, and such other municipal corporation or body or political subdivision as may be now or hereinafter authorized by law to grant, regulate or control public or quasi-public service or functions upon streets and as may succeed to the rights of the party of the second part, an easement and right-of-way in, upon, and along the following described property.

The South 10 feet of Lots 4, 5 and 6, Block 3 Ritter Highland View Extension, a recorded subdivision in the Southeast 1/4 of Section 15, Township 7 North, Range 21 East, City of Wauwatosa, Milwaukee County, Wisconsin.

for storm sewer, the right, power and authority being herewith given to build, construct, repair, rebuild, operate and maintain through, under, and along said right-of-way above described storm sewer, now or hereafter provided, furnished, or installed by or under the direction of party of the second part or other municipal corporation or body or political subdivision, including the right to enter upon said right-of-way for all necessary purposes connected therewith.

It is further understood and agreed that there shall not at anytime be erected or maintained nor shall party of the first part at anytime permit to be erected or maintained in, upon, or along said easement or right-of-way any permanent buildings or structures of any kind or plant or permit to be planted any tree thereon, and said party shall, at their own expense, remove from said easement any temporary structure which may interfere with the building, construction, repair, rebuilding, operation or maintenance of the purpose for which this easement is granted upon demand of the proper parties to which this easement is granted, and in case of failure so to do, said

DEED 2613 PAGE 342

structures may be removed forthwith by such party and the costs assessed to said property or otherwise charged to the party of the first part.

TO HAVE AND TO HOLD. The same to the only proper use, benefit and behoof of the said party of the second part, its successors and assigns forever, and the foregoing shall bind the heirs, administrators, executors, successors, and assigns of the party of the first part.

IN WITNESS WHEREOF, The party of the first part have hereunto set their hands and seals this 24th day of February, 1949.

Signed and Sealed

In presence of:

PILGRIM EVANGELICAL LUTHERAN CHURCH

By:

Robert J. Margwald (dual) Harbert J. Schultz (dual)
Edwin H. Schaller (dual) Edwin H. Schaller (dual)
A. W. McEvey (dual) A. W. McEvey (dual)

STATE OF WISCONSIN }
MILWAUKEE COUNTY } SS.

Personally came before me this 24th day of February, 1949, the above named Harbert J. Schultz, Edwin H. Schaller and A. W. McEvey, Trustees

to me known to be the persons who executed the foregoing instrument and acknowledged the same.

Donald Bohmann
Notary Public, Milwaukee County
Wisconsin
My Commission Expires Jan. 11, 1953

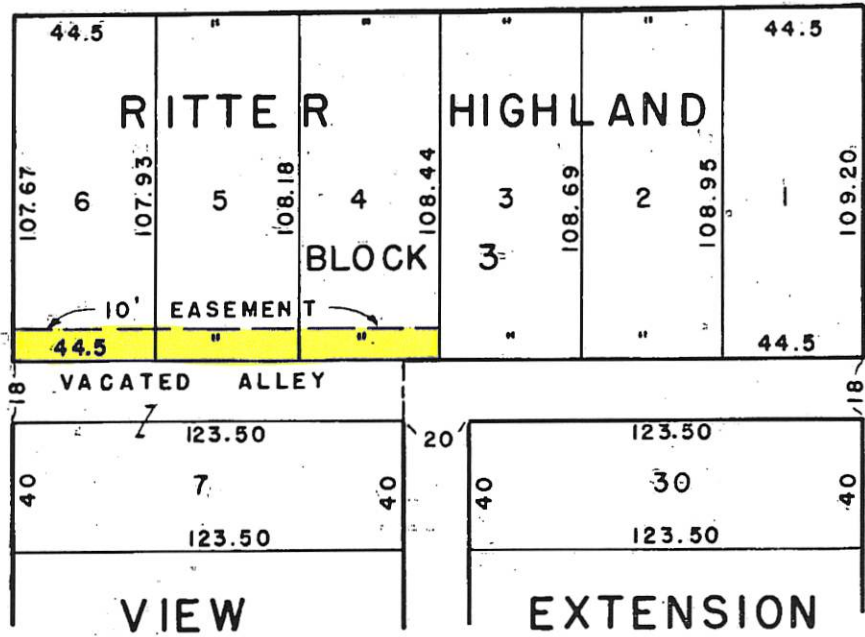


EASEMENT TO
THE CITY OF WAUWATOSA, WISCONSIN
FROM
PILGRIM EVANGELICAL LUTHERAN CHURCH
FOR
STORM SEWER

The South 10 feet of Lots 4, 5 and 6 Block 3 Ritter Highland View Extension, a recorded subdivision Southeast 1/4 of Section 15, Township 7 North Range 21 East, City of Wauwatosa, Milwaukee County, Wisconsin.

W. CENTER ST.

N. 68TH ST.



N. 67TH ST.

OFFICE OF CITY ENGINEER
WAUWATOSA, WISCONSIN.

SCALE 1" = 60'

- a) Preliminary and/or final plans and specifications.
- b) An estimate of the entire cost of the proposed improvements.
- c) A schedule of the proposed assessments.

The Area bounded on the west by North 124th Street, on the north by West Capitol Drive, on the east by the Zoo Freeway, and on the south by West Burleigh Street

WHEREAS, The said report was filed by the Board of Public Works with the City Clerk on February 3, 1975, for public inspection.

NOW, THEREFORE, BE IT RESOLVED, By the Common Council of the City of Wauwatosa, Wisconsin, that, the City Clerk is directed to give notice, as by law provided, of public hearings to all owners to be assessed for the proposed improvements hereinabove listed and to publish notice of the hearings at least once in the official newspaper at least 10 days and not more than 40 days before the time set for the hearings, and;

BE IT FURTHER RESOLVED, That the public hearings be held informally before the Board of Public Works in the Council Chambers at 7:00 P.M. Central Daylight Time, on Monday March 3, and formally before the Common Council in the Council Chambers at 7:30 P.M. Central Daylight Time, on Tuesday, March 4, in the City Hall of the City of Wauwatosa, Wisconsin, at which all persons interested, or their agents or attorneys, concerning matters contained in the preliminary resolution, such assessments and the report, including proposed assessments, will be heard.

Read.

It was moved by Ald. James, seconded by Ald. Bach, that each and every one of the five foregoing resolutions be adopted by one and the same vote, and on roll call the vote was as follows: Ayes 13, Noes -1 (Ald. Mathes voting "No").

From the Board of Public Works --

RESOLUTION

WHEREAS, It is the sense of the Common Council of the City of Wauwatosa, Wisconsin, that it is necessary to relocate a storm sewer in the vacated portion of an alley south of West Center Street extending from the North-South portion of the alley between North 67th Street and North 68th Street, to North 68th Street, all in accordance with the standard specifications for sewer and water construction in Wisconsin.

Ald. Benz excused -13.

NOW, THEREFORE BE IT RESOLVED, By the Common Council of the City of Wauwatosa, Wisconsin.

Section 1. That the plans and specifications as prepared by Consultants of Burroughs-Van Lanen-Strass Architects, Inc. for and in behalf of the City of Wauwatosa and submitted by the Board of Public Works of the City of Wauwatosa for furnishing all labor, material and equipment for constructing said storm sewer and appurtenances in the above described location, and the same are hereby approved.

Section 2. That the Metropolitan Sewerage Commission be requested to approved said plans for the construction of the storm sewer and appurtenances.

Section 3. That the storm sewer shall be constructed at expense to the City of Wauwatosa.

Read.

From the Board of Public Works --

RESOLUTION

WHEREAS, It is the sense of the Common Council of the City of Wauwatosa, Wisconsin, that it is in its best interest to relocate a storm sewer in the vacated portion of an alley south of West Center Street running from the North-South alley between North 67th Street and North 68th Street and running to North 68th Street to accommodate an addition to the church building; and

WHEREAS, The Pilgrim Evangelical Lutheran Church has offered to relocate said storm sewer at their sole expense and have provided an easement already executed and ready for acceptance on the part of the City of Wauwatosa to accommodate the new storm sewer.

NOW, THEREFORE, BE IT RESOLVED, By the Common Council of the City of Wauwatosa, Wisconsin.

Section 1. That the Pilgrim Evangelical Lutheran Church be and the same is hereby authorized and permitted to relocate the storm sewer in the location above described.

Section 2. That the easement document herewith attached and made a part of this resolution be and the same is hereby accepted.

Section 3. That the proper City Officers be and they are hereby authorized and directed to record same in the Register of Deeds Office in Milwaukee County.

Read.

EASEMENT FOR STORM SEWER
LOTS 4, 5, 6 and 7, BLOCK 3
RITTER HIGHLAND VIEW EXTENSION

THIS INDENTURE, Made this 30th day of January 1975, A.D., 1975, between the PILGRIM EVANGELICAL LUTHERAN CHURCH, a domestic corporation, party of the first part, and the CITY OF WAUWATOSA, a municipal corporation, party of the second part.

W I T N E S S E T H: That party of the first part for valuable consideration does hereby grant to party of the second part, and such other municipal corporation or body or political subdivision as may be now or hereinafter authorized by law to grant, regulate or control public or quasi-public service of functions upon streets and as may succeed to the rights of the party of the second part, an easement and right-of-way in, upon, and along the following described property.

A 10 foot wide strip of land extending from the east end to the west end of the vacated alley, the center line of the 10 foot strip being the center line of said vacated alley, located south of Lots 4, 5 and 6 and north of Lot 7 in Block 3, Ritter Highland View Extension, a recorded subdivision in the Southeast 1/4 of Section 15, Township 7 North, Range 21 East, City of Wauwatosa, Milwaukee County, Wisconsin

for storm sewer, the right, power and authority being herewith given to repair, rebuild, operate and maintain through, under, and along said right-of-way above described storm sewer, now or hereafter provided, furnished, or installed by or under the direction of party of the second part or other municipal corporation or body or political subdivision, including the right to enter upon said right-of-way for all necessary purposes connected therewith.

It is further understood and agreed that there shall not at any time be erected or maintained nor shall party of the first part at any time permit to be erected or maintained in, upon, or

TO HAVE AND TO HOLD. The same to the only proper use, benefit, and behoof of the said party of the second part, its successors and assigns forever, and the foregoing shall bind the heirs, administrators, executors, successors, and assigns of the party of the first part.

Signed and sealed in
presence of:

John H. Corbett (Seal)

Progr. A. Pierson (Seal)

Thomas S. Howe, Jr. (Seal)
Trustee

Harry W. Shields (Seal)
Trustee

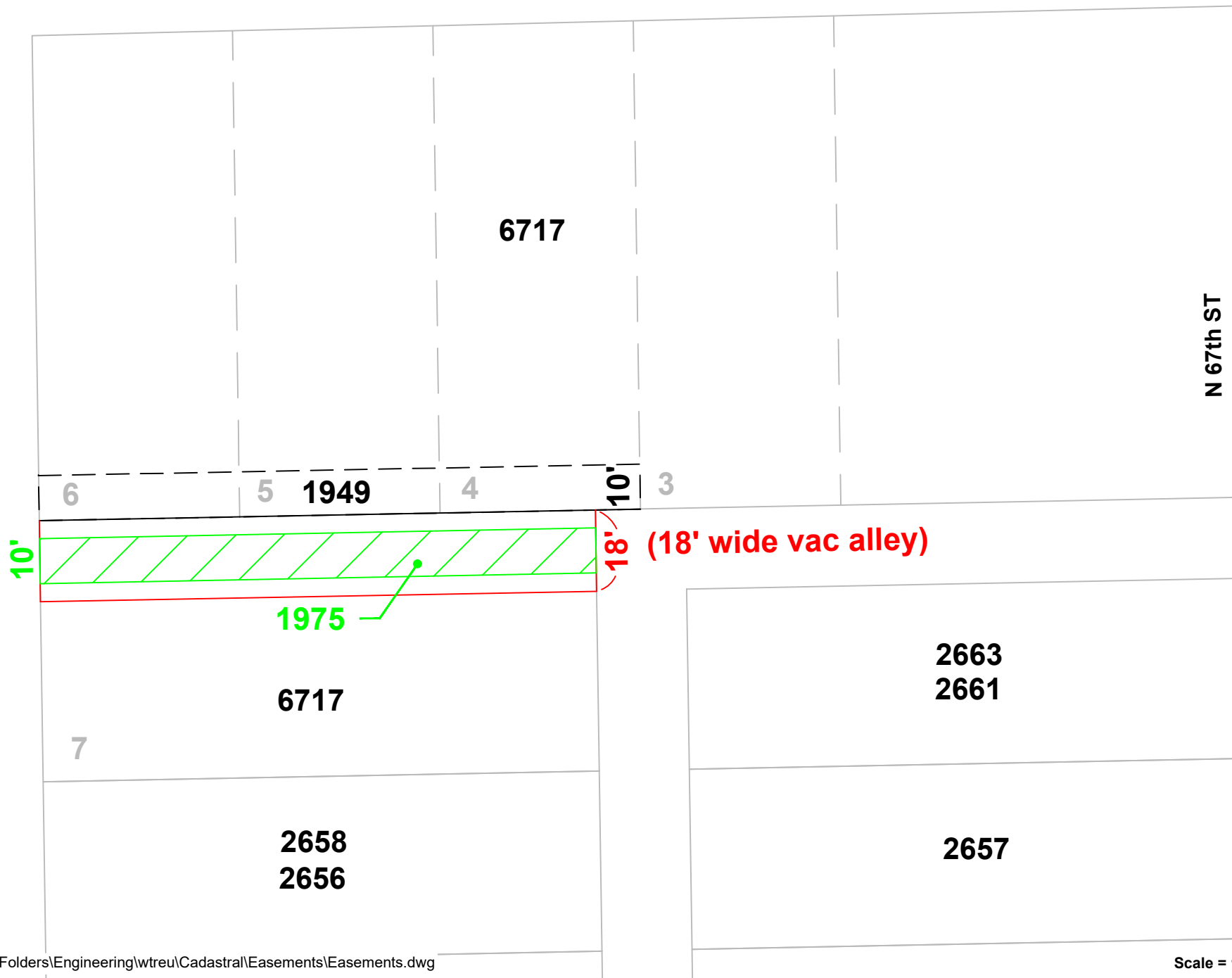
STATE OF WISCONSIN)
) ss.
MILWAUKEE COUNTY)

William B. Wagner
Notary Public, Milwaukee County,
Wisconsin
My Commission: _____

W CENTER ST

N 68th ST

N 67th ST



Document No.

**VACATION OF
STORM SEWER EASEMENT**

Return to:
Jennifer Tate
Wauwatosa City Attorney
7725 West North Avenue
Wauwatosa, Wisconsin 53213

330-0755-01

Parcel Numbers

The undersigned, CITY OF WAUWATOSA, a Wisconsin municipal corporation ("City"), has interests arising under the Easement for Storm Sewer dated February 24, 1949, and recorded with the Milwaukee County Register of Deeds as Document No. 2859898 (the "Easement") in certain real property as depicted on Exhibit A and more particularly described as follows:

The South 10 feet of Lots 4, 5, and 6 Block 3
Ritter Highland View Extension, a recorded subdivision
In the Southeast 1/4 of Section 15, Township 7 North, Range 21' East
City of Wauwatosa, Milwaukee County, Wisconsin

Following private construction in areas adjacent to the Easement, it has become apparent that the City is no longer in need of retaining the Easement;

Any storm sewer-related facilities on those portions to be vacated are privately owned and vacation of the Easement will not negatively impact the City nor its water utility;

Therefore, the undersigned vacates and releases all right, title, and interest in the real property arising as a result of the Easement as described above, and depicted in Exhibit A.

Dated: _____, 2025

CITY OF WAUWATOSA, WISCONSIN

By: _____
Dennis McBride, Mayor

ATTEST:

By: _____
Zachary Kessler, Interim City Clerk

Approved as to form and
execution this ____ day of _____, 2025

Jennifer Tate, City Attorney

MUNICIPAL ACKNOWLEDGEMENT

STATE OF WISCONSIN)
) SS
MILWAUKEE COUNTY)

On the ____ day of _____, 2025, before me personally came Dennis McBride and Zachary Kessler who being duly sworn, did depose and say that they are the Mayor and City Clerk of the City of Wauwatosa respectively, a Wisconsin municipal corporation; and that the seal affixed to said instrument is the corporate seal of said Wisconsin municipal corporation; and acknowledged that they executed the foregoing Partial Release of Recorded Easement as such officers as the deeds of said municipal corporation by its authority, and pursuant to Resolution No. R-25-_____ adopted by the Common Council on _____, 2025 and approved by the Mayor on _____, 2025.

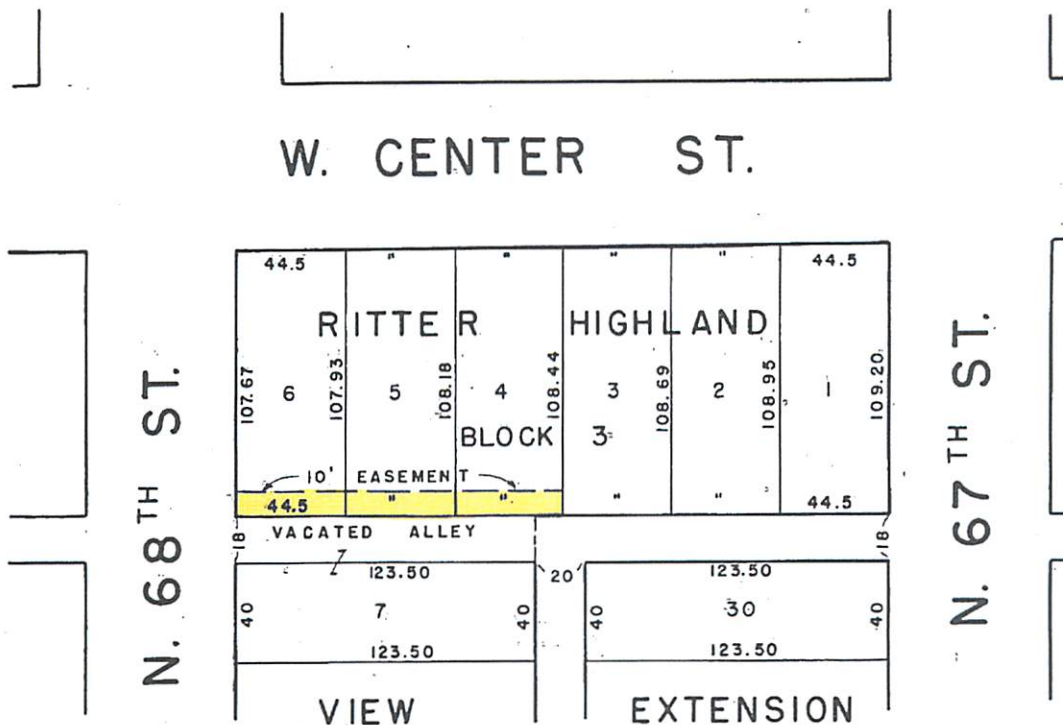
Notary Public, State of Wisconsin
My Commission: _____

This document was drafted by:

Jennifer Tate
Wauwatosa City Attorney
7725 West North Avenue
Wauwatosa, Wisconsin 53213

EASEMENT TO
THE CITY OF WAUWATOSA, WISCONSIN
FROM
PILGRIM EVANGELICAL LUTHERAN CHURCH
FOR
STORM SEWER

The South 10 feet of Lots 4, 5 and 6 Block 3 Ritter Highland View Extension, a recorded subdivision Southeast 1/4 of Section 15, Township 7 North Range 21 East, City of Wauwatosa, Milwaukee County, Wisconsin.



OFFICE OF CITY ENGINEER
WAUWATOSA, WISCONSIN.

SCALE 1" = 60'

Exhibit A



Wauwatosa, WI

7725 W. North Avenue
Wauwatosa, WI 53213

Staff Report

File #: 25-1902

Agenda Date: 10/22/2025

Agenda #: 5.

Consideration of approval of final payment for Project 5118 / Contract 25-50 Alice Street Water Reservoir Rehabilitation

Submitted by:

Adam Florin, Water Superintendent

Department:

Water

Dear Board Members:

L&T Painting has completed the work of the 2025 Alice Street Water Reservoir Rehabilitation project and work incidental thereto under Contract 25-50 / Project 5118. The work took place at 1506 Alice Street.

The final contract value and amount due to the contractor is \$361,030.00. The contract award amount was \$361,030.00.

I hereby certify that the work on Contract 25-50 / Project 5118 was completed in a manner satisfactory to the City of Wauwatosa and recommend acceptance of the same by the Board of Public Works.

Sincerely,

Adam Florin
Water Superintendent

Enclosure(s):
25-50 Final Pay Application

Recommendation: Common Council



CITY OF WAUWATOSA
WATER UTILITY
7725 WEST NORTH AVENUE
WAUWATOSA, WI 53213
Telephone: (414) 471-8480
www.wauwatosa.net

David Simpson, P.E.
Director of Public Works
dsimpson@wauwatosa.net

10/22/2025

Board of Public Works
City of Wauwatosa
Wauwatosa, Wisconsin

RE: Contract 25-50 / Projects 5118
Approval of Final Payment for Contract 25-50 Alice Street Water Reservoir
Rehabilitation

Dear Board Members:

L&T Painting has completed the work of the 2025 Alice Street Water Reservoir
Rehabilitation project and work incidental thereto under Contract 25-50 / Project 5118.
The work took place at 1506 Alice Street.

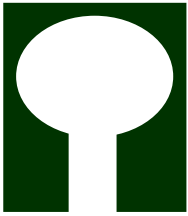
The final contract value and amount due to the contractor is \$361,030.00. The contract
award amount was \$361,030.00.

I hereby certify that the work on Contract 25-50 / Project 5118 was completed in a
manner satisfactory to the City of Wauwatosa and recommend acceptance of the same
by the Board of Public Works.

Sincerely,

Adam Florin
Water Superintendent

Enclosure(s):
25-50 Final Pay Application



DIXON

**ENGINEERING & INSPECTION SERVICES
FOR THE COATING INDUSTRY**

4811 S. 76th Street
Suite 109
Greenfield, WI 53220
Telephone: (414) 529-1859
Fax: (414) 282-7830

October 8, 2025

Mr. Adam Florin
City of Wauwatosa
11100 W. Walnut Rd.
Wauwatosa, WI 53226

Re: 1,500,000-Gallon Reservoir Repainting Project Payment Recommendation

Dear Mr. Florin:

Dixon Engineering, Inc. has reviewed the pay request package submitted to our office. The pay request covers the work dates starting July 31, 2025 through September 16, 2025. Included in the pay package are the following items.

- Contractor's Application for Payment
- Final Waiver of Lien from Sherwin Williams

Dixon Engineering, Inc. has verified and concurs with the contractor's pay request based on the actual field measurements as documented in our daily field inspection reports (FIR). A summary for the final pay request is provided below.

Payment Summary:

Contract award amount.....	\$361,030.00
Pay request amount.....	\$361,030.00

Total amount due contractor this pay request (Final)..... \$361,030.00

Please don't hesitate to contact me if you have any questions regarding this pay request.

FOR DIXON ENGINEERING, INC.

Kayla Mulcahy
Project Manager

EJCDC® C-620 Contractor's Application for Payment
© 2013 National Society of Professional Engineers for EJCDC. All rights reserved.
Page 1 of 1

WAIVER OF LIEN

Wauwatosa, Wisconsin

Date: 10-13-2025

FOR VALUE RECEIVED, the undersigned hereby waives all rights and claims for lien given by Chapter 779 of the Statutes, or otherwise, arising out of or under Contract Number 25-50 with the City of Wauwatosa for Alice Street Water Reservoir Rehabilitation, and the undersigned hereby acknowledges payment in full of all monies due under the above-described contract and hereby fully and finally releases and holds the City of Wauwatosa harmless from all claims, demands, causes of actions, damages, or liabilities of whatsoever kind arising from said contract.

L & T Painting, Inc
(Contractor)
By [Signature]
(President)
[Signature]
(Secretary)

(Corporate Seal)

UNCONDITIONAL WAIVER AND RELEASE UPON FINAL PAYMENT

The undersigned has been paid for all labor services, equipment or material furnished to

L AND T PAINTING INC

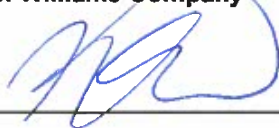
on the job of **WAUWATOSA, WI ALICE STREET**

located at **1400 ALICE STREET, WAUWATOSA WI 53213 USA**

and does hereby waive and release any right to a mechanic's lien, stop notice, or any right against a labor and material bond on the job, except for disputed claims for extra work on the amount of **\$0.00**

As of: 09/25/2025

The Sherwin-Williams Company

By 

PRINT NAME: **Kyndall Wellons**

PRINT TITLE: **Financial Analyst**



DALTON WILKES
Notary Public
State of Ohio
My Comm. Expires
August 21, 2030



**NOTICE TO PERSONS SIGNING THIS
WAIVER: THIS DOCUMENT WAIVES
RIGHTS UNCONDITIONALLY AND
STATES THAT YOU HAVE BEEN PAID
FOR GIVING UP THOSE RIGHTS. THIS
DOCUMENT IS ENFORCEABLE
AGAINST YOU IF YOU SIGN IT, EVEN IF
YOU HAVE NOT BEEN PAID. IF YOU
HAVE NOT BEEN PAID, USE A
CONDITIONAL RELEASE FORM.**

NOTE: Where the claimant is required to execute a waiver and release in exchange for, or in order to induce payment of, a final payment and the claimant asserts in the waiver it has, in fact, been paid the final payment, the waiver and release shall substantially the form set forth above.

rev 1/94

release4.lwp



Wauwatosa, WI

7725 W. North Avenue
Wauwatosa, WI 53213

Staff Report

File #: 25-1813

Agenda Date: 10/22/2025

Agenda #: 6.

Monthly Pumpage Report September 2025

Department:

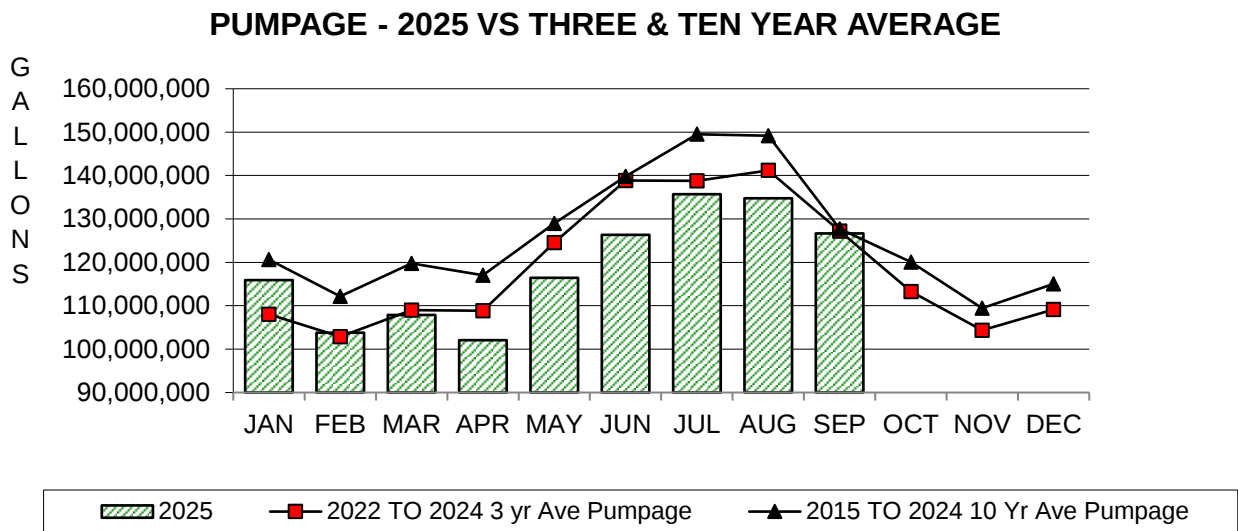
Wauwatosa Water Department

October 6, 2025

Board of Public Works
City of Wauwatosa, Wisconsin

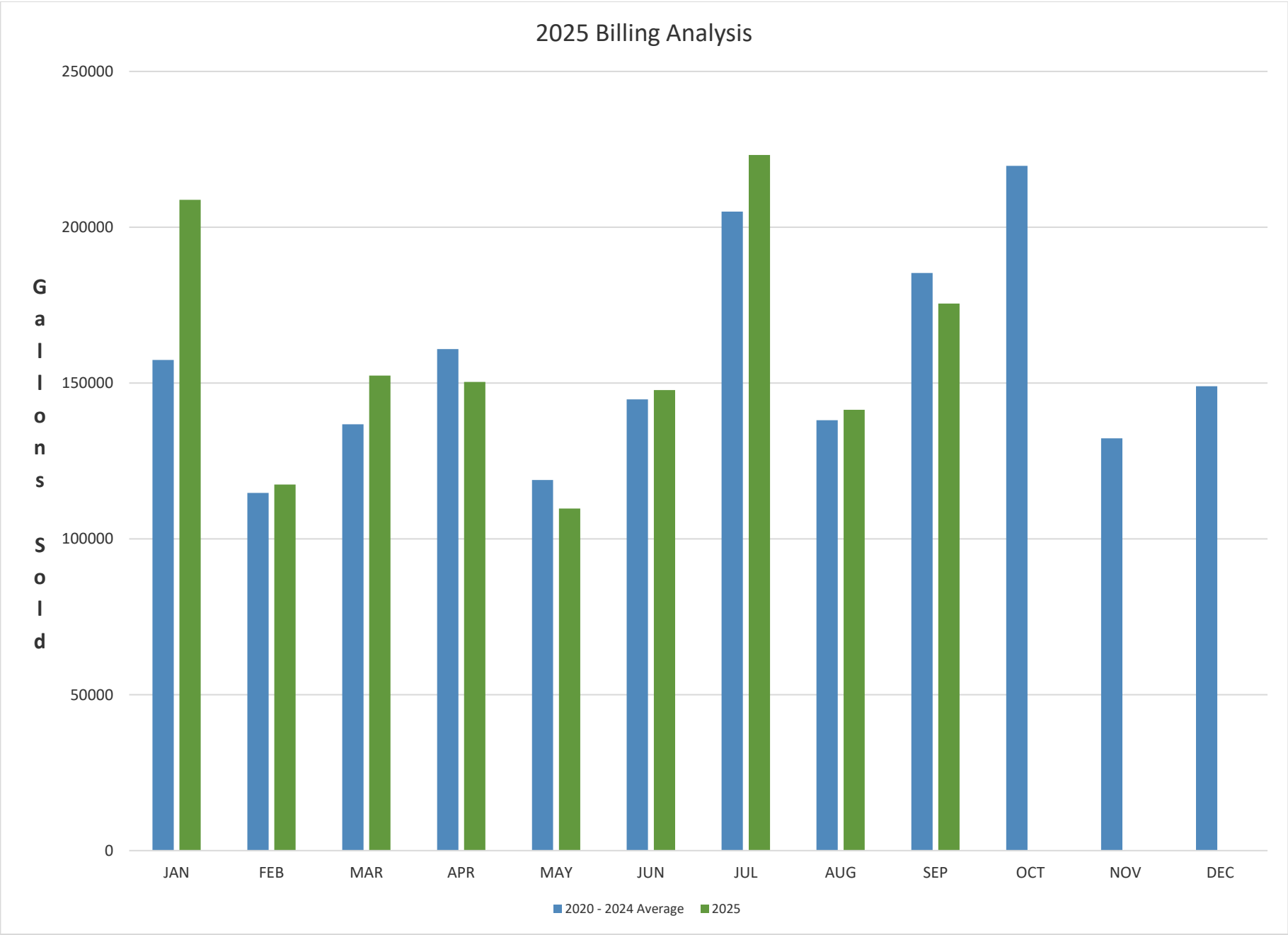
Dear Members:

Below is the pumpage in gallons for September of 2025.

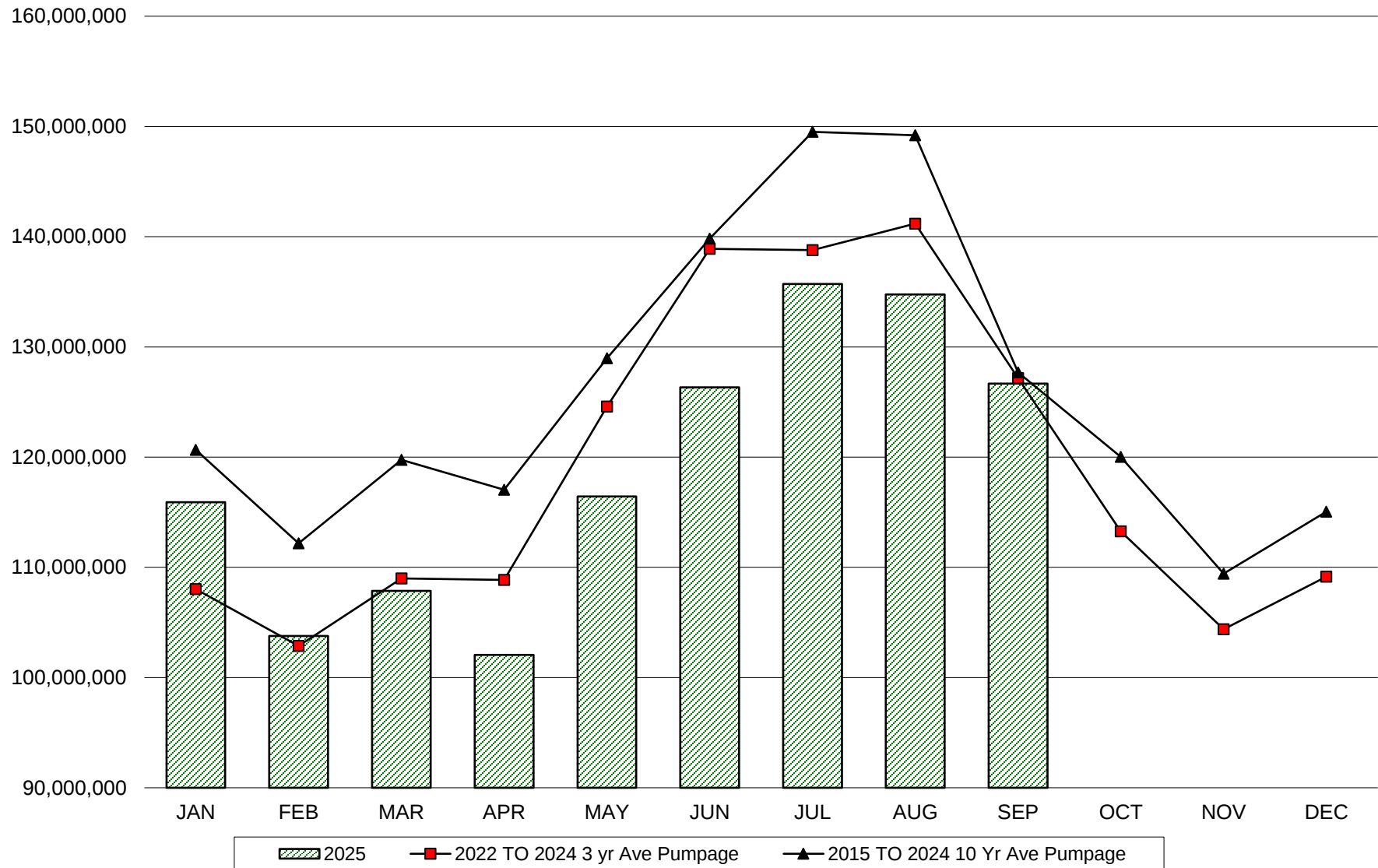


MONTHS	2025	2024	3 YEAR AVERAGE	10 YEAR AVERAGE
January	115,900,000	110,250,000	108,018,333	120,654,500
February	103,780,000	106,335,000	102,867,333	112,189,500
March	107,870,000	105,670,000	108,991,333	119,760,740
April	102,060,000	110,160,000	108,853,333	117,028,300
May	116,430,000	116,430,000	124,580,667	128,965,681
June	126,330,000	126,010,000	138,885,333	139,830,155
July	135,700,000	130,580,000	138,787,933	149,509,280
August	134,760,000	138,640,000	141,182,133	149,198,640
September	126,660,000	145,530,000	127,171,133	127,688,440
October		121,190,000	113,271,667	120,030,700
November		106,560,000	104,371,333	109,427,000
December		115,350,000	109,155,000	115,057,100
	1,069,490,000	1,432,705,000	1,426,135,533	1,509,340,036

Very truly yours,
Adam Florin
Water Superintendent



PUMPAGE - 2024 VS THREE & TEN YEAR AVERAGE



Wauwatosa Water Station Discharge Meters - Monthly Report
Month of September 2025

DAY	64th	Blanchard	Glenview	Potter	To System
1	1,170,000	1,970,000	160,000	1,720,000	5,020,000
2	1,090,000	1,710,000	160,000	1,270,000	4,230,000
3	900,000	1,890,000	70,000	1,320,000	4,180,000
4	1,040,000	1,620,000	90,000	1,560,000	4,310,000
5	1,030,000	1,820,000	60,000	1,320,000	4,230,000
6	1,130,000	1,820,000	0	1,070,000	4,020,000
7	1,140,000	1,870,000	70,000	1,160,000	4,240,000
8	2,230,000	540,000	290,000	1,630,000	4,690,000
9	2,080,000	1,140,000	70,000	1,260,000	4,550,000
10	1,220,000	1,840,000	70,000	1,720,000	4,850,000
11	1,190,000	1,800,000	70,000	1,210,000	4,270,000
12	1,450,000	1,720,000	90,000	1,230,000	4,490,000
13	690,000	1,870,000	0	1,000,000	3,560,000
14	1,090,000	1,750,000	0	1,140,000	3,980,000
15	1,230,000	1,600,000	70,000	1,580,000	4,480,000
16	1,780,000	720,000	410,000	1,300,000	4,210,000
17	1,970,000	920,000	180,000	1,720,000	4,790,000
18	1,150,000	1,790,000	90,000	1,390,000	4,420,000
19	1,120,000	1,670,000	80,000	1,250,000	4,120,000
20	780,000	1,820,000	0	1,180,000	3,780,000
21	1,120,000	1,620,000	0	1,190,000	3,930,000
22	1,050,000	1,450,000	130,000	1,440,000	4,070,000
23	890,000	1,710,000	0	1,190,000	3,790,000
24	880,000	1,420,000	280,000	1,380,000	3,960,000
25	920,000	1,520,000	170,000	1,180,000	3,790,000
26	960,000	1,570,000	160,000	1,290,000	3,980,000
27	950,000	2,000,000	0	1,090,000	4,040,000
28	1,130,000	1,700,000	0	1,160,000	3,990,000
29	1,190,000	1,570,000	70,000	1,430,000	4,260,000
30	1,190,000	1,620,000	120,000	1,500,000	4,430,000
31	0	0	0	0	0
Total	35,760,000	48,060,000	2,960,000	39,880,000	126,660,000



Wauwatosa, WI

7725 W. North Avenue
Wauwatosa, WI 53213

Staff Report

File #: 25-1736

Agenda Date: 10/22/2025

Agenda #: 7.

Consideration of ratification of project partial payments for work completed pursuant to the terms of the contract

BE IT RESOLVED, By the Board of Public Works of the City of Wauwatosa, Wisconsin that the proper City Officers be and they are hereby authorized and directed to issue City orders in favor of the contractor listed below in the amount listed in the column headed "Amount" as partial payment for work completed pursuant to the terms of the contract noted.

Contractor: Milwaukee General Construction Company

Payment No.: 1

Contract/Project No.: 325000010/25-11 Harvard Alley

Amount: \$171,044.85

Contractor: Guelig Waste Removal & Demolition LLC

Payment No.: 1

Contract/Project No.: 32500017/24-61

Amount: \$165,000.00



Wauwatosa, WI

7725 W. North Avenue
Wauwatosa, WI 53213

Staff Report

File #: 25-1957

Agenda Date: 10/22/2025

Agenda #: 8.

Project Updates

Submitted by:

Nick Deming, Construction Manager

Department:

Engineering

23-90 - 2023 Fiber

- Updating permit with DOT.

25-01 - Wisconsin Avenue

- Paving is complete.
- Restoration is wrapping up and punch list work is underway.

25-07 - Watertown Plank Road

- Grading for the path on 116th St. is underway.
- 115th intersection was closed and the box culvert is being installed across the intersection of 115th including the tie in across Watertown Plank.
- Grading and roadway work is also underway on the EB lanes of Watertown Plank Road between 115th Street and the railroad bridge.

25-07 - 2025 Sanitary Sewer Improvements (Diane Dr. & Discovery Parkway)

- Work on Diane Dr. is schedule to begin Monday, Oct. 20th for sanitary lateral spot repair work.
- Work is expected to begin on Discovery is early/mid November.

25-25 - Burleigh St. Path and Asphalt Repair

- Asphalt paving occurred on 10/16.
- Restoration work is set to follow paving.

Wisconsin Avenue Bridge (WisDOT Led)

- Channel realignment of the creek is wrapping up with work to start on the setting falsework and decking for the bridge deck.
- Grading and roadway work is underway on Wisconsin Avenue and Honey Creek Parkway and is expected to continue over the next few weeks.

DPW Incinerator Demolition

- The above ground portion of the building has been nearly removed.
- Concrete debris is being crushed on site.
- In the coming weeks, the below grade removal of the foundation will begin.

