



Wauwatosa, WI

Board of Zoning Appeals

Meeting Agenda - Final

7725 W. North Avenue
Wauwatosa, WI 53213

Thursday, August 28, 2025

6:00 PM

Zoom Only:
<https://us02web.zoom.us/j/89325102239>,
Meeting ID: 893 2510 2239

Regular Meeting

VIRTUAL MEETING INFORMATION

Members of the public may observe and participate in the meeting via Zoom only at the link above. To access the Zoom meeting via phone, call 1-312-626-6799 and enter the Meeting ID.

CALL TO ORDER

ROLL CALL

NEW BUSINESS

1. Request by Thomas Mainville, Story Hill Renovations, for a front setback variance at 3359 N. Menomonee River Parkway to construct an entry portico [25-1278](#)
2. Request by Keith Stachowiak, KSK Architects, LLC., for variances to maximum height and required materials for an accessory dwelling unit at 1422 N. 69th Street [25-1279](#)

ADJOURNMENT

NOTICE TO PERSONS WITH A DISABILITY

Persons with a disability who need assistance to participate in this meeting should call the City Clerk's office at (414) 479-8917 or send an email to tclerk@wauwatosa.net, with as much advance notice as possible.



Staff Report

File #: 25-1278

Agenda Date: 8/28/2025

Agenda #: 1.

Request by Thomas Mainville, Story Hill Renovations, for a front setback variance at 3359 N. Menomonee River Parkway to construct an entry portico

Submitted by:

Art Piñon

Department:

Development

A. Issue

The applicant is requesting a variance to the front yard setback requirement for a portico on an existing single-family residence located at 3359 N. Menomonee River Parkway in the Single Unit Residential-9 (R1-9) zone.

The required front yard setback for an attached portico is the same as the principal dwelling unit, which is 35', and the applicant is proposing a front setback of 31'4".

It should be noted that the City is considering less restrictive front porch setback standards with the upcoming Zoning Ordinance Update. If approved, the proposed portico would be permitted without a variance approval.

Attached to this report are project plans, site plan/survey, letter addressing the four variance findings in accordance with WMC 24.16.060.H, and site aerial.

B. Recommendation

The standard four criteria should be applied to make the determination for the requested variances:

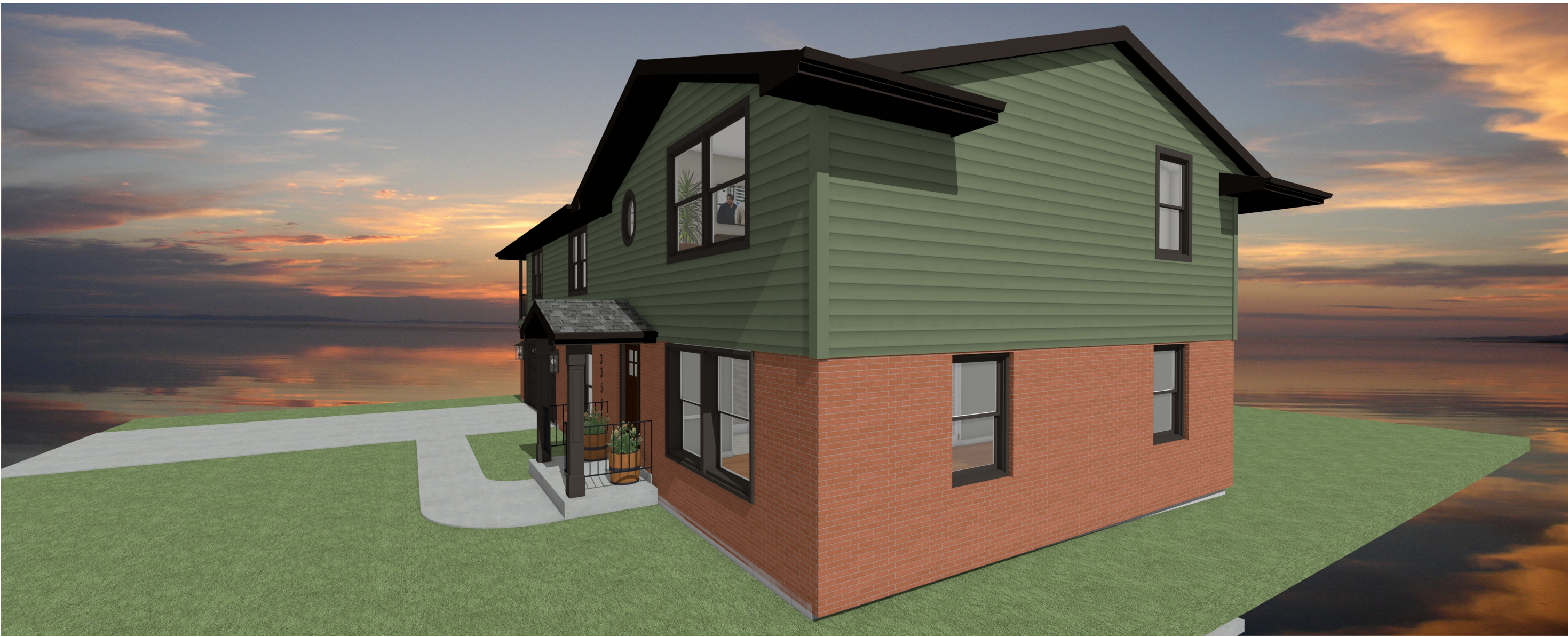
1. Exceptional circumstances do exist pertaining to this lot.
2. That a variance is necessary for the preservation and enjoyment of the property rights possessed by other properties in the district and vicinity.
3. That the variance will not create special detriment to adjacent property and will not materially impair or be contrary to the purpose and spirit of this or to the public interests.
4. That the difficulty or hardship was not created by the property owner.



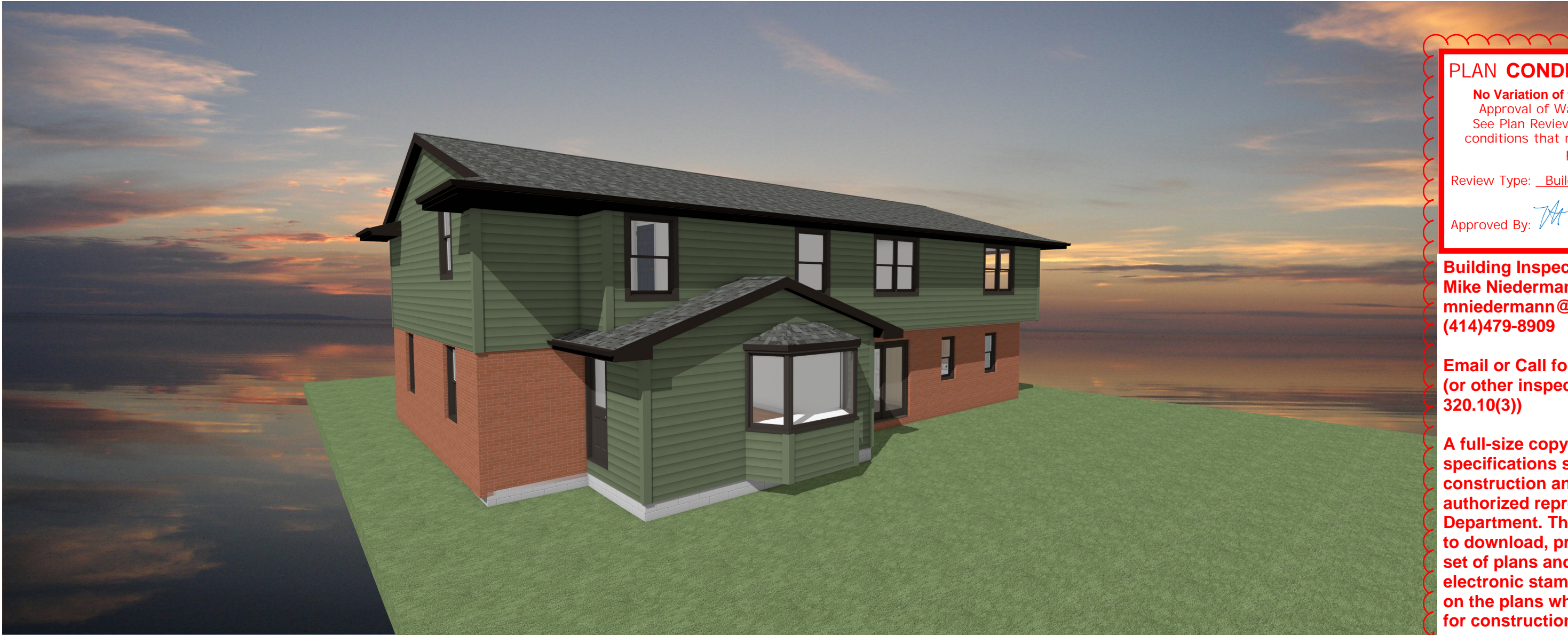
3359 Menomonee River Parkway

City of Wauwatosa
7725 N. NORTH AVE | WAUWATOSA WI, 53213





**PERSPECTIVE VIEWS
(NO SCALE)**



PLAN CONDITIONALLY APPROVED

No Variation of this Plan is Permitted without the Approval of Wauwatosa Inspection Department. See Plan Review Letter and Permit for additional conditions that must be addressed prior to inspection.

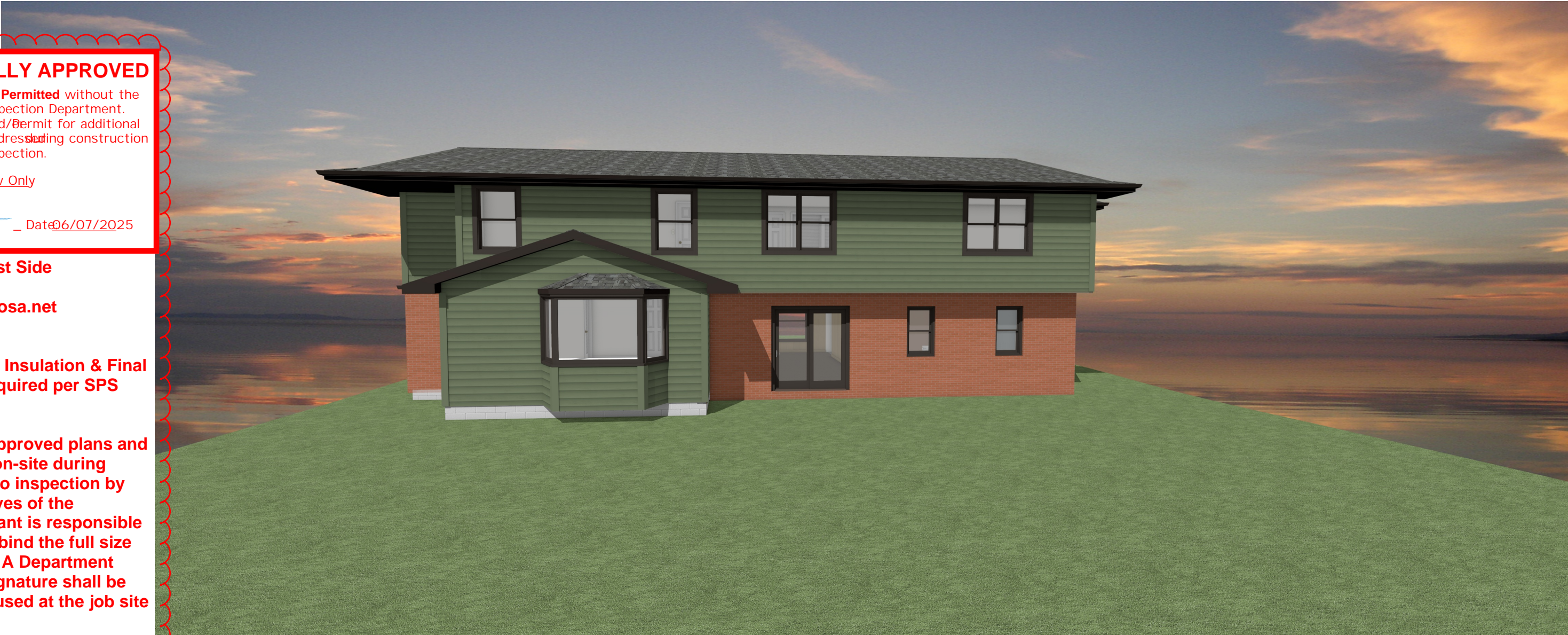
Review Type: Building Review Only

Approved By: *Mike Niedermann* Date: 06/07/2025

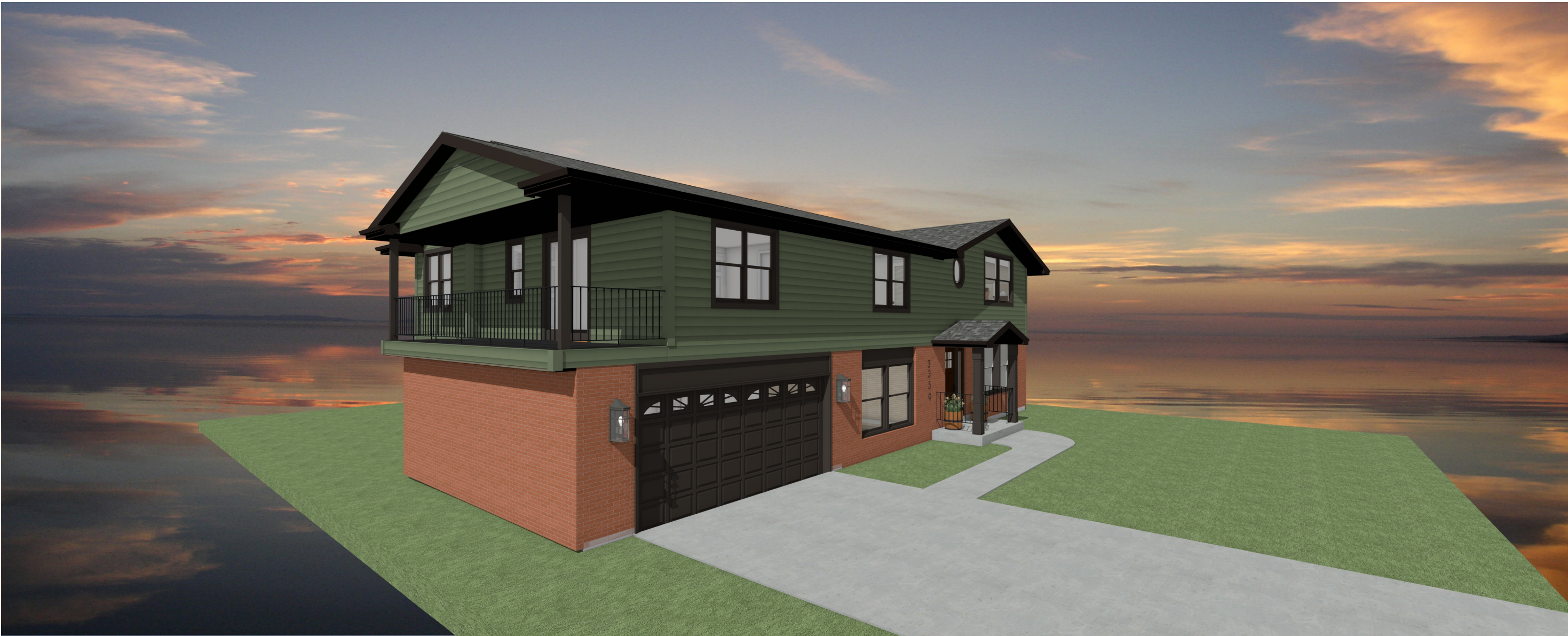
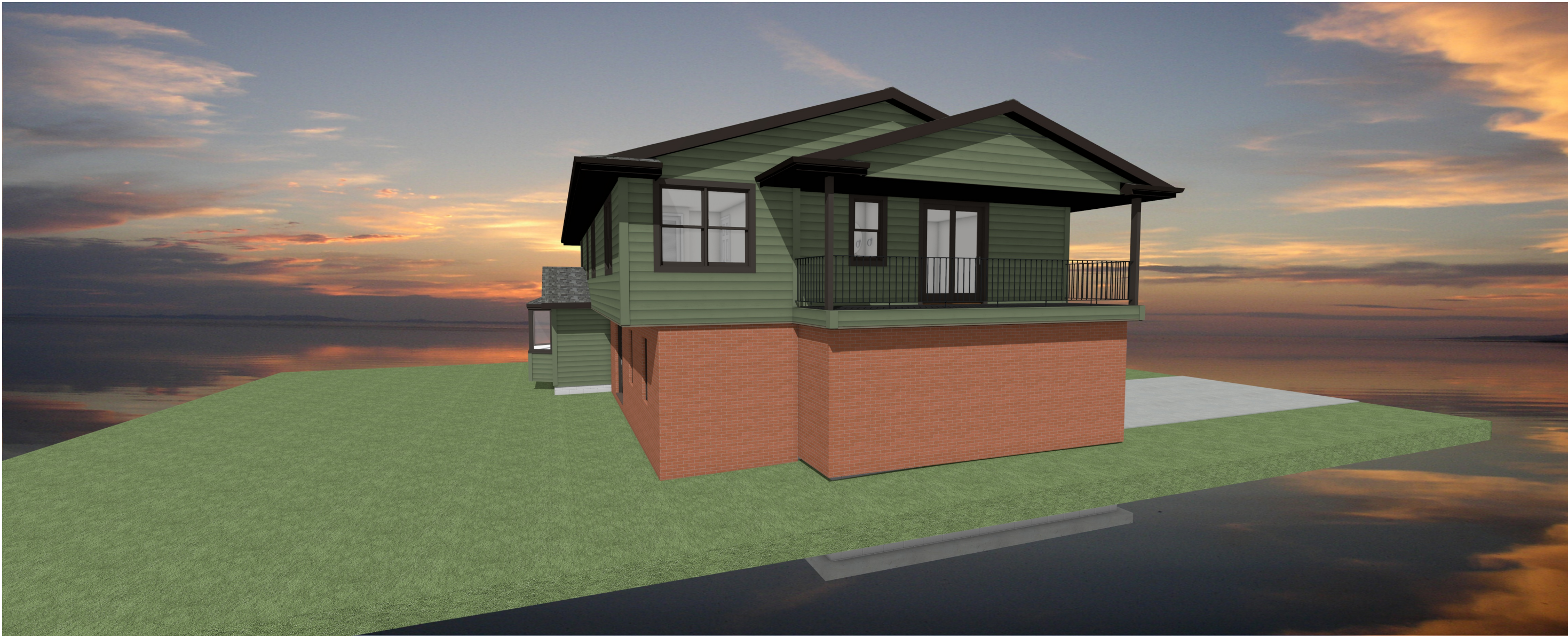
Building Inspector - West Side
Mike Niedermann
mniedermann@wauwatosa.net
(414)479-8909

Email or Call for Rough, Insulation & Final (or other inspections required per SPS 320.10(3))

A full-size copy of the approved plans and specifications shall be on-site during construction and open to inspection by authorized representatives of the Department. The Applicant is responsible to download, print, and bind the full size set of plans and permit. A Department electronic stamp and signature shall be on the plans which are used at the job site for construction.



**PERSPECTIVE VIEWS
(NO SCALE)**



CLIENT SIGNATURE: _____ DATE: _____
DISCLAIMER: ALL CONDITIONS ON THIS DRAWING ARE APPROXIMATE, OF CONCEPTUAL NATURE AND SUBJECT TO CHANGE.

THESE DRAWINGS ARE THE PROPRIETARY WORK PRODUCT AND PROPERTY OF STORY HILL RENOVATIONS LLC. DEVELOPED FOR THE EXCLUSIVE USE OF THE CLIENT. NO PART OF THESE DRAWINGS OR CONCEPTS MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT THE WRITTEN PERMISSION OF STORY HILL RENOVATIONS LLC. IT IS PROHIBITED AND MAY SUBJECT YOU TO A CLAIM FOR DAMAGES UNDER COPYRIGHT LAWS.

NARI
NATIONAL ASSOCIATION OF REMODELING INSPECTORS
Remodeling Done Right.

PROJECT DESCRIPTION:
**MASTER SUITE ATTIC CONVERSION
SUNROOM ADDITION
3 SEASONS ADDITION**

STORY HILL RENOVATIONS

OWNERS:
**DAVE & JACKIE BRETL
3954 N. MENOMONEE RIVER PKWY
WAUWATOSA, WI 53222**

**STORY HILL RENOVATIONS LLC
11504 W. BLUE MOUND RD.
WAUWATOSA, WI 53226
414-204-1486**

DRAWINGS PROVIDED BY:
CHRIS EGNER DESIGN

DATE:
5/29/2025

SCALE:

SHEET:
A-1



PERSPECTIVE VIEWS
(NO SCALE)



PLAN CONDITIONALLY APPROVED

No Variation of this Plan is Permitted without the Approval of Wauwatosa Inspection Department. See Plan Review Letter and/Permit for additional conditions that must be addressed during construction prior to inspection.

Review Type: Building Review Only

Approved By: *[Signature]* Date: 6/07/2025

Building Inspector - West Side
Mike Niedermann
mniedermann@wauwatosa.net
(414)479-8909

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(NO SCALE)



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NARI
NATIONAL ASSOCIATION OF
REMODELING CONTRACTORS

PROJECT DESCRIPTION:
**MASTER SUITE ATTIC CONVERSION
FOR RIVER PKWY
3 SEASONS ADDITION**

**STORY HILL
RENOVATIONS**

DAVE & JACKIE BRETL
3954 N. MENOMONEE RIVER PKWY
WAUWATOSA, WI. 53222

STORY HILL RENOVATIONS LLC
11504 W. BLUE MOUND RD.
WAUWATOSA, WI. 53226
414-204-1486

DRAWINGS PROVIDED BY:
**CHRIS EGNER
DESIGN**

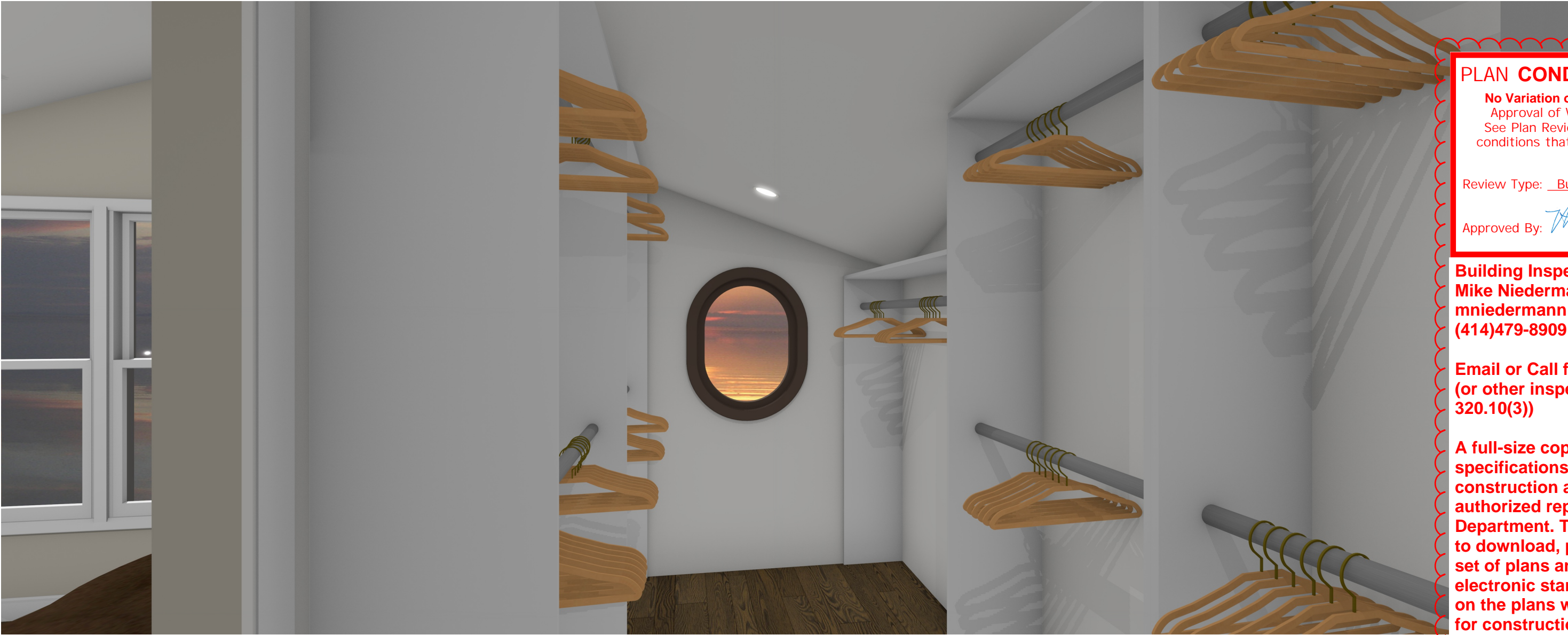
DATE:
5/24/2025

SCALE:

SHEET:
A-2



PERSPECTIVE VIEWS
(NO SCALE)



PERSPECTIVE VIEWS
(NO SCALE)



CLIENT SIGNATURE: _____ DATE: _____
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PROJECT DESCRIPTION:
MASTER SUITE ATTIC CONVERSION
BATH FOR REMODEL
3 SEASONS ADDITION



OWNERS(S):
DAVE & JACKIE BRETL
3954 N. MENOMONEE RIVER PKWY
WAUWATOSA, WI. 53226

STORY HILL RENOVATIONS LLC
11504 W. BLUE MOUND RD.
WAUWATOSA, WI. 53226
414-204-1486

DRAWINGS
PROVIDED BY:
CHRIS EGNER
DESIGN
ARCHITECT

DATE:

5/24/2025

SCALE:

SHEET:

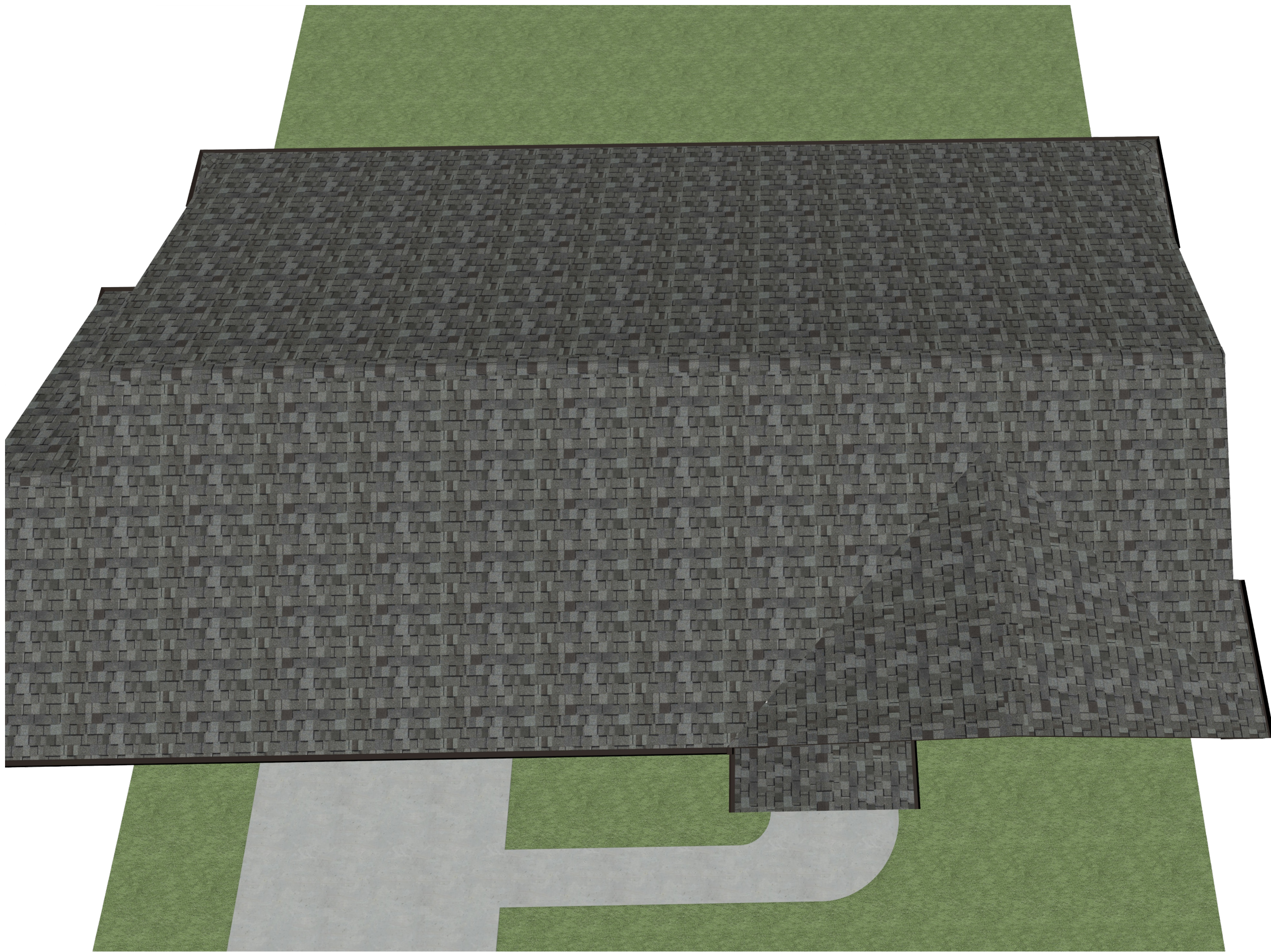
A-3



PERSPECTIVE VIEWS
(NO SCALE)



PERSPECTIVE VIEWS
(NO SCALE)



PLAN CONDITIONALLY APPROVED
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See Plan Review Letter and/Bermit for additional conditions that must be addressed during construction prior to inspection.
Review Type: Building Review Only
Approved By: [Signature] Date 6/07/2025
Building Inspector - West Side
Mike Niedermann
mniedermann@wauwatosa.net
(414)479-8909
Email or Call for Rough, Insulation & Final (or other inspections required per SPS 320.10(3))
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EXISTING FRONT ELEVATION #1
1/4" = 1'-0"

PLAN **CONDITIONALLY APPROVED**
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Review Type: Building Review Only
Approved By: *[Signature]* Date: 6/07/2025

Building Inspector - West Side
Mike Niedermann
mniedermann@wauwatosa.net
(414)479-8909

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(or other inspections required per SPS 320.10(3))

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PROPOSED FRONT ELEVATION #1
1/4" = 1'-0"

CLIENT SIGNATURE: _____ DATE: _____

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PROJECT DESCRIPTION:
MASTER SUITE ATTIC CONVERSION
BATHROOM ADDITION
3 SEASONS ADDITION



OWNERS(S):
DAVE & JACKIE BRETL
3954 N. MENOMONEE RIVER PKWY
WAUWATOSA, WI. 53222

STORY HILL RENOVATIONS LLC
11504 W. BLUE MOUND RD.
WAUWATOSA, WI. 53226
414-204-1488

DRAWINGS PROVIDED BY:
CHRIS EGNER
DESIGN CENTER

DATE:

5/29/2025

SCALE:

1/4" = 1'-0"

SHEET:

A-5



EXISTING REAR ELEVATION #2
1/4" = 1'-0"



PROPOSED REAR ELEVATION #2
1/4" = 1'-0"

PLAN CONDITIONALLY APPROVED

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Review Type: Building Review Only

Approved By:  Date: 06/07/2025


Building Inspector - West Side
Mike Niedermann
mniedermann@wauwatosa.net
(414)479-8909

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NATIONAL ASSOCIATION OF
REMODELERS
Remodeling Done Right.

PROJECT DESCRIPTION:
MASTER SUITE ATTIC CONVERSION
BATHROOM RENOVATION
3 SEASONS ADDITION


STORY HILL
RENOVATIONS

OWNERS:
DAVE & JACKIE BRETL
3954 N. MENOMONEE RIVER PKWY
WAUWATOSA, WI. 53222

STORY HILL RENOVATIONS LLC
11504 W. BLUE MOUND RD.
WAUWATOSA, WI. 53226
414-204-1486

DRAWINGS
PROVIDED BY:
CHRIS EGNOR
DESIGN
ARCHITECT

DATE:
5/29/2025

SCALE:
1/4" = 1'-0"

SHEET:
A-6



EXISTING SOUTH SIDE ELEVATION #3
1/4" = 1'-0"



EXISTING NORTH SIDE ELEVATION #4
1/4" = 1'-0"

PLAN CONDITIONALLY APPROVED

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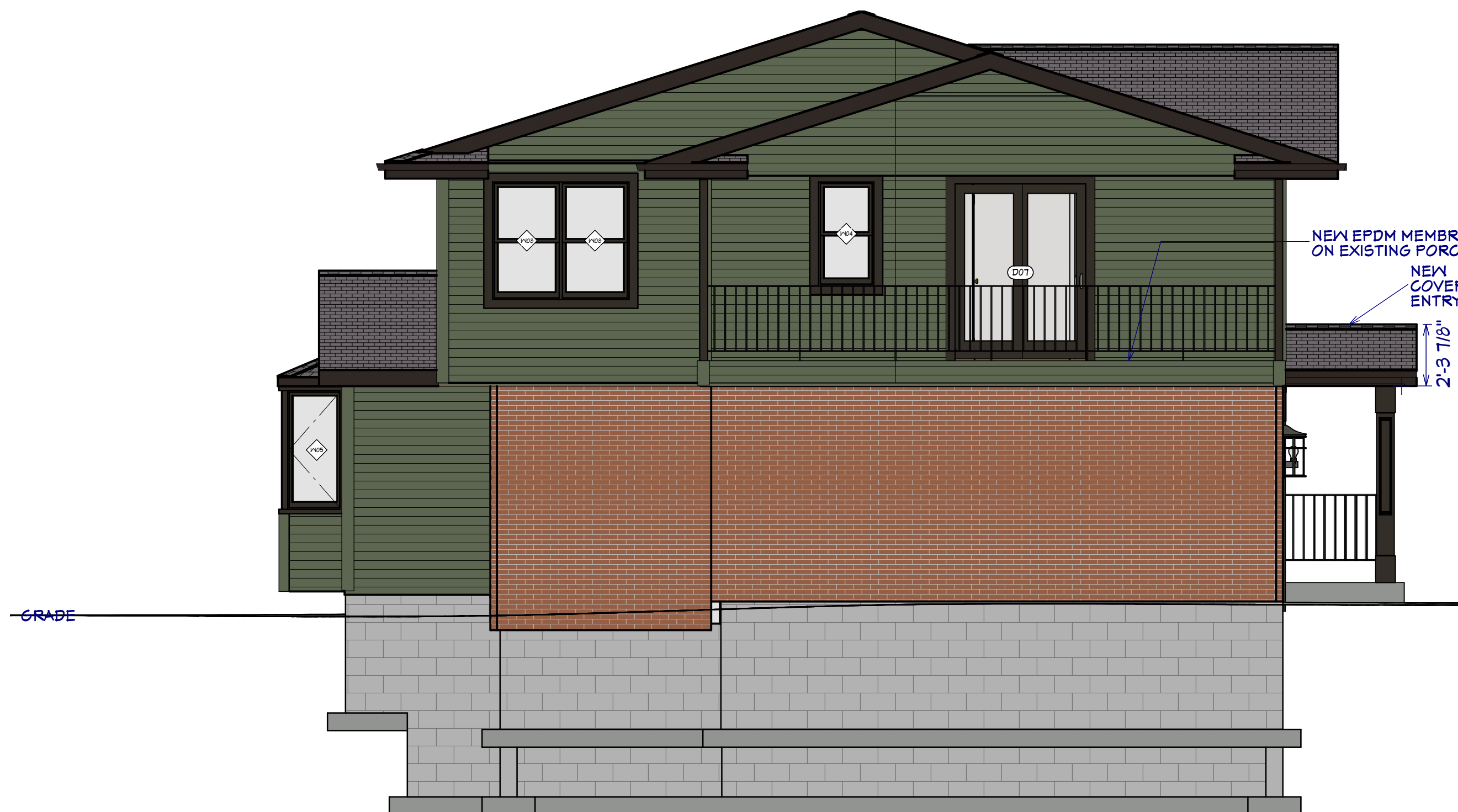
Review Type: Building Review Only

Approved By: [Signature] Date: 05/07/2025

Building Inspector - West Side
Mike Niedermann
mniedermann@wauwatosa.net
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PROPOSED SOUTH SIDE ELEVATION #3
1/4" = 1'-0"



PROPOSED NORTH SIDE ELEVATION #4
1/4" = 1'-0"

CLIENT SIGNATURE: _____ DATE: _____

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**MASTER SUITE ATTIC CONVERSION
BATHROOM RENOVATION
3 SEASONS ADDITION**



OWNER(S):
**DAVE & JACKIE BRETL
3954 N. MENOMONEE RIVER PKWY
WAUWATOSA, WI. 53222**

**STORY HILL RENOVATIONS LLC
11504 W. BLUE MOUND RD.
WAUWATOSA, WI. 53226
414-204-1486**

DRAWINGS
PROVIDED BY:
**CHRIS EGNER
DESIGN
ARCHITECT**

DATE:

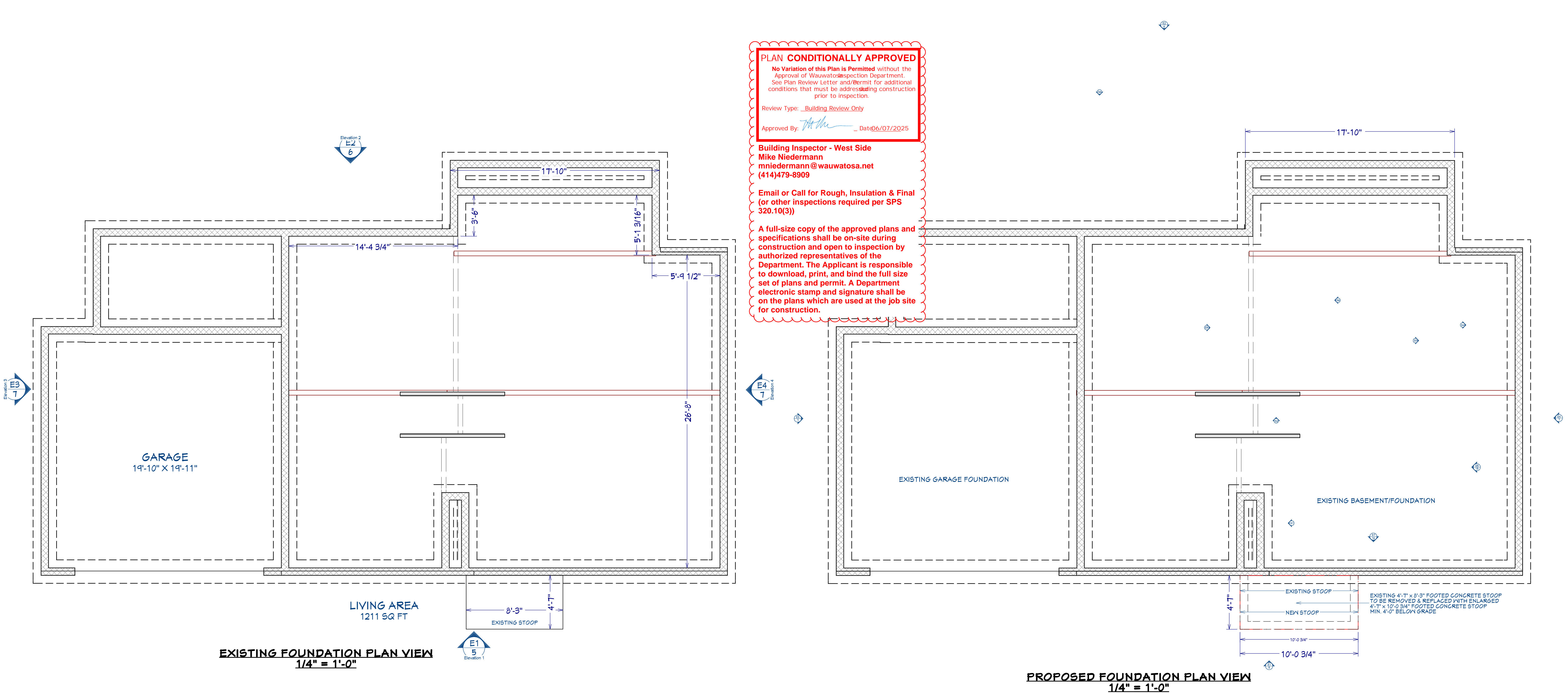
5/29/2025

SCALE:

1/4" = 1'-0"

SHEET:

A-7

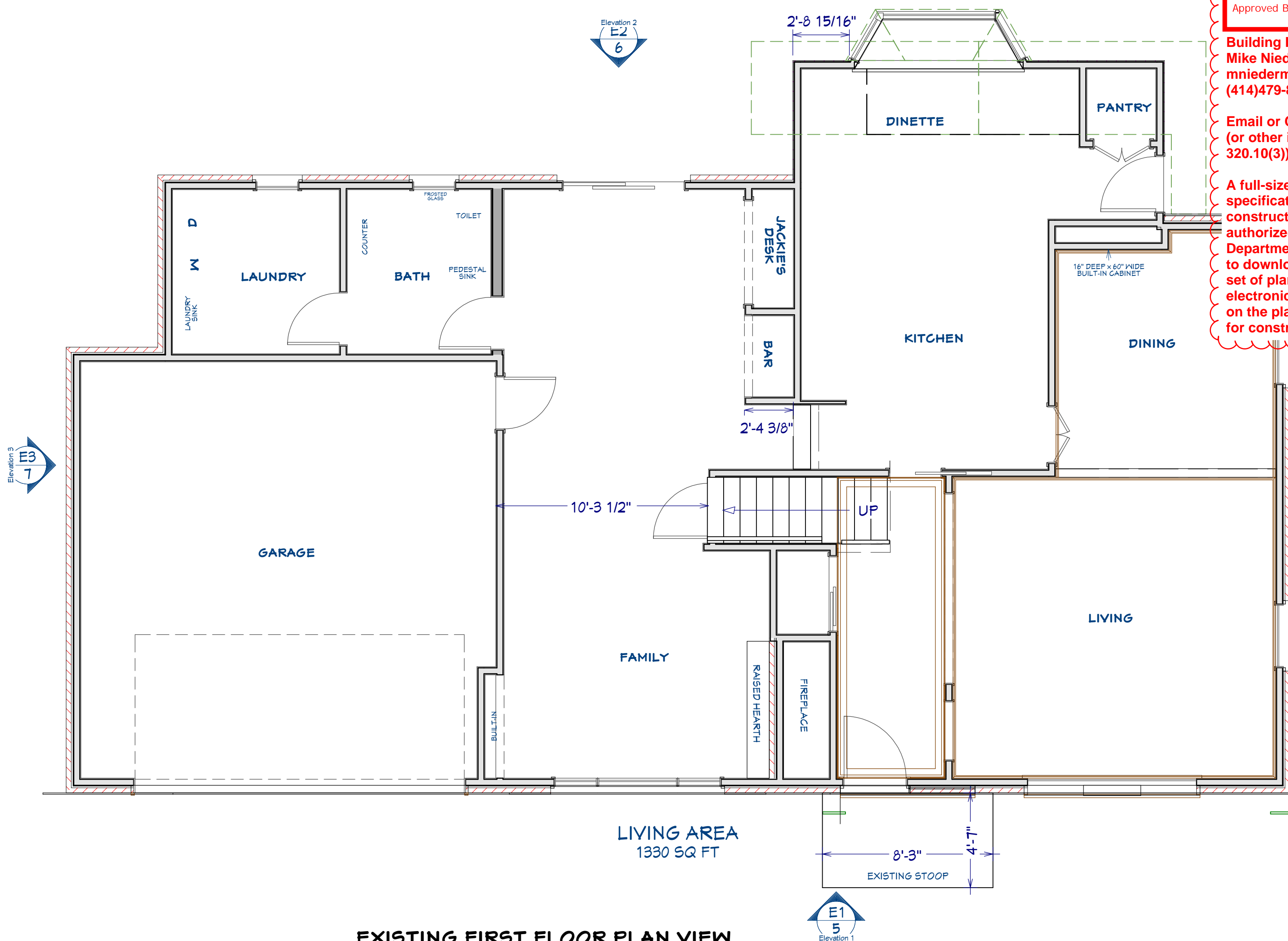


NOTE SCHEDULE	
①	ADD FLUSH HEADER TO CARRY CEILING JOISTS IF NECESSARY
②	BUILT-IN SHELVES & POLES NOT INCLUDED IN CONTRACT
③	NEW STRUCTURAL WRAPPED POSTS & RAILINGS
④	NICHE
⑤	PAINT EXISTING OH DOOR
⑥	RAISE EXISTING WINDOW TO MATCH TOP HEIGHT OF NEW WINDOWS ON FRONT OF MASTER BEDROOM
⑦	RAISE FLOOR 12 1/4"± IN CLOSET TO LEVEL WITH MASTER BEDROOM
⑧	REMOVE (2) WROUGHT IRON COLUMNS
⑨	REMOVE ALL EXISTING SHUTTERS FROM ALL WINDOWS
⑩	USE VAULTED FRAMING IN BATH FOR VAULTED CEILING FLAT CEILING IN ENTRY FOYER
⑪	REMOVE FALSE FRONT DOOR
⑫	REMOVE PEDIMENT OVER FRONT DOOR & LIVING ROOM WINDOW

WINDOW SCHEDULE									
NUMBER	LABEL	QTY	FLOOR	SIZE	WIDTH	HEIGHT	EGRESS	DESCRIPTION	COMMENTS
W01	210410DH	1	2	210410DH	34"	51 1/2"		DOUBLE HUNG	PRIVACY GLASS / TEMPERED
W02	21046DH	2	2	21046DH	34"	54"		DOUBLE HUNG	ADJUST WINDOW HEIGHT & POSITION TO AVOID ROOF BELOW
W03	21311DH	1	1	21311DH	25"	46 3/4"		DOUBLE HUNG	
W04	21311SH	1	2	21311SH	25"	47"		SINGLE HUNG	PRIVACY GLASS / TEMPERED
W05	2446SC	1	1	2446SC	28"	53 3/4"		SINGLE CASEMENT-HL	
W06	2546SC	1	1	2546SC	28 9/16"	53 3/4"		SINGLE CASEMENT-HR	
W07	2745DH	2	2	2745DH	30 5/8"	53 1/4"		DOUBLE HUNG	
W08	2745DH	8	2	2745DH	30 7/8"	53 1/4"		DOUBLE HUNG	
W09	31050DH	2	2	31050DH	46"	60"	YES	DOUBLE HUNG	
W10	31052DH	1	1	31052DH	46 5/16"	62"		DOUBLE HUNG	
W11	311411DH	2	1	311411DH	47 3/8"	59 1/4"		DOUBLE HUNG	
W12	31152DH	1	1	31152DH	46 15/16"	62"		DOUBLE HUNG	
W13	3147DH	2	1	3147DH	37"	55"		DOUBLE HUNG	
W15	43010FX	1	2	43010FX	51"	10"		FIXED GLASS	ACTUALLY ON FLOOR 1
W16	21311DH	1	1	21311DH	25"	46 3/4"		DOUBLE HUNG	PRIVACY GLASS / TEMPERED
W18	5646FX	1	1	5646FX	66"	53 3/4"		FIXED GLASS	
W19	202TFX	1	2	202TFX	24"	31 1/16"	YES	FIXED GLASS-RT	

DEMO & WALL LEGEND	
DEMO DOORS & WINDOWS	
DEMO WALLS	
EXISTING FOUNDATION WALL	
NEW 8" FOURED CONCRETE FOUNDATION WALL	
EXISTING 2x4 EXTERIOR BRICK WALL	
EXISTING 2x4 EXTERIOR SIDING WALL	
EXISTING EXTERIOR WALL - DRYWALL ADDED	
NEW 2x4 EXT. 3 SEASONS WALL - SIDING BOTH SIDES	
EXISTING 2x4 INTERIOR WALL	
EXISTING INTERIOR WALL - DRYWALL ADDED	
NEW 2x4 INTERIOR WALL	

CLIENT SIGNATURE: _____ DATE: _____
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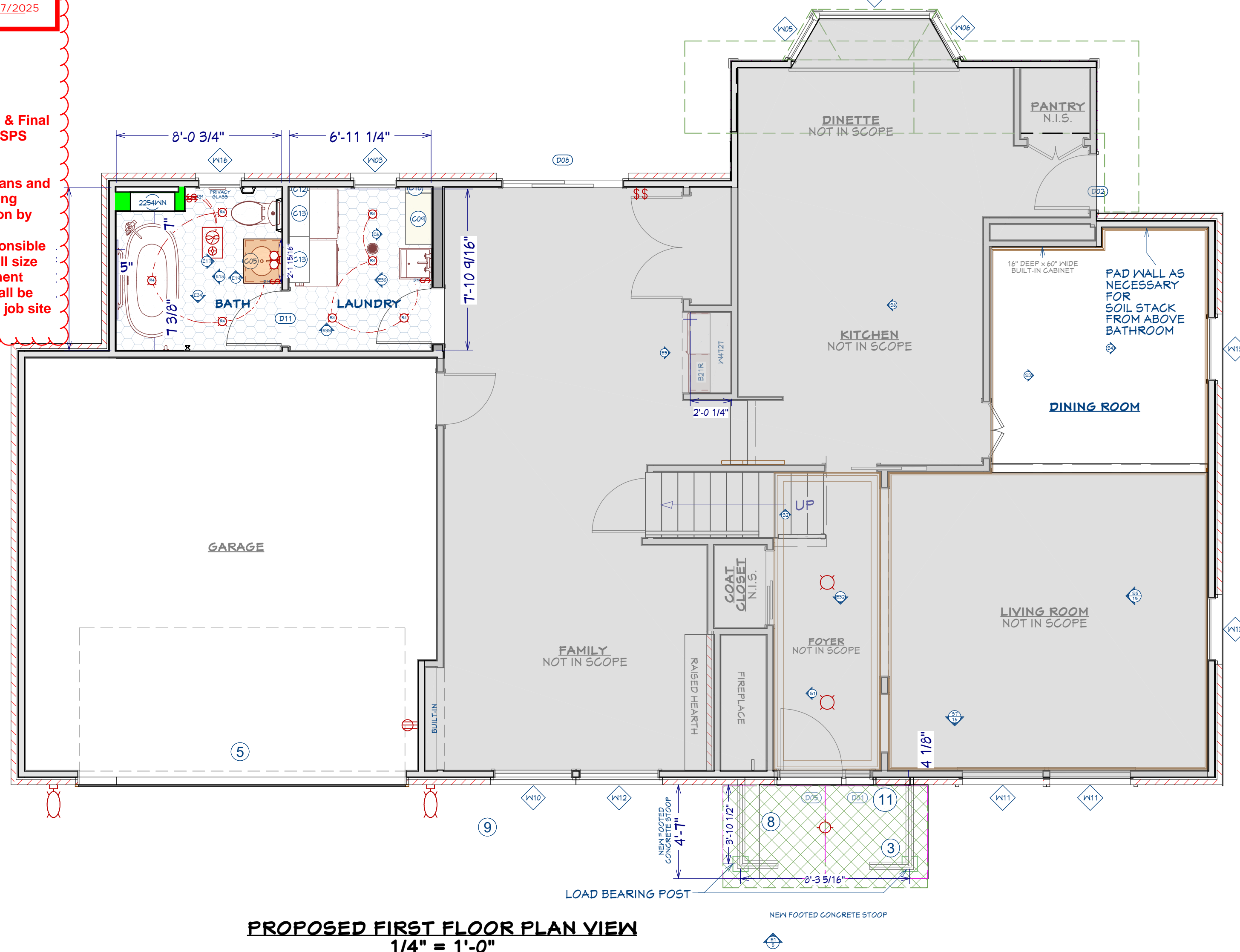


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Review Type: Building Review Only

Approved By: Mike Niedermann
mniedermann@wauwatosa.net
(414)479-8909

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NOTE SCHEDULE	
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W15	43010FX	1	2	43010FX	51"	10"		FIXED GLASS
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W18	5646FX	1	1	5646FX	66"	53 3/4"		FIXED GLASS
W19	2027FX	1	2	2027FX	24"	31 1/16"	YES	FIXED GLASS-RT

CABINET SCHEDULE							
NUMBER	LABEL	QTY	FLOOR	WIDTH	DEPTH	HEIGHT	DESCRIPTION
C01	3DB1221	1	2	12"	21"	36"	BASE CABINET
C03	B24	1	1	23 3/4"	24"	36"	BASE CABINET
C04	BF321	1	2	2 3/4"	21"	36"	BASE CABINET FILLER
C05	SB2421	1	1	24"	21"	36"	BASE CABINET
C06	SB3021	2	2	30"	21"	36"	BASE CABINET
C07	U212184L	1	2	21"	21"	84"	UTILITY CABINET
C08	W212612	1	1	27"	11 1/2"	26"	WALL CABINET
C09	U301584	1	1	30"	15"	84"	UTILITY CABINET
C10	UF31584	1	1	3"	15"	84"	UTILITY CABINET FILLER
C12	WF230	1	1	1 9/16"	12"	30"	WALL CABINET FILLER
C13	W21730	2	1	27"	12"	30"	WALL CABINET

DEMO & WALL LEGEND	
DEMO DOORS & WINDOWS	→ [Symbol]
DEMO WALLS	→ [Symbol]
EXISTING FOUNDATION WALL	→ [Symbol]
NEW 8" FOURED CONCRETE FOUNDATION WALL	→ [Symbol]
EXISTING 2x4 EXTERIOR BRICK WALL	→ [Symbol]
EXISTING 2x4 EXTERIOR SIDING WALL	→ [Symbol]
EXISTING EXTERIOR WALL - DRYWALL ADDED	→ [Symbol]
NEW 2x4 EXT. 3 SEASONS WALL - SIDING BOTH SIDES	→ [Symbol]
EXISTING 2x4 INTERIOR WALL	→ [Symbol]
EXISTING INTERIOR WALL - DRYWALL ADDED	→ [Symbol]
NEW 2x4 INTERIOR WALL	→ [Symbol]

CLIENT SIGNATURE: _____ DATE: _____

DISCLAIMER: ALL CONDITIONS ON THIS DRAWING ARE APPROXIMATE, OF CONCEPTUAL NATURE AND SUBJECT TO CHANGE.

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NARI
NATIONAL ASSOCIATION OF REMODELING
Remodeling Done Right.

PROJECT DESCRIPTION:
MASTER SUITE ATTIC CONVERSION
BATHROOM RENOVATION
3 SEASONS ADDITION

STORY HILL
RENOVATIONS

OWNERS:
DAVE & JACKIE BRETL
3954 N. MENOMONEE RIVER PKWY
WAUWATOSA, WI. 53222

STORY HILL RENOVATIONS LLC
11504 W. BLUE MOUND RD.
WAUWATOSA, WI. 53226
414-204-1486

DRAWINGS
PROVIDED BY:
CHRIS EGNER
DESIGN
ARCHITECT

DATE:

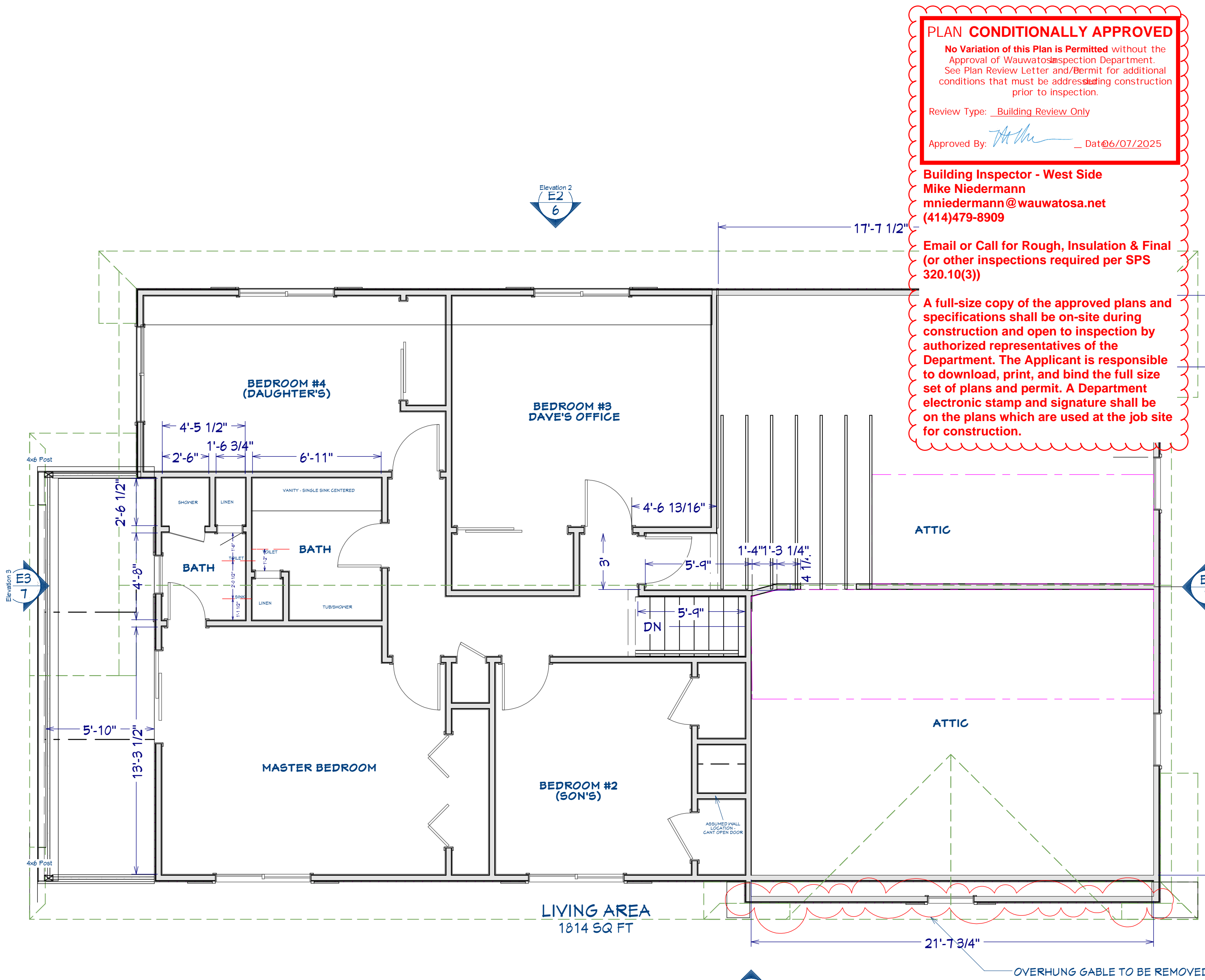
5/29/2025

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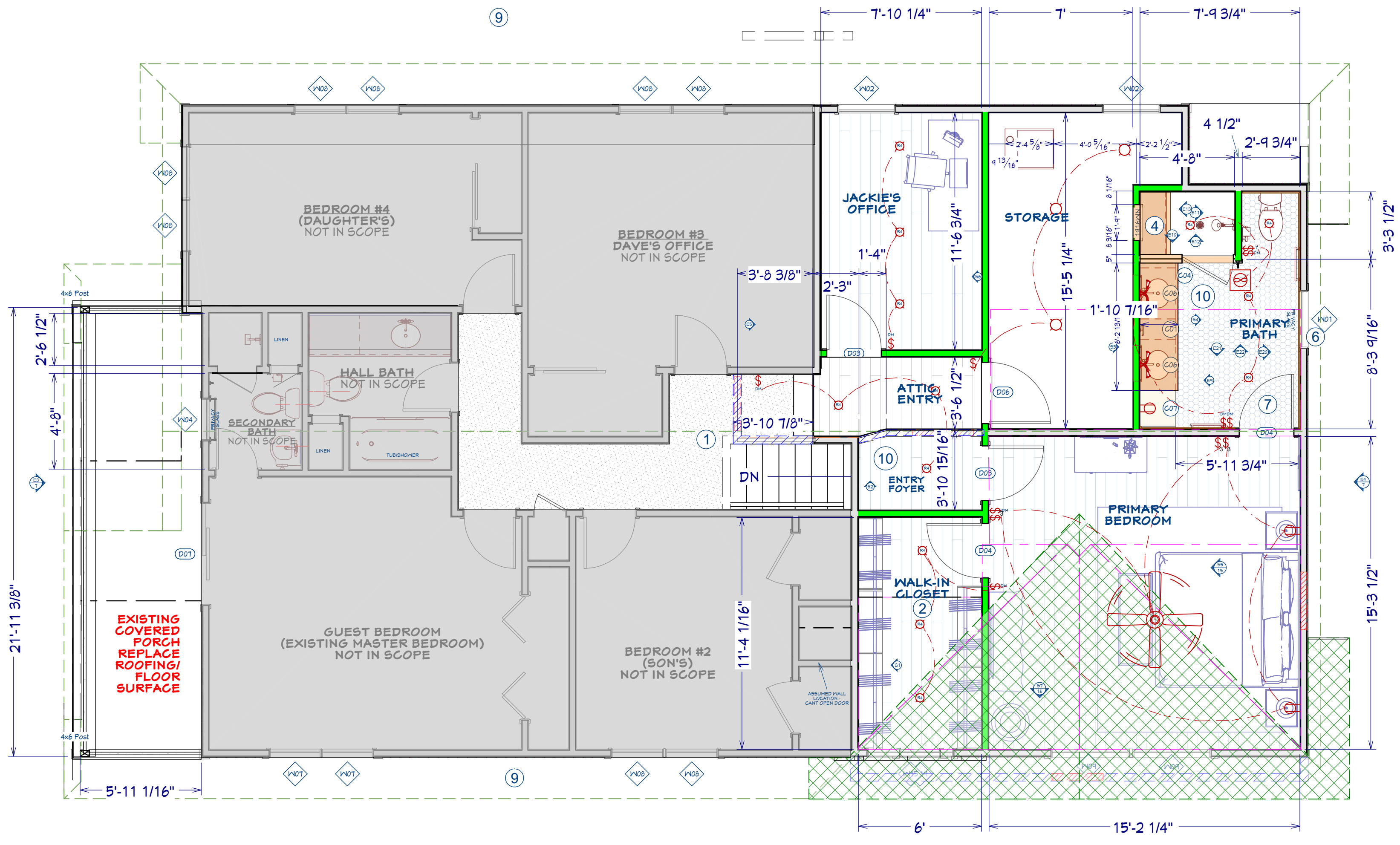
1/4" = 1'-0"

SHEET:

A-9



EXISTING SECOND FLOOR PLAN VIEW
1/4" = 1'-0"



PROPOSED SECOND FLOOR PLAN VIEW
1/4" = 1'-0"

NOTE SCHEDULE	
①	ADD FLUSH HEADER TO CARRY CEILING JOISTS IF NECESSARY
②	BUILT-IN SHELVES & POLES NOT INCLUDED IN CONTRACT
③	NEW STRUCTURAL WRAPPED POSTS & RAILINGS
④	NICHE
⑤	PAINT EXISTING OH DOOR
⑥	RAISE EXISTING WINDOW TO MATCH TOP HEIGHT OF NEW WINDOWS ON FRONT OF MASTER BEDROOM
⑦	RAISE FLOOR 12 1/4"+ IN CLOSET TO LEVEL WITH MASTER BEDROOM
⑧	REMOVE (2) WROUGHT IRON COLUMNS
⑨	REMOVE ALL EXISTING SHUTTERS FROM ALL WINDOWS
⑩	USE VAULTED FRAMING IN BATH FOR VAULTED CEILING FLAT CEILING IN ENTRY FOYER
⑪	REMOVE FALSE FRONT DOOR
⑫	REMOVE PEDIMENT OVER FRONT DOOR & LIVING ROOM WINDOW

WINDOW SCHEDULE									
NUMBER	LABEL	QTY	FLOOR	SIZE	WIDTH	HEIGHT	EGRESS	DESCRIPTION	COMMENTS
W01	210410DH	1	2	210410DH	34"	57 1/2"		DOUBLE HUNG	PRIVACY GLASS / TEMPERED ADJUST WINDOW HEIGHT & POSITION TO AVOID ROOF BELOW
W02	21046DH	2	2	21046DH	34"	54"		DOUBLE HUNG	
W03	21311DH	1	1	21311DH	25"	46 3/4"		DOUBLE HUNG	
W04	21311SH	1	2	21311SH	25"	47"		SINGLE HUNG	
W05	2446SC	1	1	2446SC	28"	53 3/4"		SINGLE CASEMENT-HL	PRIVACY GLASS / TEMPERED
W06	2546SC	1	1	2546SC	28 9/16"	53 3/4"		SINGLE CASEMENT-HR	
W07	2745DH	2	2	2745DH	30 5/8"	53 1/4"		DOUBLE HUNG	
W08	2745DH	8	2	2745DH	30 7/8"	53 1/4"		DOUBLE HUNG	
W09	31050DH	2	2	31050DH	46"	60"	YES	DOUBLE HUNG	
W10	31052DH	1	1	31052DH	46 5/16"	62"		DOUBLE HUNG	
W11	31141DH	2	1	31141DH	47 3/8"	54 1/4"		DOUBLE HUNG	
W12	31152DH	1	1	31152DH	46 15/16"	62"		DOUBLE HUNG	
W13	3147DH	2	1	3147DH	31"	55"		DOUBLE HUNG	
W15	43010FX	1	2	43010FX	51"	10"		FIXED GLASS	ACTUALLY ON FLOOR 1
W16	21311DH	1	1	21311DH	25"	46 3/4"		DOUBLE HUNG	PRIVACY GLASS / TEMPERED
W18	5646FX	1	1	5646FX	66"	53 3/4"		FIXED GLASS	
W19	2027FX	1	2	2027FX	24"	31 1/16"	YES	FIXED GLASS-RT	

CABINET SCHEDULE							
NUMBER	LABEL	QTY	FLOOR	WIDTH	DEPTH	HEIGHT	DESCRIPTION
C01	3DB1221	1	2	12"	21"	36"	BASE CABINET
C03	B24	1	1	23 3/4"	24"	36"	BASE CABINET
C04	BF321	1	2	2 3/4"	21"	36"	BASE CABINET FILLER
C05	SB2421	1	1	24"	21"	36"	BASE CABINET
C06	SB3021	2	2	30"	21"	36"	BASE CABINET
C07	U212184L	1	2	21"	21"	84"	UTILITY CABINET
C08	W272612	1	1	27"	11 1/2"	26"	WALL CABINET
C09	U301584	1	1	30"	15"	84"	UTILITY CABINET
C10	UF31584	1	1	3"	15"	84"	UTILITY CABINET FILLER
C12	WF230	1	1	1 9/16"	12"	30"	WALL CABINET FILLER
C13	W2730	2	1	27"	12"	30"	WALL CABINET

DEMO & WALL LEGEND	
DEMO DOORS & WINDOWS	
DEMO WALLS	
EXISTING FOUNDATION WALL	
NEW 8" POURED CONCRETE FOUNDATION WALL	
EXISTING 2x4 EXTERIOR BRICK WALL	
EXISTING 2x4 EXTERIOR SIDING WALL	
EXISTING EXTERIOR WALL - DRYWALL ADDED	
NEW 2x4 EXT. 3 SEASONS WALL - SIDING BOTH SIDES	
EXISTING 2x4 INTERIOR WALL	
EXISTING INTERIOR WALL - DRYWALL ADDED	
NEW 2x4 INTERIOR WALL	

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NATIONAL ASSOCIATION OF REMODELING

PROJECT DESCRIPTION:
MASTER SUITE ATTIC CONVERSION
MASTER BEDROOM
3 SEASONS ADDITION

STORY HILL RENOVATIONS

OWNERS(S):
DAVE & JACKIE BRETL
3954 N. MENOMONEE RIVER PKWY
WAUWATOSA, WI. 53222

STORY HILL RENOVATIONS LLC
11504 W. BLUE MOUND RD.
WAUWATOSA, WI. 53226
414-204-1488

DRAWINGS PROVIDED BY:
CHRIS EGNER DESIGN

DATE:
5/24/2025

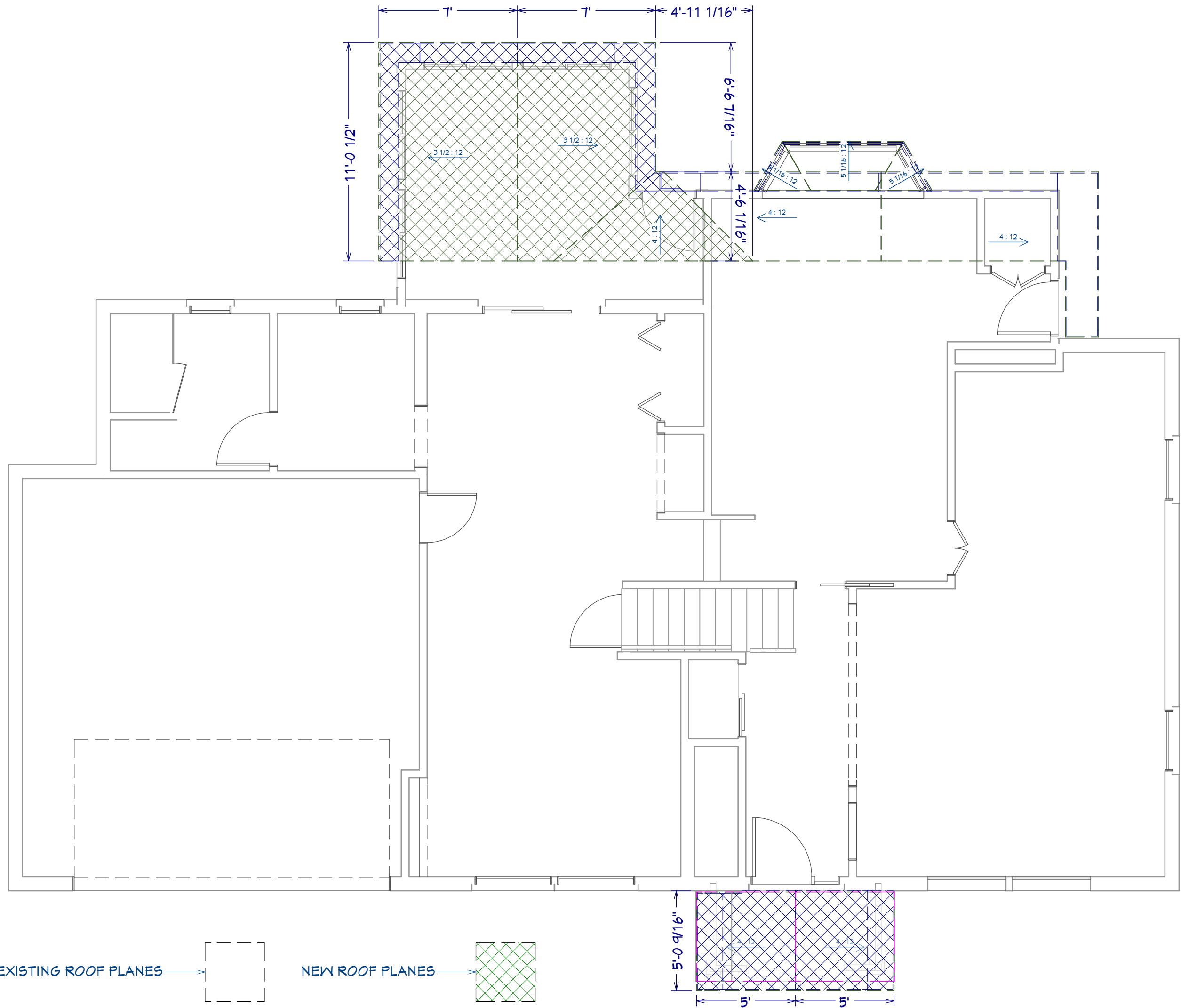
SCALE:
1/4" = 1'-0"

SHEET:
A-10

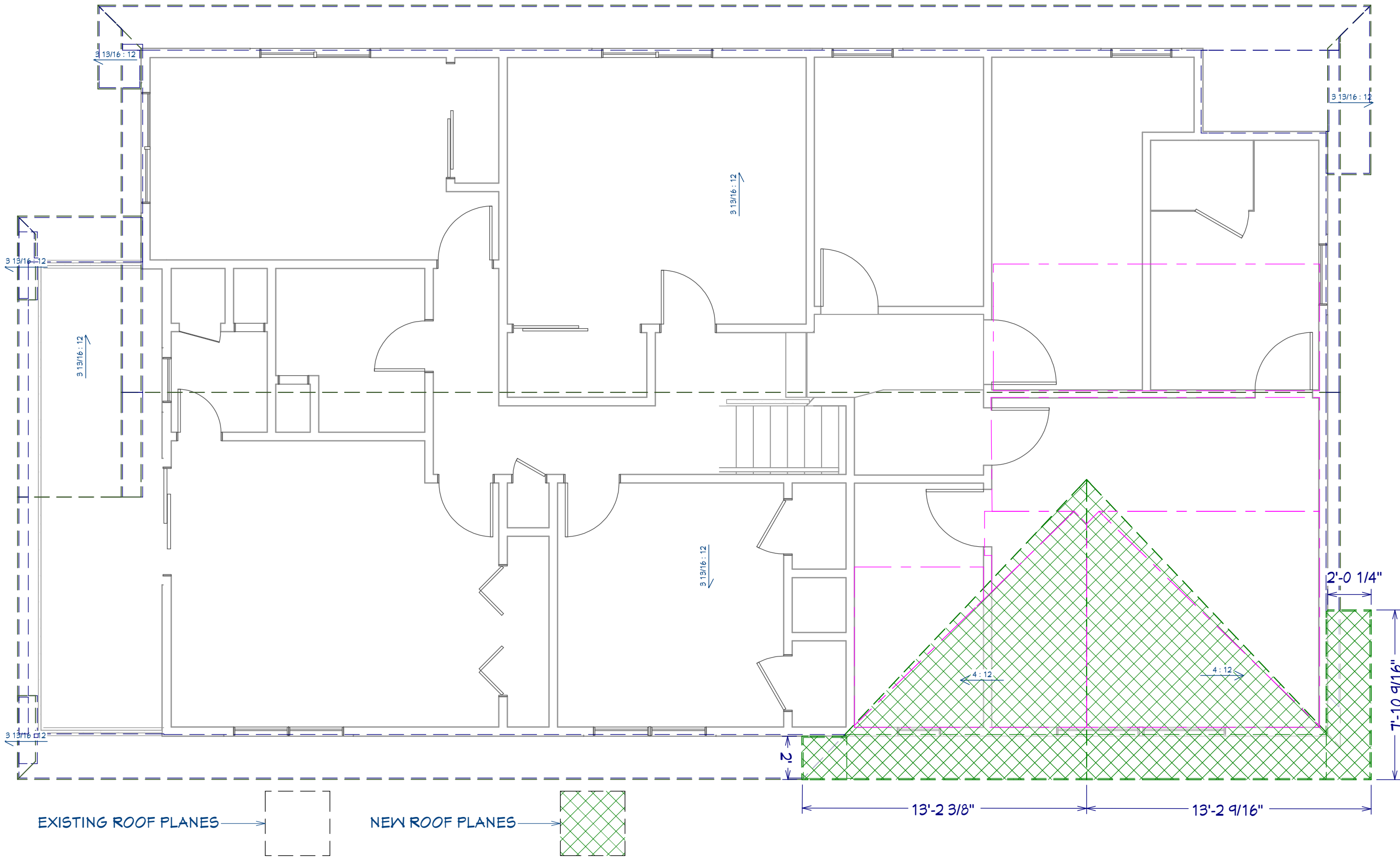
DOOR SCHEDULE										
NUMBER	3D EXTERIOR ELEVATION	LABEL	QTY	FLOOR	SIZE	WIDTH	HEIGHT	DESCRIPTION	THICKNESS	COMMENTS
D01		1268	1	1	1268 EX	14"	80"	EXT. FIXED-T701 THERMAL SASH SIDELIGHT	1 3/4"	
D02		2868	1	1	2868 L EX	32"	80"	EXT. HINGED-DOOR E03	1 3/4"	
D03		2868	2	2	2868 L IN	32"	80"	HINGED-DOOR F09	1 3/8"	
D04		2868	2	2	2868 R IN	32"	80"	HINGED-DOOR F09	1 3/8"	
D05		3068	1	1	3068 L EX	36"	80"	EXT. HINGED-1664 TRADITIONAL SASH	1 3/4"	NO DIVIDED LITE IN GLASS
D06		3068	1	2	3068 R IN	36"	80"	HINGED-DOOR F09	1 3/8"	
D07		41168	1	2	41168 R EX	59"	80"	EXT. SLIDER-GLASS PANEL	1 3/4"	
D08		51068	1	1	51068 L EX	70"	80"	EXT. SLIDER-GLASS PANEL	1 3/4"	
D11		2868	1	1	2868 L IN	32"	80"	HINGED-DOOR F09	1 3/8"	

PLAN CONDITIONALLY APPROVED
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Review Type: Building Review Only
Approved By: [Signature] Date: 06/07/2025

Building Inspector - West Side
Mike Niedermann
mniedermann@wauwatosa.net
(414)479-8909
Email or Call for Rough, Insulation & Final (or other inspections required per SPS 320.10(3))
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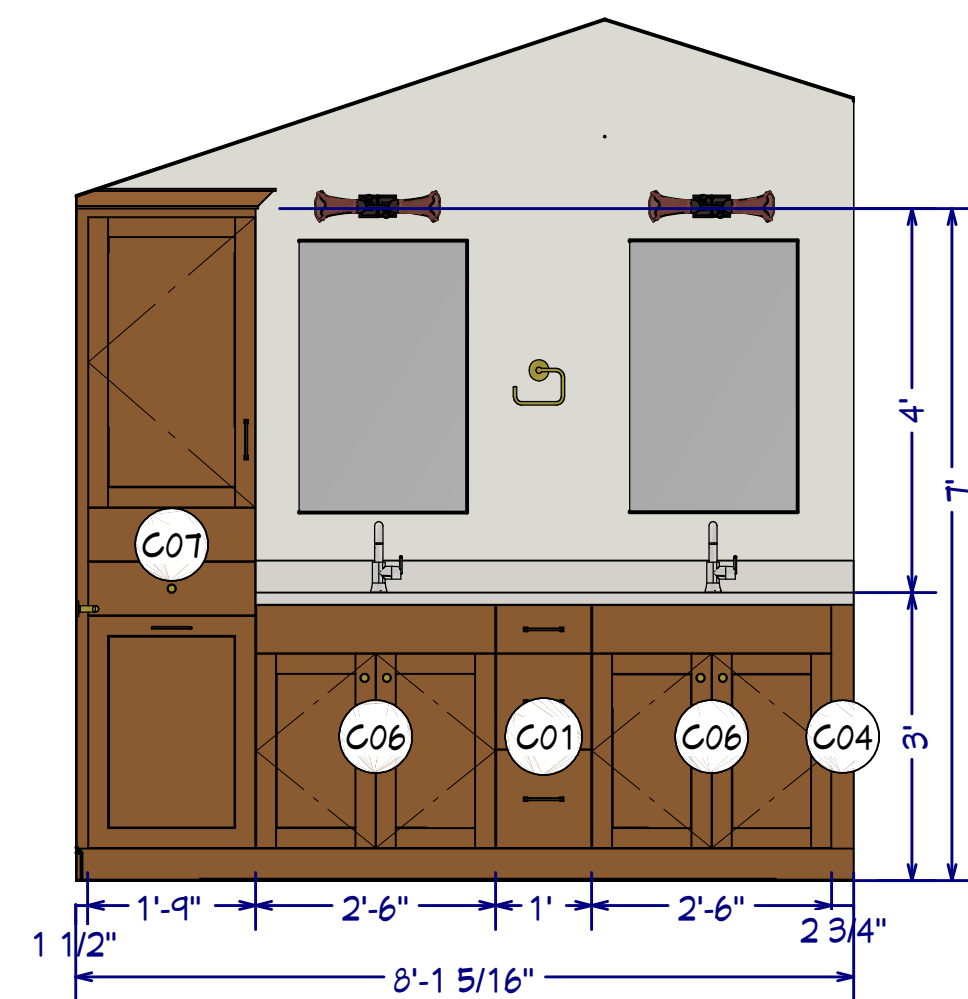


PROPOSED FIRST FLOOR PLAN VIEW
1/4" = 1'-0"

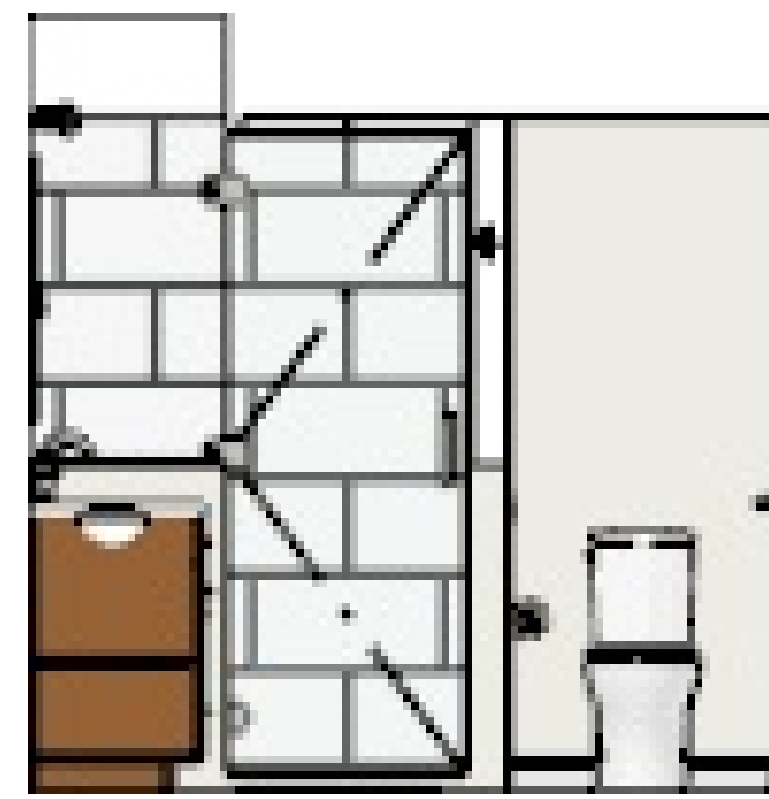


PROPOSED SECOND FLOOR ROOF PLAN VIEW
1/4" = 1'-0"

CLIENT SIGNATURE: _____ DATE: _____
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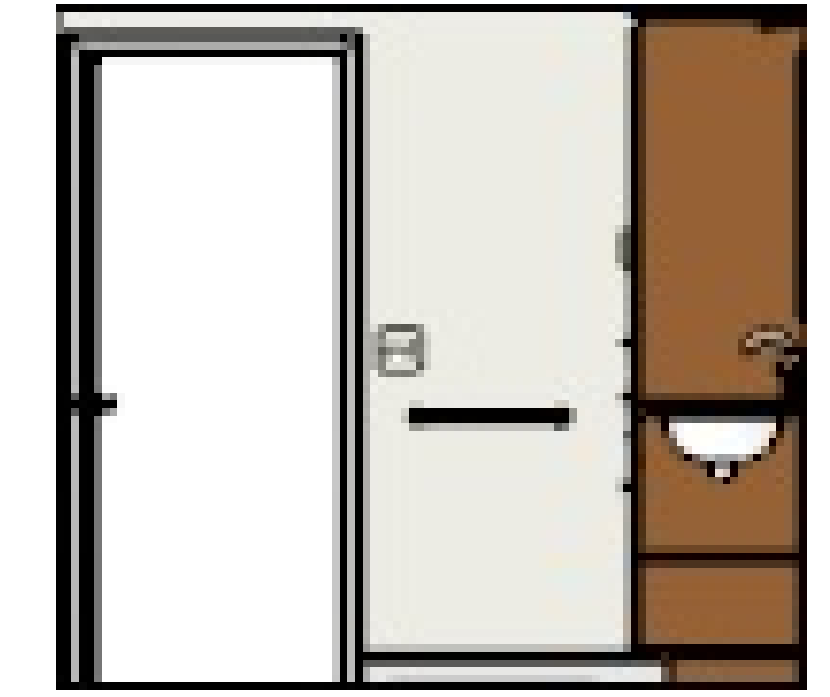
PRIMARY BATH
ELEVATION #9
1/2" = 1'-0"



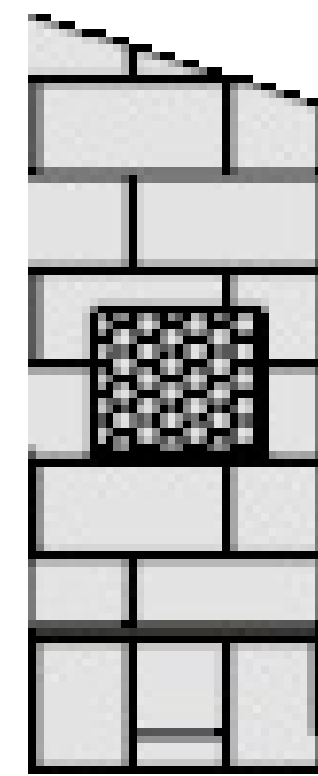
PRIMARY BATH
ELEVATION #21
1/2" = 1'-0"



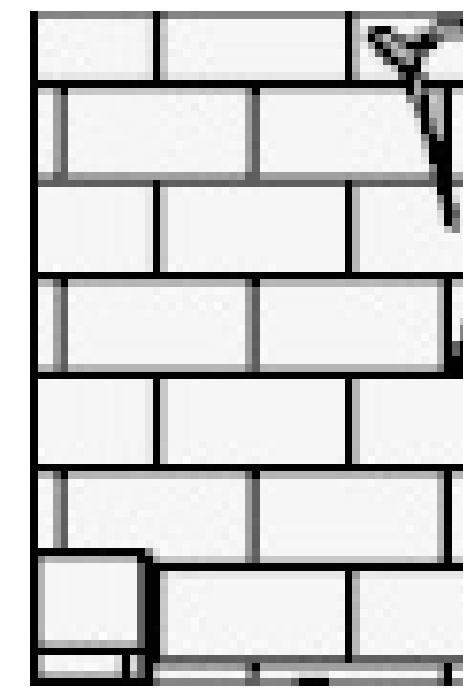
PRIMARY BATH
ELEVATION #20
1/2" = 1'-0"



PRIMARY BATH
ELEVATION #21
1/2" = 1'-0"



PRIMARY SHOWER
ELEVATION #13
1/2" = 1'-0"



PRIMARY SHOWER
ELEVATION #12
1/2" = 1'-0"

VERIFY SHOWER HEIGHT ON SITE

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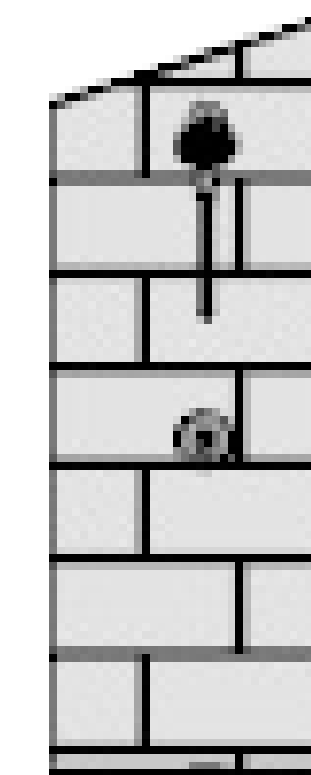
Review Type: Building Review Only

Approved By: *[Signature]* Date: 6/07/2025

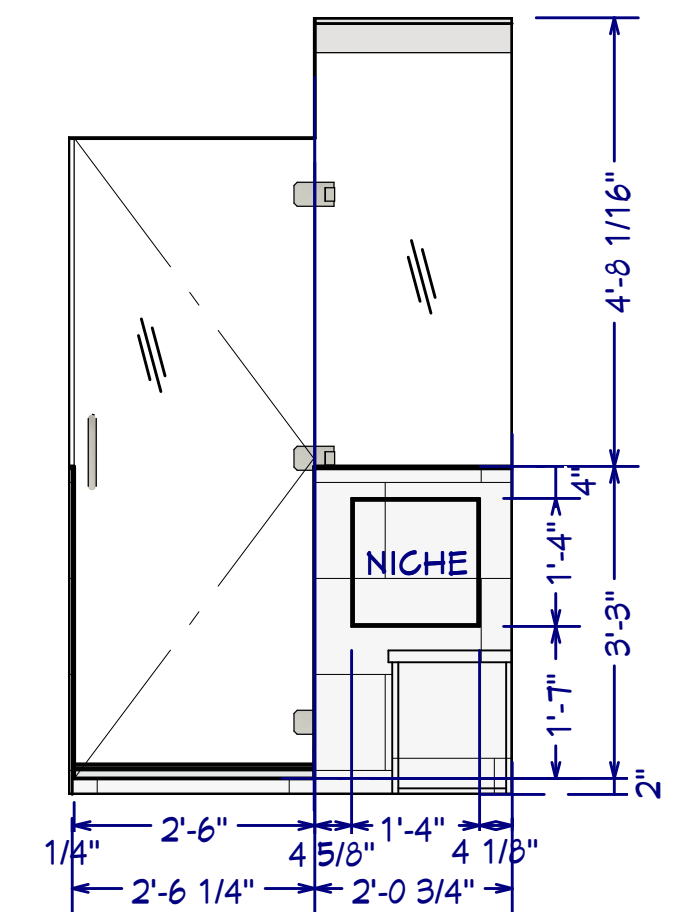
Building Inspector - West Side
Mike Niedermann
mniedermann@wauwatosa.net
(414)479-8909

Email or Call for Rough, Insulation & Final
(or other inspections required per SPS
320.10(3))

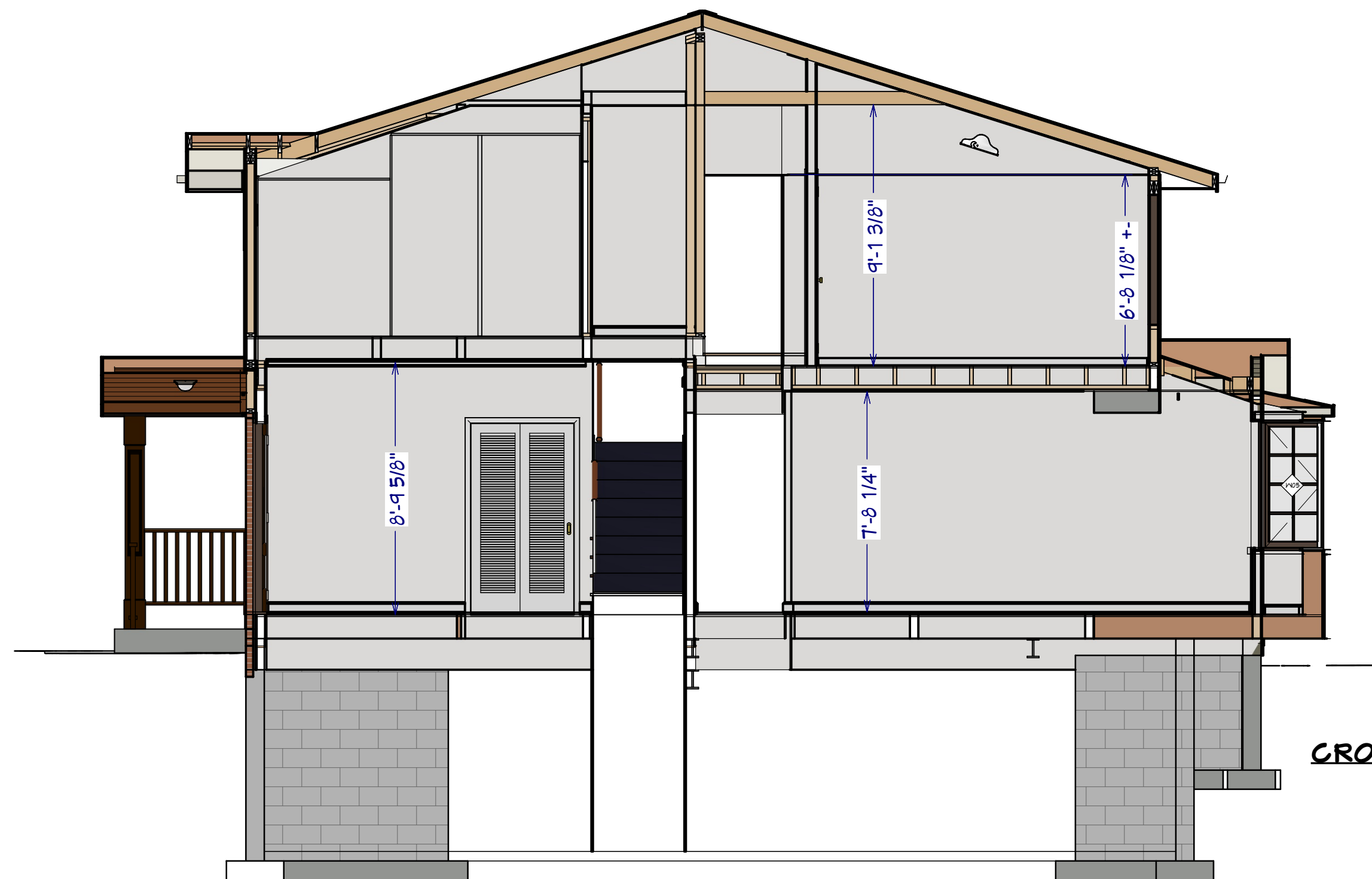
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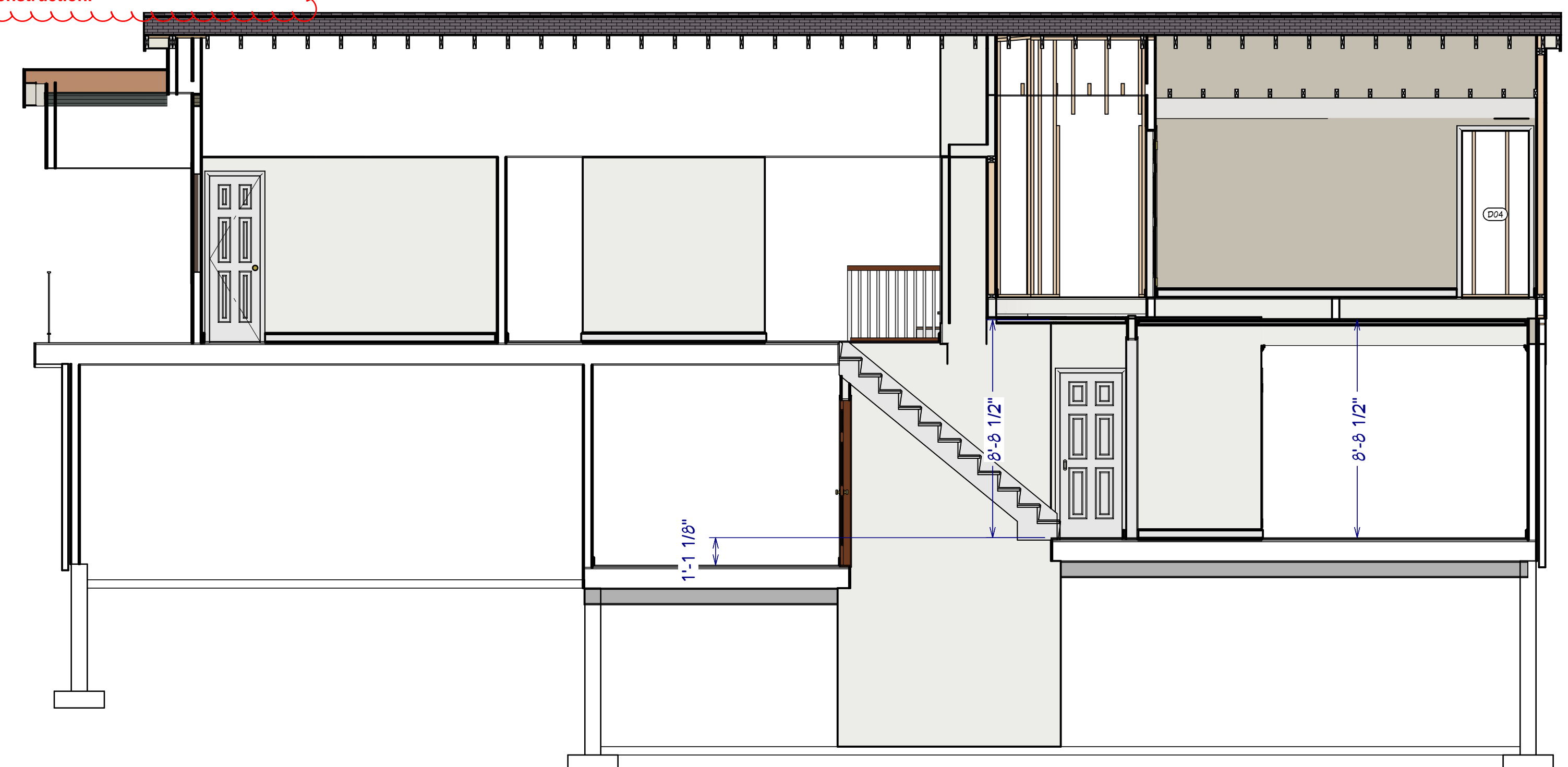
PRIMARY SHOWER
ELEVATION #11
1/2" = 1'-0"



PRIMARY SHOWER
ELEVATION #10
1/2" = 1'-0"



CROSS SECTION #1
1/4" = 1'-0"



CROSS SECTION #2
1/4" = 1'-0"

CLIENT SIGNATURE: _____ DATE: _____

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PROJECT DESCRIPTION:
MASTER SUITE ATTIC CONVERSION
BATHROOM RENOVATION
3 SEASONS ADDITION



OWNERS:
DAVE & JACKIE BRETL
3954 N. MENOMONEE RIVER PKWY
WAUWATOSA, WI. 53226

STORY HILL RENOVATIONS LLC
11504 W. BLUE MOUND RD.
WAUWATOSA, WI. 53226
414-204-1486

DRAWINGS
PROVIDED BY:
CHRIS EGGNER
DESIGN
ARCHITECT

DATE:

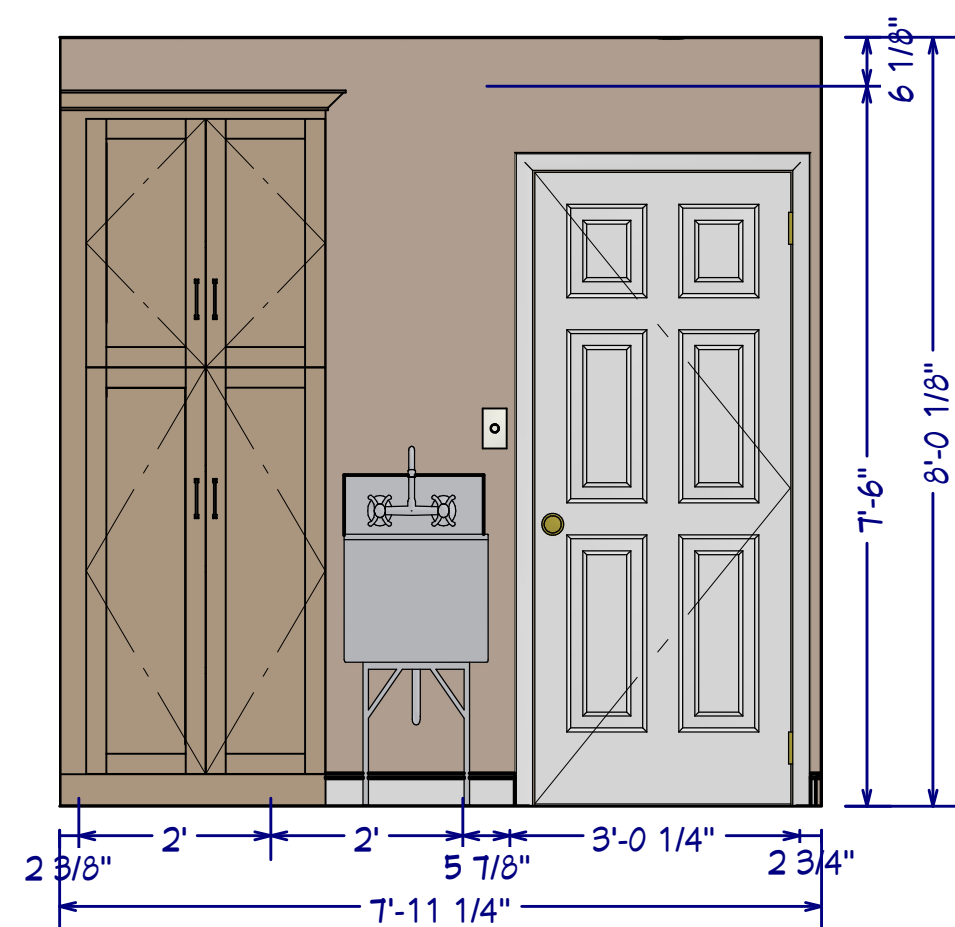
5/29/2025

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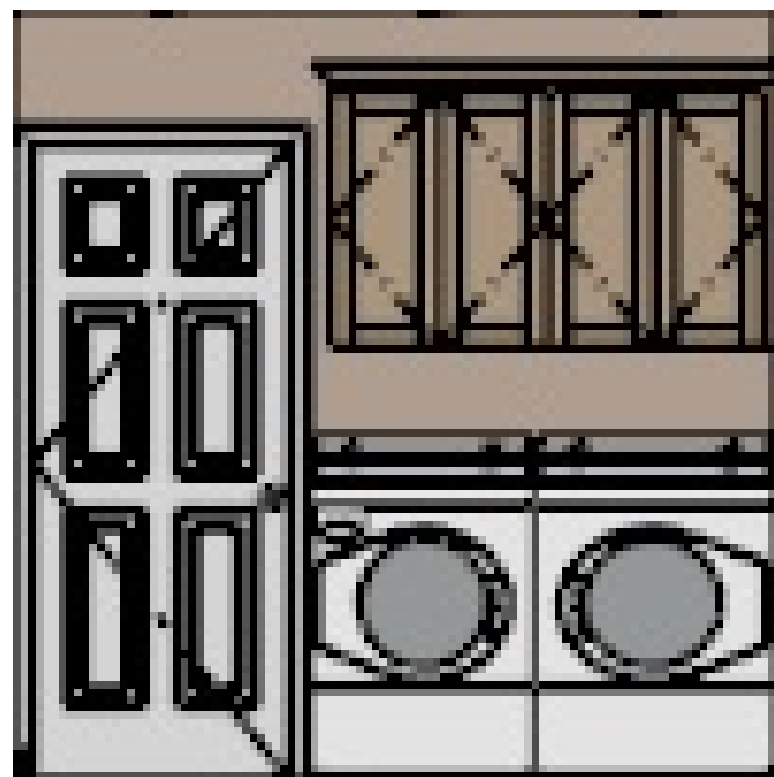
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SHEET:

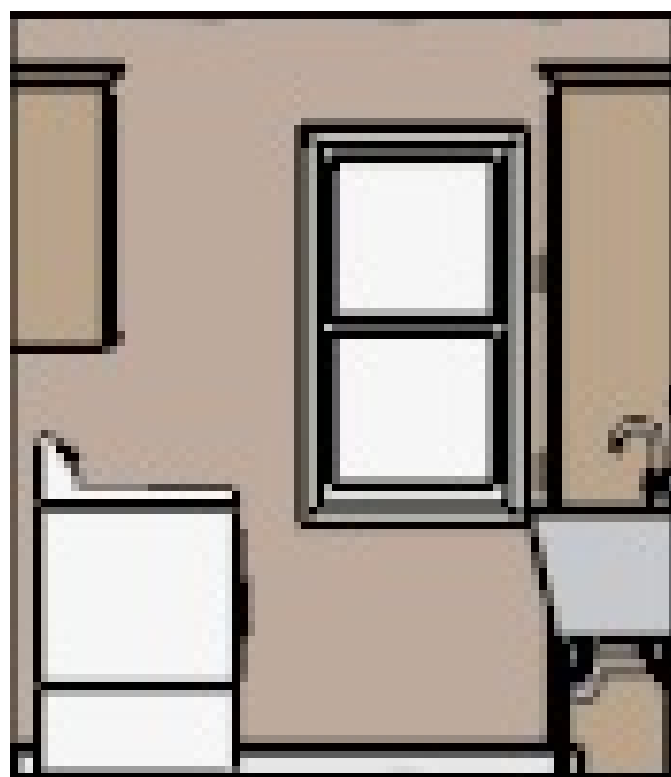
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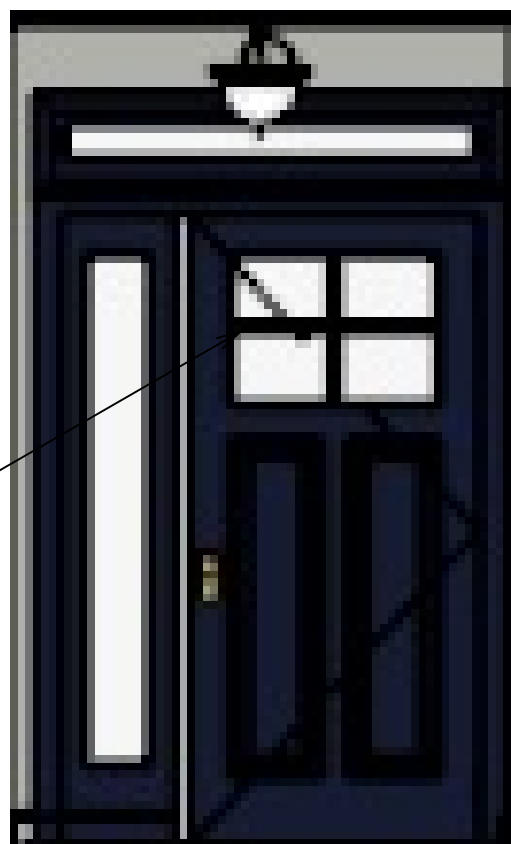
LAUNDRY ROOM
ELEVATION #6
1/2" = 1'-0"



LAUNDRY ROOM
ELEVATION #30
1/2" = 1'-0"



LAUNDRY ROOM
ELEVATION #33
1/2" = 1'-0"



FRONT ENTRY
ELEVATION #32
1/2" = 1'-0"

PLAN CONDITIONALLY APPROVED

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Review Type: Building Review Only

Approved By: [Signature] Date: 06/07/2025

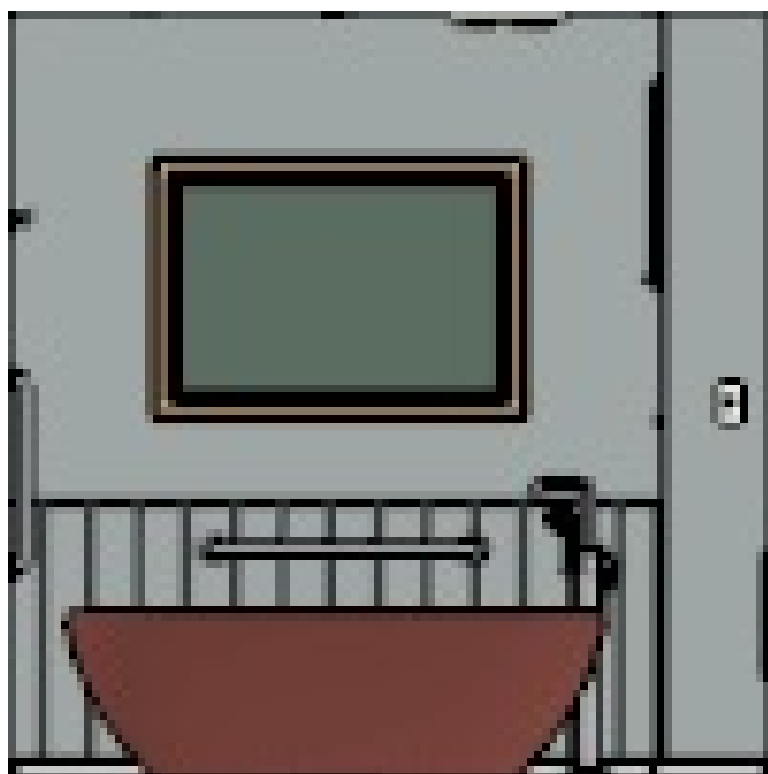
Building Inspector - West Side
Mike Niedermann
mniedermann@wauwatosa.net
(414)479-8909

Email or Call for Rough, Insulation & Final (or other inspections required per SPS 320.10(3))

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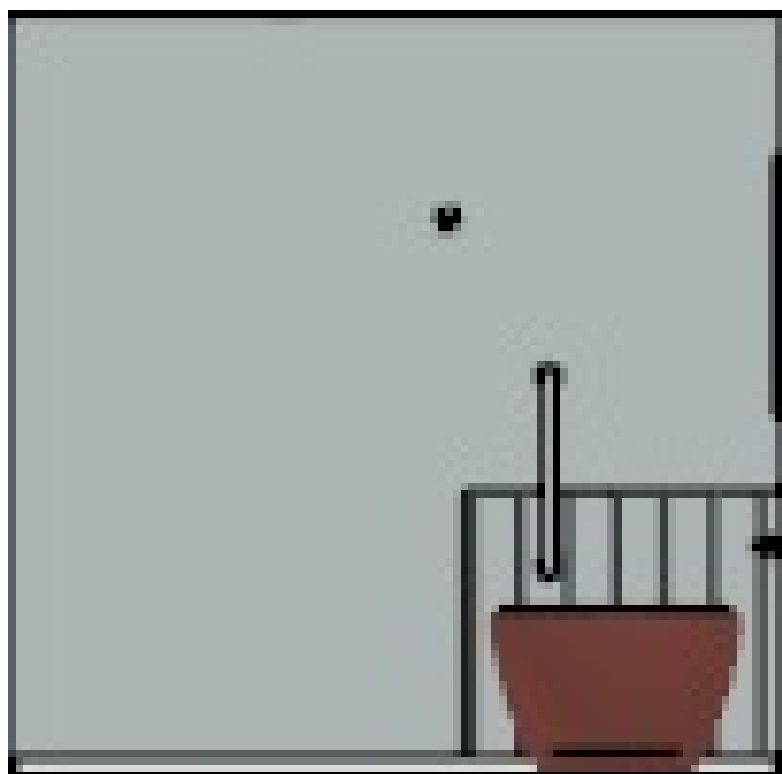
LAUNDRY BATH
ELEVATION #17
1/2" = 1'-0"



LAUNDRY BATH
ELEVATION #18
1/2" = 1'-0"



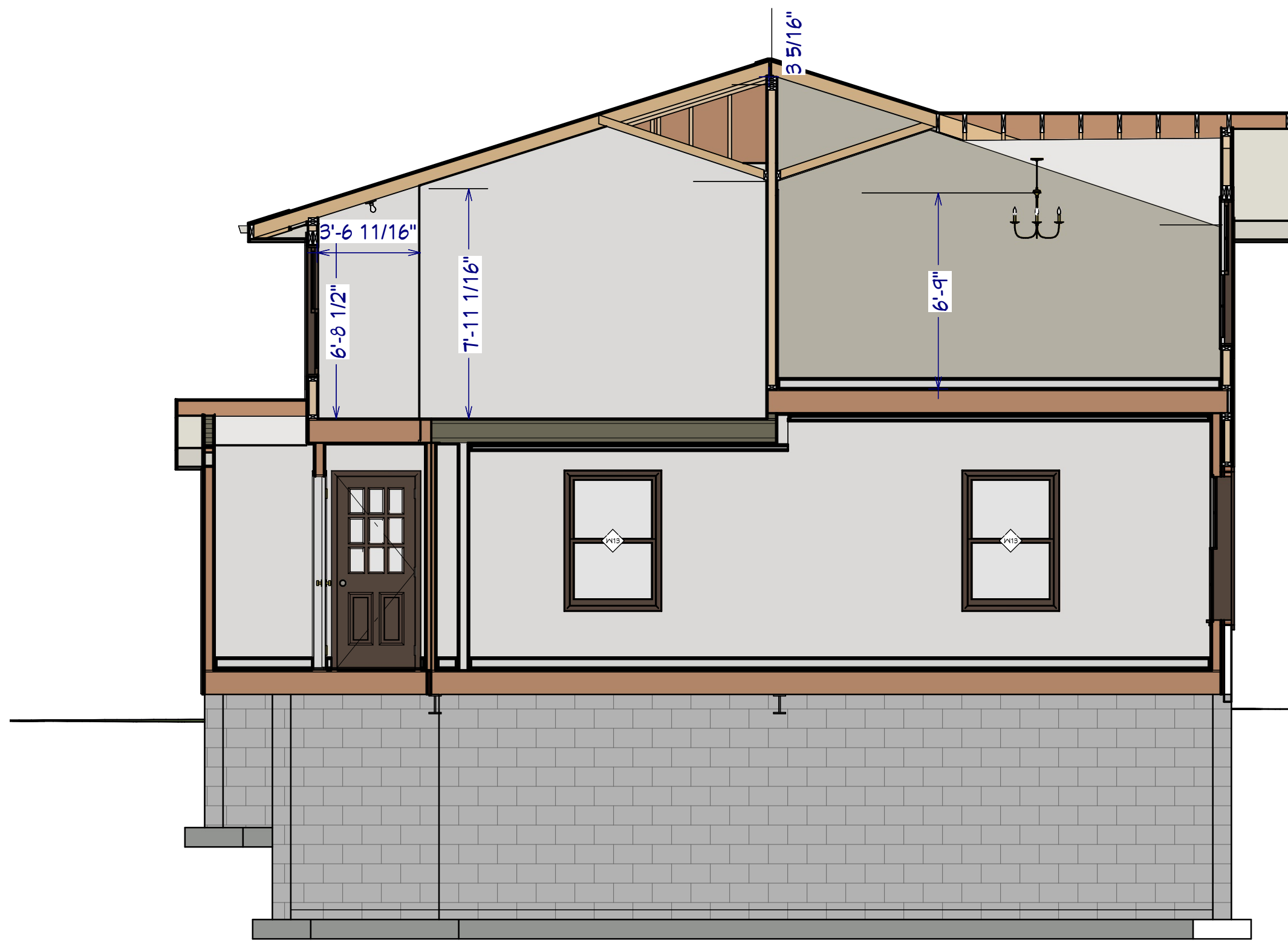
LAUNDRY BATH
ELEVATION #19
1/2" = 1'-0"



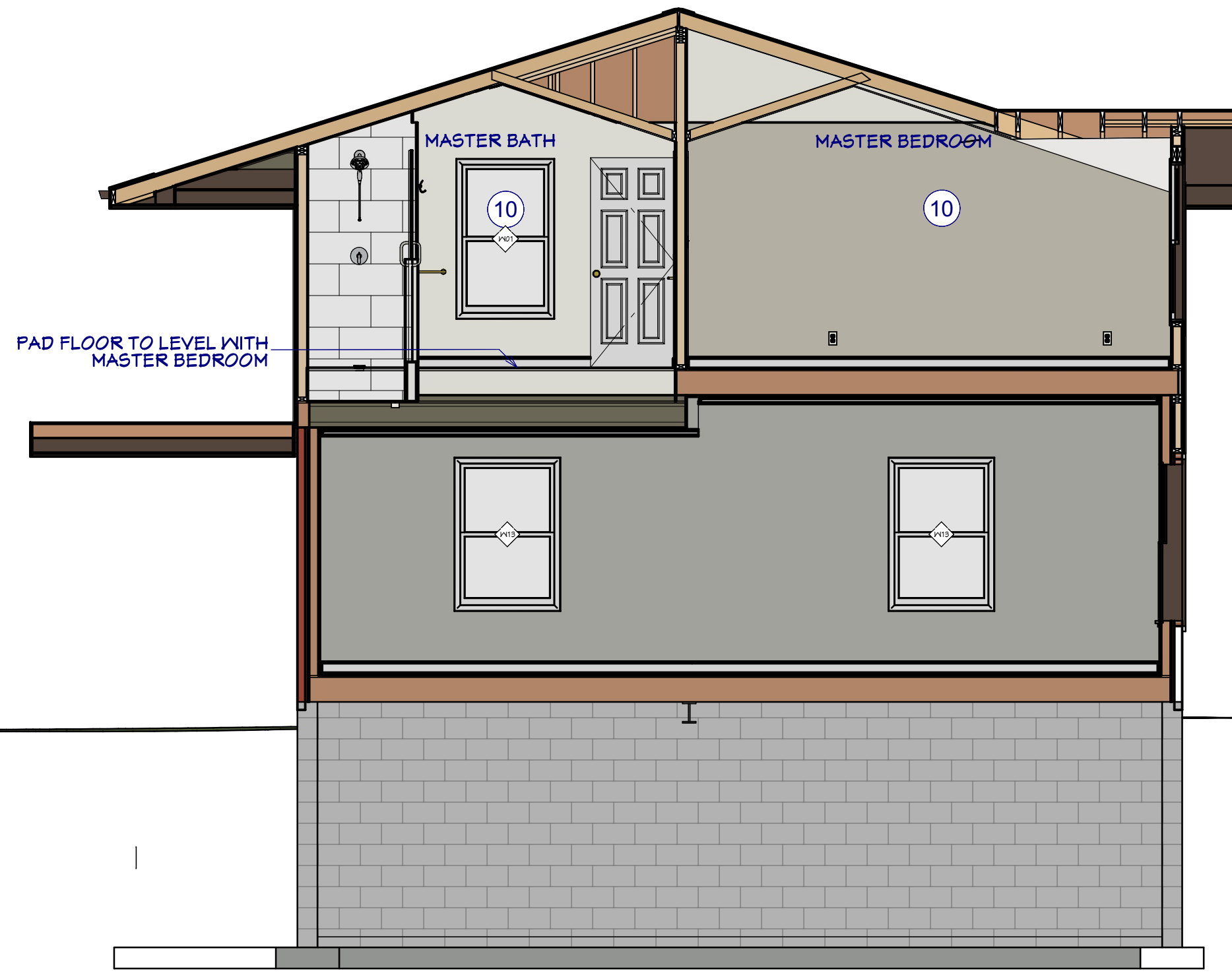
LAUNDRY BATH
ELEVATION #34
1/2" = 1'-0"

CLIENT SIGNATURE: _____ DATE: _____

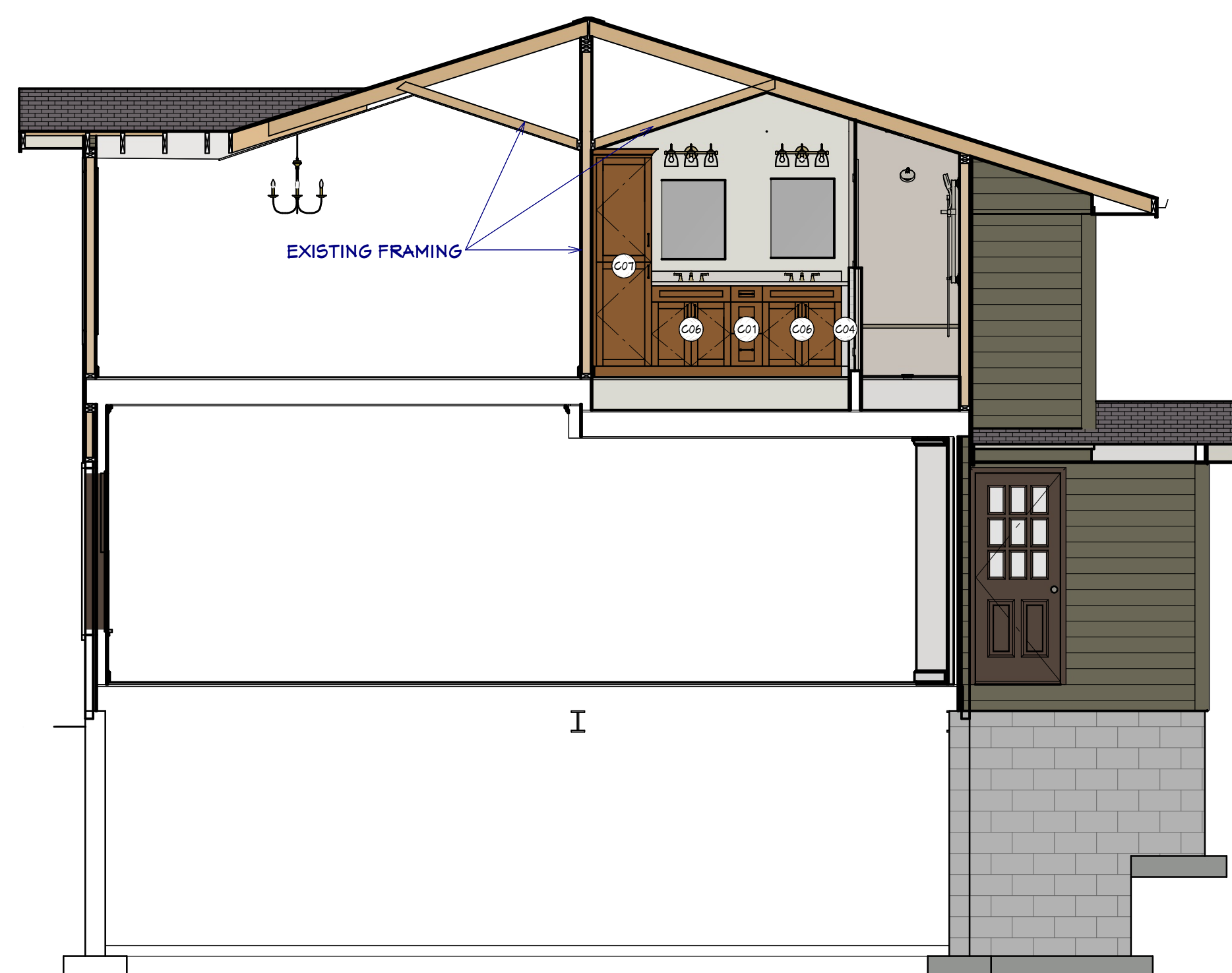
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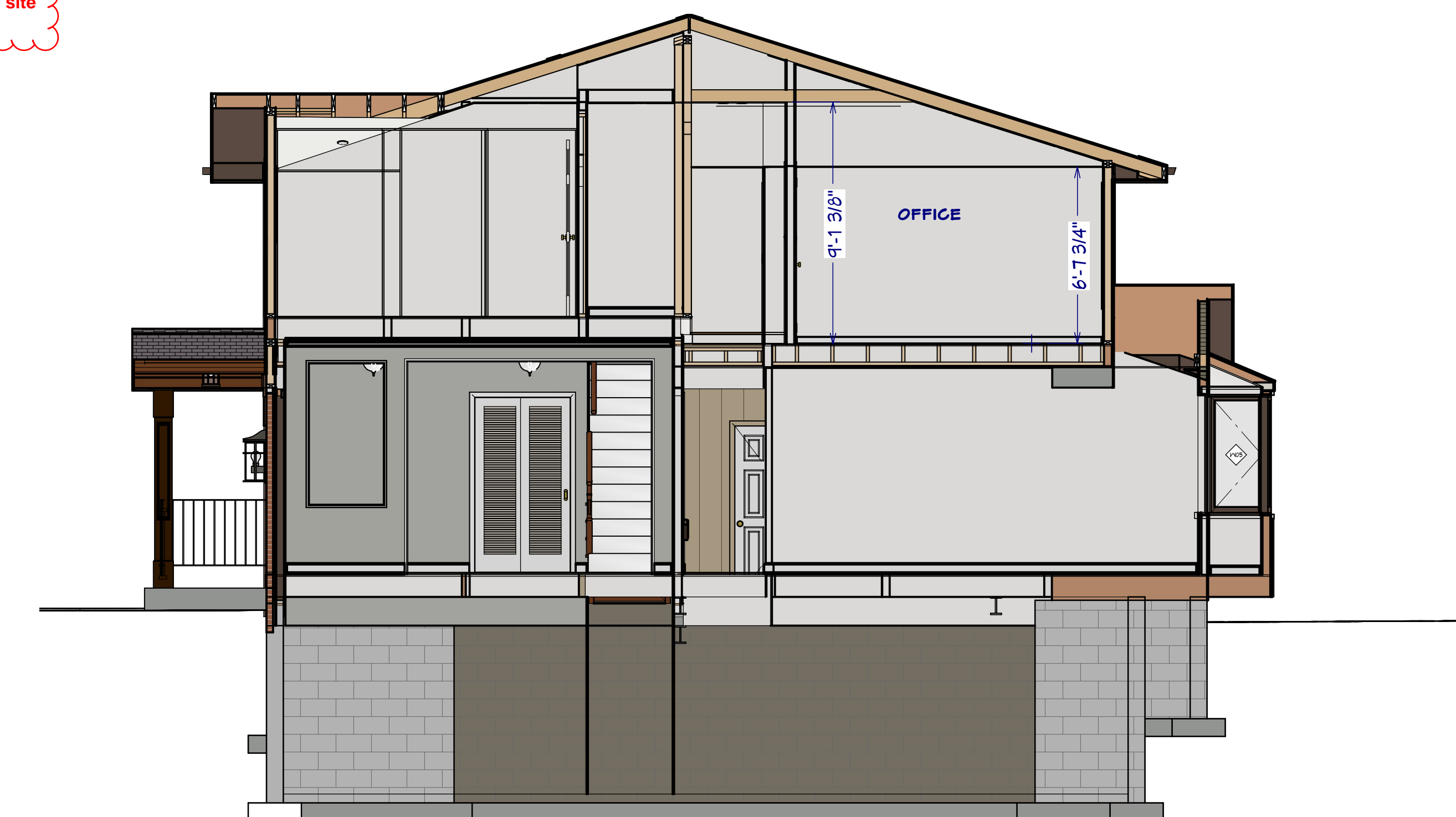
CROSS SECTION #3
1/4" = 1'-0"



CROSS SECTION #4
1/4" = 1'-0"



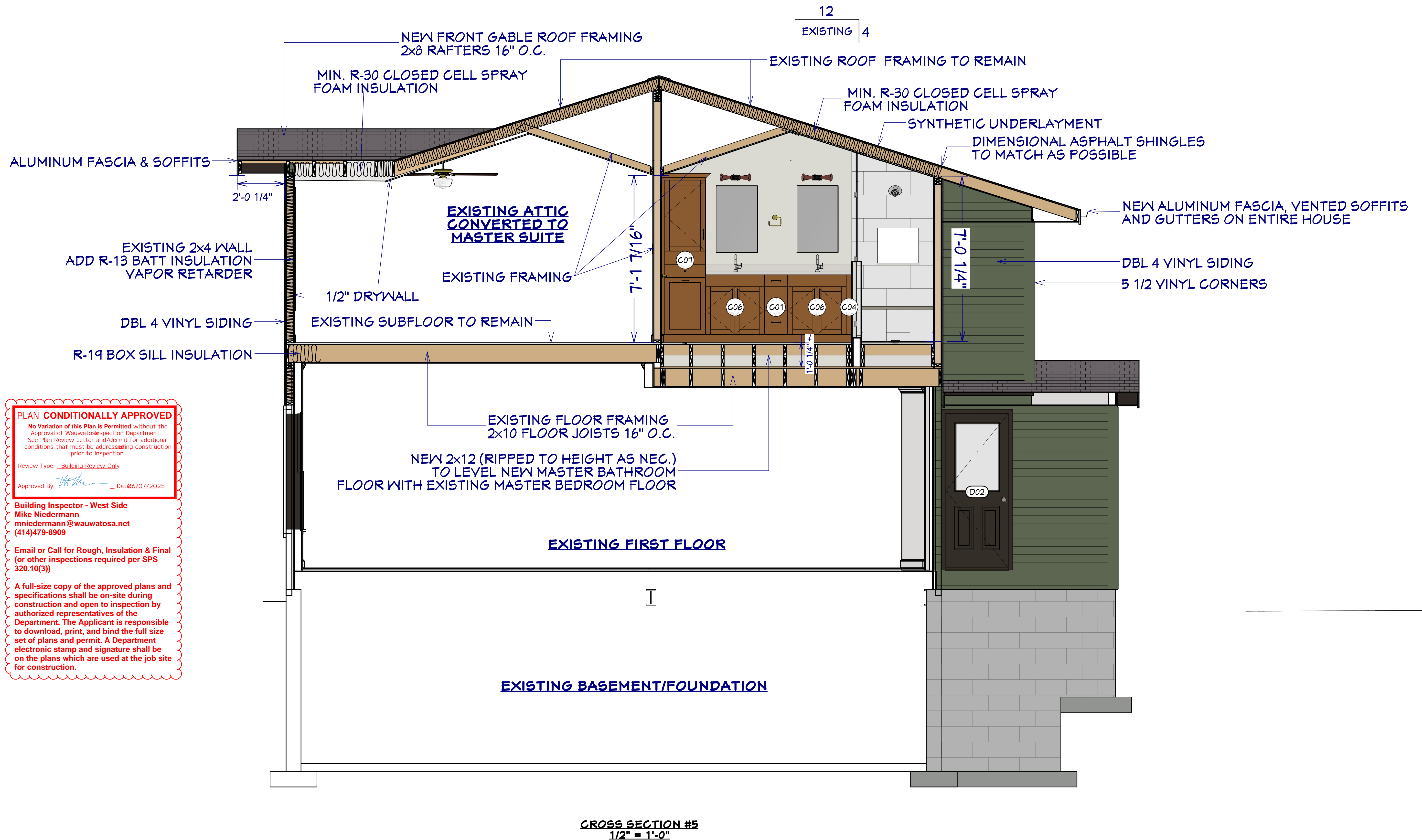
CROSS SECTION #5
1/4" = 1'-0"



CROSS SECTION #6
1/4" = 1'-0"

PLAN CONDITIONALLY APPROVED
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Review Type: Building Review Only
Approved By: *[Signature]* Date: 06/07/2025
Building Inspector - West Side
Mike Niedermann
mniedermann@wauwatosa.net
(414)479-8909
Email or Call for Rough, Insulation & Final (or other inspections required per SPS 320.10(3))
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Approved By: [Signature] Date: 06/07/2025

Building Inspector - West Side
Mike Niedermann
mniedermann@wauwatosa.net
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PROJECT DESCRIPTION:
MASTER SUITE ATTIC CONVERSION
MASTER BATHROOM
3 SEASONS ADDITION



OWNER(S):
DAVE & JACKIE BRETL
3954 N. MENOMONEE RIVER PKWY
WAUWATOSA, WI 53222

STORY HILL RENOVATIONS LLC
11504 W. BLUE MOUND RD.
WAUWATOSA, WI 53226
414-204-1488

DRAWINGS
PROVIDED BY:
CHRIS EGNER
DESIGN
ARCHITECT

DATE:

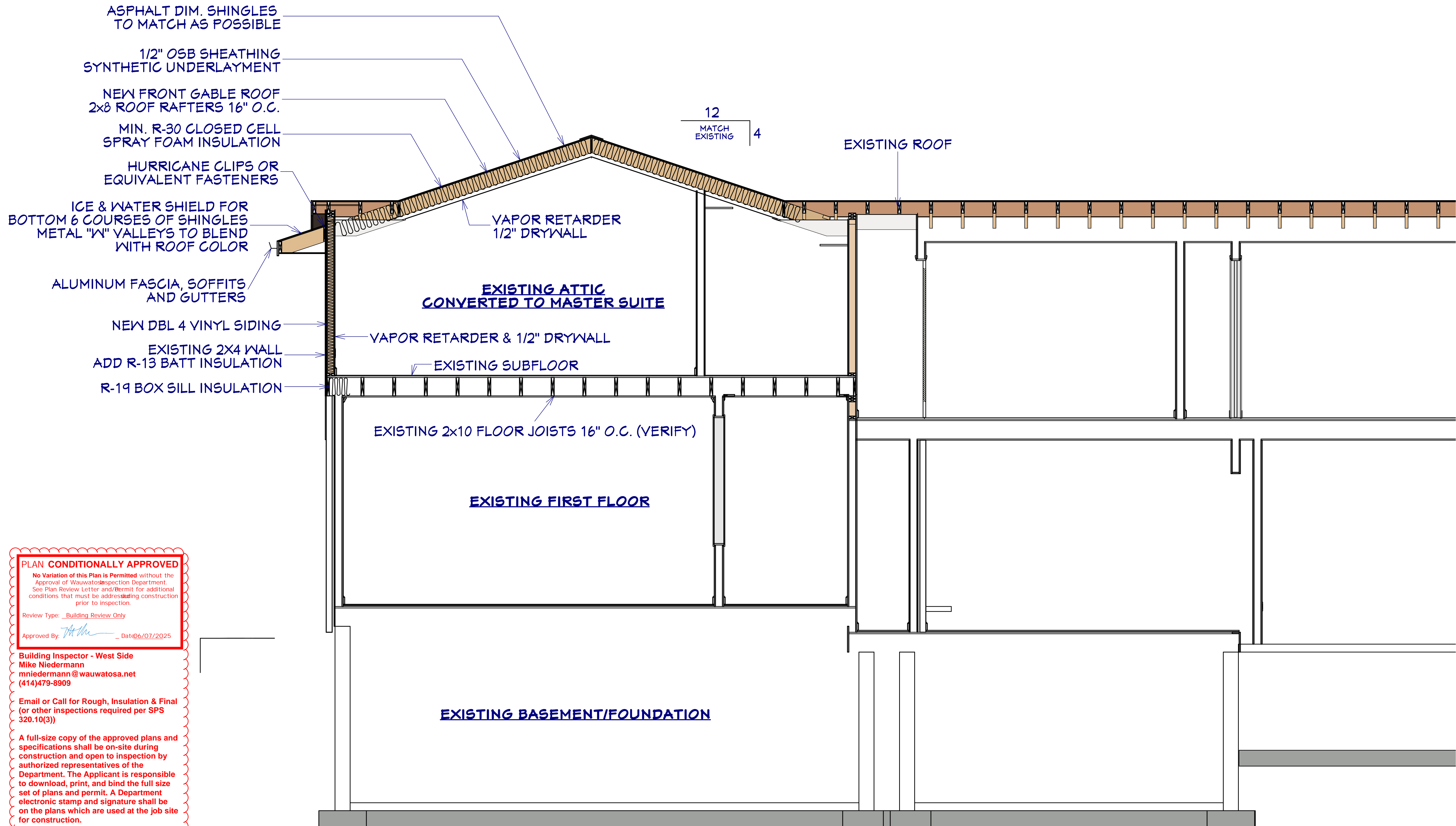
5/29/2025

SCALE:

1/2" = 1'-0"

SHEET:

A-15



PLAN CONDITIONALLY APPROVED

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Approved By: [Signature] Date: 06/07/2025

Building Inspector - West Side
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NARI
NATIONAL ASSOCIATION OF
REMODELERS

PROJECT DESCRIPTION:
**MASTER SUITE ATTIC CONVERSION
MASTER SUITE ADDITION
3 SEASONS ADDITION**

**STORY HILL
RENOVATIONS**

OWNERS(S):
**DAVE & JACKIE BRETL
3954 N. MENOMONEE RIVER PKWY
WAUWATOSA, WI. 53222**

STORY HILL RENOVATIONS LLC
11504 W. BLUE MOUND RD.
WAUWATOSA, WI. 53226
414-204-1488

DRAWINGS
PROVIDED BY:
**CHRIS EGNER
DESIGN**

DATE:
5/29/2025

SCALE:
1/2" = 1'-0"

SHEET:
A-16

19

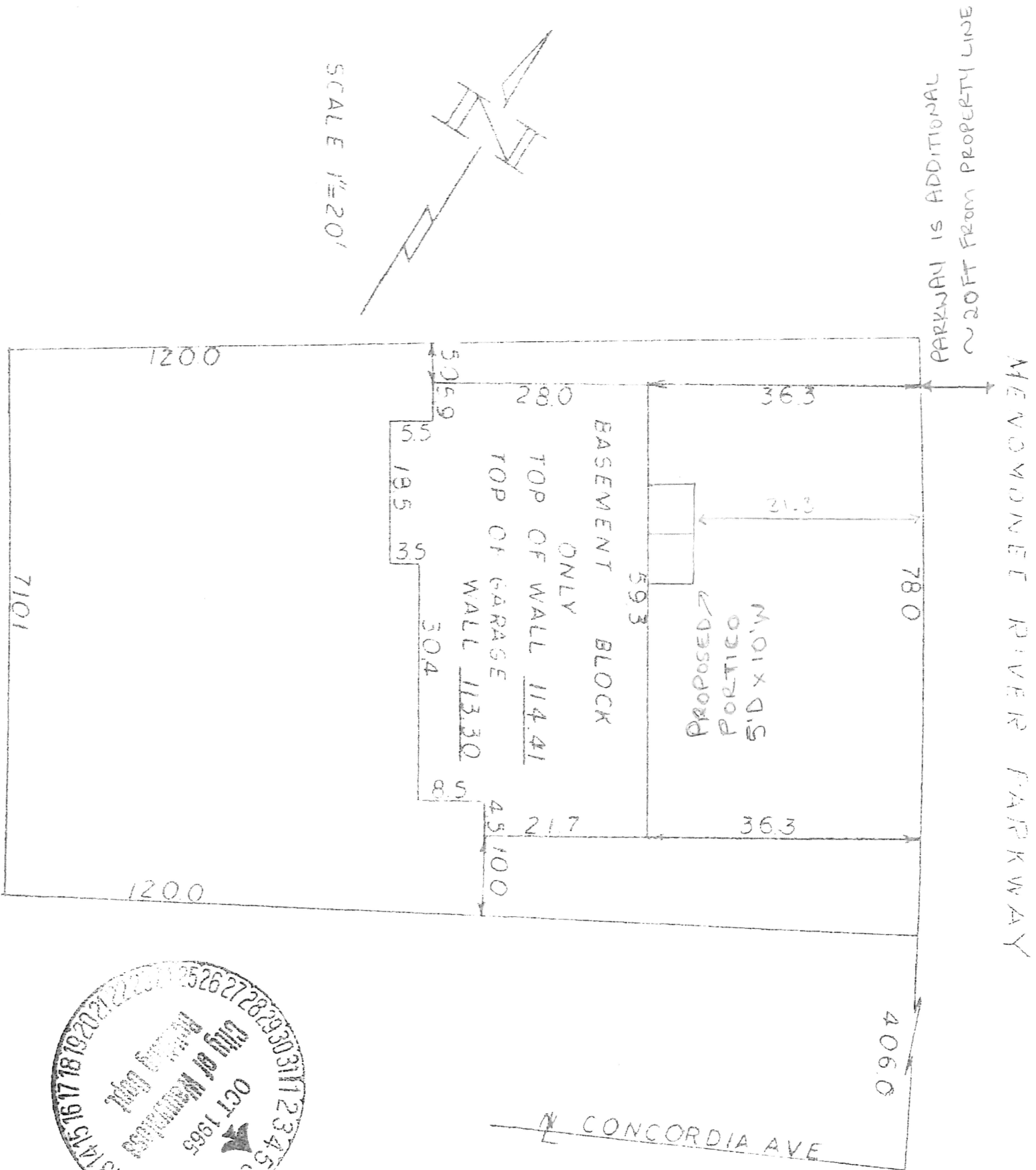
1. Exceptional Circumstances do exist pertaining to this lot.
 - a. This home's setback starts quite a bit from the curb of the street, so the site's front yard setback of 36.3ft is actually less than what it appears to be. Encroaching on the set back by approximately two additional feet from what is allowed by code, will still appear to be quite far from the road and will not impede any activity or passage in front of the home.
2. A variance is necessary for the preservation and enjoyment of the property rights possessed by other properties in the district and vicinity.
 - a. The homeowners of the property are of retirement age, and plan for this to be their final home. They don't park their cars in the garage, so the front entry is their primary entrance into the house. Adding a covered porch will create a safer environment when rain, snow and other inclement weather could make it slippery or unsafe to walk on the front stoop. Having the entry covered will also make for easier snow removal in the winter, especially as they age-in-place. Additionally, the portico will increase curb appeal, as it adds needed dimension to the front facade, and will be attractive to look at for passers-by.
3. The variance will not create a special detriment to adjacent property and will not materially impair or be contrary to the purpose and spirit of this or to the public interests.
 - a. Adding the portico will not create a burden to any neighboring properties. It affects the front entry only, and does not impact the neighboring properties, on either side or behind the property. Also, the portico would create a covered space for any neighbors, or visitors to the home, to wait while the door is answered.
4. The difficulty or hardship was not created by the property owner.
 - a. Five out of six of the homes heading north on Milwaukee River Pkwy have coverings over their front entrances. Adding the portico to this home would be in keeping with the look of other homes in the neighborhood, and contribute to the curb appeal, potentially increasing property values. The homeowners did not create any hardship associated with the addition of their own covered entry.

Site Plan

PLAT OF SURVEY

Lot 15 and the North 1/2 of Lot 16, Block 1, Sheraton Towns, being a Subdivision of part of the Southwest 1/4 of Section 8, Township 7 North, Range 21 East, in the City of Wauwatosa, Milwaukee County, Wisconsin.

OK
wp



1325 NO 72ND ST.
WILSON, NORTH WISCONSIN
WAUWATOSA, WIS.

Surveyed and Drawn by
LAND SURVEYORS

PHONE
258-1380

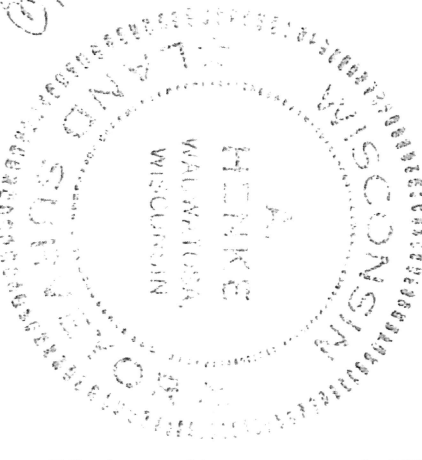
CONVEYED FOR
CARL T. KINGFORD
10520 E. LINCOLN ROAD
WILSON, WISCONSIN 53091

I HEREBY certify that I have surveyed the above described property and that the same is an accurate survey and that the same is a true and correct copy of the original survey and that the same is a true and correct copy of the original survey and that the same is a true and correct copy of the original survey.

Sub No. 205-10765

Date

October 1, 1965





Staff Report

File #: 25-1279

Agenda Date: 8/28/2025

Agenda #: 2.

Request by Keith Stachowiak, KSK Architects, LLC., for variances to maximum height and required materials for an accessory dwelling unit at 1422 N. 69th Street

Submitted by:

Art Piñon

Department:

Development

A. Issue

The applicant is requesting a variances to the required building height and architectural design of a proposed Accessory Dwelling Unit (ADU) at 1422 N 69th Street in the Two-unit Residential (R2) zone.

Building Height: The allowed building height for an accessory dwelling unit is 16 feet (20 feet to match principal building roof pitch) and shall not exceed the height of the main dwelling unit onsite. In this case, the main dwelling unit is a single-story structure measuring 17'1" in height, and the proposed ADU is two-stories and measures 19'9" in height. A variance is proposed since the ADU exceeds the height of the main house.

Architectural Design: City Code requires that the ADU's exterior finish material be the same or visually match in type, size and placement, the exterior finish material of the principal dwelling unit. Currently, the principal dwelling unit's primary material is masonry block, and the applicant is proposing to use composite clapboard siding, which is not on the principal dwelling unit. To ensure architectural compatibility between the structures, the proposed ADU will contain a masonry wainscot with matching roof materials and trim.

Here is a link to the required development standards for ADUs:

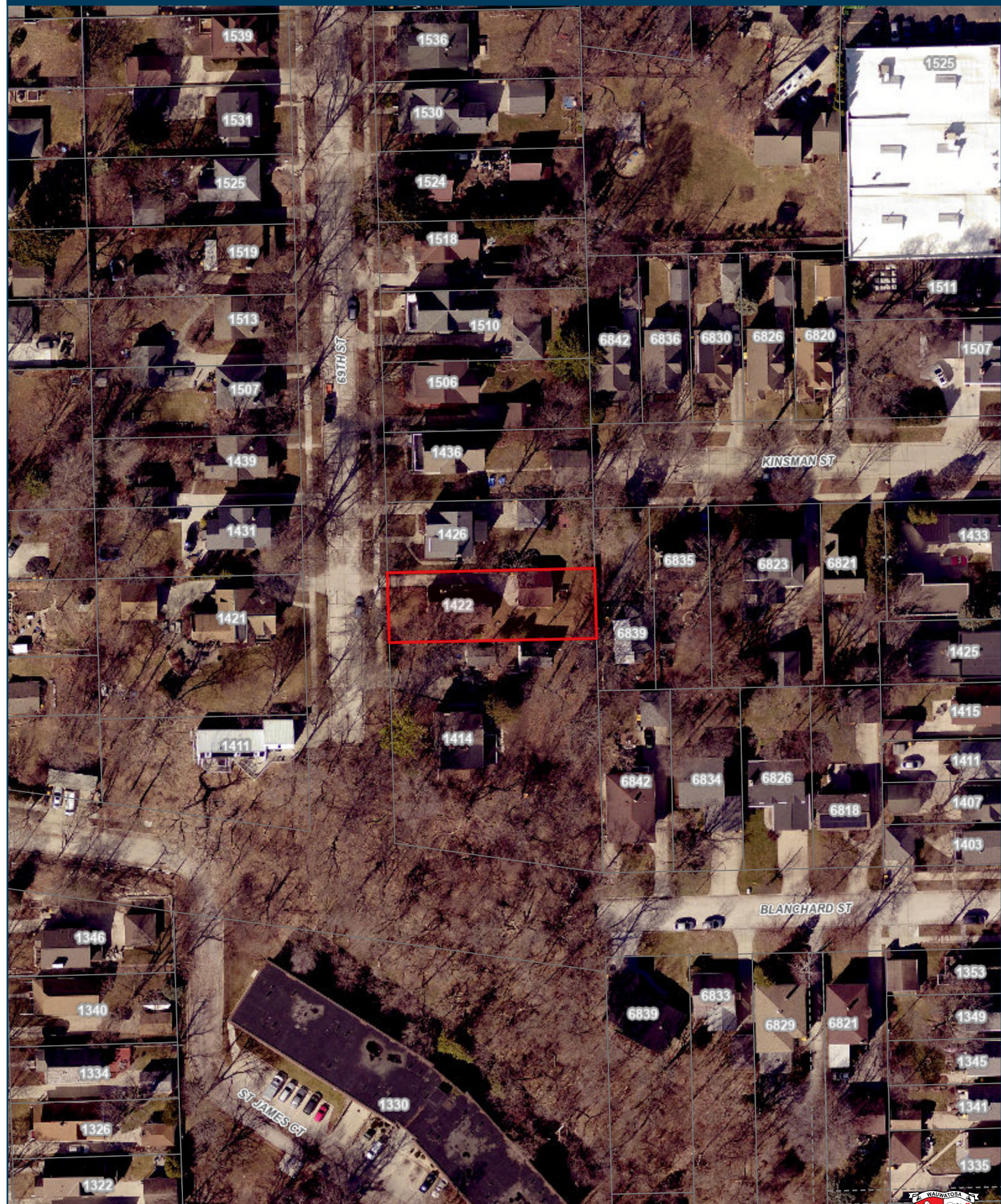
[https://wauwatosa.municipalcodeonline.com/book?type=ordinances#name=24.10.075_Accessory_Dwelling_Units_\(ADUs\) <https://wauwatosa.municipalcodeonline.com/book?type=ordinances>](https://wauwatosa.municipalcodeonline.com/book?type=ordinances#name=24.10.075_Accessory_Dwelling_Units_(ADUs)<https://wauwatosa.municipalcodeonline.com/book?type=ordinances>)

Attached to this report are project plans & renderings, site survey, letter addressing the four variance findings in accordance with WMC 24.16.060.H, and site aerial.

B. Recommendation

The standard four criteria should be applied to make the determination for the requested variances:

1. Exceptional circumstances do exist pertaining to this lot.
2. That a variance is necessary for the preservation and enjoyment of the property rights possessed by other properties in the district and vicinity.
3. That the variance will not create special detriment to adjacent property and will not materially impair or be contrary to the purpose and spirit of this or to the public interests.
4. That the difficulty or hardship was not created by the property owner.



1422 N. 69th Street

City of
Wauwatosa

7725 N. NORTH AVE | WAUWATOSA WI, 53213



7/24/2025



July 31, 2025

City of Wauwatosa
Planning Division
7725 W. North Ave.
Wauwatosa, WI 53213

Zoning Variance Application for Proposed Accessory Dwelling Unit (ADU)

Overview:

This project involves the development of a detached ADU at **1422 N. 69th Street**. The ADU will be built in place of the current garage structure located behind the existing home on the property. The ADU will enhance the residential property with additional living space while maintaining the integrity and character of the existing home and the surrounding neighborhood. Additionally, this project will benefit the broader community by addressing the city's housing deficiency, adding a much-needed unit to the local housing stock.

Existing Conditions:

The current property contains a single-family home with an existing garage located at the rear of the lot. The home has a gross square footage (GSF) of 965 square feet. The lot size is 0.1700 acres (7,400 square feet).

Proposed Structure:

The new ADU will consist of a 1-bedroom, 1-bathroom living space located above a 2-car garage. The total footprint of the accessory structure (including the garage) will be 874 square feet, which represents 11.8% of the total lot area. The ADU itself will encompass 745 square feet of livable space, not including the garage area.

Proposed Variance:

We are submitting this variance application on two counts:

- A) Requesting to exceed the height restriction set by the existing one-story primary residence – note: the planned ADU still below the max ADU height of 20'-0" set by the ordinance.
- B) Requesting to use exterior cladding materials (composite clapboard siding) which are not on the current primary residence.

The proposed variances meet the (4) stated criteria as described below:

1. Exceptional Circumstances / Existing Conditions

The existing home at 1422 N. 69th Street is the only single-story home on the entire block of 69th St, and also the only home with full masonry on this block. These unique conditions make the development of an ADU a hardship to meet the Ordinances explicitly in both height and materials.

2. Variance Necessary for the Development of the ADU

- A) The requested variance for height is necessary based on the current restrictions on lot coverage – in order to be under the 12% for accessory buildings while maintaining a garage, the ADU will need to be 2-stories.

The existing home is 17'-1" from primary grade to the ridgeline of its roof, with a taller chimney structure. To accommodate the proposed ADU above a garage while meeting all structural and architectural standards, the building must be constructed at a height of 19'-9" from grade.

- B) While feasible for the original construction in 1938, the cost of a full masonry veneer for a two-story ADU would be prohibitively expensive today. As a tradeoff, we are proposing a matching masonry wainscot as described below.

3. Architectural Design in Keeping with Existing Home and not detrimental to surrounding neighbors

The following design considerations ensure continuity with the primary residence and are in keeping with the spirit of the surrounding neighborhood:

1. Roof Slope: The existing home has an 8/12 roof slope, which we will match with the ADU to maintain a consistent roofline and overall aesthetic.
2. Exterior Materials: The primary residence is clad in masonry veneer, and we will use composite clapboard siding in a complementary color, with a wainscot of masonry veneer to match the existing home's façade.
3. Additional Architectural Features: The fascia, trim, and roof shingles of the ADU will be designed to match those of the existing house, maintaining the continuity of style, form, and color throughout the property.

4. Hardship Not Created by the Property Owner

4. The unique hardship is not a result of actions taken by the property owner. The home, built in 1938, is a single-story structure with a masonry veneer up to rooflines on all sides. The homeowner has made concerted efforts to maintain the property's original character and integrity.

Conclusion

Through these design elements, the ADU will align with the aesthetic character of the home and the neighborhood, ensuring that it complements and enhances, rather than detracts from, the existing architecture.

Thank you for your consideration of this application.



Keith Stachowiak, Jr.

Owner, KSK Architects

keith@ksk-architects.com

M: 414-313-3065

GENERAL NOTES:

•

MAX FLOOR AREA OF AN ADU MAY NOT EXCEED THE GROSS FLOOR AREA OF THE MAIN HOUSE (EXCLUDING ANY ATTACHED GARAGE) OR NINE HUNDRED FEET, WHICHEVER IS LESS. (**EXISTING HOUSE IS 965 GSF. NEW ADU IS 745 GSF - EXCLUDING GARAGE**)

•

MAX BUILDING FOOTPRINT OF AN ATTACHED ADU PLUS ANY OTHER ACCESSORY STRUCTURES MAY NOT EXCEED 12% OF THE FOOTAGE OF THE LOT. (**ACCESSORY STRUCTURE FOOTPRINT: 874 / LOT SIZE: 7,400 SF = 11.8%**)

•

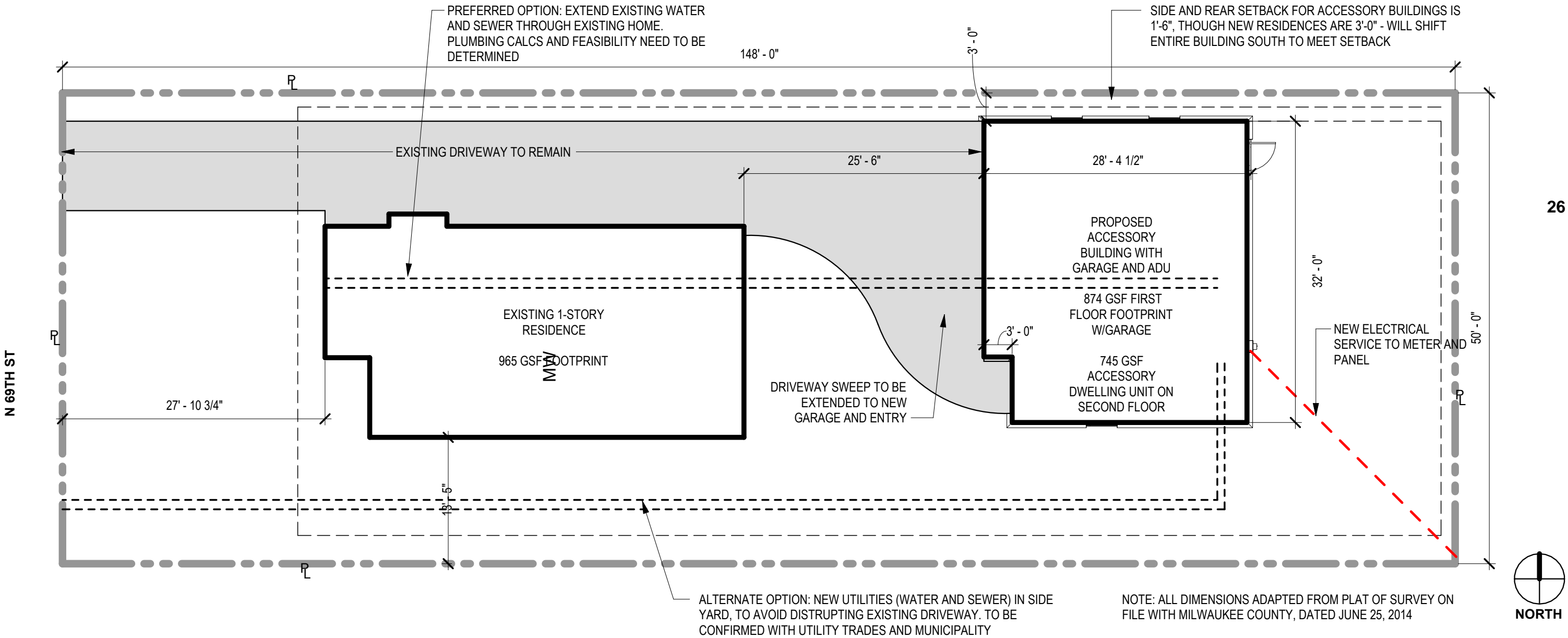
MAX BUILDING FOOTPRINT OF ALL STRUCTURES CANNOT EXCEED 37% OF THE SQUARE FOOTAGE OF THE LOT. (**TOTAL FOOTPRINT: 1,839 SF / LOT SIZE: 7,400 SF = 25%**)

•

SIDE AND REAR SETBACK FOR ACCESSORY BUILDINGS IS 1'-6", NEW RESIDENCES REQUIRE 3'-0" SETBACK (**TO BE PROVIDED**)

•

MAX HEIGHT OF DETACHED ADU IS 20 FEET OR THE HEIGHT OF THE MAIN HOUSE, WHICHEVER IS LESS. (**REFER TO EXISTING AND NEW ELEVATIONS. NEW ADU IS PLANNED FOR 19'-9" IN HEIGHT - EXISTING PRIMARY RESIDENCE IS 17'-1" FROM PRIMARY GRADE TO RIDGELINE. PROJECT WILL BE SUBMITTED TO BOZA FOR VARIANCE**)



1 SITE PLAN
3/32" = 1'-0"



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KEITH@KSK-ARCHITECTS.COM
608 E BURLEIGH ST | MILWAUKEE WI 53212

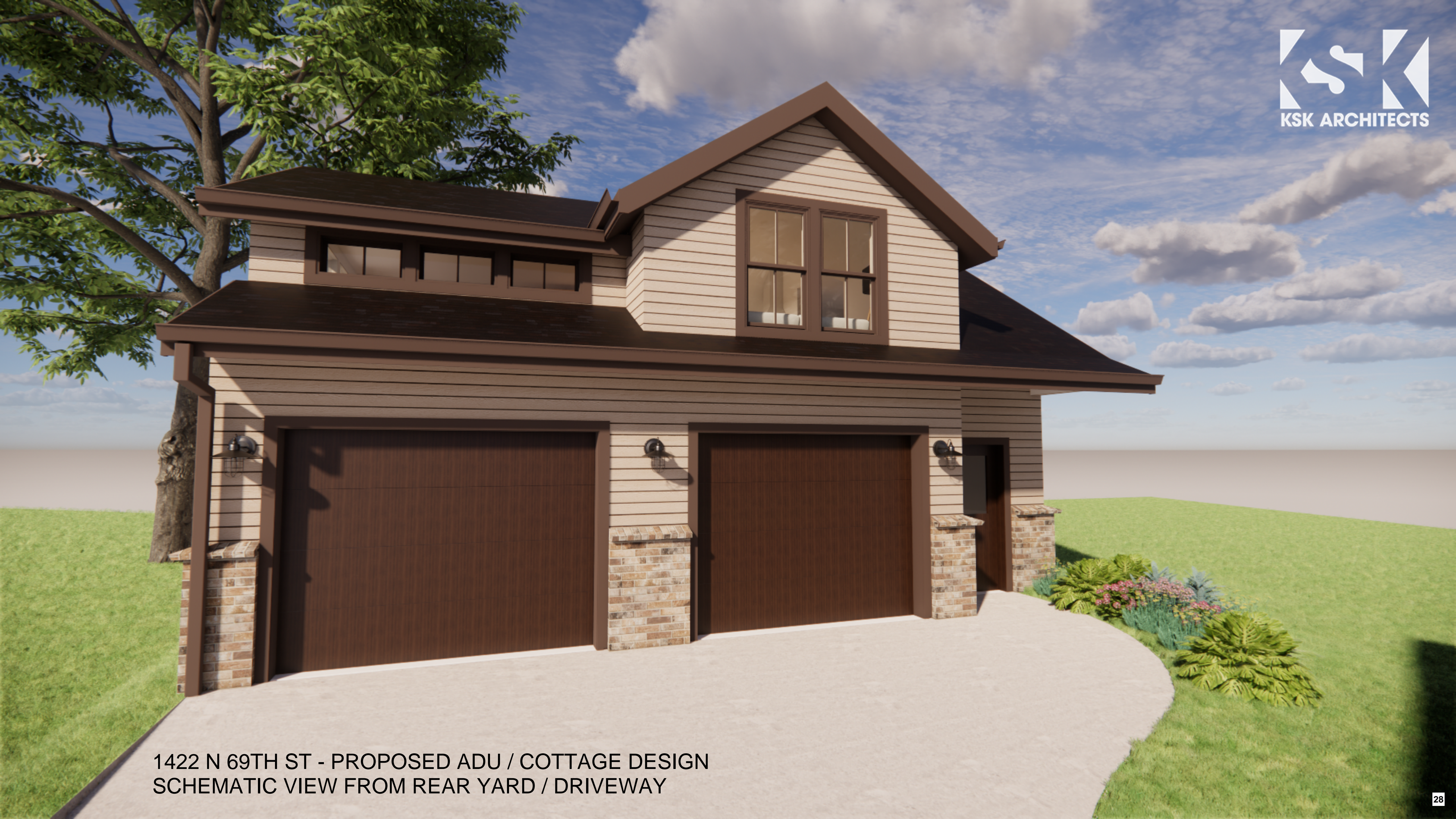
FREDERICK COTTAGE / ADU
1422 N 69TH ST
WAUWATOSA, WI 53213

PRELIMINARY DRAWINGS
JULY 25, 2025

COTTAGE - ARCHITECTURAL SITE PLAN
A001

NOT FOR CONSTRUCTION

1422 N 69TH ST - PROPOSED ADU / COTTAGE DESIGN
SCHEMATIC VIEW FROM DRIVEWAY



1422 N 69TH ST - PROPOSED ADU / COTTAGE DESIGN
SCHEMATIC VIEW FROM REAR YARD / DRIVEWAY



1422 N 69TH ST - PROPOSED ADU / COTTAGE DESIGN
SCHEMATIC VIEW PROPERTY TO NORTH



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FREDERICK COTTAGE / ADU

1422 N 69TH ST
WAUWATOSA, WI 53213

KSK PROJECT # 24K-08

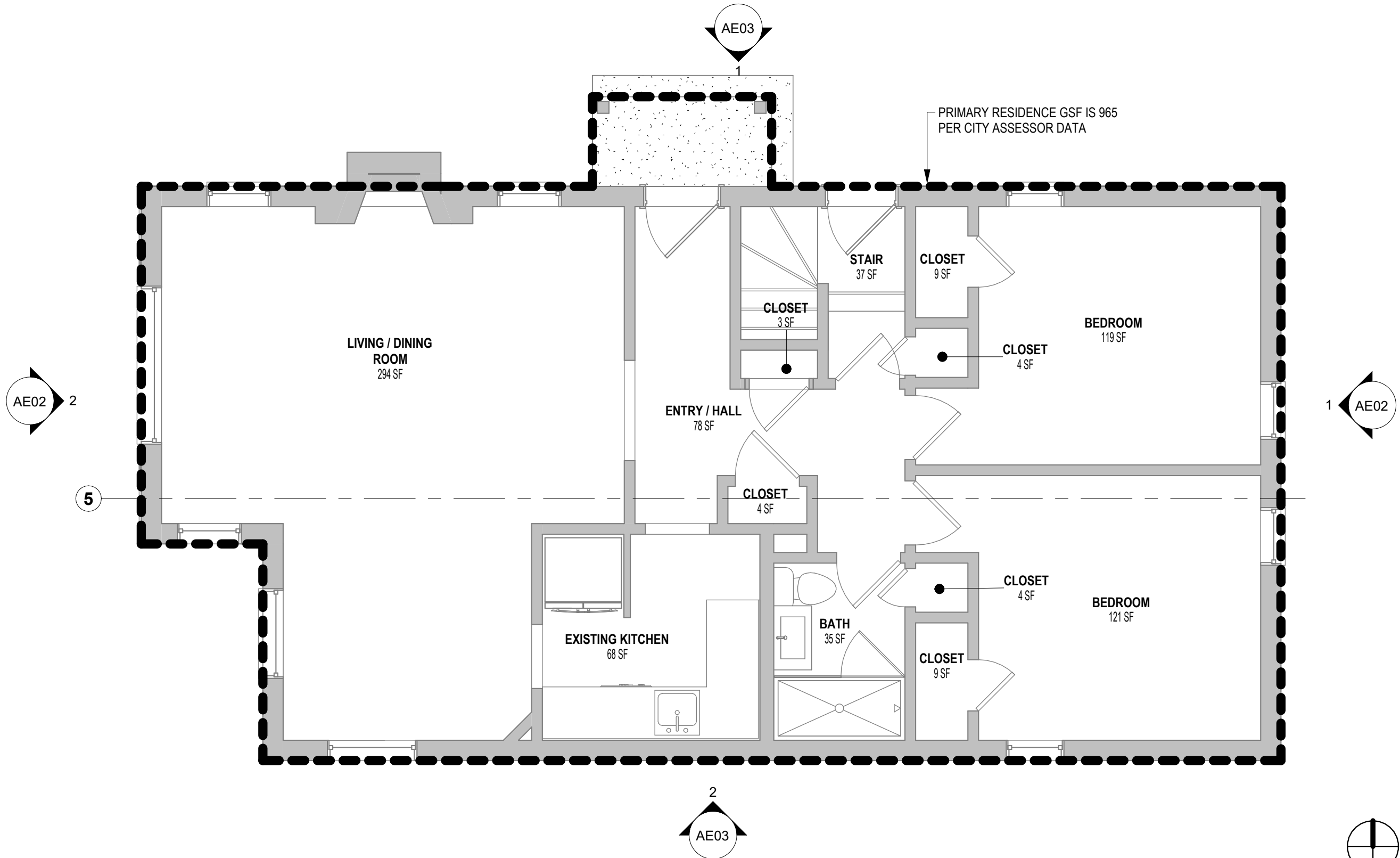
PRELIMINARY DRAWINGS
JULY 25, 2025

NOT FOR CONSTRUCTION

SHEET INDEX	
G001	COVER SHEET AND INDEX
AE01	EXISTING HOME - FIRST FLOOR PLAN
AE02	EXISTING HOME - EXT ELEVATIONS
AE03	EXISTING HOME - EXT ELEVATIONS
A001	COTTAGE - ARCHITECTURAL SITE PLAN
A100	COTTAGE - FOUNDATION PLAN
A101	COTTAGE - GARAGE FLOOR PLAN
A102	COTTAGE - SECOND FLOOR PLAN
A103	COTTAGE - ROOF PLAN
A201	COTTAGE - FIRST FLOOR RCP
A202	COTTAGE - SECOND FLOOR RCP

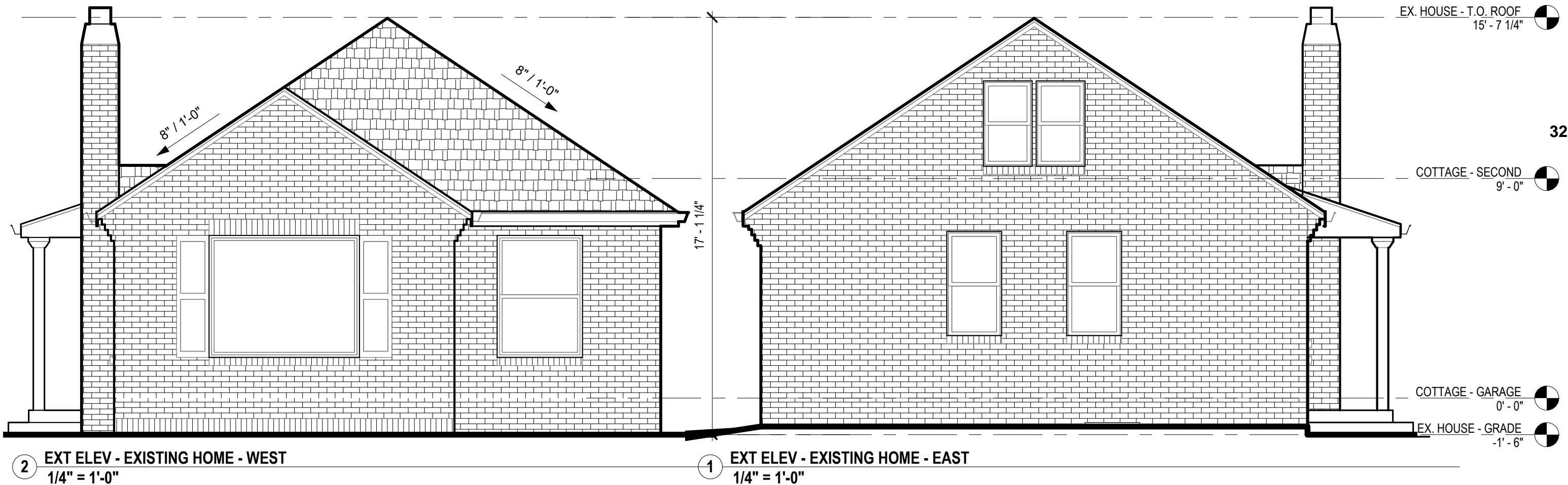
SHEET INDEX	
A301	COTTAGE - EAST ELEVATION
A302	COTTAGE - WEST ELEVATION
A303	COTTAGE - NORTH ELEVATION
A304	COTTAGE - SOUTH ELEVATION
A401	COTTAGE - BUILDING SECTIONS
A402	COTTAGE - BUILDING SECTIONS
A403	COTTAGE - BUILDING SECTIONS
A404	COTTAGE - BUILDING SECTIONS
A501	COTTAGE - ENLARGED PLAN AND INT ELEVS
A701	COTTAGE - NARRATIVE SPECIFICATIONS
SHEET COUNT: 21	

PROPERTY INFORMATION
OWNER: JOSEPH B FREDERICK PROPERTY NUMBER: 3700126000 ADDRESS: 1422 N 69TH ST,WAUWATOSA WI 53213 LOT AREA: 0.1700 ACRES / 7,400 SF ZONING: RES (R2) OCCUPANCY: SINGLE FAMILY YEAR BUILT: 1938

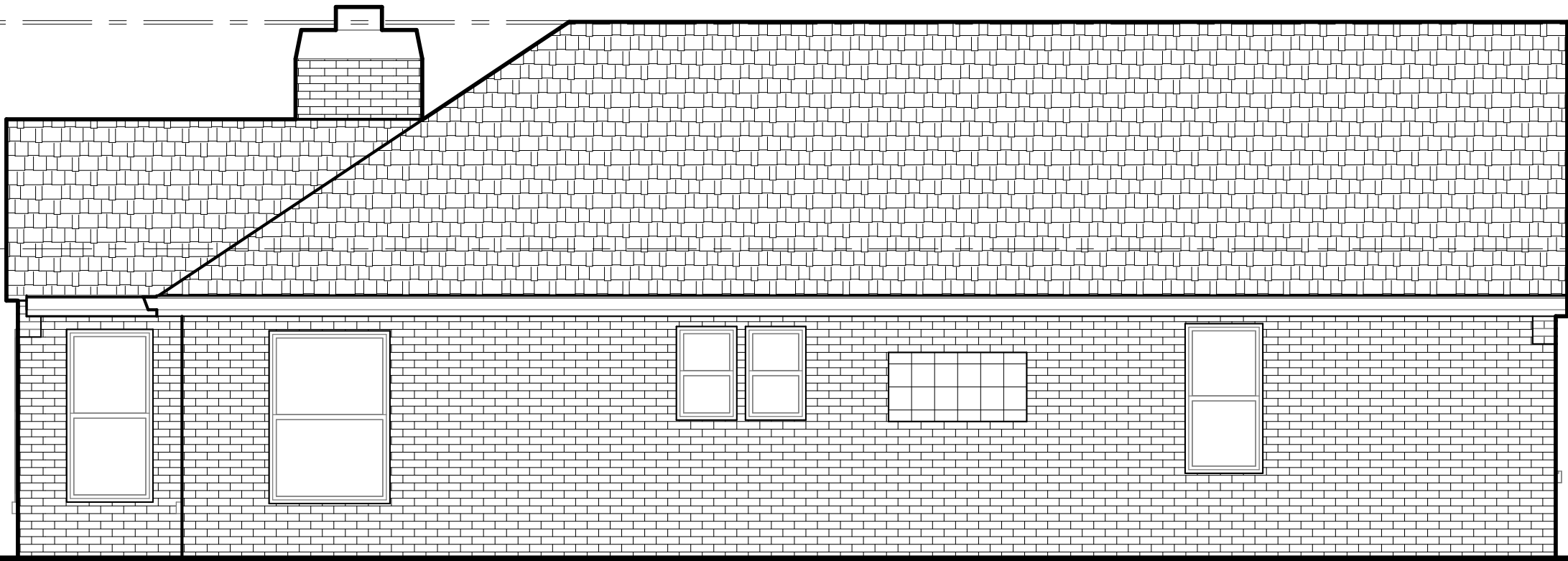


31

1 EXISTING HOME - FIRST FLOOR PLAN
1/4" = 1'-0"



NOT FOR CONSTRUCTION



EX. HOUSE - T.O. ROOF
15' - 7 1/4"

COTTAGE - SECOND
9' - 0"

COTTAGE - GARAGE
0' - 0"

2 EXT ELEV - EXISTING HOME - SOUTH
1/4" = 1'-0"



EX. HOUSE - T.O. ROOF
15' - 7 1/4"

COTTAGE - SECOND
9' - 0"

COTTAGE - GARAGE
0' - 0"

EX. HOUSE - GRADE
-1' - 6"

17' - 1 1/4"

1 EXT ELEV - EXISTING HOME - NORTH
1/4" = 1'-0"

GENERAL NOTES:

•

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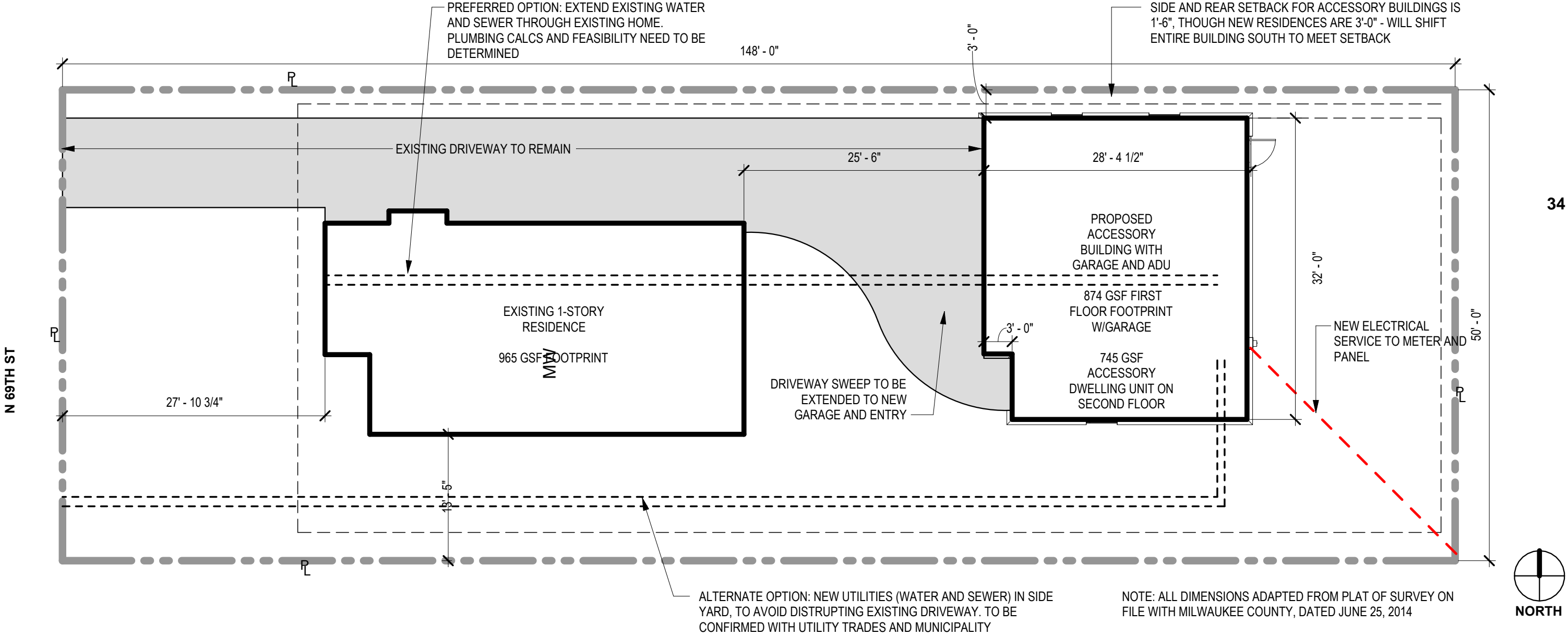
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1 SITE PLAN
3/32" = 1'-0"



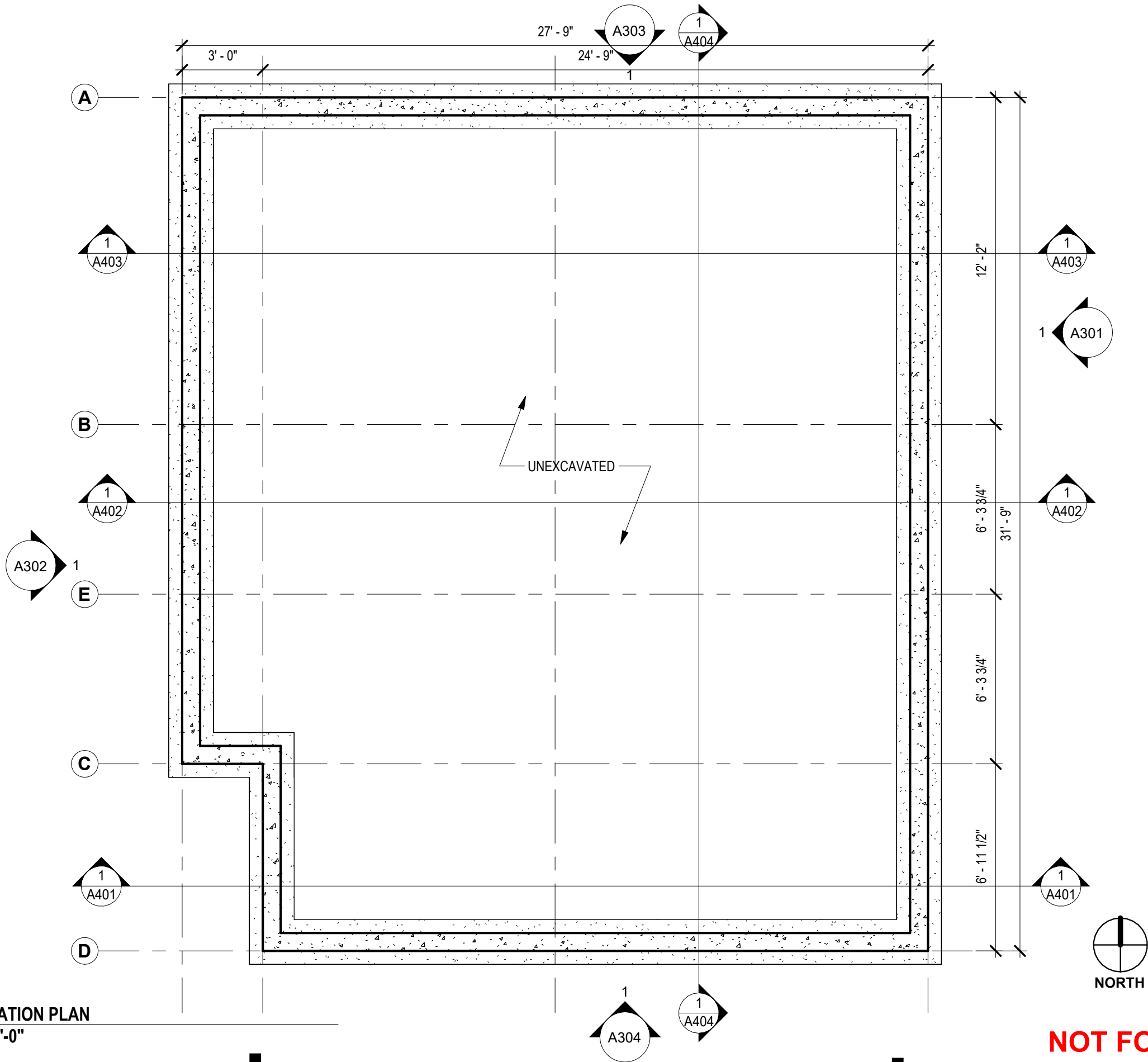
KEITH STACHOWIAK, AIA | M: 414 313 3065
KEITH@KSK-ARCHITECTS.COM
608 E BURLEIGH ST | MILWAUKEE WI 53212

FREDERICK COTTAGE / ADU
1422 N 69TH ST
WAUWATOSA, WI 53213

PRELIMINARY DRAWINGS
JULY 25, 2025

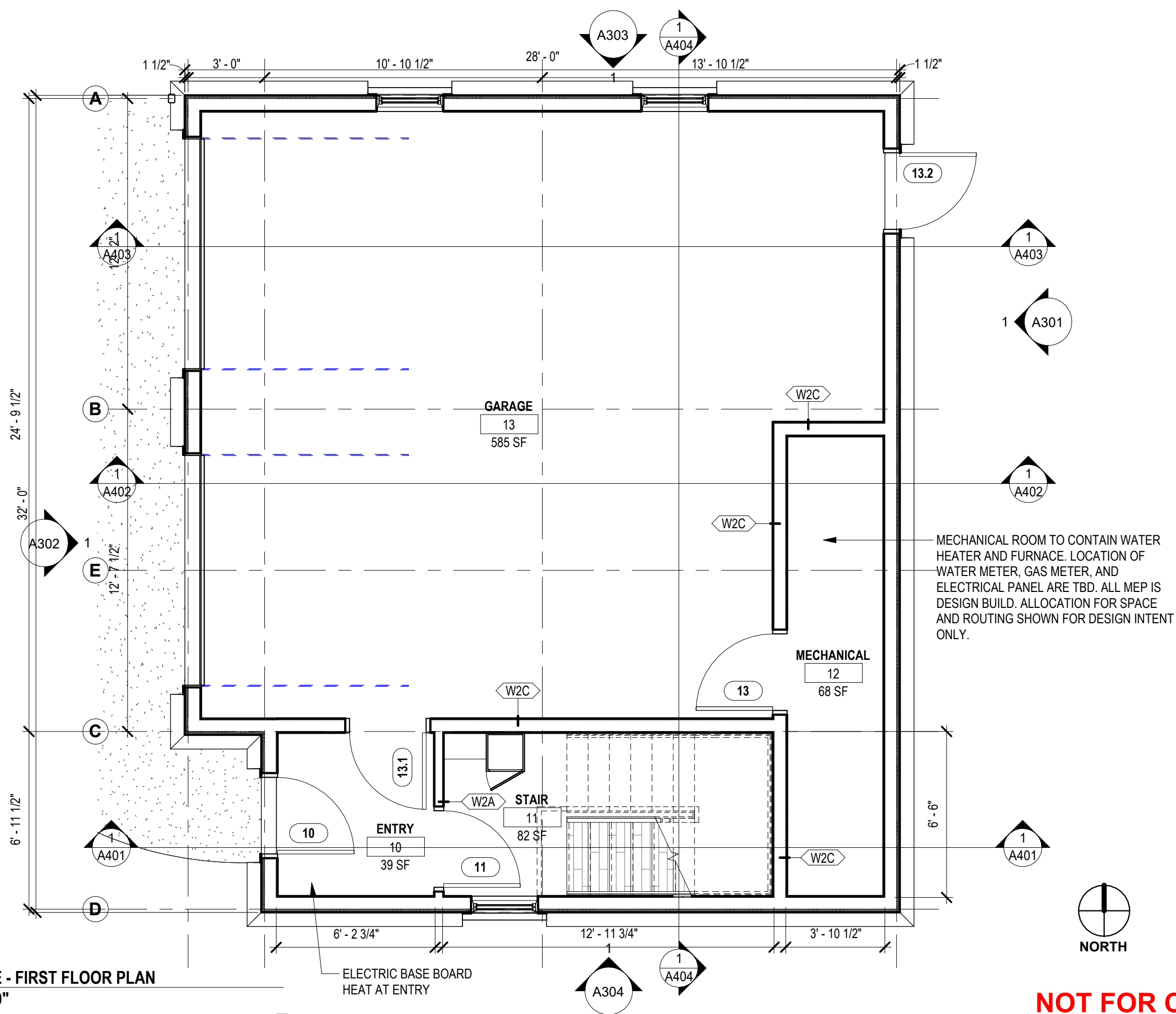
COTTAGE - ARCHITECTURAL SITE PLAN
A001

NOT FOR CONSTRUCTION



1 FOUNDATION PLAN
1/4" = 1'-0"

NOT FOR CONSTRUCTION



1 COTTAGE - FIRST FLOOR PLAN
1/4" = 1'-0"



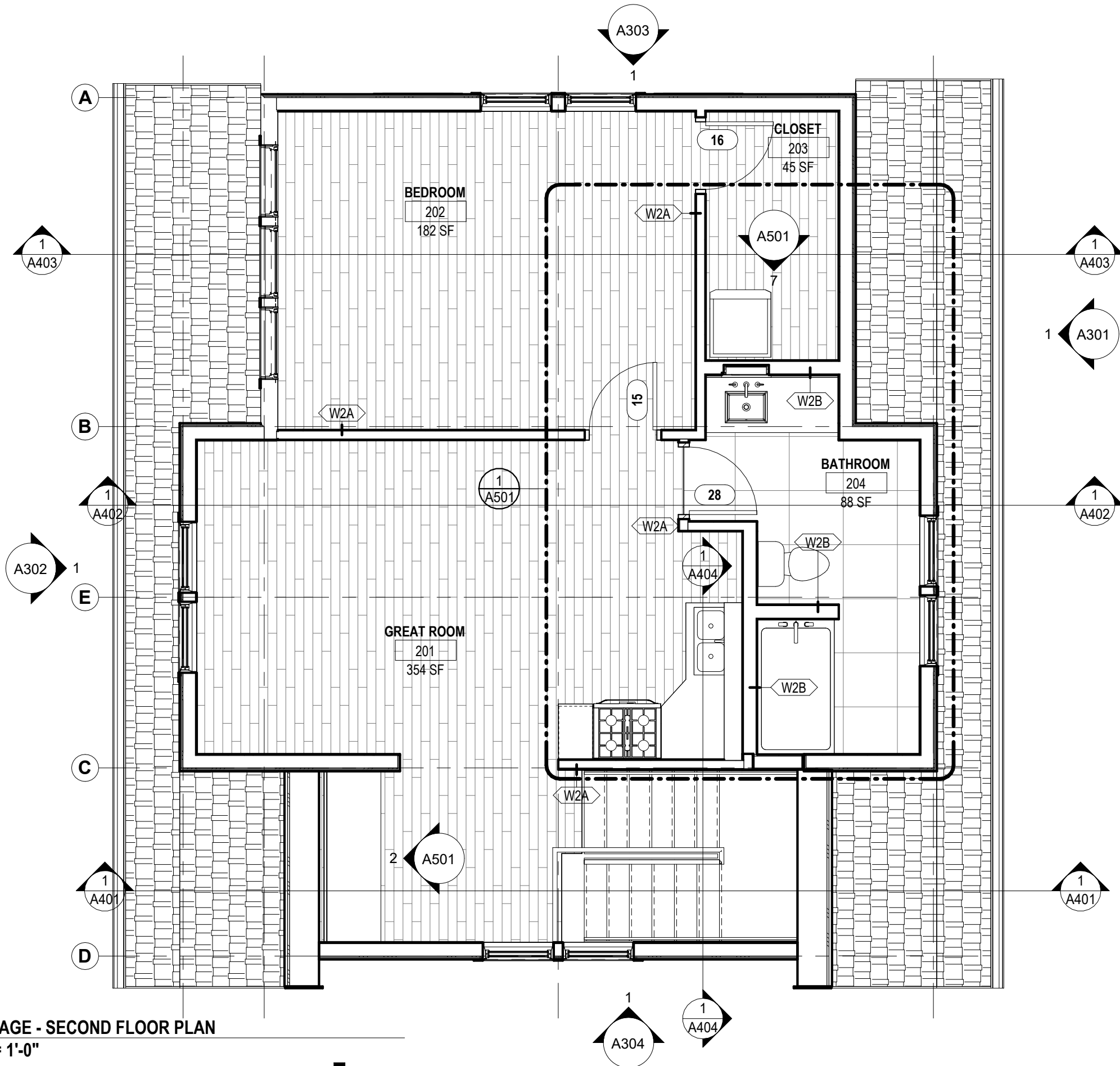
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PRELIMINARY DRAWINGS
JULY 25, 2025

COTTAGE - GARAGE FLOOR PLAN
A101

NOT FOR CONSTRUCTION



LIGHT AND VENTILATION

THE FOLLOWING CALCULATIONS ARE PROVIDED FOR THE SECOND FLOOR BEDROOM

NATURAL LIGHT - PER SPS 321.05 (1)
NEW BEDROOM: 182 NSF
8% OF BEDROOM NSF: 14.56 SF REQUIRED
22.85 SF OF CLEAR GLAZING AREA IS PROVIDED

VENTILATION - PER SPS 321.05 (2)
BALANCED MECHANICAL VENTILATION IS TO BE PROVIDED TO ALL OCCUPIED SPACES.

NEW BEDROOM: 182 NSF
3.5% OF BEDROOM NSF: 6.37 SF OPEN WINDOW AREA IS REQUIRED.
10.21 SF OF OPEN AREA PROVIDED BY (2) NORTH FACING WINDOWS

1 COTTAGE - SECOND FLOOR PLAN
1/4" = 1'-0"

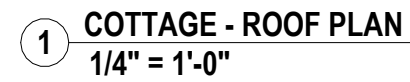


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PRELIMINARY DRAWINGS
JULY 25, 2025

COTTAGE - SECOND FLOOR PLAN
A102



FREDERICK COTTAGE / ADU
1422 N 69TH ST
WAUWATOSA, WI 53213

COTTAGE - ROOF PLAN
A103

NOT FOR CONSTRUCTION



1 COTTAGE - FIRST FLOOR RCP
1/4" = 1'-0"

NOT FOR CONSTRUCTION

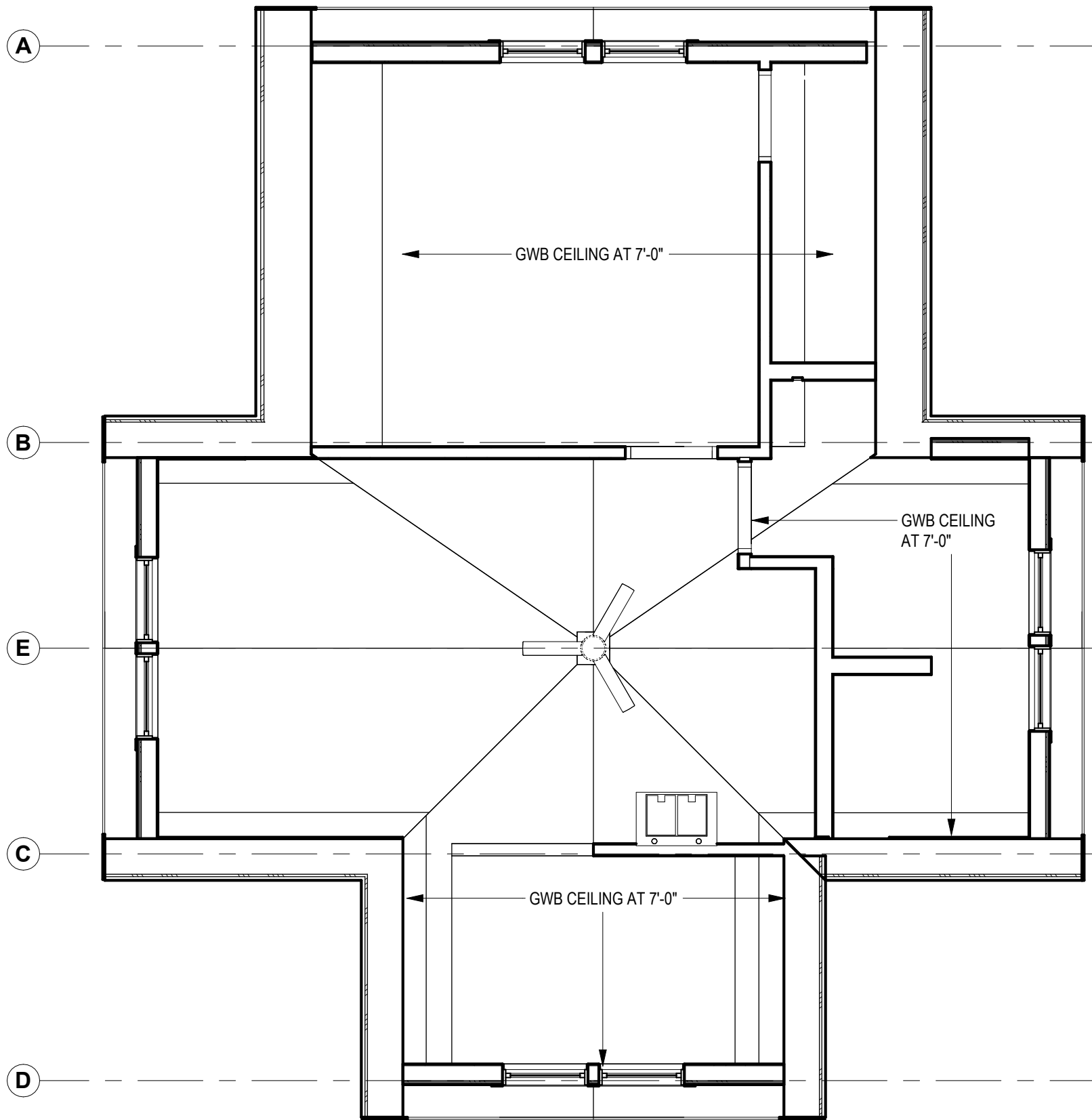
PRELIMINARY DRAWINGS
JULY 25, 2025

COTTAGE - FIRST FLOOR RCP

A201

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608 E BURLEIGH ST | MILWAUKEE WI 53212

FREDERICK COTTAGE / ADU
1422 N 69TH ST
WAUWATOSA, WI 53213



1 COTTAGE - SECOND FLOOR RCP
1/4" = 1'-0"



NOT FOR CONSTRUCTION

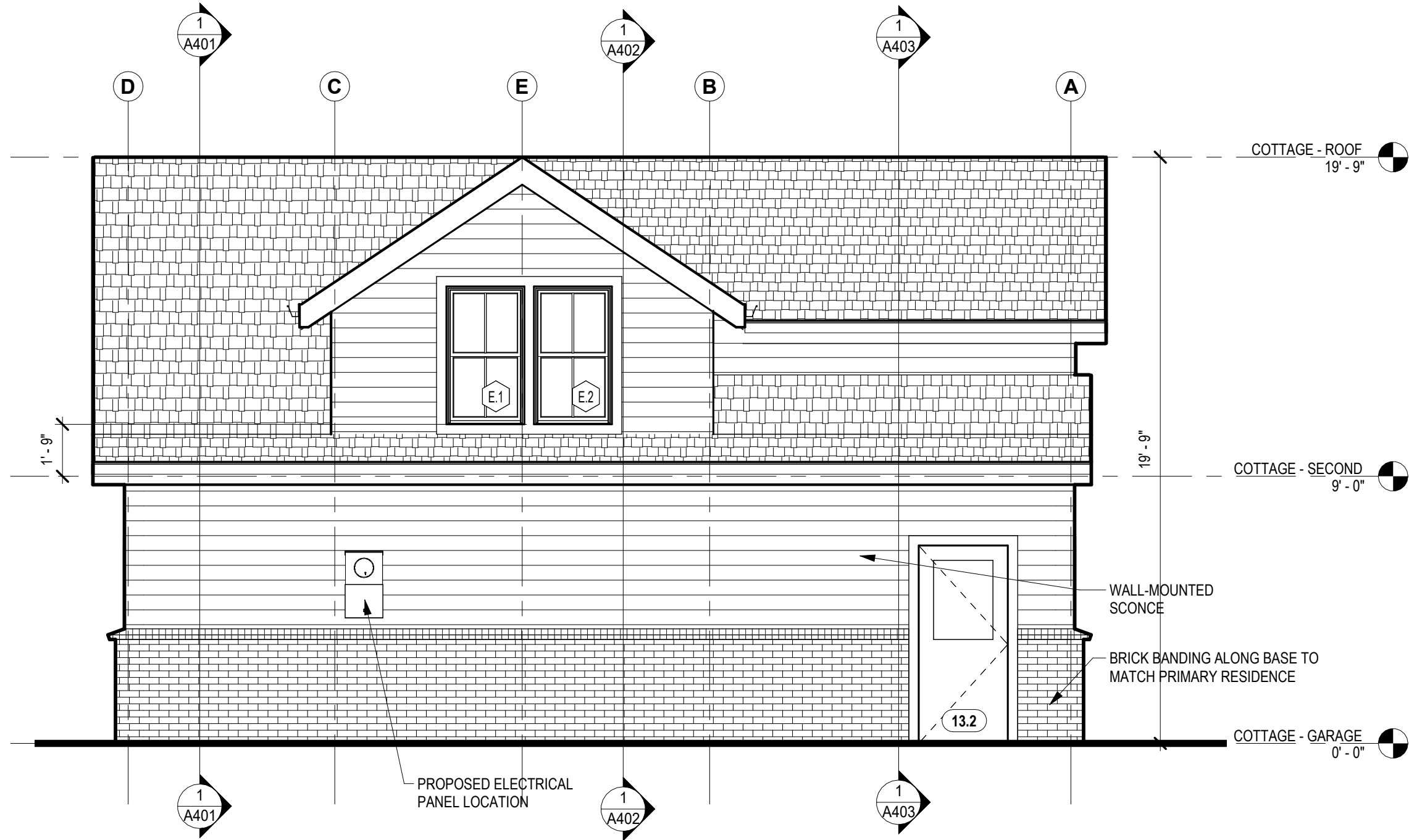


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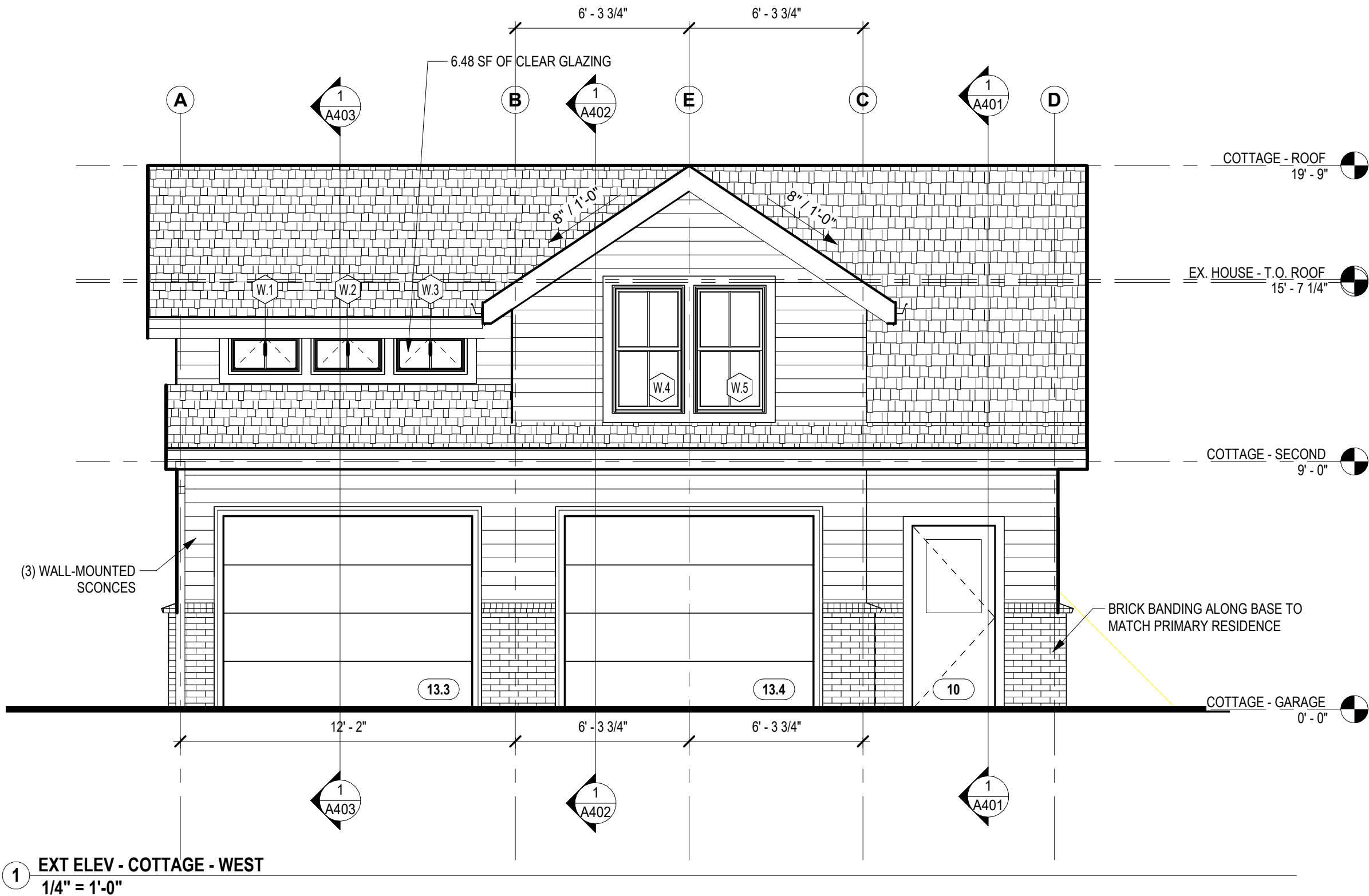
FREDERICK COTTAGE / ADU
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PRELIMINARY DRAWINGS
JULY 25, 2025

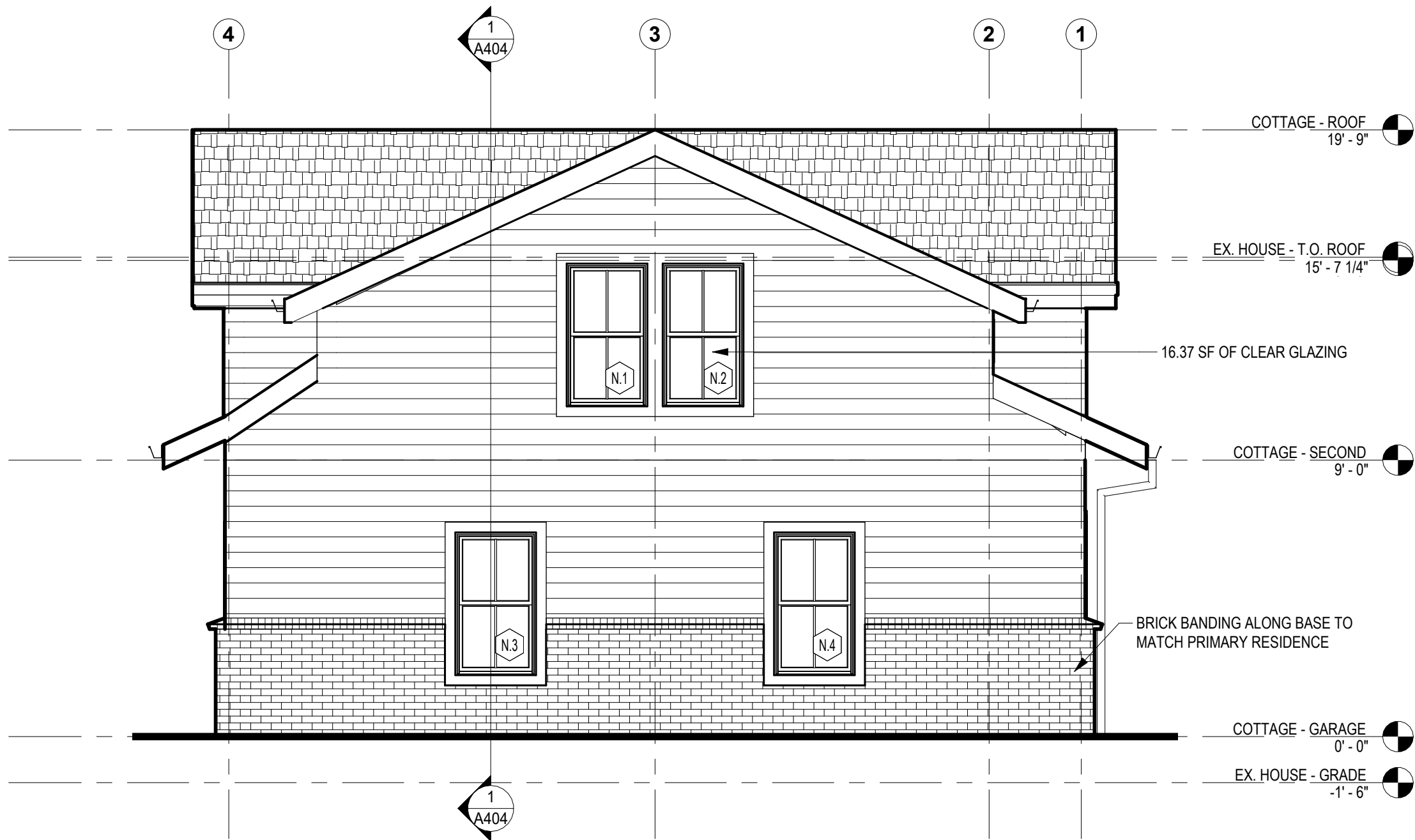
COTTAGE - SECOND FLOOR RCP
A202



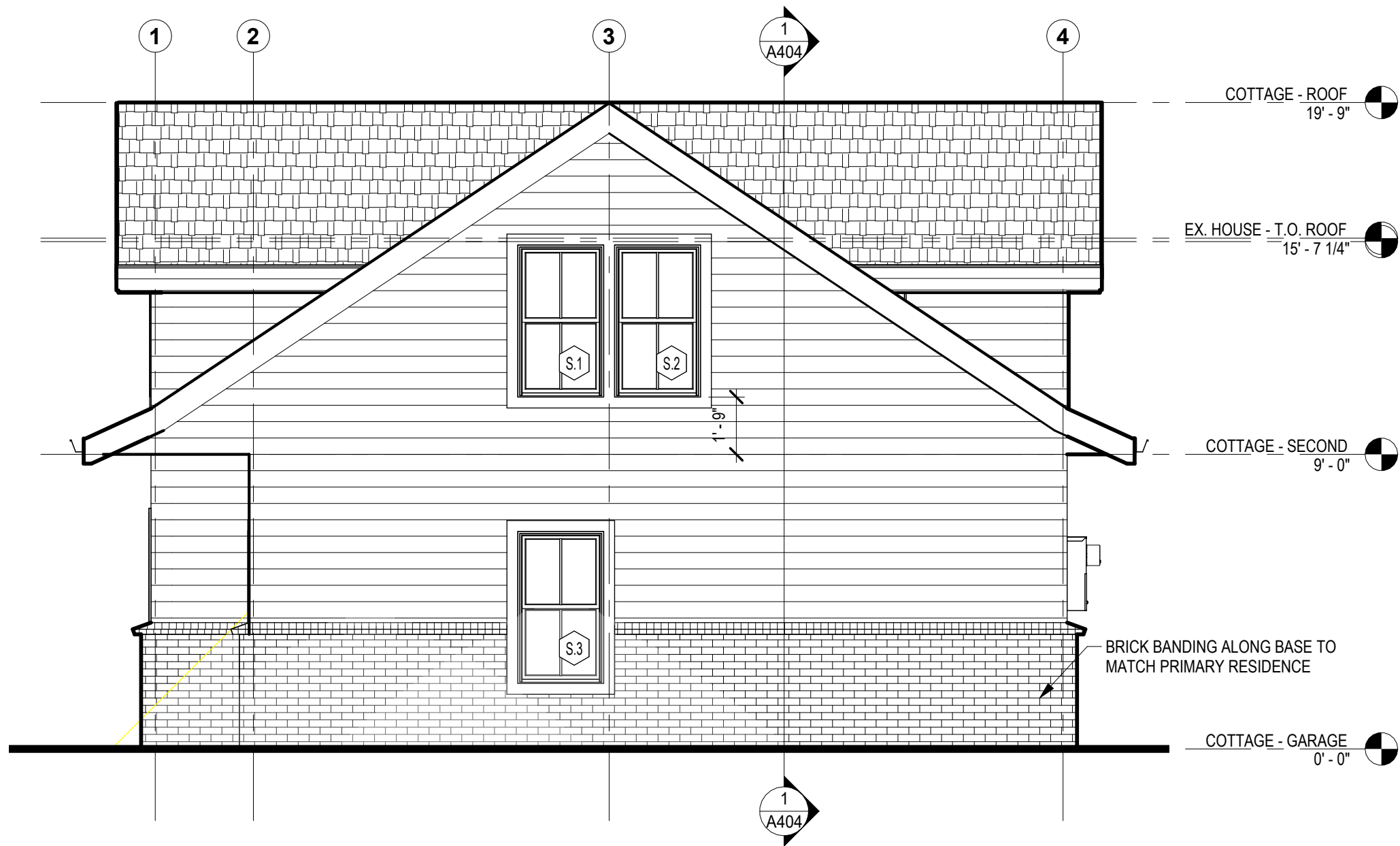
GENERAL NOTES	
1.	PER MUNICIPAL CODE 24.02.030 LOT AND BUILDING REGULATIONS, ACCESSORY DWELLING HEIGHT IS LIMITED TO 16'-0". EXCEPTION 7 STATES "ACCESSORY BUILDING HEIGHTS OF UP TO 20 FEET MAY BE APPROVED BY THE ZONING ADMINISTRATOR IF THE ADMINISTRATOR DETERMINES THAT THE ADDITIONAL HEIGHT IS NECESSARY TO ACCOMMODATE A ROOF PITCH CONSISTENT WITH THE ARCHITECTURAL STYLE OF THE PRINCIPAL BUILDING"
2.	REFER TO NARRATIVE ON SHEET A701 FOR DESCRIPTIONS OF EXTERIOR CONSTRUCTION AND MATERIALS.



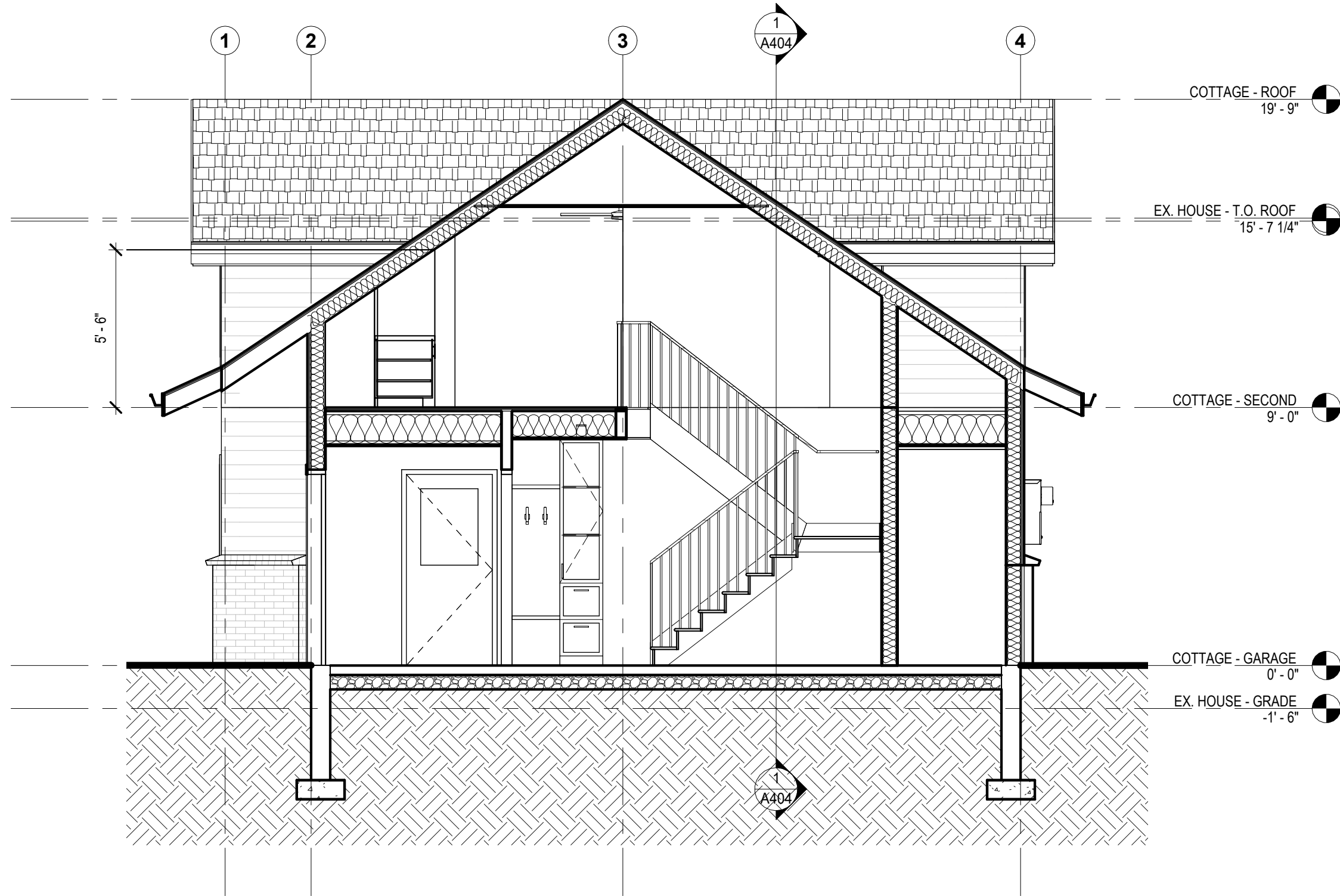
1 EXT ELEV - COTTAGE - WEST
1/4" = 1'-0"



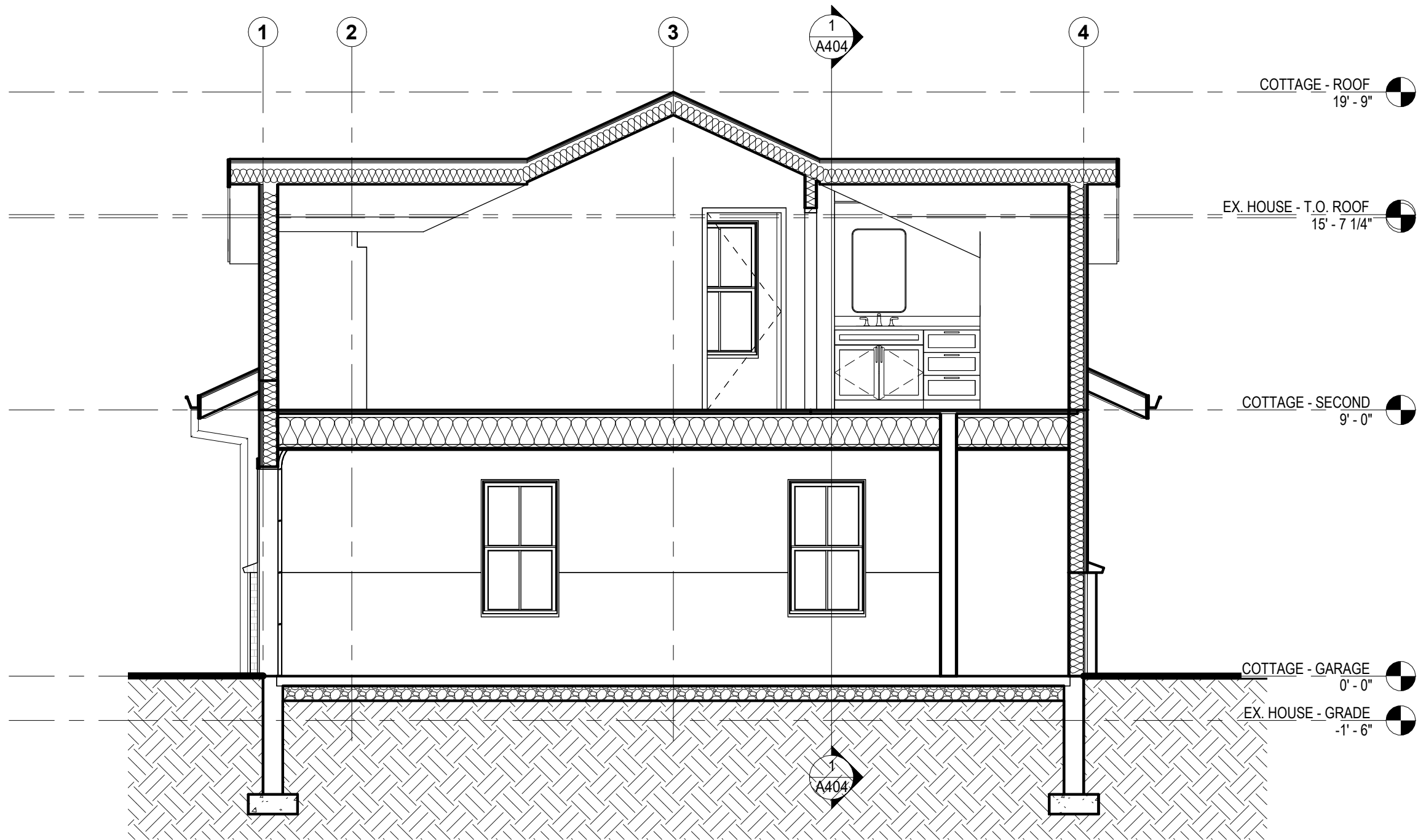
1 EXT ELEV - COTTAGE - NORTH
1/4" = 1'-0"



1 EXT ELEV - COTTAGE - SOUTH
1/4" = 1'-0"



1 E-W SECTION 01
1/4" = 1'-0"



1 E-W SECTION 02
1/4" = 1'-0"

NOT FOR CONSTRUCTION

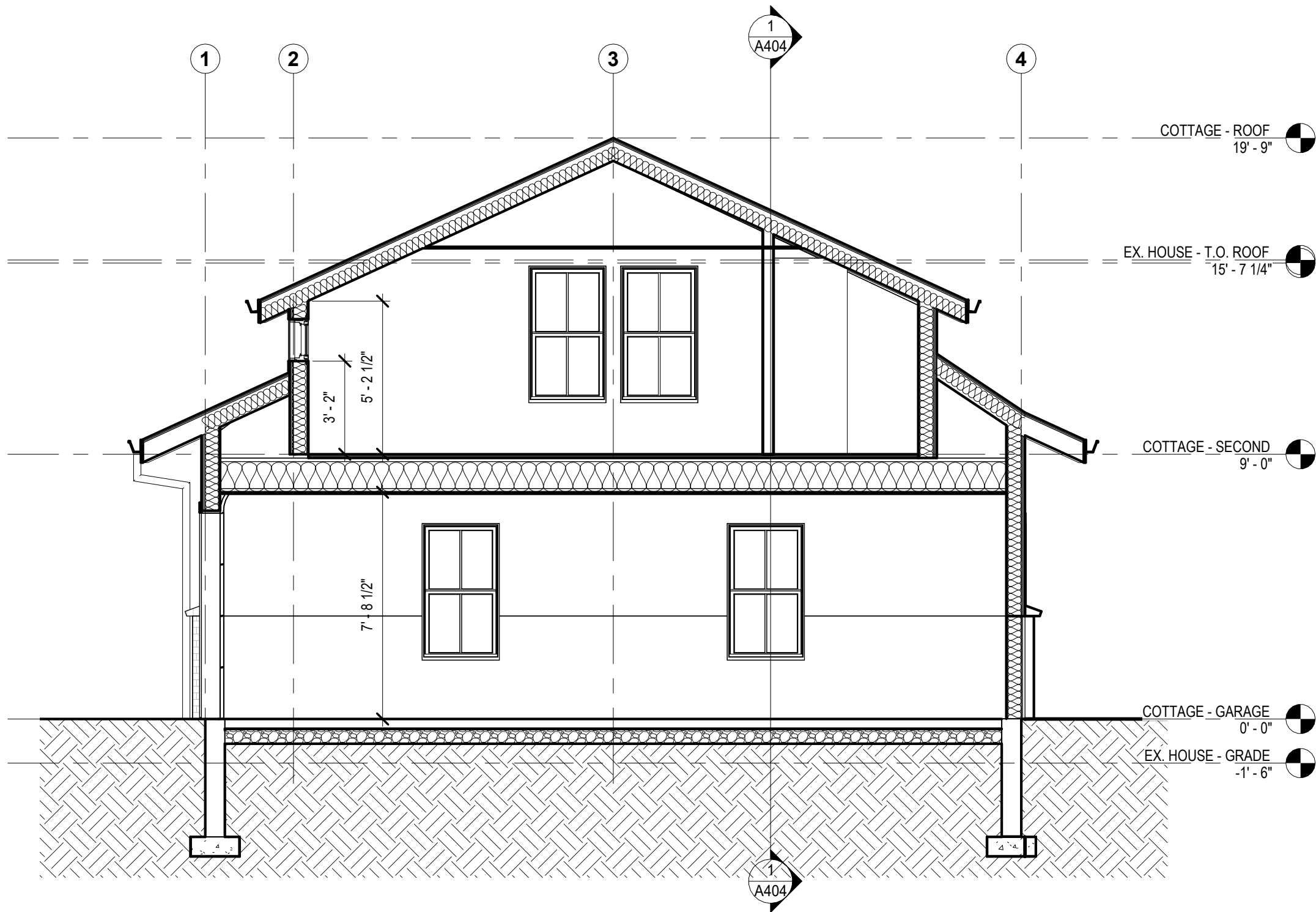


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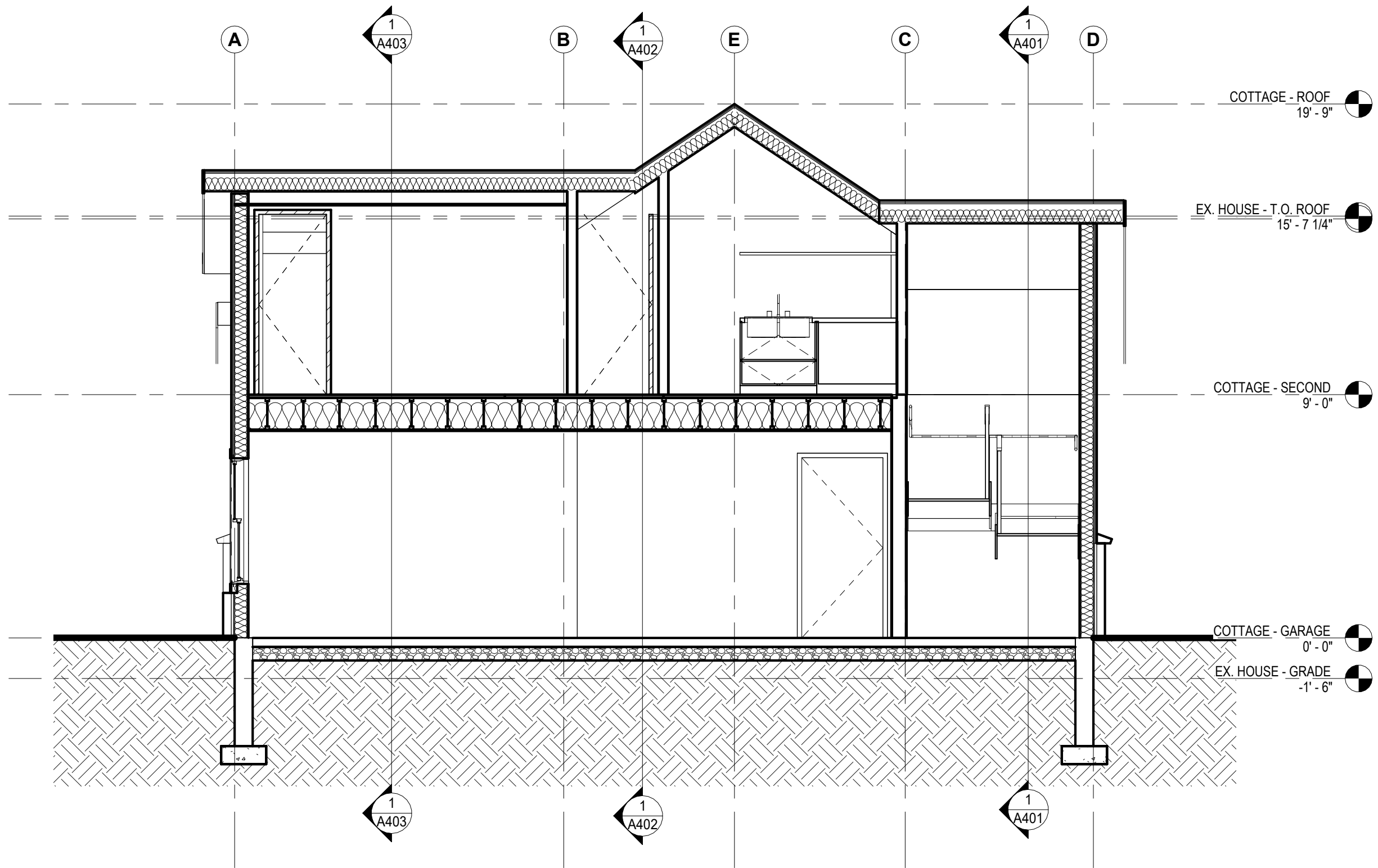
FREDERICK COTTAGE / ADU
1422 N 69TH ST
WAUWATOSA, WI 53213

PRELIMINARY DRAWINGS
JULY 25, 2025

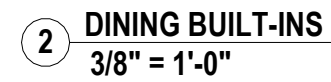
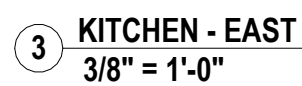
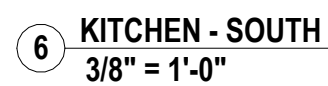
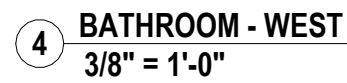
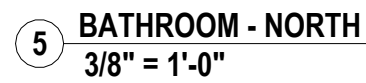
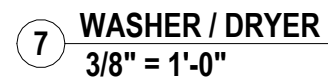
COTTAGE - BUILDING SECTIONS
A402



1 E-W SECTION 03
1/4" = 1'-0"

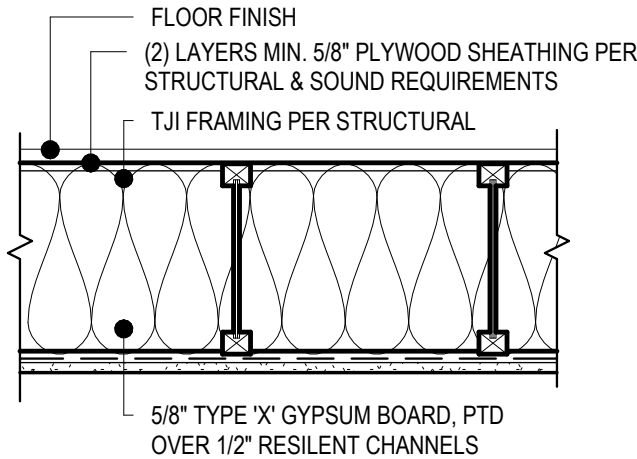


1 N-S SECTION 01
1/4" = 1'-0"



PRELIMINARY DRAWINGS COTTAGE - ENLARGED PLAN AND INT ELEVS
JULY 25, 2025 **A501**

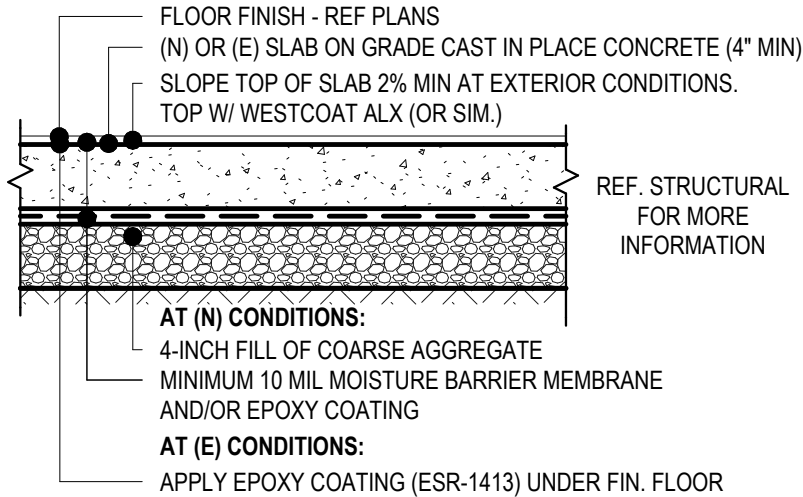
A501



RATING:		MODIFIER:	
FIRE	N/A		
UL/GA	N/A		
STC	50		
TEST	N/A		

F4

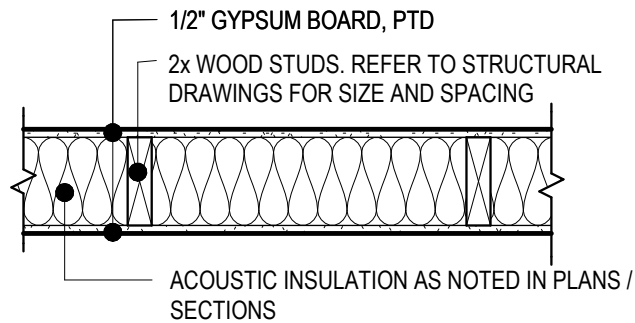
TJI FRAMED WOOD FLOOR



RATING:		MODIFIER:	
FIRE	N/A	A	(E) SLAB ON GRADE
UL/GA	N/A	B	(N) SLAB ON GRADE
STC	N/A		
TEST	N/A		

F1

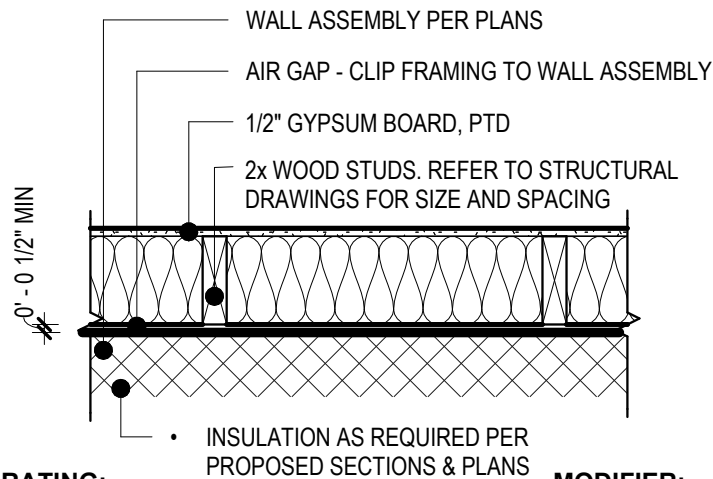
CONCRETE SLAB ON GRADE



RATING:		MODIFIER:	
FIRE	NR OR 1 HR	A	2X4 FRAMING, NON-RATED (NR)
UL/GA	N/A OR UL U305	B	2X6 FRAMING, NON-RATED (NR)
STC	N/A	C	2X6 FRAMING, RATED (1 HR)
TEST	N/A		

W2

WOOD INTERIOR PARTITION



RATING:		MODIFIER:	
FIRE	N/A	A	2X4 FRAMING
UL/GA	N/A	B	2X6 FRAMING
STC	N/A		
TEST	N/A		

W1

WOOD FURRING PARTITION



KEITH STACHOWIAK, AIA | M: 414 313 3065
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608 E BURLEIGH ST | MILWAUKEE WI 53212

FREDERICK COTTAGE / ADU
1422 N 69TH ST
WAUWATOSA, WI 53213

PRELIMINARY DRAWINGS COTTAGE - NARRATIVE SPECIFICATIONS
JULY 25, 2025

A701

NARRATIVE SPECIFICATIONS:

THE FOLLOWING NARRATIVE SERVES TO HELP THE ESTIMATOR UNDERSTAND THE SCOPE AND EXPECTATIONS OF THE PROJECT FOR COST ESTIMATION PURPOSES. THIS DOCUMENT IS NOT A FULL SPECIFICATION AND IS NOT FOR CONSTRUCTION USE. ALL CONSTRUCTION TO CONFORM WITH WISCONSIN UNIFORM DWELLING CODE AND CITY OF WAUWATOSA ORDINANCE, WHICHEVER IS MORE RESTRICTIVE.

SLAB ON GRADE:
4" REINFORCED SLAB CONCRETE AND GROUND CONTACT APPROVED POLYETHELENE VAPOR BARRIER. SEAL CONCRETE.

FOUNDATION WALL:
8" POURED CONCRETE FOUNDATION WALL OF 3000 PSI CONCRETE ON REINFORCED 24 " X 8" CONCRETE FOOTING OR PER GEOTECH. BOTTOM OF FOOTING 48 " MIN BELOW GRADE. TO BE BACK FILLED WITH CLEAR STONE.

DRAIN TILE:
MUNICIPALITY TO CONFIRM IF DRAIN TILE TO BE INCLUDED PER UDC. IF SO, PROVIDE PER UDC.

WALLS:
LP SMARTSIDE ON TYVEK MOISTURE BARRIER ON 1/2 " OSB SHEATHING ON 2X6 WALL 16" OC WITH PAPER FACED FIBERGLASS INSULATION (R-19) WITH POLYETHELYNE VAPOR BARRIER AND 5/8 " GYP BOARD. TYPE X GYPSUM BOARD TO BE USED ALL LOCATIONS ON LOWER LEVEL. EXTERIOR TRIM TO BE LP SMARTSIDE.

UPPER FLOOR STRUCTURE:
JOISTS TO BE DELEGATED DESIGN BY JOIST MANUFACTURER. LOADING TO BE PER UDC. CLEAR SPANNING 14" DEEP TJI JOISTS WITH OSB SUBFLOOR GLUE-NAILED. CONFIRM OSB THICKNESS WITH MANUFACTURER'S DESIGN. FRAMING CONNECTORS AS DESIGNED BY MANUFACTURER. R-30 FIBERGLASS BATT INSULATION BETWEEN JOISTS. 5/8" TYPE X GYPSUM BOARD TO BE USED FOR GARAGE CEILING.

ROOF FRAMING AND INSULATION:
TRUSSES TO BE DELEGATED DESIGN BY TRUSS MANUFACTURER. LOADING TO BE PER UDC. ROOF DESIGNED AS A "HOT ROOF" WITH 2" CLOSED CELL SPRAY FOAM INSULATION (R-7 PER INCH) WITH R-13 FIBERGLASS BATT INSTALLED FROM THE UNDERSIDE WITHIN THE RAFTER POCKETS, FOR A TOTAL R-VALUE OF R-27. PERIMETER TO RECEIVE 3" CLOSED CELL SPRAY FOAM ON VERTICAL SURFACE AT END OF BOX SILL FOR TOTAL R-VALUE OF R-21.

ROOF:
SHINGLES TO MATCH EXISTING PRIMARY RESIDENCE. APPLY OVER 30# ASPHALT ROOFING FELT PER MANUFACTURER SPECIFICATIONS. 5/8 " CDX PLYWOOD OR OSB SIZED FOR LOADING. PROVIDE ALUMINUM FASCIA, DRIP EDGE, AND VENTED SOFFIT. PROVIDE K-PROFILE GUTTERS. PROVIDE CONTINUOUS RIDGE VENT ON ALL RIDGES.

LIFE SAFETY:
HARD WIRED CARBON MONOXIDE DETECTOR WITH BATTERY BACKUP AND SMOKE DETECTORS WITH BATTERY BACKUP TO BE INSTALLED IN APARTMENT. SMOKE DETECTOR TO ALSO BE INSTALLED IN GARAGE.

KITCHEN:
PRE-FINISHED VENEER FACED, BIG-BOX GRADE CABINETS. PLASTIC LAMINATE COUNTER TOPS. FIXTURES AND APPLIANCES SELECTED WITH OWNER.

BATHROOM:
PRE-FINISHED, VENEER FACED, BIG-BOX GRADE CABINETS. PLASTIC LAMINATE COUNTER TOPS. FIXTURES TO BE SELECTED WITH OWNER.

FINISHES:
APARTMENT WALL AND CEILING: WALLS AND CEILING TO BE PAINTED WITH ZERO VOC LATEX PAINT. 1 COAT PRIMER ALL SURFACES, 2 COATS PAINT.

FLOORING SELECTIONS TO BE VERIFIED WITH OWNER. TO BE INCLUDED FOR PURPOSES OF PRICING ARE THE FOLLOWING: SEALED CONCRETE ON THE FIRST FLOOR, TYPICAL ALL SPACE. ENGINEERED HARDWOOD FLOORING IN GREAT ROOM, BEDROOM, AND CLOSET. PORCELAIN TILE FLOORING IN BATHROOM.

MECHANICAL:
PROVIDE FORCED AIR FURNACE AND AIR CONDITIONING. PROVIDE ELECTRIC BASEBOARD ON INDIVIDUAL THERMOSTAT FOR MECHANICAL ROOM UNDER STAIRS AND AT SIDE ENTRY. BATHROOM EXHAUST FAN.

LIGHT FIXTURES:
BIG-BOX GRADE LED FIXTURES TO BE COORDINATED WITH OWNER. RECESSED CAN LIGHTS ON SECOND FLOOR, REFER TO REFLECTED CEILING PLANS.

NOT FOR CONSTRUCTION

PLAT OF SURVEY

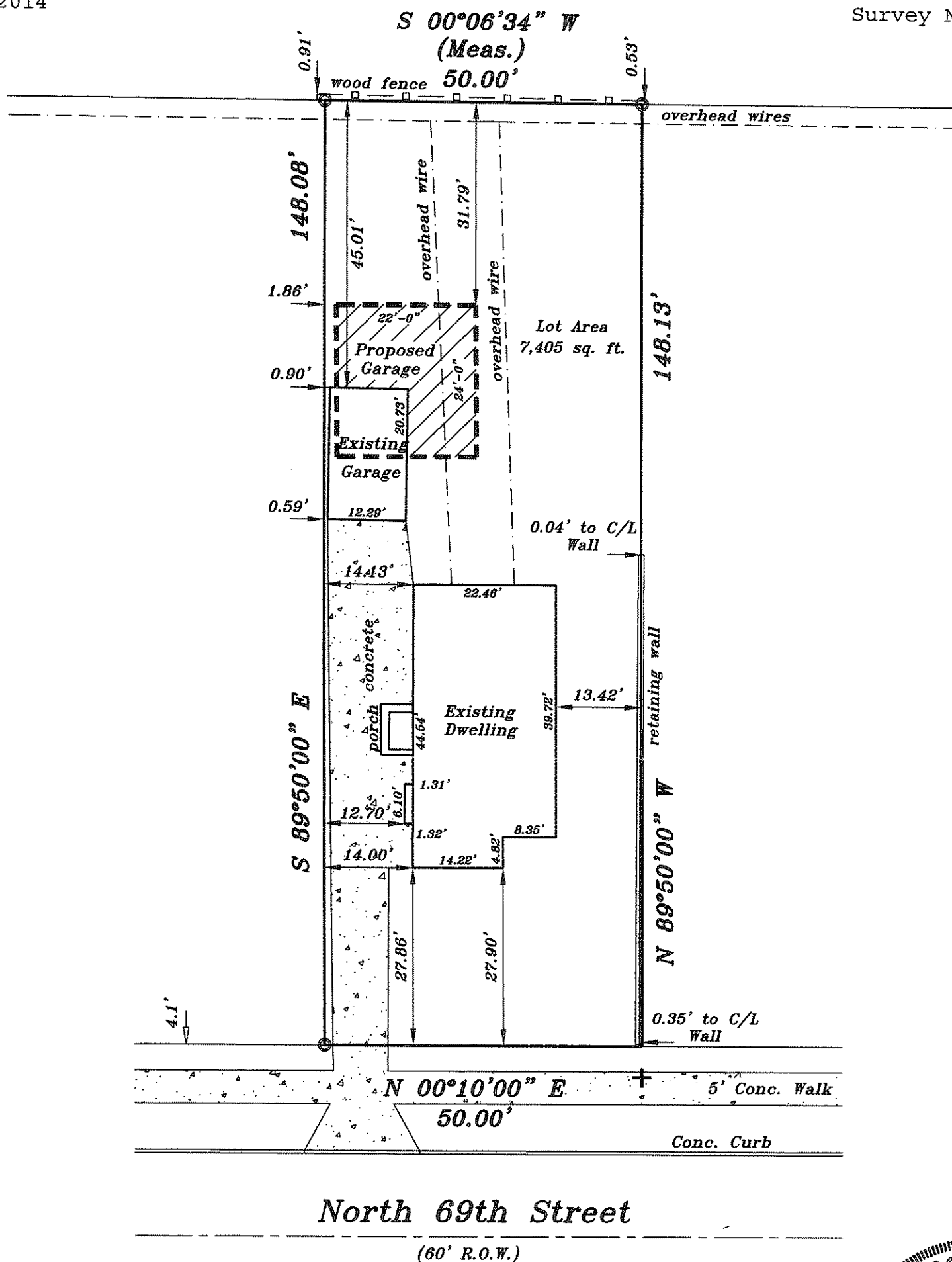
LOCATION: 1422 North 69th Street, Wauwatosa, Wisconsin

LEGAL DESCRIPTION:

Lot 12 in Block 1 in PHOENIX PARK, being a Subdivision of a part of the Southwest 1/4 of Section 22, Town 7 North, Range 21 East, in the City of Wauwatosa, Milwaukee County, Wisconsin.

June 25, 2014

Survey No. 104853



Scale
1"=20'



METROPOLITAN SURVEY SERVICE, INC.

REGISTERED LAND SURVEYORS AND CIVIL ENGINEERS

5800 Broad Street, Greendale, Wisconsin 53129

PH. (414) 529-5380

FAX (414) 529-9787

email address: survey@metropolitansurvey.com

- ⊙ — Denotes Iron Pipe Found
- — Denotes Iron Pipe Set
- + — Denotes Cross Set (5' Offset)

I HEREBY CERTIFY THAT I HAVE SURVEYED THE ABOVE DESCRIBED PROPERTY AND THAT THE ABOVE MAP IS A TRUE REPRESENTATION THEREOF AND SHOWS THE SIZE AND LOCATION OF THE PROPERTY. ITS EXTERIOR BOUNDARIES, THE LOCATION OF ALL VISIBLE STRUCTURES AND DIMENSIONS OF ALL PRINCIPAL BUILDINGS THEREON, BOUNDARY FENCES, APPARENT EASEMENTS AND ROADWAYS AND VISIBLE ENCROACHMENT, IF ANY.

THIS SURVEY IS MADE FOR THE EXCLUSIVE USE OF THE PRESENT OWNERS OF THE PROPERTY, AND ALSO THOSE WHO PURCHASE, MORTGAGE, OR GUARANTEE THE TITLE THERETO WITHIN ONE (1) YEAR FROM THE DATE HEREOF.

SIGNED

Dennis C. Sauer

Dennis C. Sauer

Registered Land Surveyor S-2421