



7474 HARWOOD

DRB SUBMITTAL III

07.09.2024

SITE AND NEIGHBORHOOD CONTEXT



SITE PLAN



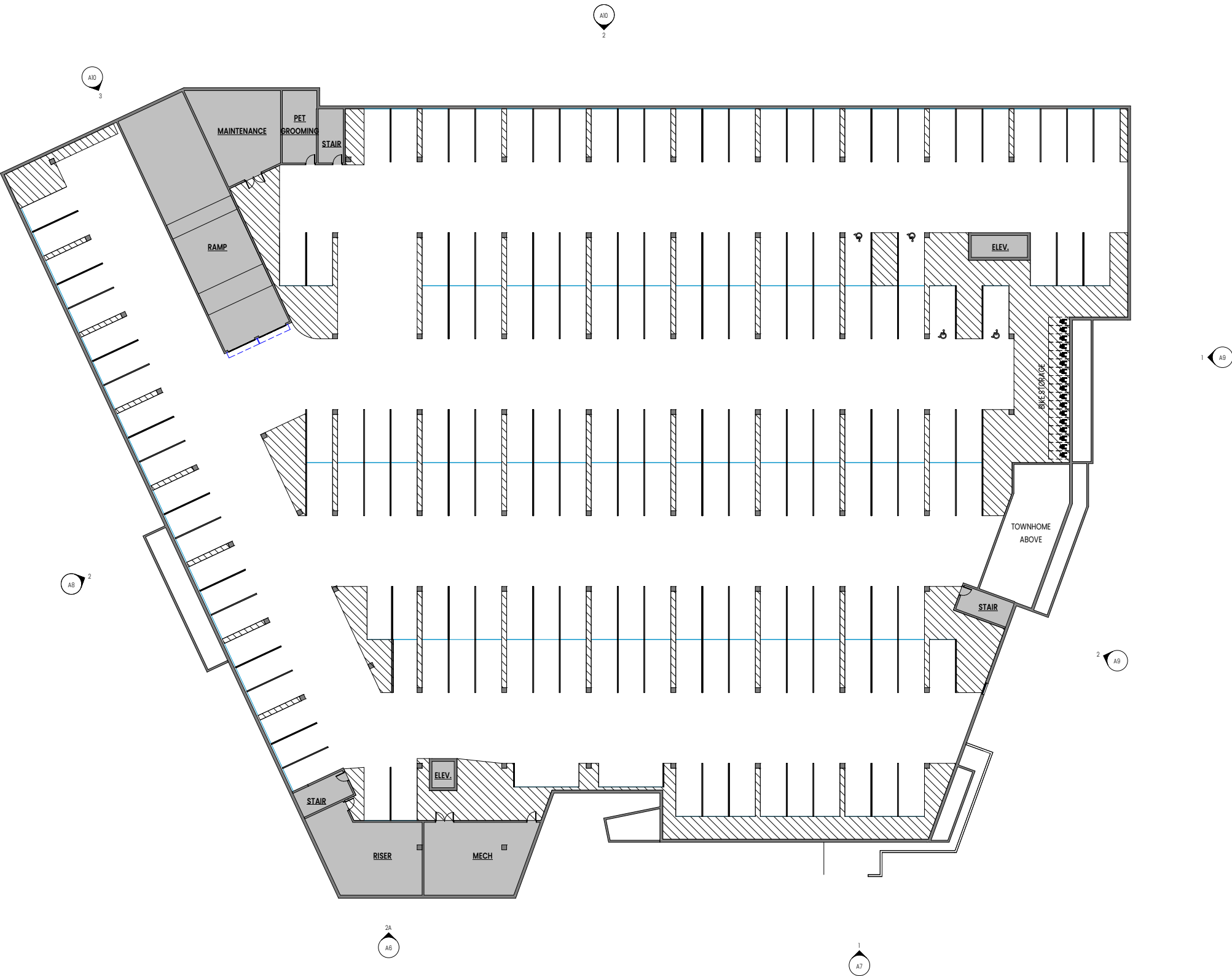
NOT TO SCALE
REFER TO SCALED DRAWINGS IN SUPPORTING DOCUMENTS

BASEMENT PLAN_PARKING AND PARKING RATIOS



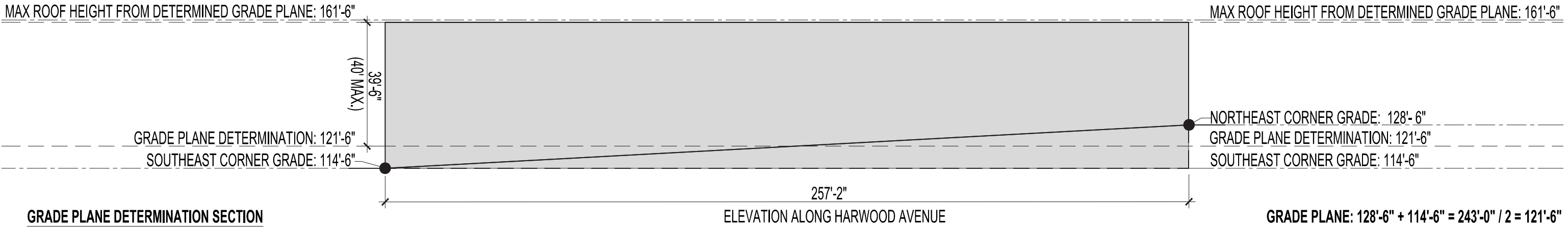
TOTAL UNITS - 153
TOTAL PARKING REQ - 174

RESIDENT PARKING PROVIDED - 193
VISITOR PARKING PROVIDED - 23
TOTAL PARKING PROVIDED - 216



NOT TO SCALE
REFER TO SCALED DRAWINGS IN SUPPORTING DOCUMENTS

GRADE PLANE DETERMINATION



SITE PLAN

MATERIAL SELECTIONS_WARM AND RICH TONE AND PALETTE



FBR-1 MODULAR FACE BRICK
SMOOTH FINISH
MAYO CLEAR A

FBR-2 MODULAR FACE BRICK
VELOUR FINISH
NAPIER BLD.

FBR-3 MODULAR FACE BRICK
VELOUR FINISH
LANDMARK GRAY

CSTN-1 MASONRY SILL
SANDSTONE

CSTN-2 MASONRY SILL
DEEP TAN

CSTN-3 MASONRY SILL
NATURAL

MP-1 METAL PANEL
STANDING SEAM INSTALL.
TITANIUM BLACK

SDG-1 CEMENT BOARD
LAP SIDING
RICH ESPRESSO

SDG-2 CEMENT BOARD PANEL
WOOD LOOK / VISIBLE GRAIN
CINNAMON

AFS-1 / FWS-1 WINDOW FRAME
BLACK 29 FINISH

STN-1 FISCHER STONE
SPLIT FACE
TO MATCH EXISTING SITE WALL
LOCATED AT EXPANDED PLAZA

COLORS AND TEXTURES INSPIRED BY AND SENSITIVE TO THE ARCHITECTURAL HERITAGE



MP-1
METAL PANEL



SDG-1
CEMENT BOARD LAP SIDING



SDG-2
CEMENT BOARD PANEL



STN-1
FISCHER STONE





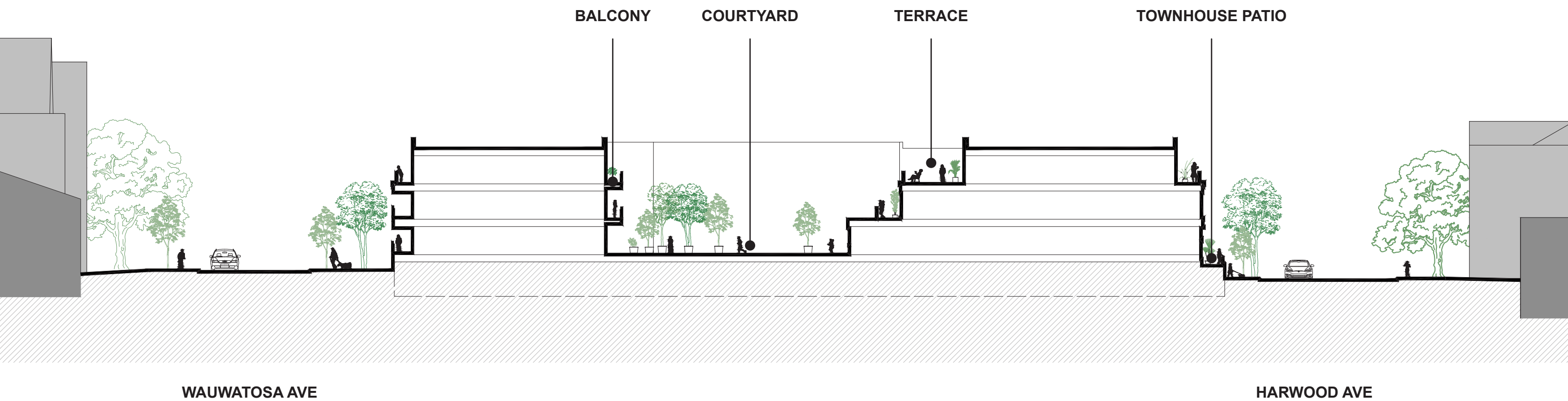








BALCONIES, TERRACES, PATIOS AND PORCHES_SECTION LOOKING NORTH







VENDETTA COFFEE BAR



7511 HARWOOD



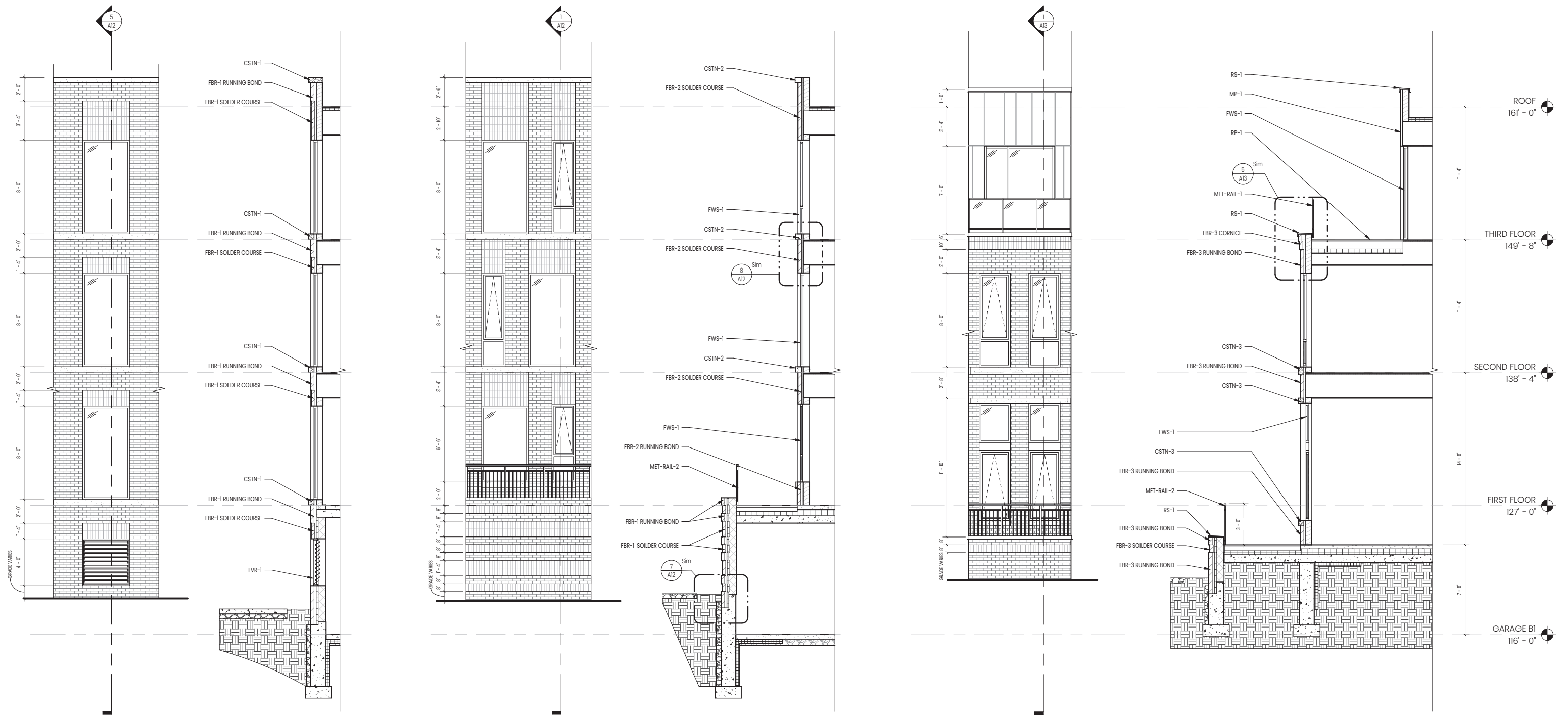
THE VILLAGE CHEESE SHOP

FAMILY OF FACADES_RESPECTING THE SCALE OF THE STREET AND REFLECTING THE CONTEXT



ARCHITECTURAL DETAILS OF PROPOSED DEVELOPMENT

EXTERIOR DETAILS_WALL SECTIONS AND ELEVATIONS

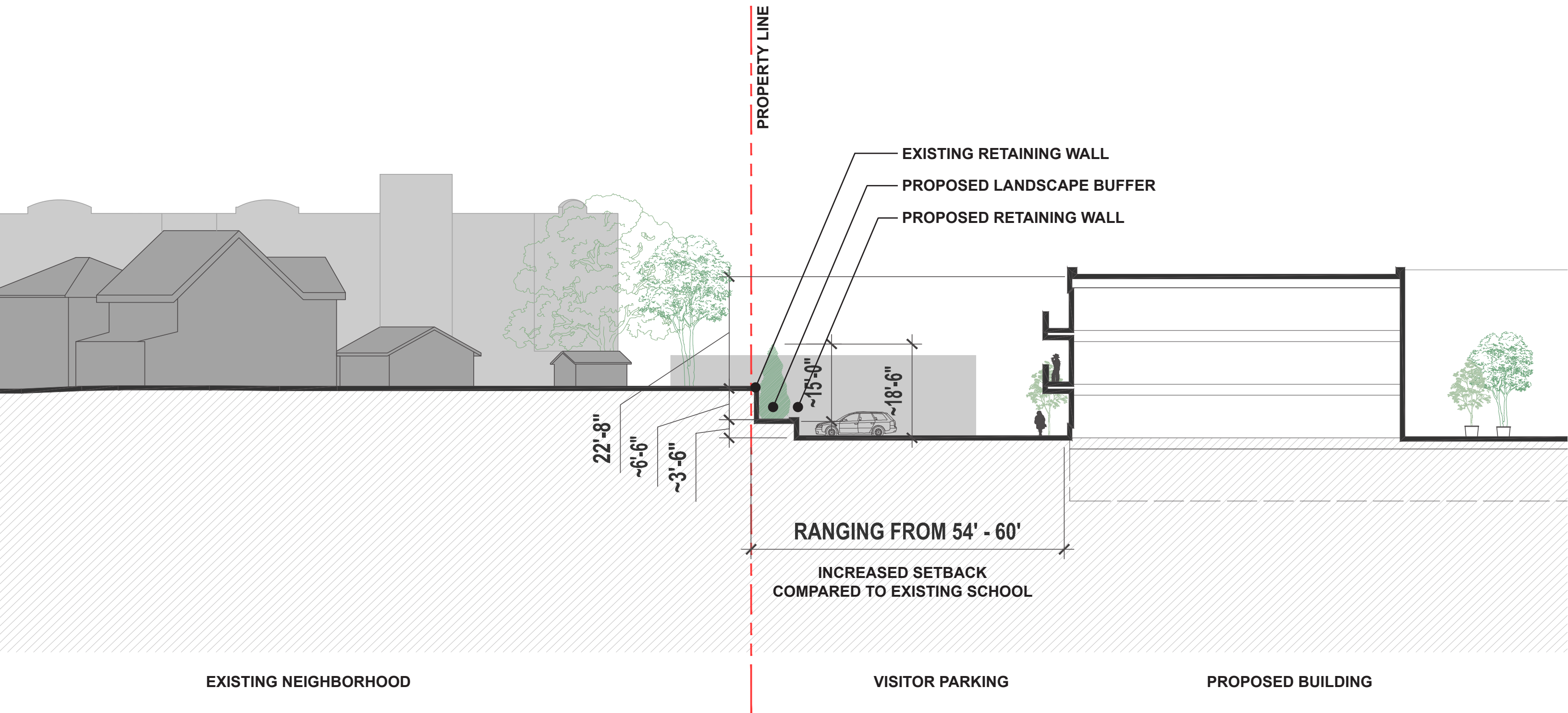


*SEE SUPPORTING DOCS FOR ADDITIONAL SECTIONS AND DETAILS





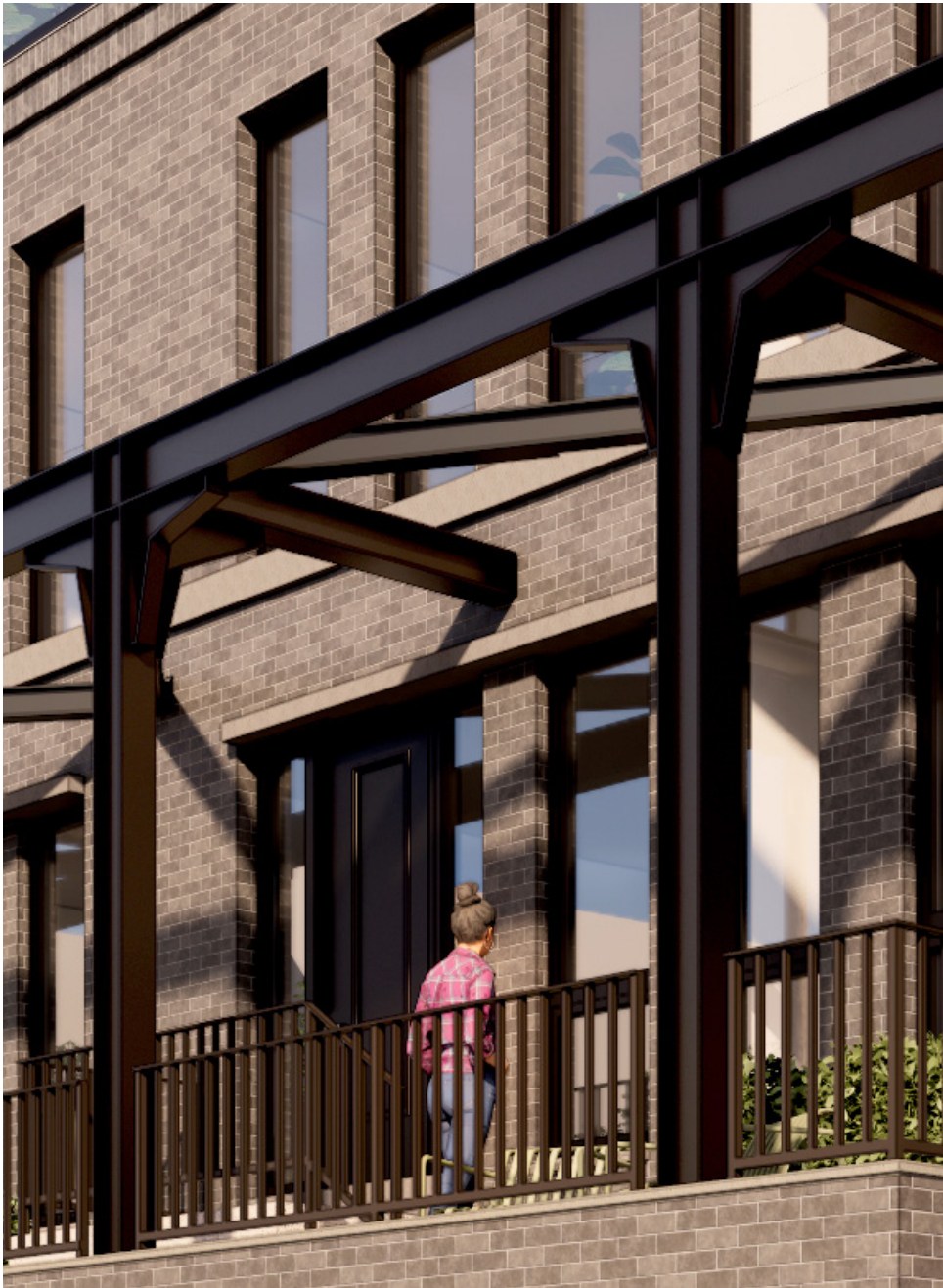












METAL STRUCTURE INSPIRED BY THE WAUWATOSA RAIL BRIDGE





SUPPORTING DOCUMENTS



24004_01- 7474 HARWOOD PROJECT DATA- 4 stories within 40'-0" height limit														
7.8.2024														
	STUDIO	550 SF	JR 1 BR	650 SF	1 BR	750-850 SF	1 BR +	850-950 SF	2 BR	1150-1250 SF	3 BR	1400+ SF	TOTALS	PARKING
Level 3 Level 2 Level 1 Level B1													53 54 46 0	23 193
	0		12		23		2		16		0			
	0		12		22		6		13		1			
	2		12		17		6		8		1			
	0		0		0		0		0		0			
TOTAL UNITS		2		36		62		14		37		2	153	
% TOTAL		1%		24%		41%		9%		24%		1%	100%	
TOTAL BEDS		2		36		62		14		74		6	194	
PARKING REQ. PER UNIT TYPE		1		1		1		1		1.5		2		
TOTAL PARKING REQ.		2		36		62		14		55.5		4		174
												RESIDENT PARKING PROVIDED	193	
												VISITOR PARKING PROVIDED	23	
												TOTAL PARKING PROVIDED	216	
												CARS PER UNIT RATIO	1.41	
												CARS PER BED RATIO	1.11	





7474 HARWOOD

DRB SUBMISSION #3

7.9.2024



7474 HARWOOD BLVD
WAUWATOSA, WI 53213

OWNER	ARCHITECT	CIVIL ENGINEER	LANDSCAPE CONSULTANT:
THREE LEAF PARTNERS 504 WEST JUNEAU MILWAUKEE, WI 53203	KORB + ASSOCIATES ARCHITECTS 648 N. PLANKINTON AVE, SUITE 240 MILWAUKEE, WI 53203	TRIO 4100 N CALHOUN RD STE 300 BROOKFIELD, WI 53005 CONTACT: JOSH PUDELKO jpudelko@trioeng.com (262) 790-1480	INSITE DESIGN INC. 11525 W NORTH AVE WAUWATOSA, WI 53226 CONTACT: MICHAEL DAVIS mdavis@insitedesigninc.com (414) 476-1204
CONTACT: JORDAN MICHALKIEWICZ jmichalkiewicz@threeleafdevelopment.com (414) 775-0857	CONTACT: MARK LARSON (PROJ. MGR.) mlarson@kaa-arch.com (414) 273-8230		
	SUPERVISING PROFESSIONAL: JASON KORB		
DRAWING INDEX			

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PROJECT: 7474 HARWOOD 7474 HARWOOD BLVD WAUWATOSA, WI 53213	OWNER: THREE LEAF PARTNERS 504 WEST JUNEAU MILWAUKEE, WI 53203
ARCHITECT: KORB + ASSOCIATES ARCHITECTS 648 N. PLANKINTON AVE, SUITE 240 MILWAUKEE, WI 53203	CIVIL ENGINEER: TRIO 4100 N CALHOUN RD STE 300 BROOKFIELD, WI 53005
LANDSCAPE CONSULTANT: INSITE DESIGN INC. 11525 W NORTH AVE WAUWATOSA, WI 53226	

DATE	REVISION
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PROJ. NO:	24004.01
SCALE:	
PHASE:	DRB SUBMISSION #3
DATE:	7/9/2024

FOR REVIEW - NOT FOR CONSTRUCTION

RETAINING WALL
(EXISTING)
PROPERTY LINE
EXISTING UTILITY POLE
TO REMAIN

EXISTING
LANDSCAPE
TO REMAIN

WAWATOSA AVENUE

EXISTING
LANDSCAPE
TO REMAIN

HARMONEE AVENUE

EXISTING RETAINING
WALL & STAIR TO
REMAIN

TRANSFORMER

BIKE ROOM

RAMP

TRASH

METER

STAIR 2

UNIT JR1

UNIT JR1

UNIT JR1

UNIT JR1

UNIT JR1

UNIT JR1

UNIT JR1

UNIT JR1

UNIT JR1

UNIT JR1

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UNIT 1

UNIT 1

COURTYARD
(SEE LANDSCAPE PLAN)

FITNESS

CLUB ROOM

BIKE PARKING

PLAZA

PLAZA

BENCH

PROPERTY LINE
EXISTING PARK TO
REMAIN

MOVE-IN

MAIN ENTRY

LOBBY

LEASING OFFICE

UNIT 1DEN

UNIT 1DEN

UNIT 1DEN

UNIT 1DEN

UNIT 1DEN

UNIT 1DEN

UNIT 1DEN

UNIT 1DEN

UNIT 1DEN

UNIT 1DEN

UNIT 1DEN

UNIT 1DEN

UNIT 1DEN

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UNIT 1DEN

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UNIT 1DEN

UNIT 1DEN

UNIT 1DEN

UNIT 1DEN

UNIT 1DEN

TRUE

N

1

SITE PLAN

1" = 20'-0"

PROJECT:
7474 HARWOOD
7474 HARWOOD BLVD
WAWATOSA, WI 53213

OWNER:
THREE LEAF PARTNERS
504 WEST JUNEAU
MILWAUKEE, WI 53203

ARCHITECT:
KORB + ASSOCIATES
ARCHITECTS
648 N. PLANKINTON AVE,
SUITE 240
MILWAUKEE, WI 53203

CIVIL ENGINEER:
TRIO
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LANDSCAPE ARCHITECT:
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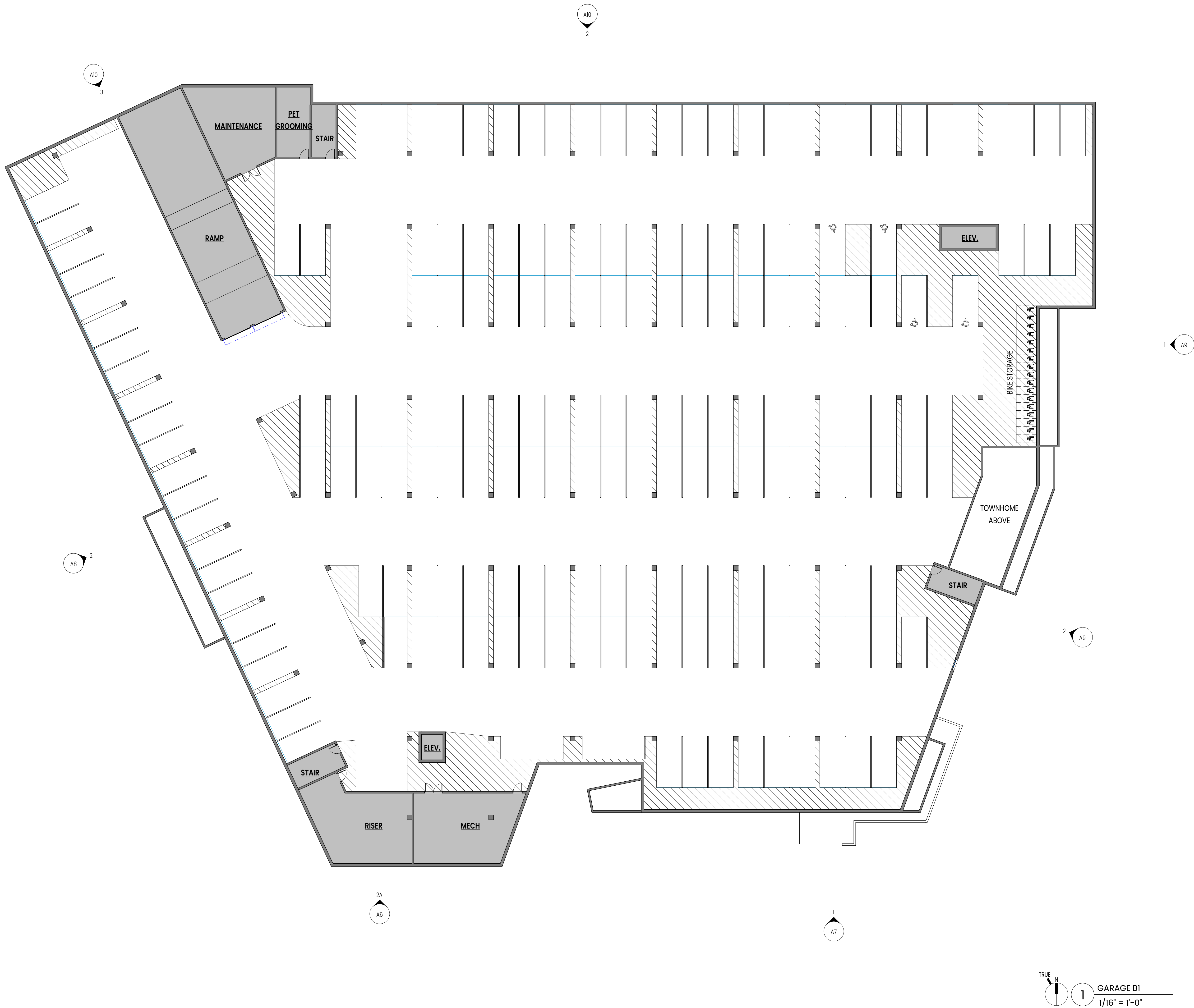
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ARCHITECTURAL SITE PLAN

A1

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MILWAUKEE, WI 53203

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PROJ. NO.	2400401
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BASEMENT FLOOR PLAN

A2



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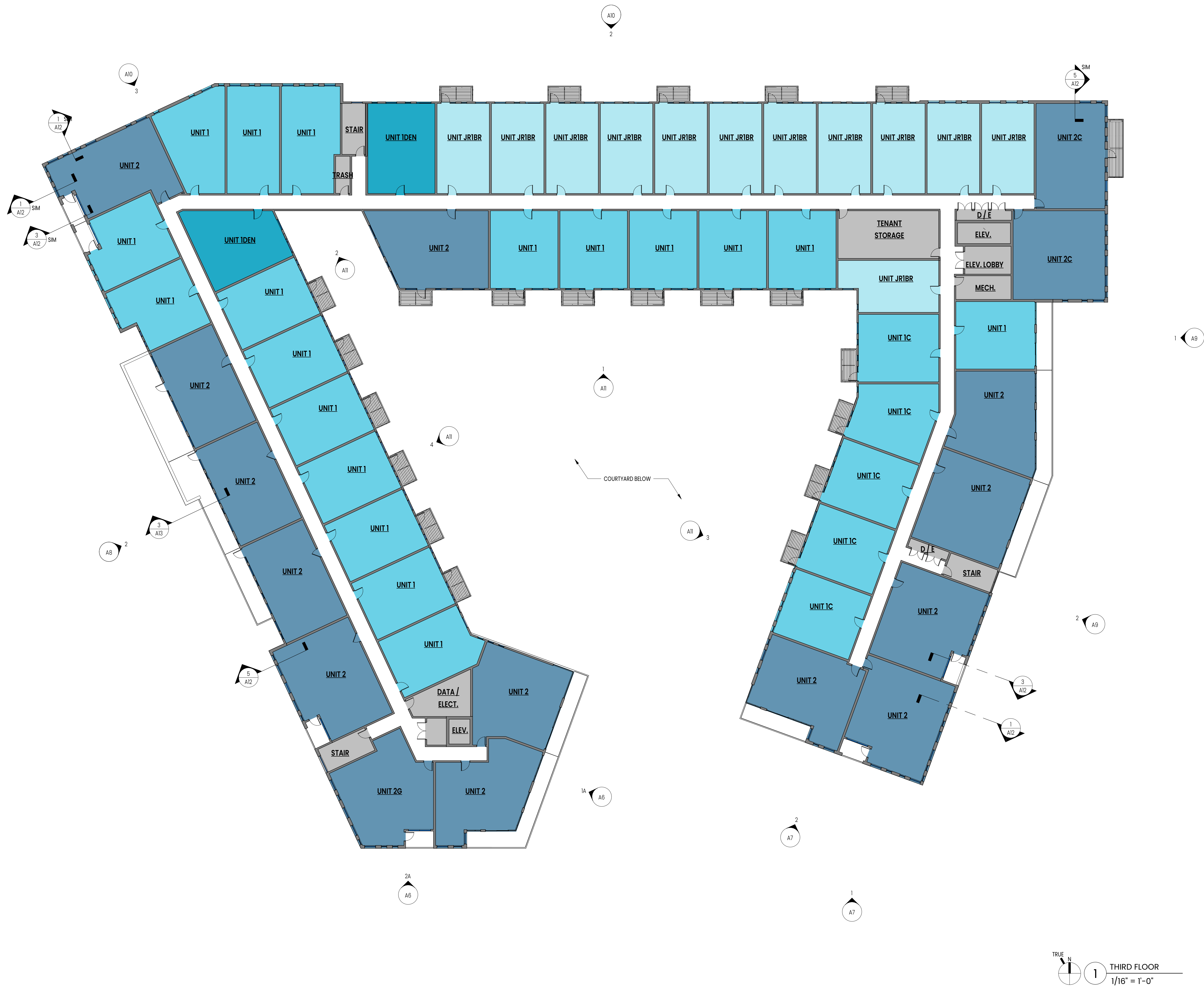
FIRST FLOOR PLAN

A3

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THIRD FLOOR PLAN

A5

MATERIAL FINISH LEGEND	
KEYNOTE	DESCRIPTION
FBR-1	FACE BRICK 1 - BELDEN - MODULAR MAYO CLEAR A
FBR-2	FACE BRICK 2 - BELDEN - MODULAR NAPIER BLD
FBR-3	FACE BRICK 3 - BELDEN - MODULAR LANDMARK GRAY VELOUR
CSTN-1	CAST STONE 1 - CUSTOM CAST STONE - SANDSTONE
CSTN-2	CAST STONE 2 - CUSTOM CAST STONE - DEEP TAN
CSTN-3	CAST STONE 3 - CUSTOM CAST STONE - NATURAL
MP-1	METAL PANEL - MAC PANELS MSI MODULAR - TITANIUM BLACK
SDG-1	CEMENT BOARD LAP SIDING - JAMES HARDIE - RICH ESPRESSO
SDG-2	CEMENT BOARD PANEL (WOOD LOOK) - PARKIELEX - RICH CINNAMON
MET-RAIL-1	METAL RAILING - GLASS PANEL
MET-RAIL-2	METAL RAILING - PICKETT
RS-1	METAL CORING
FWS-1	FIBERGLASS WINDOW SYSTEM
LVR-1	WALL LOUVER
RP-1	ROOF PAVER
AFS-1	ALUMINUM FRAMING SYSTEM
STN-1	FISCHER STONE, SPLIT FACE - TO MATCH EXISTING STONE



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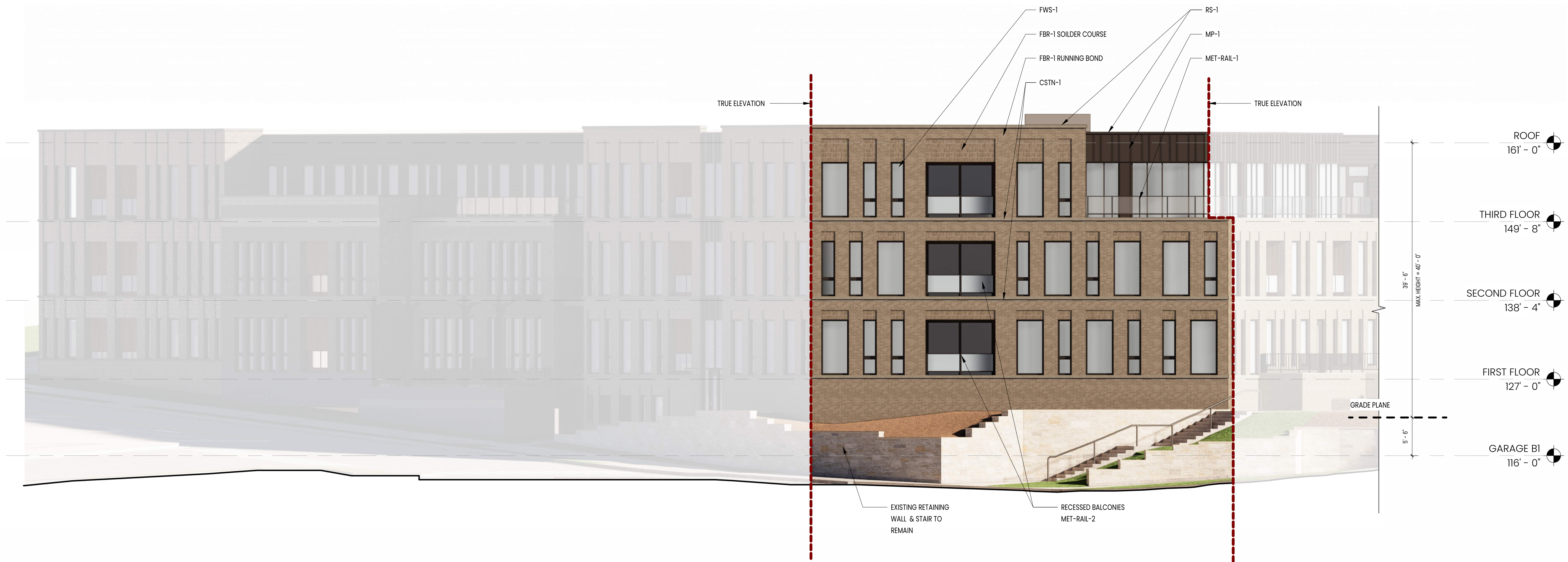
ELEVATIONS - SOUTH A

A6

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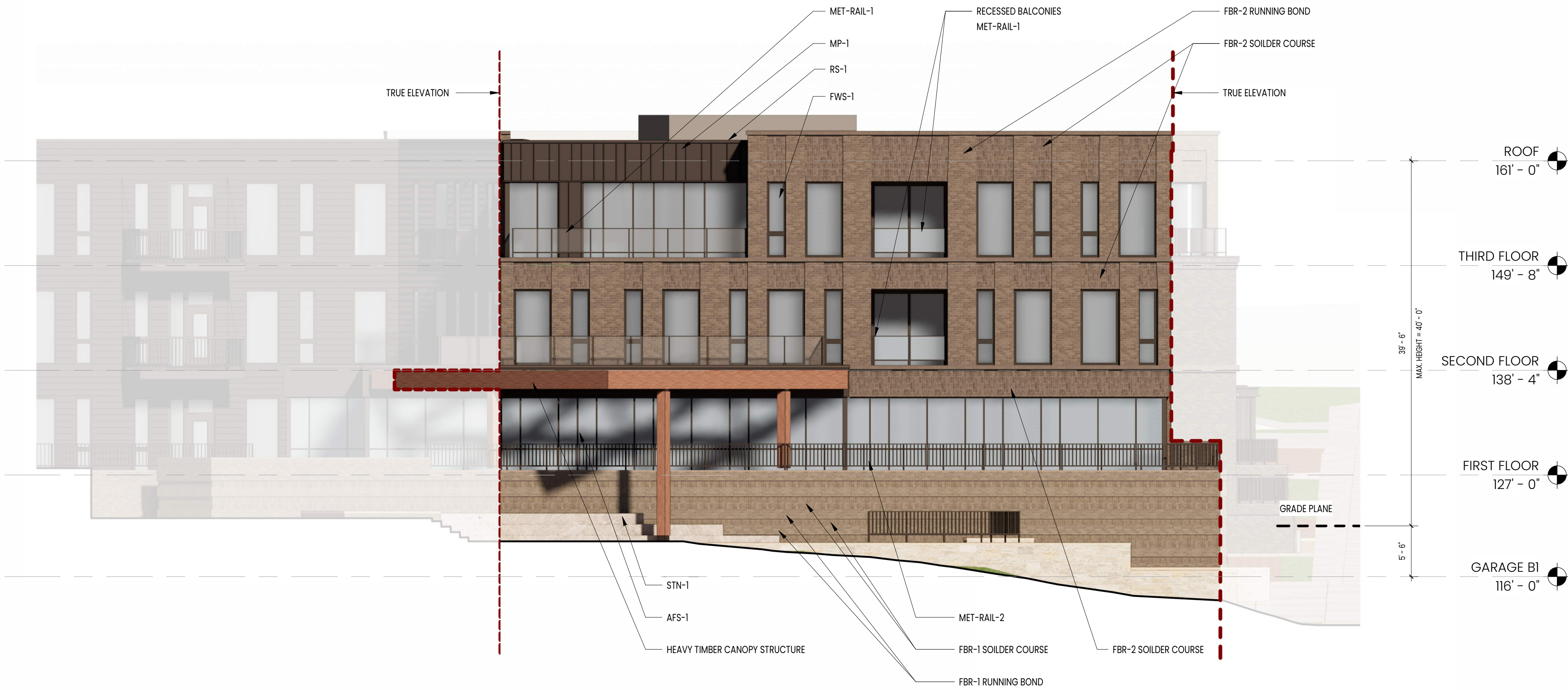


1A SOUTH ELEVATION - ANGLED A - PRESENTATION
1/8" = 1'-0"



2A SOUTH ELEVATION - A - PRESENTATION
1/8" = 1'-0"

DESIGN REVIEW - NOT FOR CONSTRUCTION



2 SOUTH ELEVATION - ANGLED B - PRESENTATION
1/8" = 1'-0"



1 SOUTH ELEVATION - B - PRESENTATION
1/8" = 1'-0"

MATERIAL FINISH LEGEND	
KEYNOTE	DESCRIPTION
FBR-1	FACE BRICK 1 - BELDEN - MODULAR MAYO CLEAR A
FBR-2	FACE BRICK 2 - BELDEN - MODULAR NAPIER BLD
FBR-3	FACE BRICK 3 - BELDEN - MODULAR LANDMARK GRAY VELOUR
CSTN-1	CAST STONE 1 - CUSTOM CAST STONE - SANDSTONE
CSTN-2	CAST STONE 2 - CUSTOM CAST STONE - DEEP TAN
CSTN-3	CAST STONE 3 - CUSTOM CAST STONE - NATURAL
MP-1	METAL PANEL - MAC PANELS MSI MODULAR - TITANIUM BLACK
SDG-1	CEMENT BOARD LAP SIDING - JAMES HARDIE - RICH ESPRESSO
SDG-2	CEMENT BOARD PANEL (WOOD LOOK) - PARKLEX - RICH CINNAMON
MET-RAIL-1	METAL RAILING - GLASS PANEL
MET-RAIL-2	METAL RAILING - PICKETT
RS-1	METAL CORING
FWS-1	FIBERGLASS WINDOW SYSTEM
LVR-1	WALL LOUVER
RP-1	ROOF PAVER
AFS-1	ALUMINUM FRAMING SYSTEM
STN-1	FISCHER STONE, SPLIT FACE - TO MATCH EXISTING STONE



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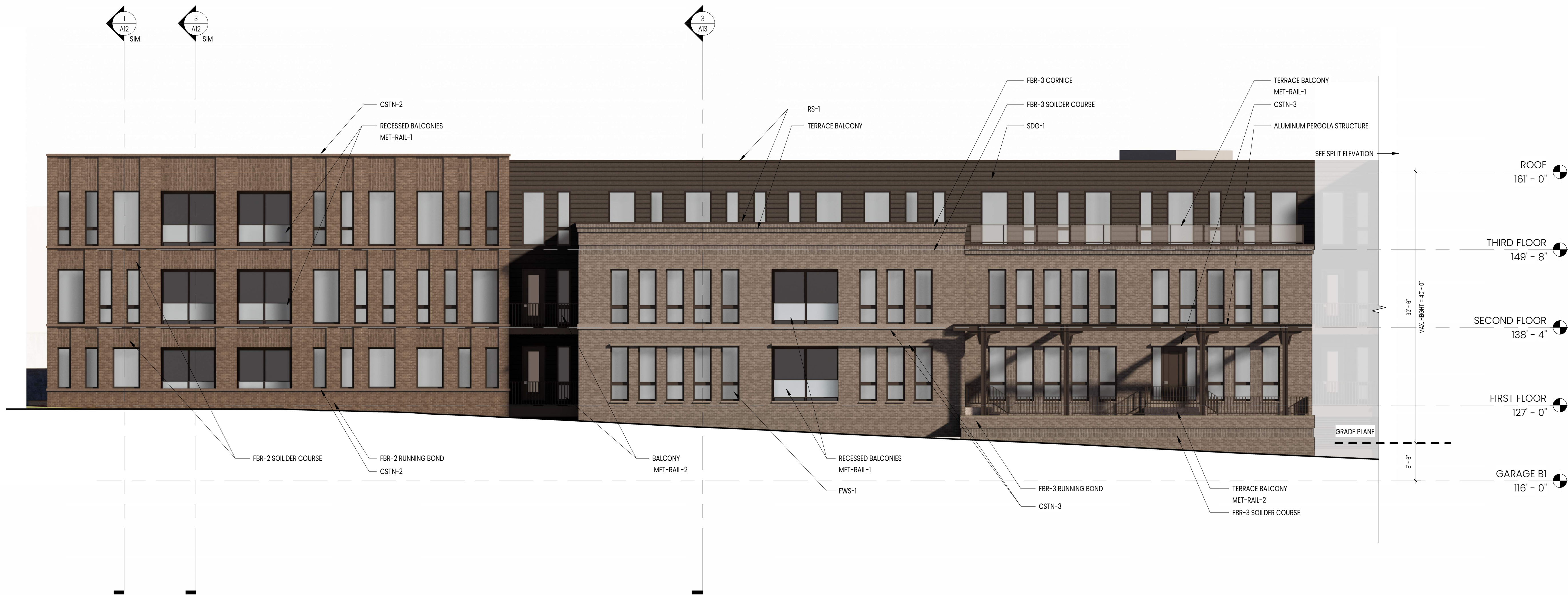
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ELEVATIONS - SOUTH B

A7

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1 WEST ELEVATION B - PRESENTATION
1/8" = 1'-0"



2 WEST ELEVATION A - PRESENTATION
1/8" = 1'-0"

MATERIAL FINISH LEGEND	
KEYNOTE	DESCRIPTION
FBR-1	FACE BRICK 1 - BELDEN - MODULAR MAYO CLEAR A
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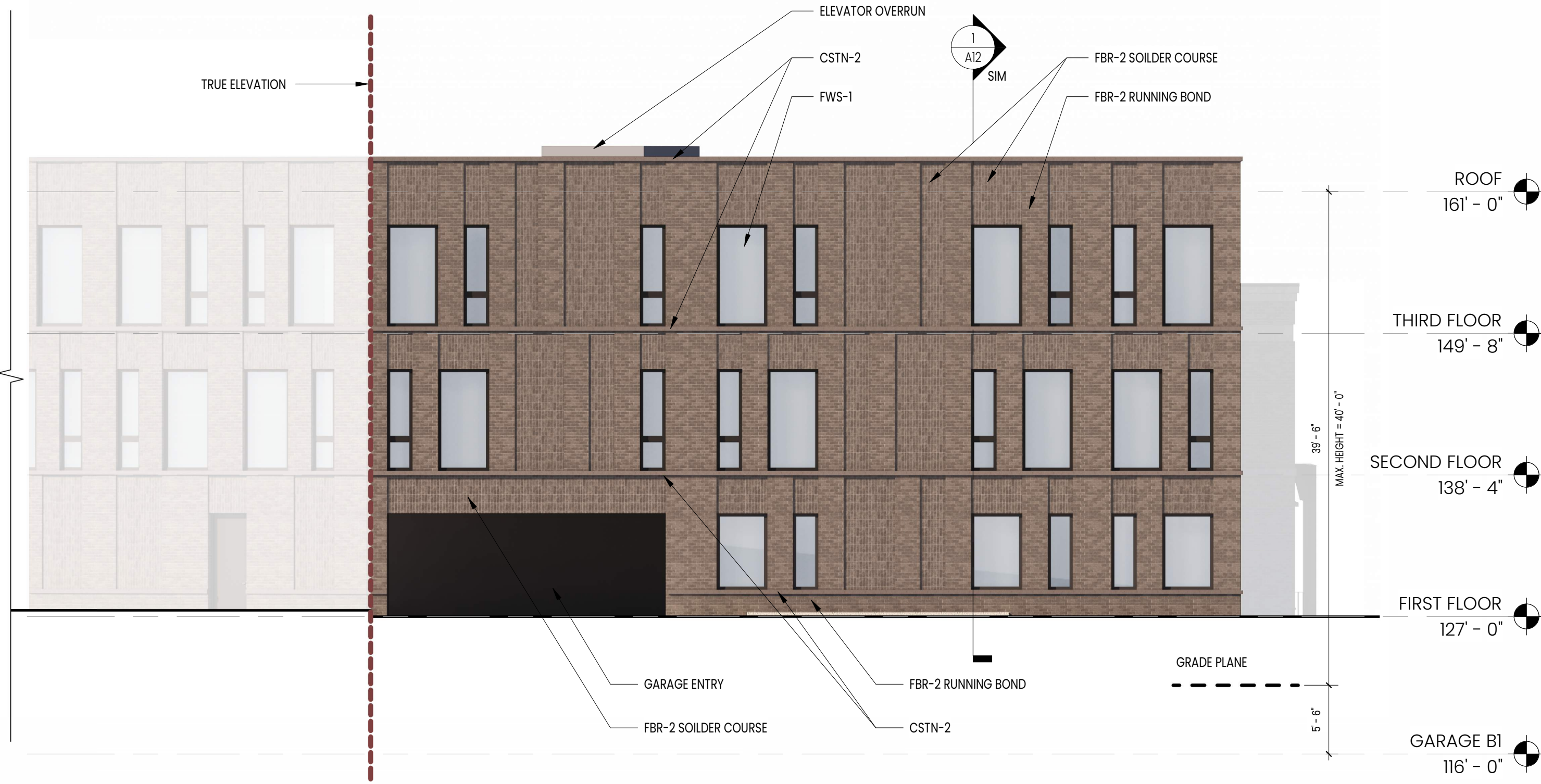
2 EAST ELEVATION - B - PRESENTATION
1/8" = 1'-0"



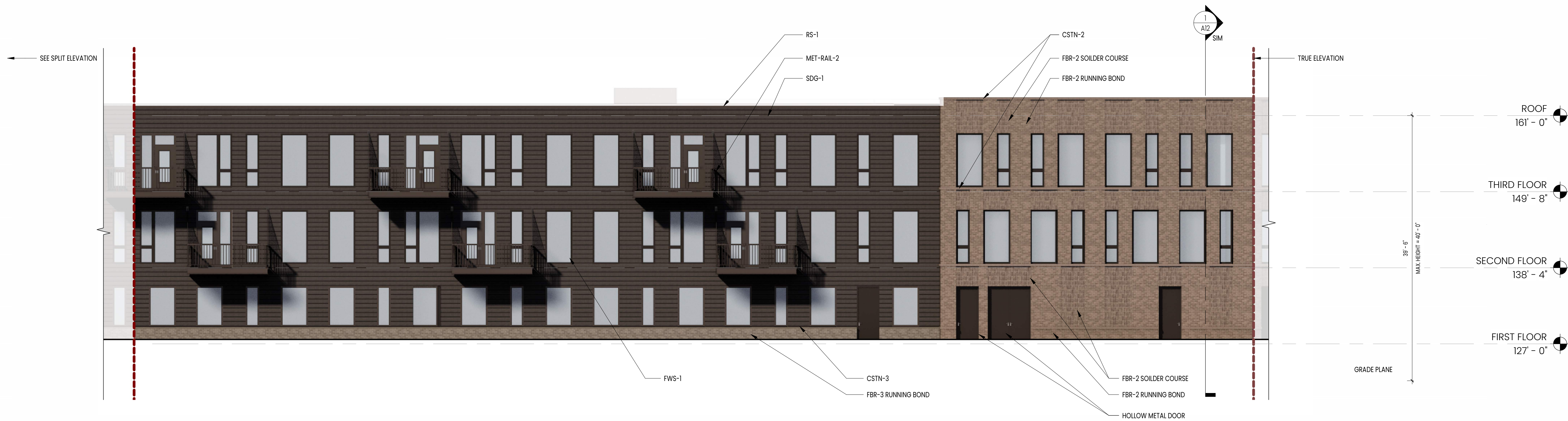
1 EAST ELEVATION - A - PRESENTATION
1/8" = 1'-0"

MATERIAL FINISH LEGEND	
KEYNOTE	DESCRIPTION
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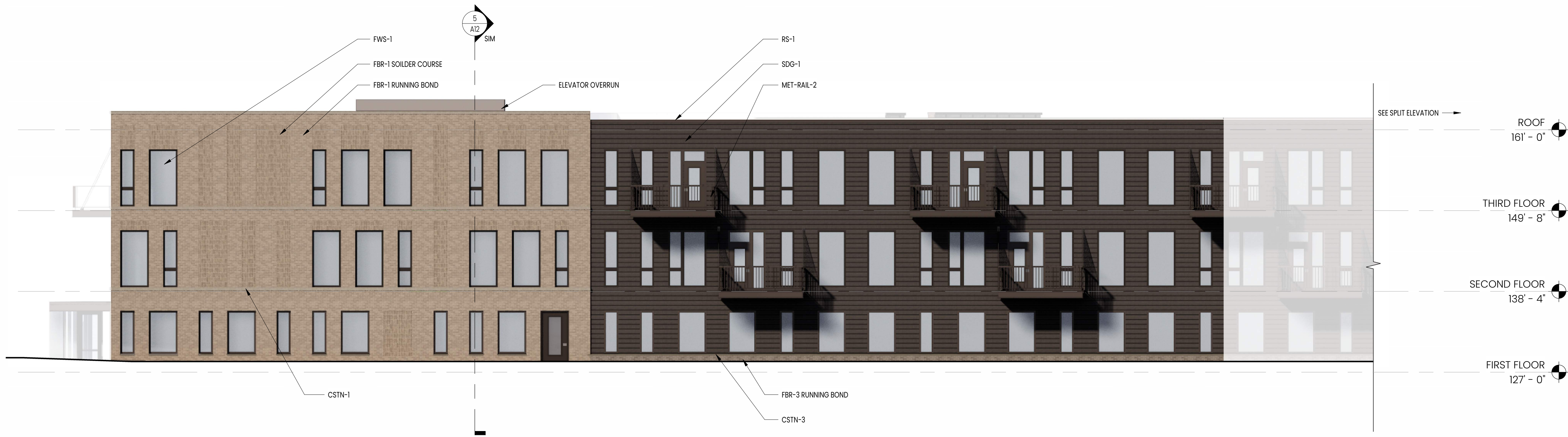
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STN-1	FISCHER STONE, SPLIT FACE - TO MATCH EXISTING STONE



3 NORTH ELEVATION - C - PRESENTATION
1/8" = 1'-0"



2 NORTH ELEVATION - B - PRESENTATION
1/8" = 1'-0"



1 NORTH ELEVATION - A - PRESENTATION
1/8" = 1'-0"

PROJECT:
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WAUWATOSA, WI 53213

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504 WEST JUNEAU
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KORB + ASSOCIATES
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DATE	REVISION
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PROJ. NO.	2400401
SCALE:	As indicated
PHASE:	DRB SUBMISSION #3
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ELEVATIONS - NORTH

A10
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MATERIAL FINISH LEGEND	
KEYNOTE	DESCRIPTION
FBR-1	FACE BRICK 1 - BELDEN - MODULAR MAYO CLEAR A
FBR-2	FACE BRICK 2 - BELDEN - MODULAR NAPIER BLD
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CSTN-3	CAST STONE 3 - CUSTOM CAST STONE - NATURAL
MP-1	METAL PANEL - MAC PANELS MSI MODULAR - TITANIUM BLACK
SDG-1	CEMENT BOARD LAP SIDING - JAMES HARDIE - RICH ESPRESSO
SDG-2	CEMENT BOARD PANEL (WOOD LOOK) - PARKLEX - RICH CINNAMON
MET-RAIL-1	METAL RAILING - GLASS PANEL
MET-RAIL-2	METAL RAILING - PICKETT
RS-1	METAL CORING
FWS-1	FIBERGLASS WINDOW SYSTEM
LVR-1	WALL LOUVER
RP-1	ROOF PAVER
AFS-1	ALUMINUM FRAMING SYSTEM
STN-1	FISCHER STONE, SPLIT FACE - TO MATCH EXISTING STONE

KA
KORB + ASSOCIATES ARCHITECTS



4 COURTYARD ELEVATION - WEST - PRESENTATION
1/8" = 1'-0"



2 COURTYARD ELEVATION - NORTH - B - PRESENTATION
1/8" = 1'-0"

1 COURTYARD ELEVATION - NORTH - A - PRESENTATION
1/8" = 1'-0"



3 COURTYARD ELEVATION - EAST - PRESENTATION
1/8" = 1'-0"

PROJECT:
7474 HARWOOD
7474 HARWOOD BLVD
WAUWATOSA, WI 53213

OWNER:
THREE LEAF PARTNERS
504 WEST JUNEAU
MILWAUKEE, WI 53203

ARCHITECT:
KORB + ASSOCIATES
ARCHITECTS
648 N. PLANKINTON AVE,
SUITE 240
MILWAUKEE, WI 53203

CIVIL ENGINEER:
TRIO
4100 N CALHOUN RD
STE 300
BROOKFIELD, WI 53005

LANDSCAPE ARCHITECT:
INSITE DESIGN INC.
11525 W NORTH AVE
WAUWATOSA, WI 53226

DATE	REVISION
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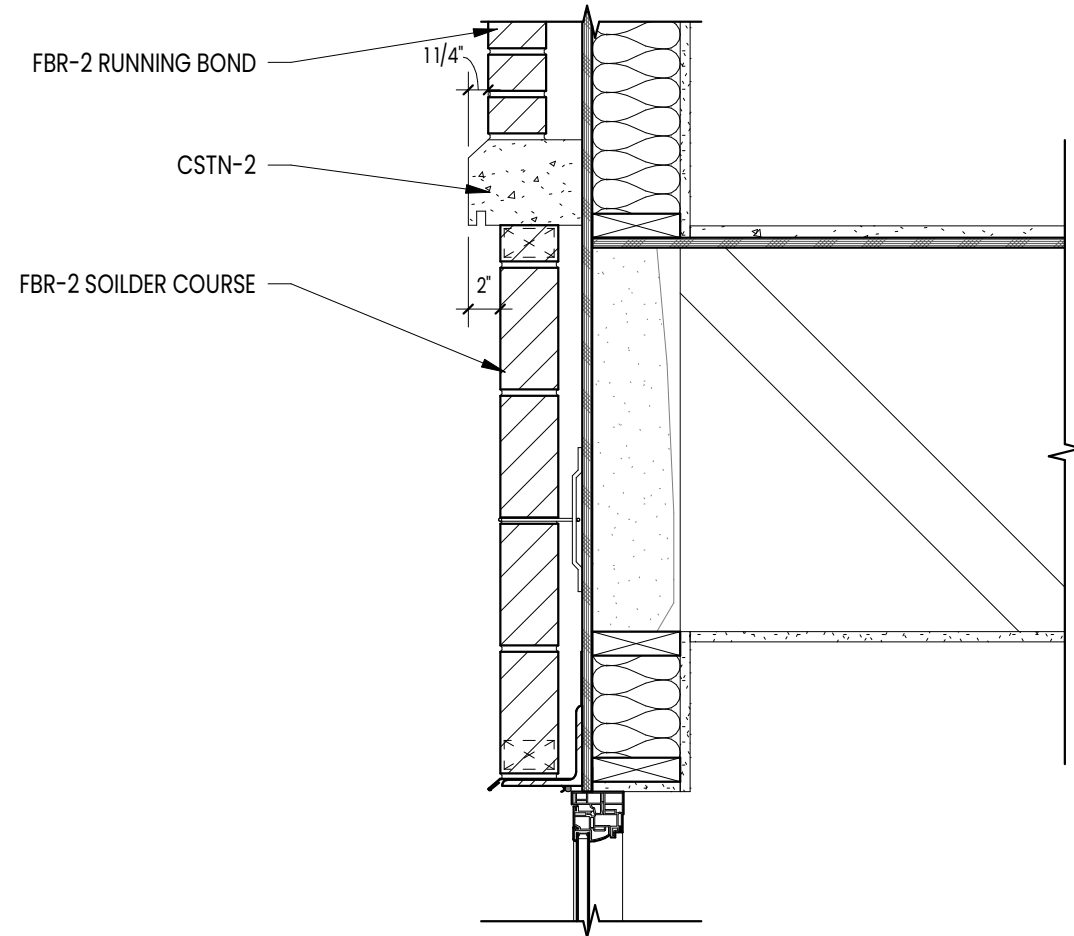
PROJ. NO. 2400401
SCALE: As indicated
PHASE: DRB SUBMISSION #3
DATE: 7/9/2024

ELEVATIONS - COURTYARD

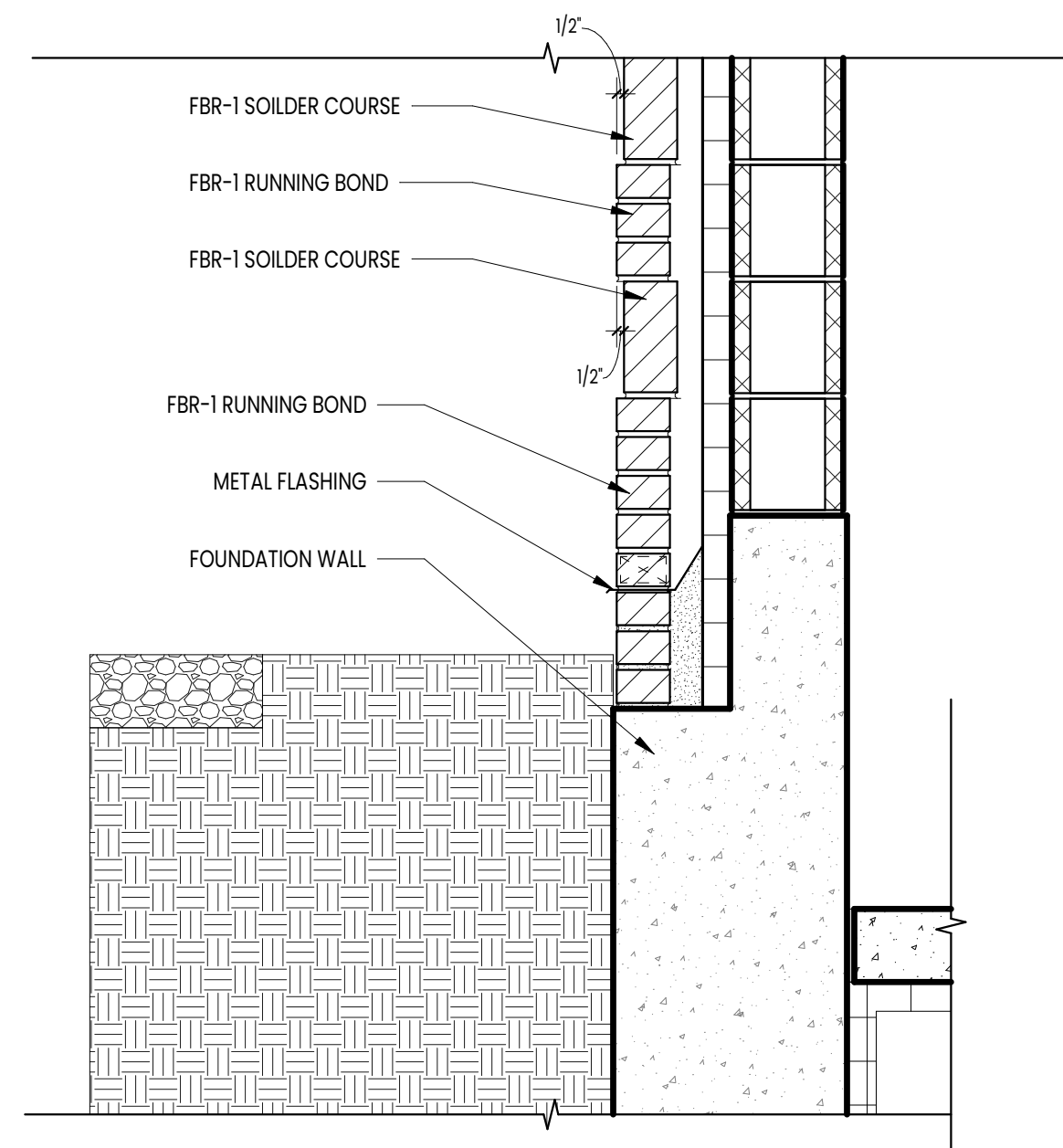
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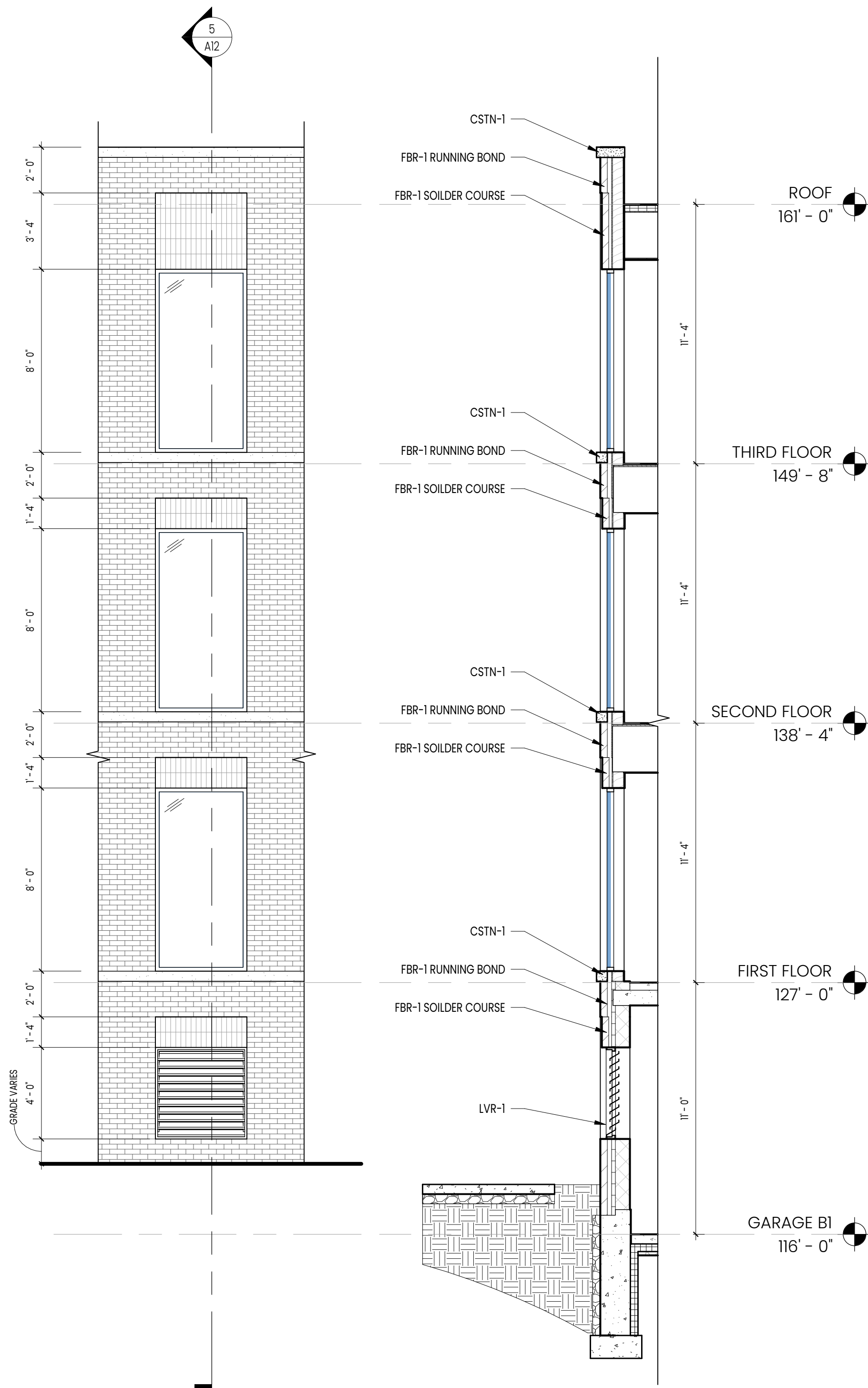
MATERIAL FINISH LEGEND	
KEYNOTE	DESCRIPTION
FBR-1	FACE BRICK 1 - BELDEN - MODULAR MAYO CLEAR A
FBR-2	FACE BRICK 2 - BELDEN - MODULAR NAPIER BLD
FBR-3	FACE BRICK 3 - BELDEN - MODULAR LANDMARK GRAY VELOUR
CSTN-1	CAST STONE 1 - CUSTOM CAST STONE - SANDSTONE
CSTN-2	CAST STONE 2 - CUSTOM CAST STONE - DEEP TAN
CSTN-3	CAST STONE 3 - CUSTOM CAST STONE - NATURAL
MP-1	METAL PANEL - MAC PANELS MSI MODULAR - TITANIUM BLACK
SDG-1	CEMENT BOARD LAP SIDING - JAMES HARDIE - RICH ESPRESSO
SDG-2	CEMENT BOARD PANEL (WOOD LOOK) - PARKLIX - RICH CINNAMON
MET-RAIL-1	METAL RAILING - GLASS PANEL
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RP-1	ROOF PAVES
AFS-1	ALUMINUM FRAMING SYSTEM
STN-1	FISCHER STONE, SPLIT FACE - TO MATCH EXISTING STONE



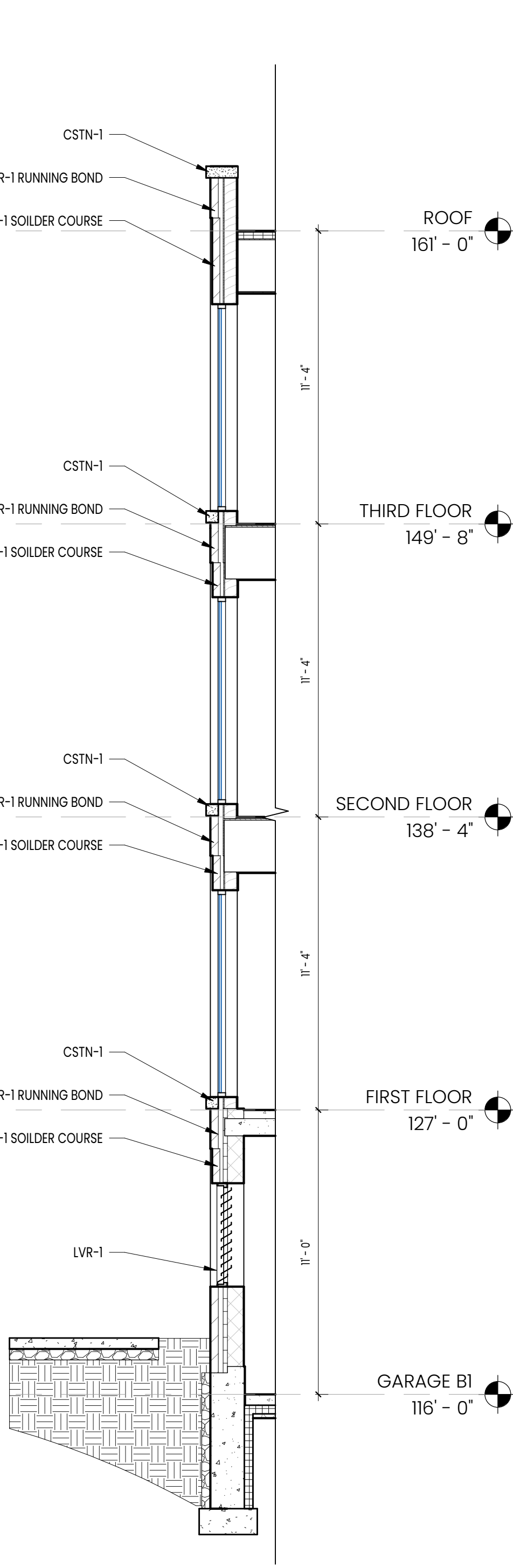
8 SOLDER COURSE THRU WINDOW DETAIL
1" = 1'-0"



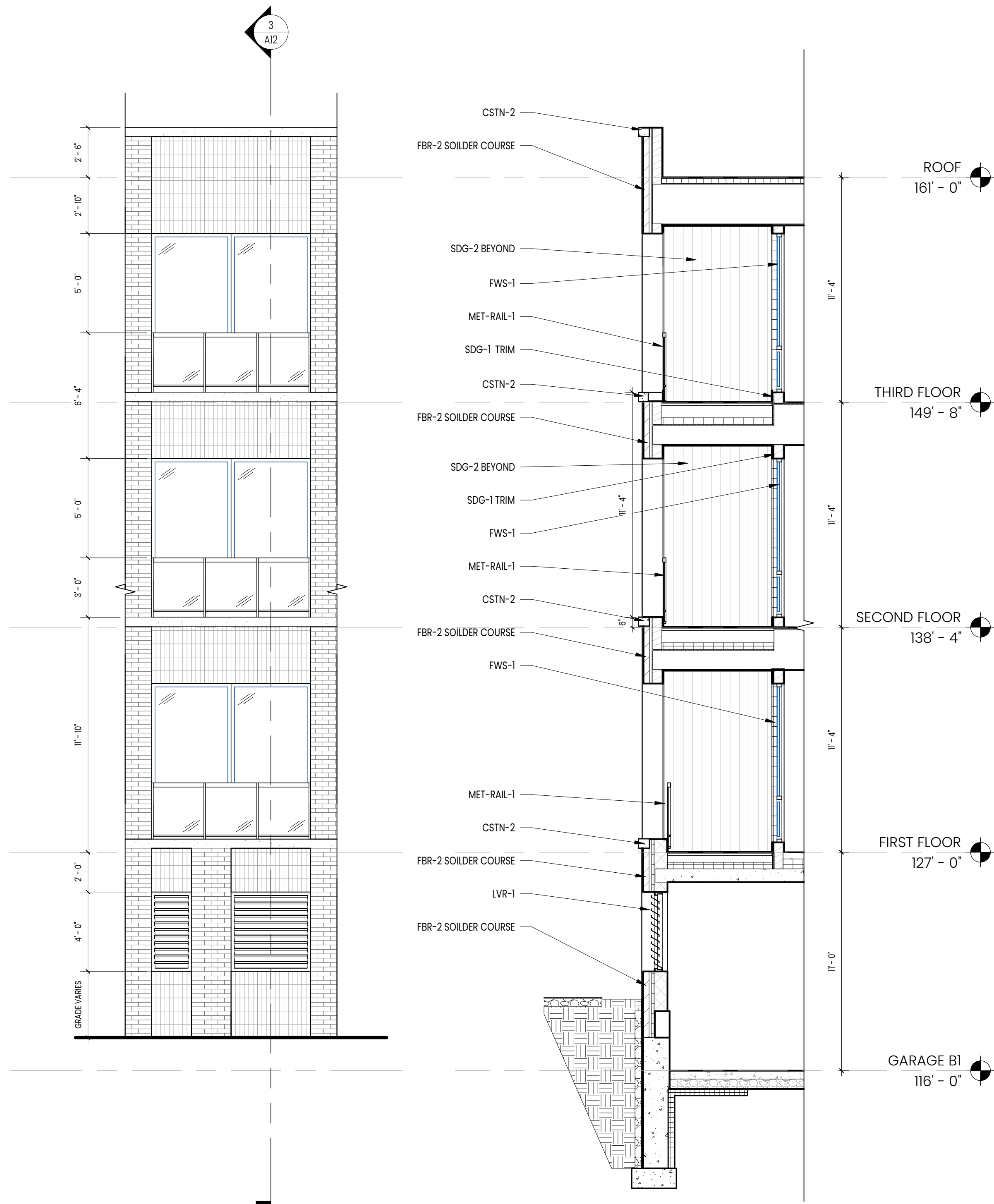
7 BRICK LEDGE DETAIL
1" = 1'-0"



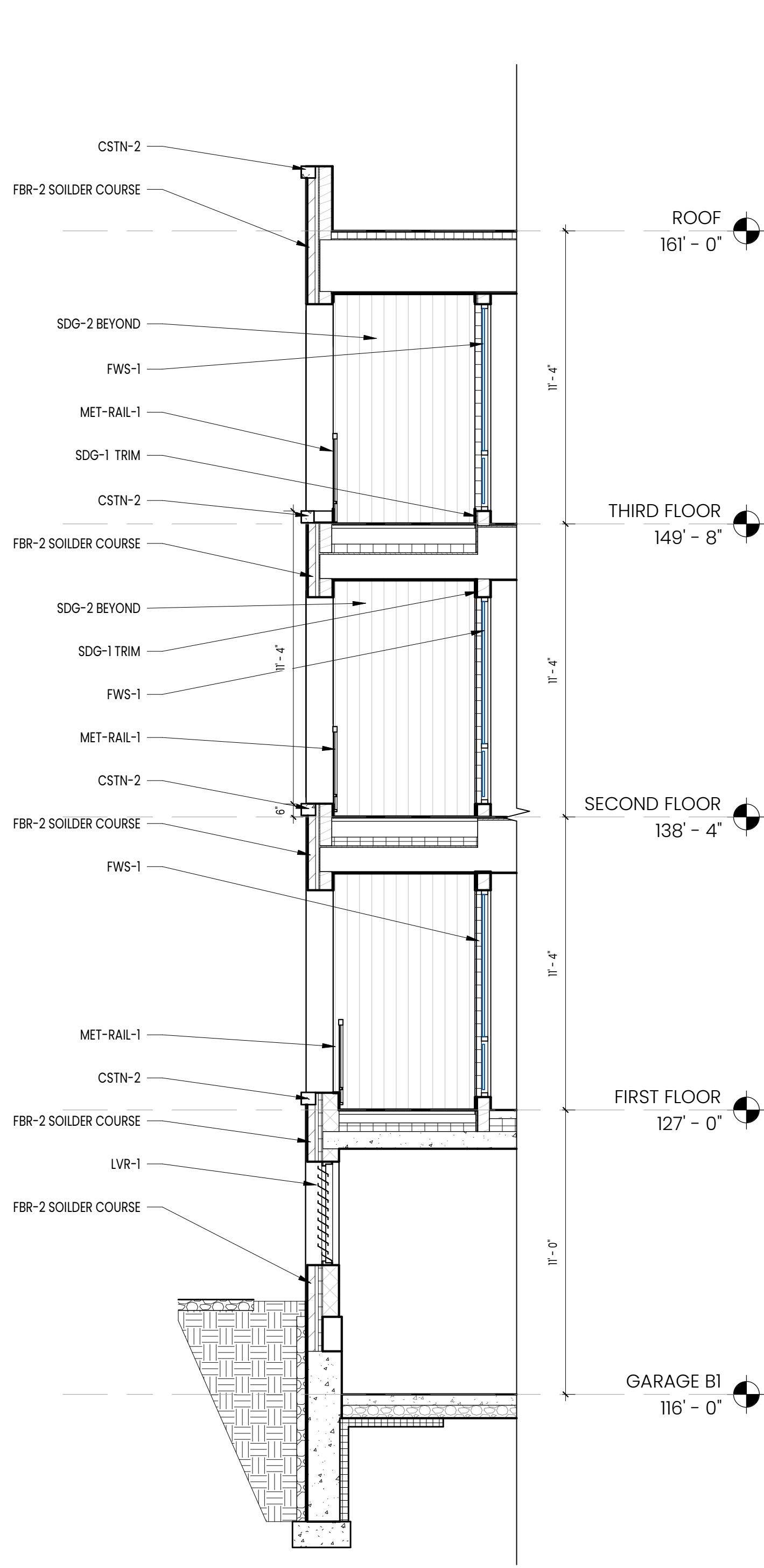
6 SOUTHWEST CORNER - ELEVATION
1/4" = 1'-0"



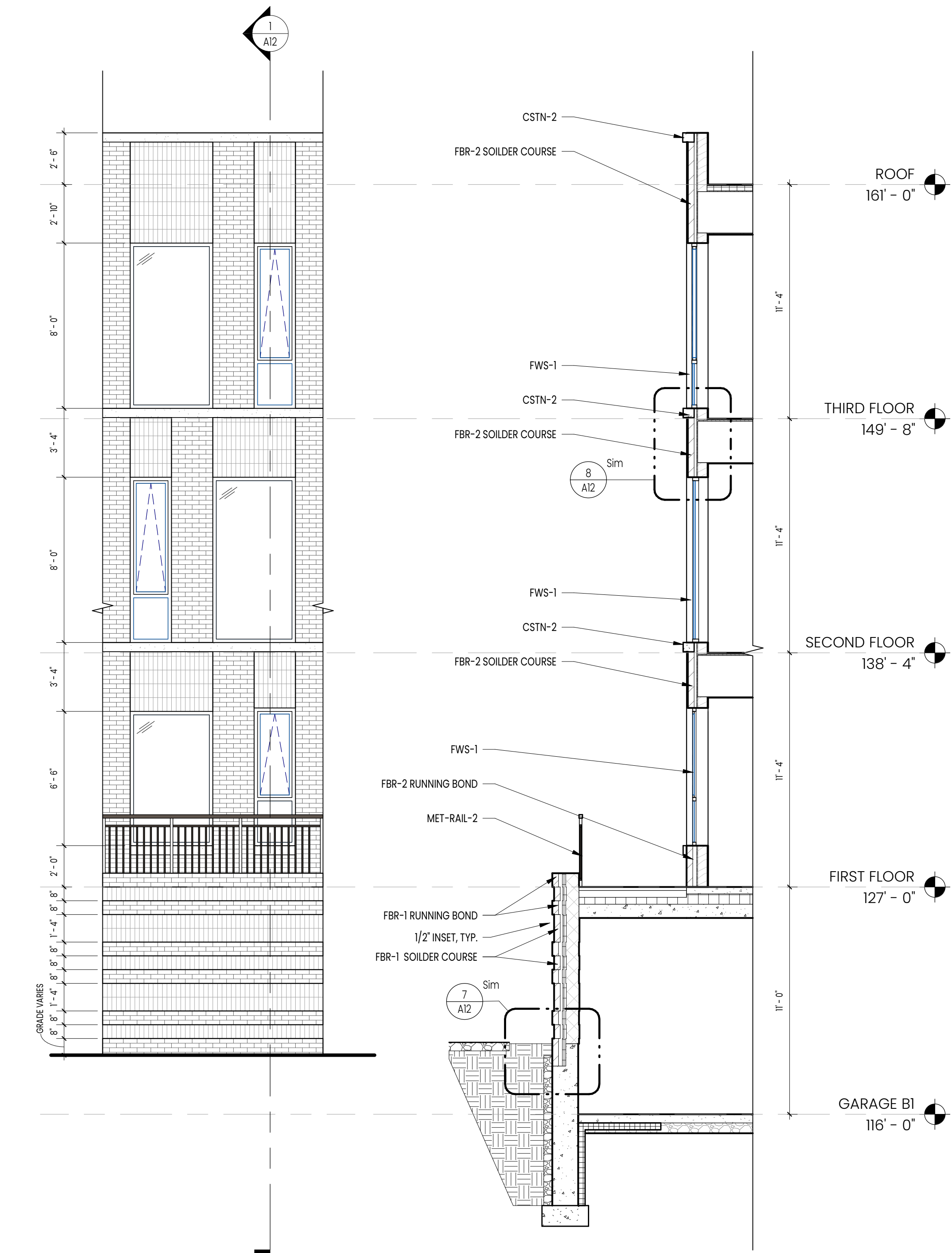
5 SOUTHWEST CORNER - SECTION
1/4" = 1'-0"



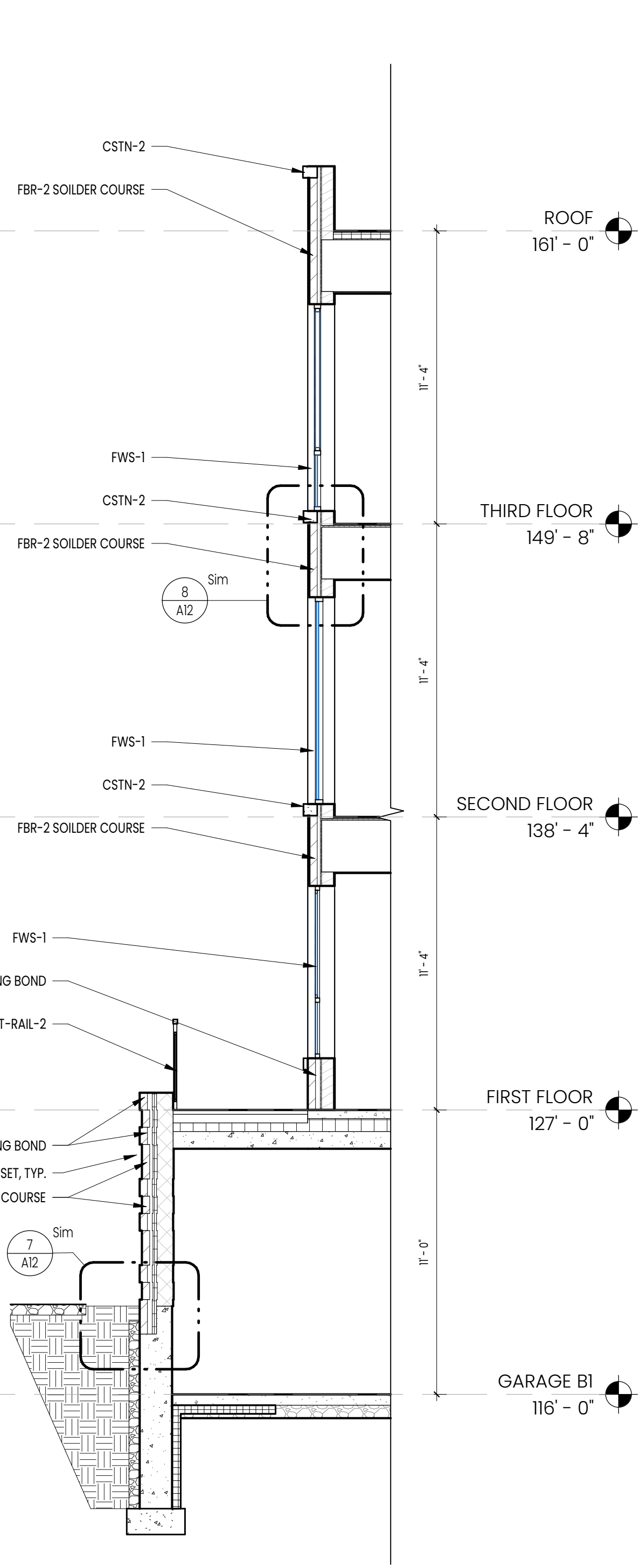
4 SOUTHEAST CORNER RECESSED BALCONIES - ELEVATION
1/4" = 1'-0"



3 SOUTH EAST CORNER RECESSED BALCONIES - SECTION
1/4" = 1'-0"



2 SOUTHEAST CORNER - ELEVATION
1/4" = 1'-0"



1 SOUTHEAST CORNER - SECTION
1/4" = 1'-0"

PROJECT:
7474 HARWOOD
7474 HARWOOD BLVD
WAUWATOSA, WI 53213

OWNER:
THREE LEAF PARTNERS
504 WEST JUNEAU
MILWAUKEE, WI 53203

ARCHITECT:
KORB + ASSOCIATES
ARCHITECTS
648 N. PLANKINTON AVE,
SUITE 240
MILWAUKEE, WI 53203

CIVIL ENGINEER:
TRIO
4100 N CALHOUN RD
STE 300
BROOKFIELD, WI 53005

LANDSCAPE ARCHITECT:
INSITE DESIGN INC.
11525 W NORTH AVE
WAUWATOSA, WI 53226

DATE REVISION

PROJ. NO.	2400401
SCALE:	As indicated
PHASE:	DRB SUBMISSION #3
DATE:	7/9/2024

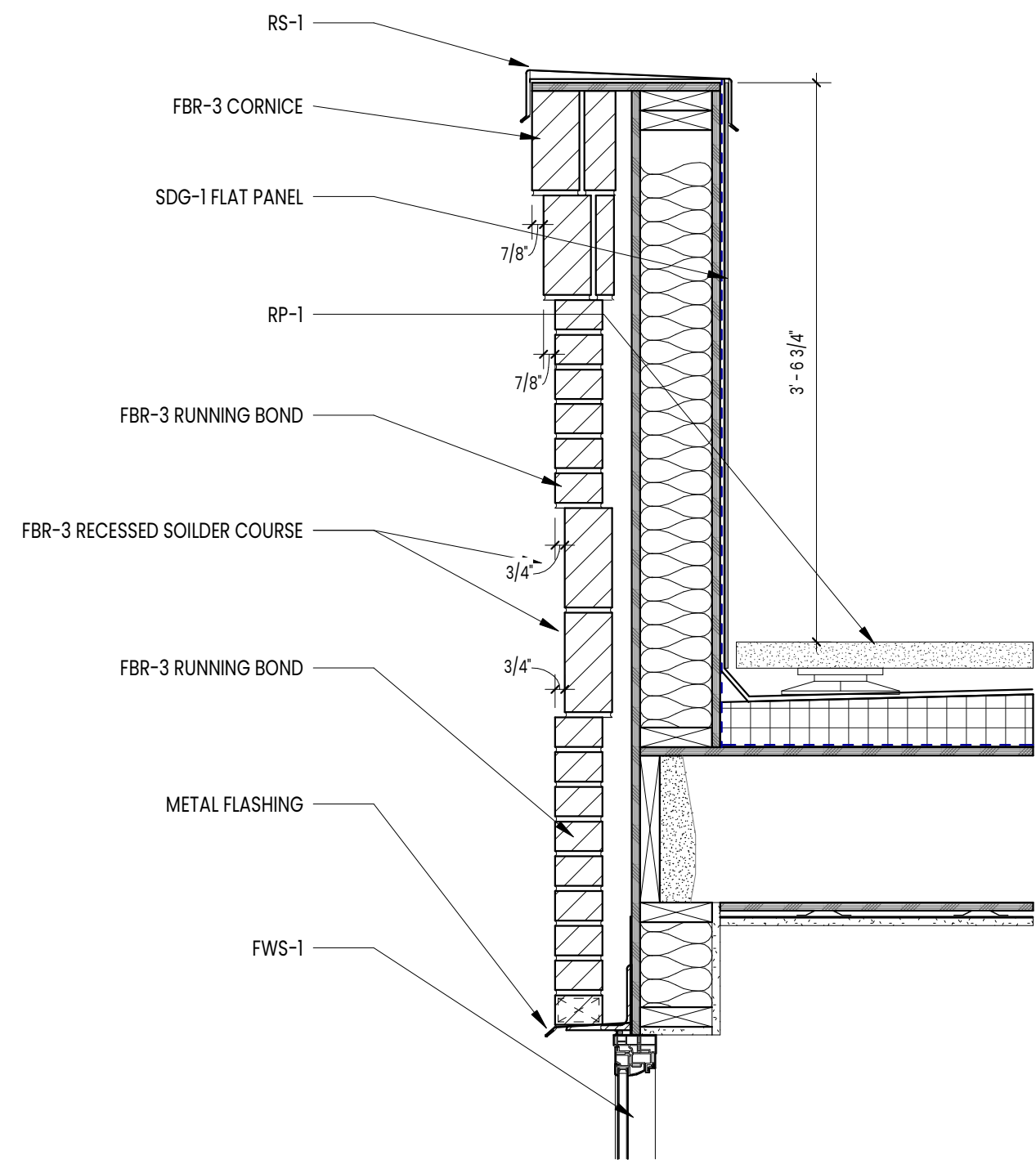
BUILDING SECTIONS

A12

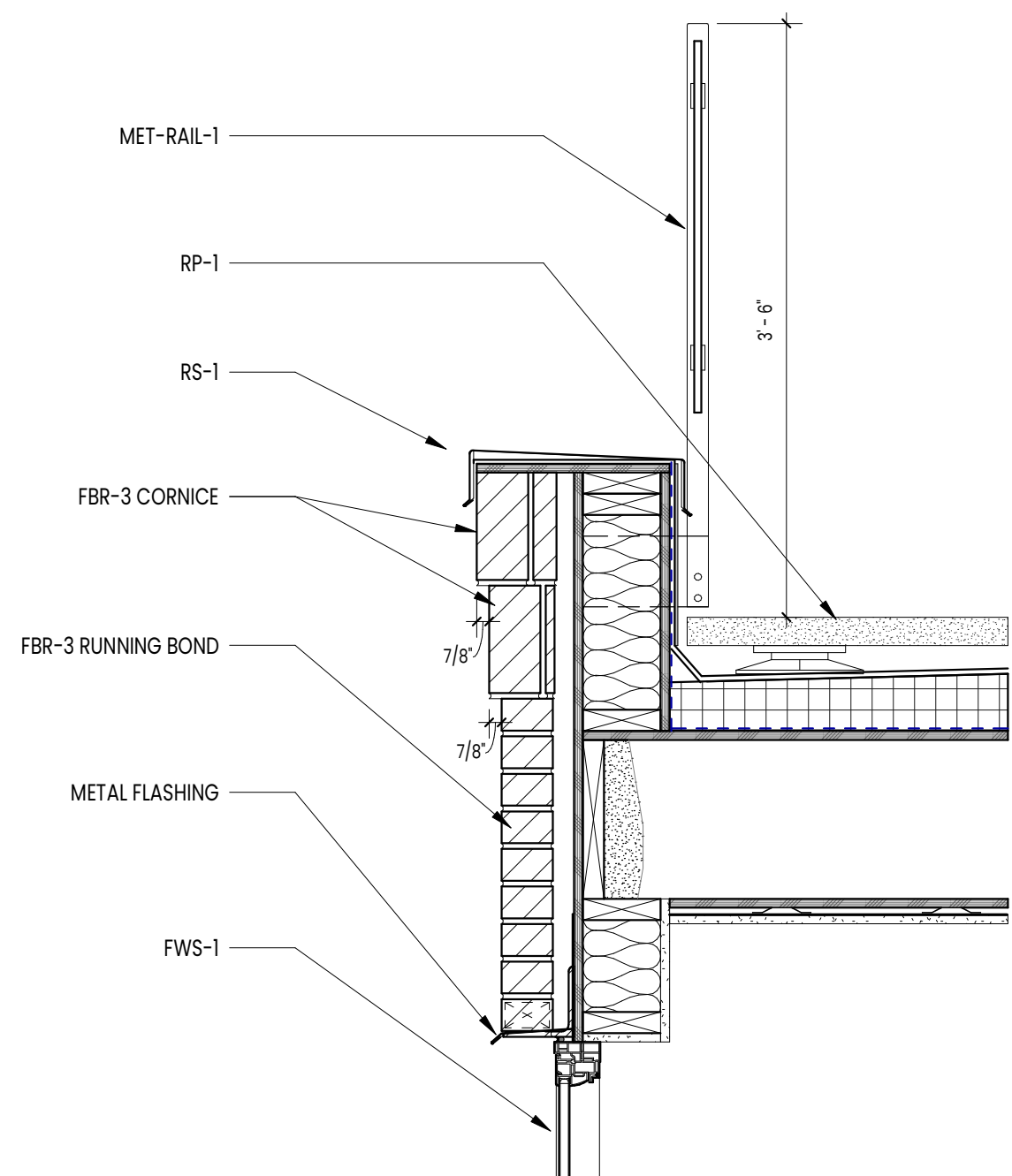
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DESIGN REVIEW - NOT FOR CONSTRUCTION

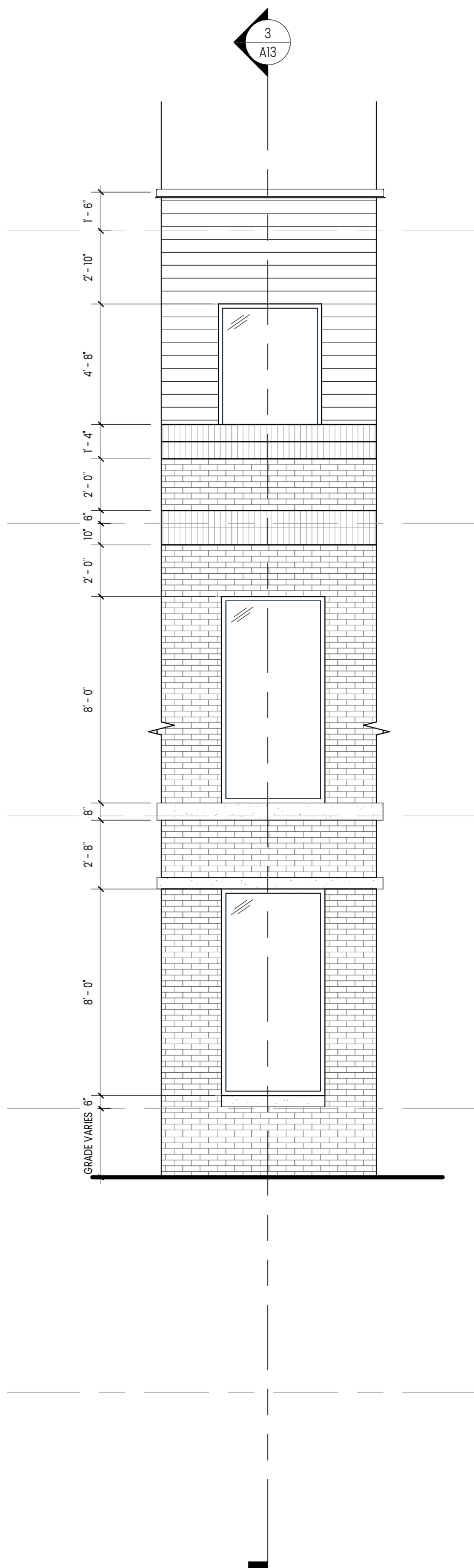
MATERIAL FINISH LEGEND	
KEYNOTE	DESCRIPTION
FBR-1	FACE BRICK 1 - BELDEN - MODULAR MAYO CLEAR A
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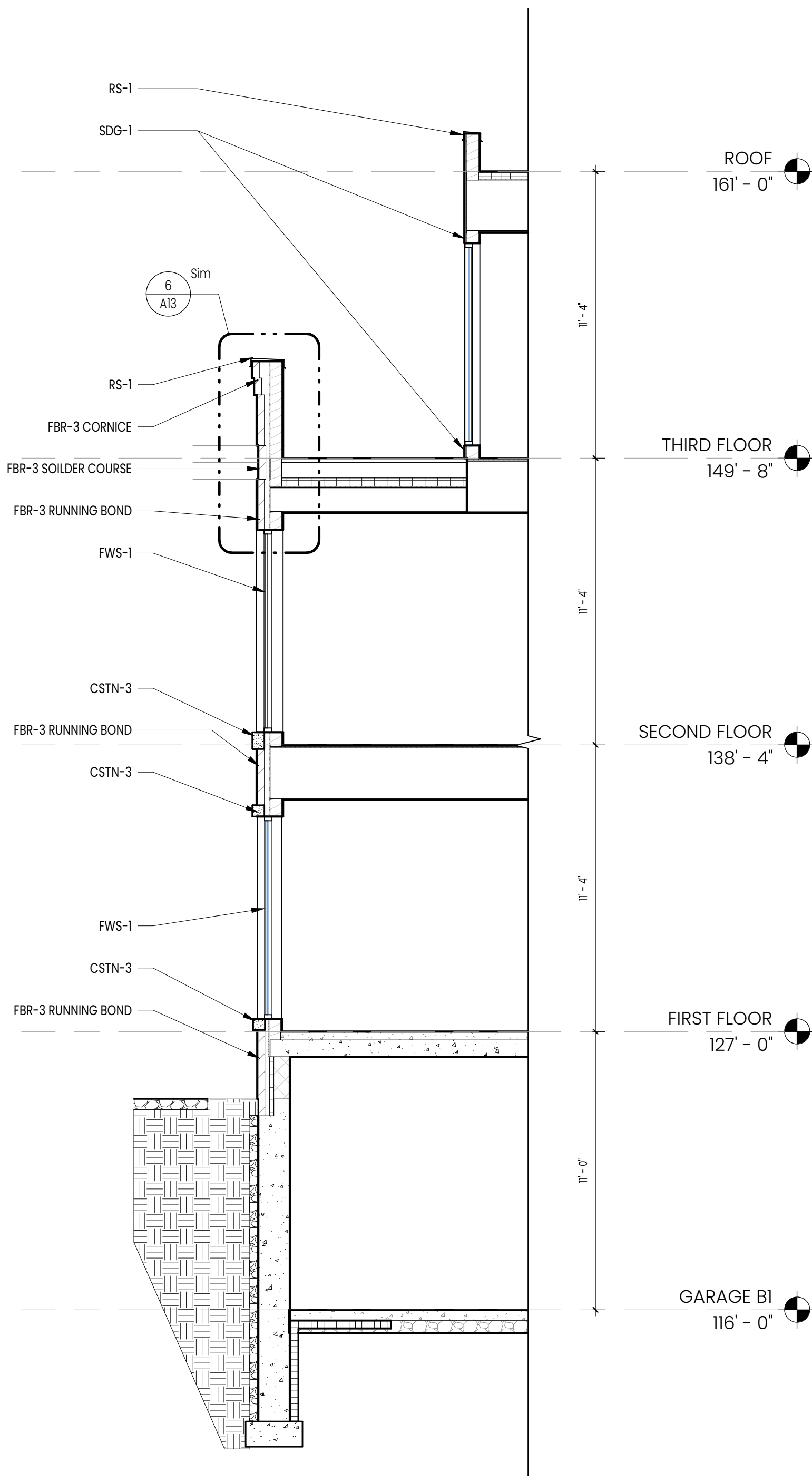
6 CORNICE PARAPET DETAIL AT TOWNHOUSES
1" = 1'-0"



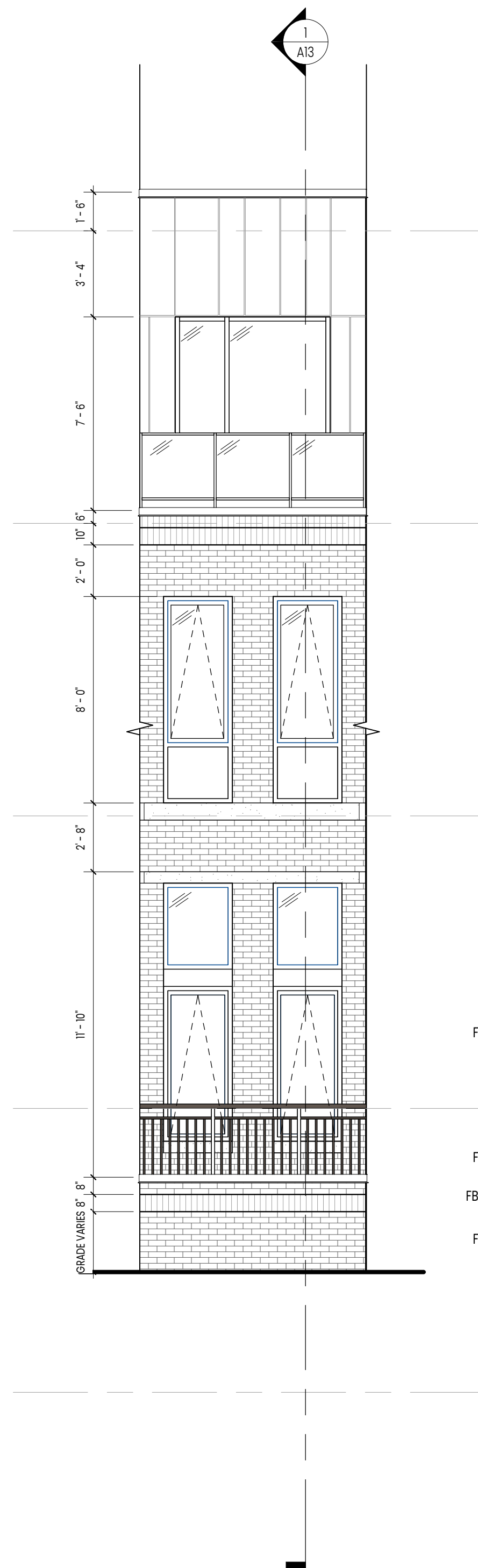
5 CORNICE DETAIL AT TOWNHOUSES
1" = 1'-0"



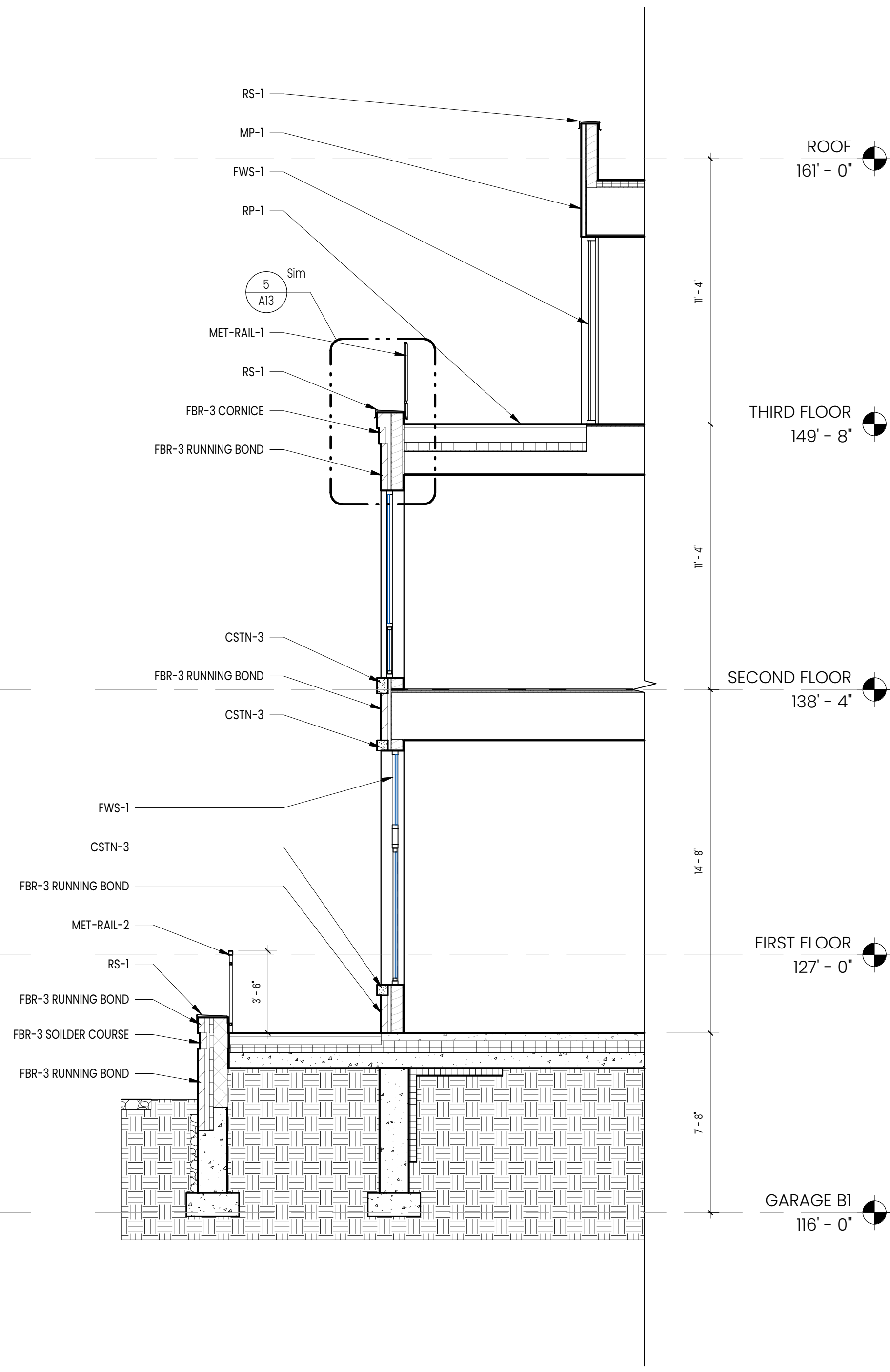
4 WAUWATOSA AVE TOWNHOUSE - ELEVATION
1/4" = 1'-0"



3 WAUWATOSA AVE TOWNHOUSE - SECTION
1/4" = 1'-0"



2 HARMONEE AVE TOWNHOUSE - ELEVATION
1/4" = 1'-0"



1 HARMONEE AVE TOWNHOUSE - SECTION
1/4" = 1'-0"

PROJECT:
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7474 HARWOOD BLVD
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CIVIL ENGINEER:
TRIO
4100 N CALHOUN RD
STE 300
BROOKFIELD, WI 53005

LANDSCAPE ARCHITECT:
INSITE DESIGN INC.
11525 W NORTH AVE
WAUWATOSA, WI 53226

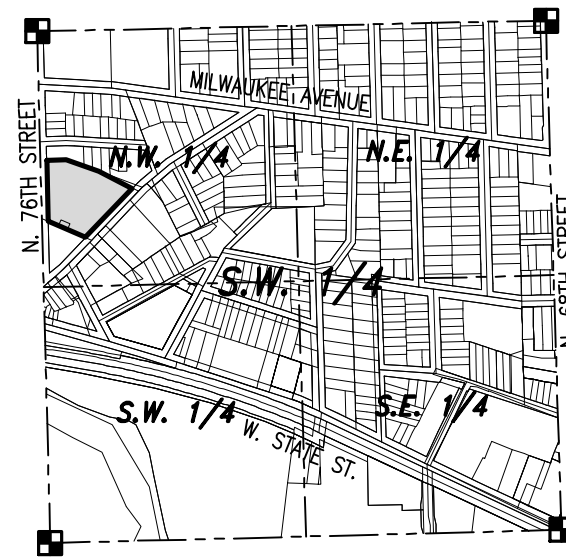
DATE	REVISION
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DESIGN REVIEW - NOT FOR CONSTRUCTION

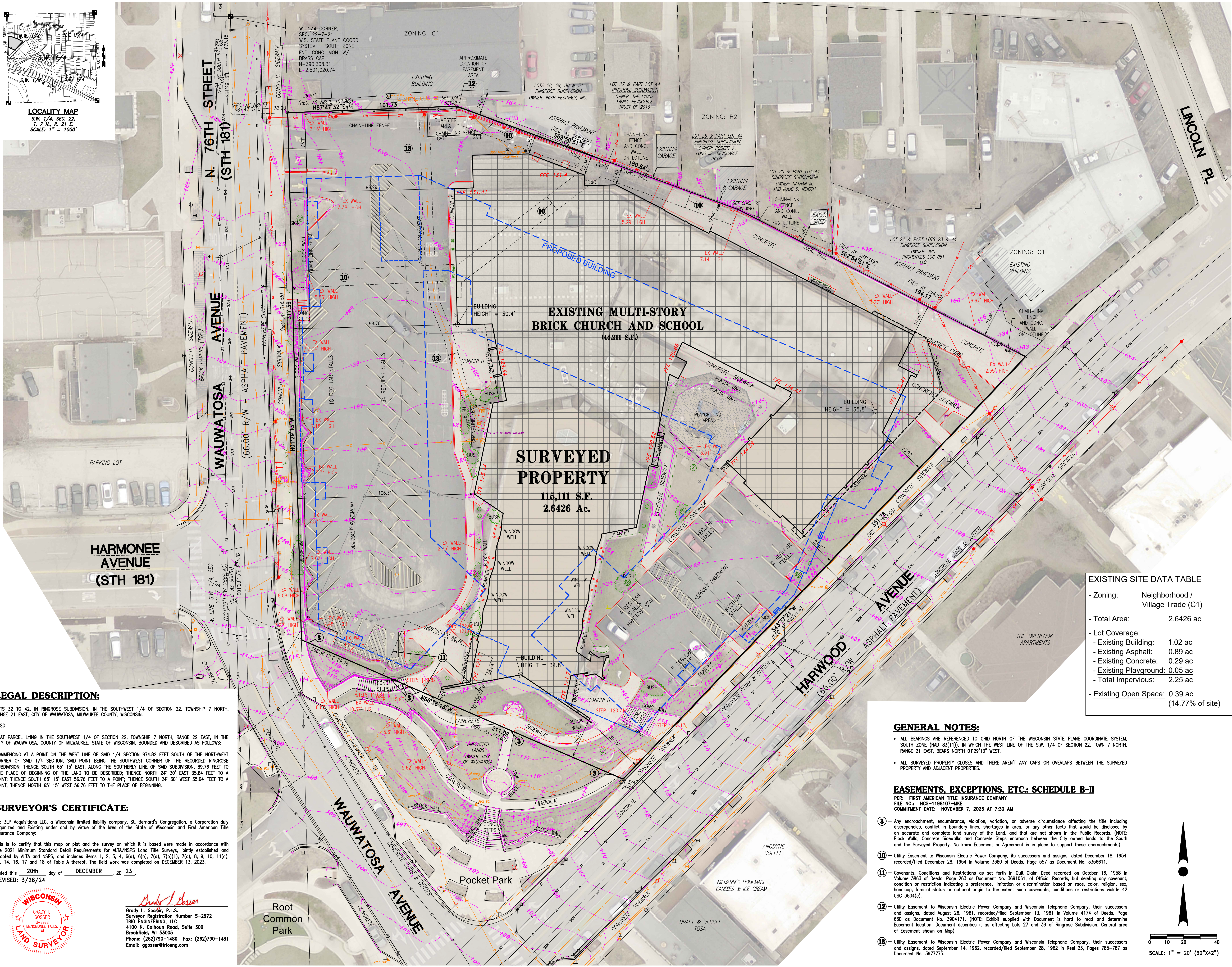
PROJ. NO.	2400401
SCALE:	As indicated
PHASE:	DRB SUBMISSION #3
DATE:	7/9/2024

BUILDING SECTIONS

A13



LOCALITY MAP
S.W. 1/4, SEC. 22,
T. 7 N., R. 21 E.
SCALE: 1" = 1000'



EXISTING MULTI-STORY
BRICK CHURCH AND SCHOOL
(44,211 S.F.)

SURVEYED
PROPERTY
115,111 S.F.
2.6426 Ac.

EXISTING SITE DATA TABLE

- Zoning:	Neighborhood / Village Trade (C1)
- Total Area:	2.6426 ac
- Lot Coverage:	
- Existing Building:	1.02 ac
- Existing Asphalt:	0.89 ac
- Existing Concrete:	0.29 ac
- Existing Playground:	0.05 ac
- Total Impervious:	2.25 ac
- Existing Open Space:	0.39 ac (14.77% of site)

GENERAL NOTES:

- ALL BEARINGS ARE REFERENCED TO GRID NORTH OF THE WISCONSIN STATE PLANE COORDINATE SYSTEM, SOUTH ZONE (NAD-83(11)), IN WHICH THE WEST LINE OF THE S.W. 1/4 OF SECTION 22, TOWN 7 NORTH, RANGE 21 EAST, BEARS NORTH 01°29'13" WEST.
- ALL SURVEYED PROPERTY CLOSURES AND THERE AREN'T ANY GAPS OR OVERLAPS BETWEEN THE SURVEYED PROPERTY AND ADJACENT PROPERTIES.

EASEMENTS, EXCEPTIONS, ETC.: SCHEDULE B-II

PER: FIRST AMERICAN TITLE INSURANCE COMPANY
FILE NO.: NCS-1198107-MKE
COMMITMENT DATE: NOVEMBER 7, 2023 AT 7:30 AM

- Any encroachment, encumbrance, violation, variation, or adverse circumstance affecting the title including discrepancies, conflict in boundary lines, shortages in area, or any other facts that would be disclosed by an accurate and complete land survey of the Land, and that are not shown in the Public Records, (NOTE: Block Walls, Concrete Sidewalks and Concrete Steps encroach between the City owned lands to the South and the Surveyed Property. No know Easement or Agreement is in place to support these encroachments).
- Utility Easement to Wisconsin Electric Power Company, its successors and assigns, dated December 18, 1954, recorded/Filed December 28, 1954 in Volume 3380 of Deeds, Page 557 as Document No. 3356611.
- Covenants, Conditions and Restrictions as set forth in Quit Claim Deed recorded on October 16, 1958 in Volume 3863 of Deeds, Page 263 as Document No. 3691061, of Official Records, but deleting any covenant, condition or restriction indicating a preference, limitation or discrimination based on race, color, religion, sex, handicap, familial status or national origin to the extent such covenants, conditions or restrictions violate 42 USC 3604(c).
- Utility Easement to Wisconsin Electric Power Company and Wisconsin Telephone Company, their successors and assigns, dated August 26, 1961, recorded/Filed September 13, 1961 in Volume 4174 of Deeds, Page 630 as Document No. 3904171. (NOTE: Exhibit supplied with Document is hard to read and determine Easement location. Document describes it as affecting Lots 27 and 39 of Ringrose Subdivision. General area of Easement shown on Map).
- Utility Easement to Wisconsin Electric Power Company and Wisconsin Telephone Company, their successors and assigns, dated September 14, 1962, recorded/Filed September 28, 1962 in Real 23, Pages 785-787 as Document No. 3977775.

LEGAL DESCRIPTION:

LOTS 32 TO 42, IN RINGROSE SUBDIVISION, IN THE SOUTHWEST 1/4 OF SECTION 22, TOWNSHIP 7 NORTH, RANGE 21 EAST, CITY OF WAUWATOSA, MILWAUKEE COUNTY, WISCONSIN.

ALSO

THAT PARCEL LYING IN THE SOUTHWEST 1/4 OF SECTION 22, TOWNSHIP 7 NORTH, RANGE 22 EAST, IN THE CITY OF WAUWATOSA, COUNTY OF MILWAUKEE, STATE OF WISCONSIN, BOUNDED AND DESCRIBED AS FOLLOWS:

COMMENCING AT A POINT ON THE WEST LINE OF SAID 1/4 SECTION 974.82 FEET SOUTH OF THE NORTHWEST CORNER OF SAID 1/4 SECTION, SAID POINT BEING THE SOUTHWEST CORNER OF THE RECORDED RINGROSE SUBDIVISION; THENCE SOUTH 65° 15' EAST, ALONG THE SOUTHERLY LINE OF SAID SUBDIVISION, 89.76 FEET TO THE PLACE OF BEGINNING OF THE LAND TO BE DESCRIBED; THENCE NORTH 24° 30' EAST 35.64 FEET TO A POINT; THENCE SOUTH 65° 15' EAST 56.76 FEET TO A POINT; THENCE SOUTH 24° 30' WEST 35.64 FEET TO A POINT; THENCE NORTH 65° 15' WEST 56.76 FEET TO THE PLACE OF BEGINNING.

SURVEYOR'S CERTIFICATE:

To: 3LP Acquisitions LLC, a Wisconsin limited liability company, St. Bernard's Congregation, a Corporation duly organized and Existing under and by virtue of the laws of the State of Wisconsin and First American Title Insurance Company;

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes items 1, 2, 3, 4, 6(a), 6(b), 7(a), 7(b)(1), 7(c), 8, 9, 10, 11(a), 13, 14, 16, 17 and 18 of Table A thereof. The field work was completed on DECEMBER 13, 2023.

Dated this 20th day of DECEMBER, 2023.
REVISED: 3/26/24



Grady L. Gosser, P.L.S.
Surveyor Registration Number S-2972
TRIO ENGINEERING, LLC
4100 N. Calhoun Road, Suite 300
Brookfield, WI 53005
Phone: (262)790-1480 Fax: (262)790-1481
Email: ggosser@trioeng.com



PROJECT:
7474 HARWOOD
7474 HARWOOD BLVD
WAUWATOSA, WI 53213

OWNER:
THREE LEAF PARTNERS
504 WEST JUNEAU
MILWAUKEE, WI 53203

ARCHITECT:
KORB + ASSOCIATES
ARCHITECTS
648 N. PLANKINTON AVE.
SUITE 240
MILWAUKEE, WI 53203

CIVIL ENGINEER:
TRIO ENGINEERING
4100 N. CALHOUN RD
STE 300
BROOKFIELD, WI 53005

LANDSCAPE ARCHITECT:
INSITE DESIGN INC.
11525 W NORTH AVE
WAUWATOSA, WI 53226

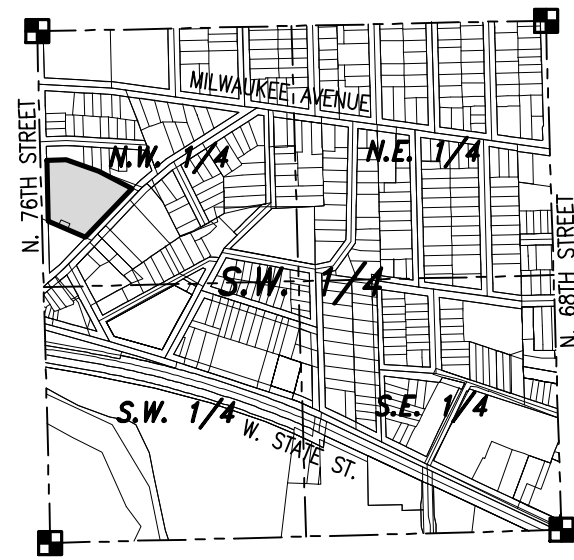
DATE	REVISION
4.9.2024	DRB SUBMISSION
5.28.2024	DRB RESUBMITTAL
7.8.2024	DRB RESUBMITTAL

DESIGN REVIEW - NOT FOR CONSTRUCTION

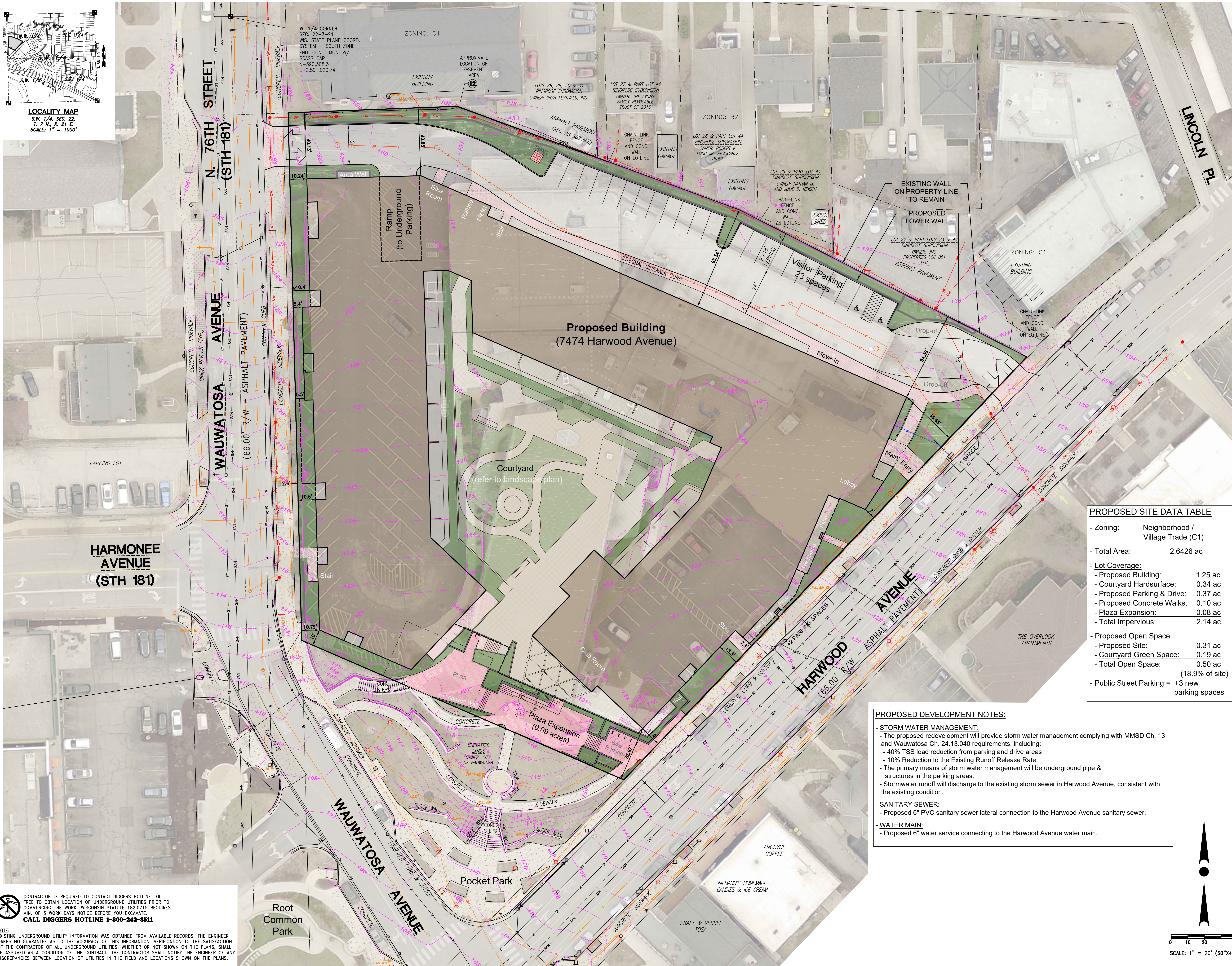
PROJNO:	24004.01
SCALE:	
PHASE:	DRB SUBMISSION#3
DATE:	7.8.2024

LAND SURVEY
EXISTING SITE PLAN

C0.10



LOCALITY MAP
S.W. 1/4, SEC. 22,
T. 7 N., R. 21 E.
SCALE: 1" = 1000'



PROPOSED SITE DATA TABLE

- Zoning:	Neighborhood / Village Trade (C1)
- Total Area:	2.6426 ac
- Lot Coverage:	
- Proposed Building:	1.25 ac
- Courtyard Hardsurface:	0.34 ac
- Proposed Parking & Drive:	0.37 ac
- Proposed Concrete Walks:	0.10 ac
- Plaza Expansion:	0.08 ac
- Total Impervious:	2.14 ac
- Proposed Open Space:	
- Proposed Site:	0.31 ac
- Courtyard Green Space:	0.19 ac
- Total Open Space:	0.50 ac
	(18.9% of site)
- Public Street Parking = +3 new parking spaces	

PROPOSED DEVELOPMENT NOTES:

- **STORM WATER MANAGEMENT:**
 - The proposed redevelopment will provide storm water management complying with MMSD Ch. 13 and Wauwatosa Ch. 24.13.040 requirements, including:
 - 40% TSS load reduction from parking and drive areas
 - 10% Reduction to the Existing Runoff Release Rate
 - The primary means of storm water management will be underground pipe & structures in the parking areas.
 - Stormwater runoff will discharge to the existing storm sewer in Harwood Avenue, consistent with the existing condition.
- **SANITARY SEWER:**
 - Proposed 6" PVC sanitary sewer lateral connection to the Harwood Avenue sanitary sewer.
- **WATER MAIN:**
 - Proposed 6" water service connecting to the Harwood Avenue water main.



PROJECT:
7474 HARWOOD
7474 HARWOOD BLVD
WAUWATOSA, WI 53213

OWNER:
THREE LEAF PARTNERS
504 WEST JUNEAU
MILWAUKEE, WI 53203

ARCHITECT:
KORB + ASSOCIATES
ARCHITECTS
648 N. PLANKINTON AVE,
SUITE 240
MILWAUKEE, WI 53203

CIVIL ENGINEER:
TRIO ENGINEERING
4100 N. CALHOUN RD
STE 300
BROOKFIELD, WI 53005

LANDSCAPE ARCHITECT:
INSITE DESIGN INC.
11525 W NORTH AVE
WAUWATOSA, WI 53226

DATE	REVISION
4.9.2024	DRB SUBMISSION
5.28.2024	DRB RESUBMITTAL
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DESIGN REVIEW - NOT FOR CONSTRUCTION

PROJNO:	24004.01
SCALE:	
PHASE:	DRB SUBMISSION #3
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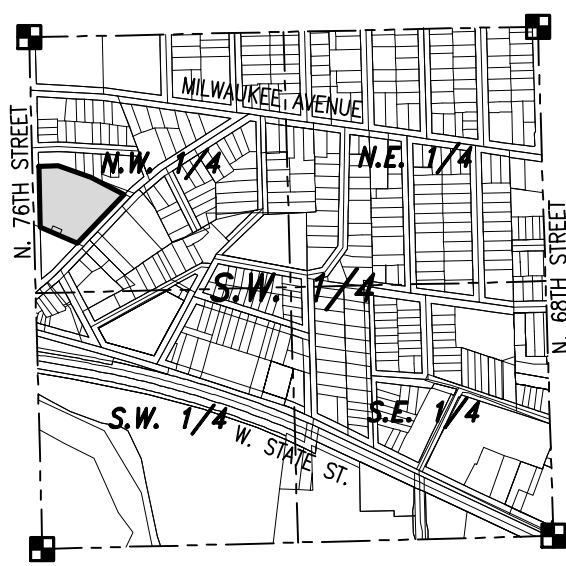
PROPOSED SITE PLAN

C1.0



CONTRACTOR IS REQUIRED TO CONTACT DIGGERS HOTLINE TOLL FREE TO OBTAIN LOCATION OF UNDERGROUND UTILITIES PRIOR TO COMMENCING THE WORK. WISCONSIN STATUTE 182.0715 REQUIRES MIN. OF 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE.
CALL DIGGERS HOTLINE 1-800-242-8511

NOTE:
EXISTING UNDERGROUND UTILITY INFORMATION WAS OBTAINED FROM AVAILABLE RECORDS. THE ENGINEER MAKES NO GUARANTEE AS TO THE ACCURACY OF THIS INFORMATION. VERIFICATION TO THE SATISFACTION OF THE CONTRACTOR OF ALL UNDERGROUND UTILITIES, WHETHER OR NOT SHOWN ON THE PLANS, SHALL BE ASSUMED AS A CONDITION OF THE CONTRACT. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES BETWEEN LOCATION OF UTILITIES IN THE FIELD AND LOCATIONS SHOWN ON THE PLANS.



LOCALITY MAP
S.W. 1/4, SEC. 22,
T. 7 N., R. 21 E.
SCALE: 1" = 1000'

PARKING LOT

HARMONEE
AVENUE
(STH 181)



CONTRACTOR IS REQUIRED TO CONTACT DIGGERS HOTLINE TOLL-FREE TO OBTAIN LOCATION OF UNDERGROUND UTILITIES PRIOR TO COMMENCING THE WORK. WISCONSIN STATUTE 182.0715 REQUIRES MIN. OF 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE.
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Root
Common
Park

ZONING: C1

W. 1/4 CORNER,
SEC. 22-7-21
WIS. STATE PLANE COORD.
SYSTEM - SOUTH ZONE
FND. CONC. MON. W/
BRASS CAP
N=390,308.31
E=2,501,020.74

APPROXIMATE
LOCATION OF
EASEMENT
AREA

ZONING: R2

ZONING: C1

Proposed Building
(7474 Harwood Avenue)

Courtyard

Pocket Park

ANDDYNE
COFFEE

NIEMANN'S HOMEMADE
CANDIES & ICE CREAM

DRAFT & VESSEL
TOSA

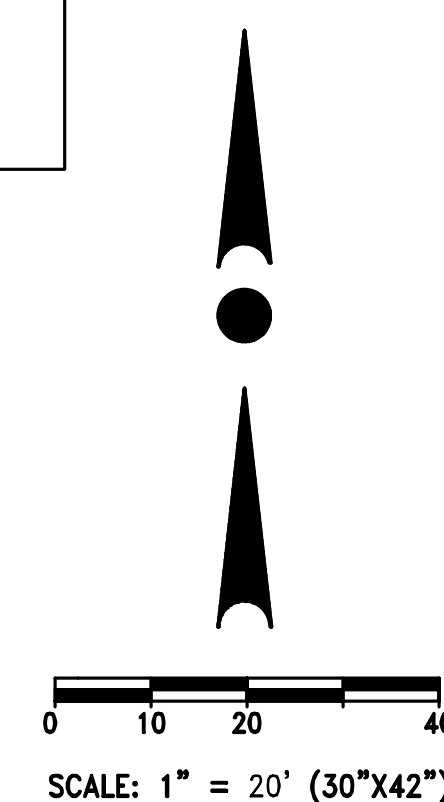
THE OVERLOOK
APARTMENTS

PROPOSED ELEVATIONS

- First Floor Elevation = 127.0
- Garage Elevation = 116.0
- Move-in Door Elev = 128.5
- North Yard Grade = 128.5
- Yard Grade varies with topography around the building.
- Refer to Grading Plan for Exterior Door elevations around the building.

PROPOSED DEVELOPMENT NOTES:

- **STORM WATER MANAGEMENT:**
 - The proposed redevelopment will provide storm water management complying with MMSD Ch. 13 and Wauwatosa Ch. 24.13.040 requirements, including:
 - 40% TSS load reduction from parking and drive areas
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 - Proposed 6" water service connecting to the Harwood Avenue water main.



KA
KORB + ASSOCIATES ARCHITECTS

THREE LEAF
PARTNERS

TRIO
TRIO ENGINEERING
CIVIL ENGINEERING

INSITE
LANDSCAPE DESIGN

PROJECT:
7474 HARWOOD
7474 HARWOOD BLVD
WAUWATOSA, WI 53213

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4100 N CALHOUN RD
STE 300
BROOKFIELD, WI 53005

LANDSCAPE ARCHITECT:
INSITE DESIGN INC.
11525 W NORTH AVE
WAUWATOSA, WI 53226

DATE	REVISION
4.9.2024	DRB SUBMISSION
5.28.2024	DRB RESUBMITTAL
7.8.2024	DRB RESUBMITTAL

DESIGN REVIEW - NOT FOR CONSTRUCTION

PROJ. NO.	24004.01
SCALE	
PHASE	DRB SUBMISSION #3
DATE	7.8.2024

PROPOSED GRADING PLAN

C2.0

PROJECT:
7474 HARWOOD
BLVD
WAUWATOSA, WI 53213OWNER:
THREE LEAF PARTNERS
504 WEST JUNEAU
MILWAUKEE, WI 53203ARCHITECT:
KORB + ASSOCIATES
ARCHITECTS
648 N. PLANKINTON AVE.
SUITE 240
MILWAUKEE, WI 53203CIVIL
ENGINEER:
TRIO
4100 N CALHOUN RD
STE 300
BROOKFIELD, WI 53005LANDSCAPE
ARCHITECT:
INSITE LANDSCAPE DESIGN INC.
11525 W NORTH AVE
WAUWATOSA, WI 53226

DATE: REVISION:

DESIGN REVIEW - NOT FOR CONSTRUCTION

PROJ. NO. 24004.01
SCALE: 1" = 20'-0"
PHASE: DESIGN REVIEW
BOARD
SUBMISSION
DATE: 7.09.2024PROPOSED PERIMETER FOUNDATION
AND BUFFER LANDSCAPE PLAN AND
PLANT MATERIAL TABLE

LSP1.1

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Proposed Plant Material Table

Quantity	Code Name	Symbol	Scientific Name	Common Name	Planting Size	Comments
2	Acgr		Acer griseum	Paperbark maple	2'-Cal - B&B	1
1	Acpt		Acer palmatum var. dissectum 'Tamukeyama'	Tamukeyama Japanese Maple	60"- Cont	1
1	AcpiAJ		Acer x pseudosaccharinum 'Arctic Jade'	Arctic Jade Korean Maple	48"- Cont	1
1	Acgr		Acer rubrum 'JFS-KW78'	Armstrong Gold Red Maple	3'-Cal - B&B	1
6	Cabel		Carpinus betulus 'Lucas'	Lucas Columna European Hornbeam	1 1/2'-Cal - B&B	1
2	GibiPS		Ginkgo biloba 'Princeton Sentry'	Princeton Sentry Maidenhair Tree	2 1/2'-Cal - B&B	1.8
4	MaAk		Malus 'Adirondack'	Adirondack Flowering Crab	1'-Cal - B&B	1
5	MaRS		Malus 'JFS KW213MX'	Raspberry Spear Flowering Crab	1'-Cal - B&B	1
-	Extg		Existing to Remain	Existing to Remain	Existing	3

Quantity	Code Name	Symbol	Scientific Name	Common Name	Planting Size	Comments
71	ThocAB		Thuja occidentalis 'Art Boe'	North Pole Arborvitae	7' - B&B	5
-	Extg		Existing to Remain	Existing to Remain	Existing	3

Quantity	Code Name	Symbol	Planting Size	Scientific Name	Common Name	Planting Size	Comments
18	HymaWBG			Hydrangea macrophylla 'Wee Bit Giddy'	Wee Bit Giddy	18" - Cont	6
15	HypaB			Hydrangea paniculata 'Bobo'	Bobo Hardy Hydrangea	24" - Cont	6
18	Hyqum			Hydrangea quercifolia 'Munchkin'	Munchkin Oakleaf Hydrangea	18" - Cont	6
26	IlvifM			Itea virginica 'Fizzy Mizzy'	Fizzy Mizzzy Sweetshrub	18" - Cont	6
23	RoEp			Rosa x Easy Peasy	Oso Easy Peasy Rose	18" - Cont	6
28	RoRC			Rosa x Reminiscent Coral	Reminiscent Coral Rose	18" - Cont	6
19	SpbeT			Spiraea betulifolia 'Tor'	Tor Birchleaf Spiraea	18" - Cont	6
7	SyPe			Syringa x 'Pendula'	Blooming Purple Lilac	18" - 24" - Cont	6
18	VicoSI			Viburnum carlesii 'J.N. Select A'	Spice Island Koreanspie Viburnum	24" - Cont	6
6	WellSBP			Weigela florida 'Sonic Bloom Punch'	Sonic Bloom Punch Weigela	18" - Cont	6

Quantity	Code Name	Symbol	Scientific Name	Common Name	Planting Size	Comments
24	IlvePB		Ilex verticillata 'Berry Poppins'	Berry Poppins Winterberry	18" - Cont	6

Quantity	Code Name	Symbol	Scientific Name	Common Name	Planting Size	Comments
20	Hecav		Hedera canariensis 'variegata'	Variegated algerian ivy	18" - Cont	6

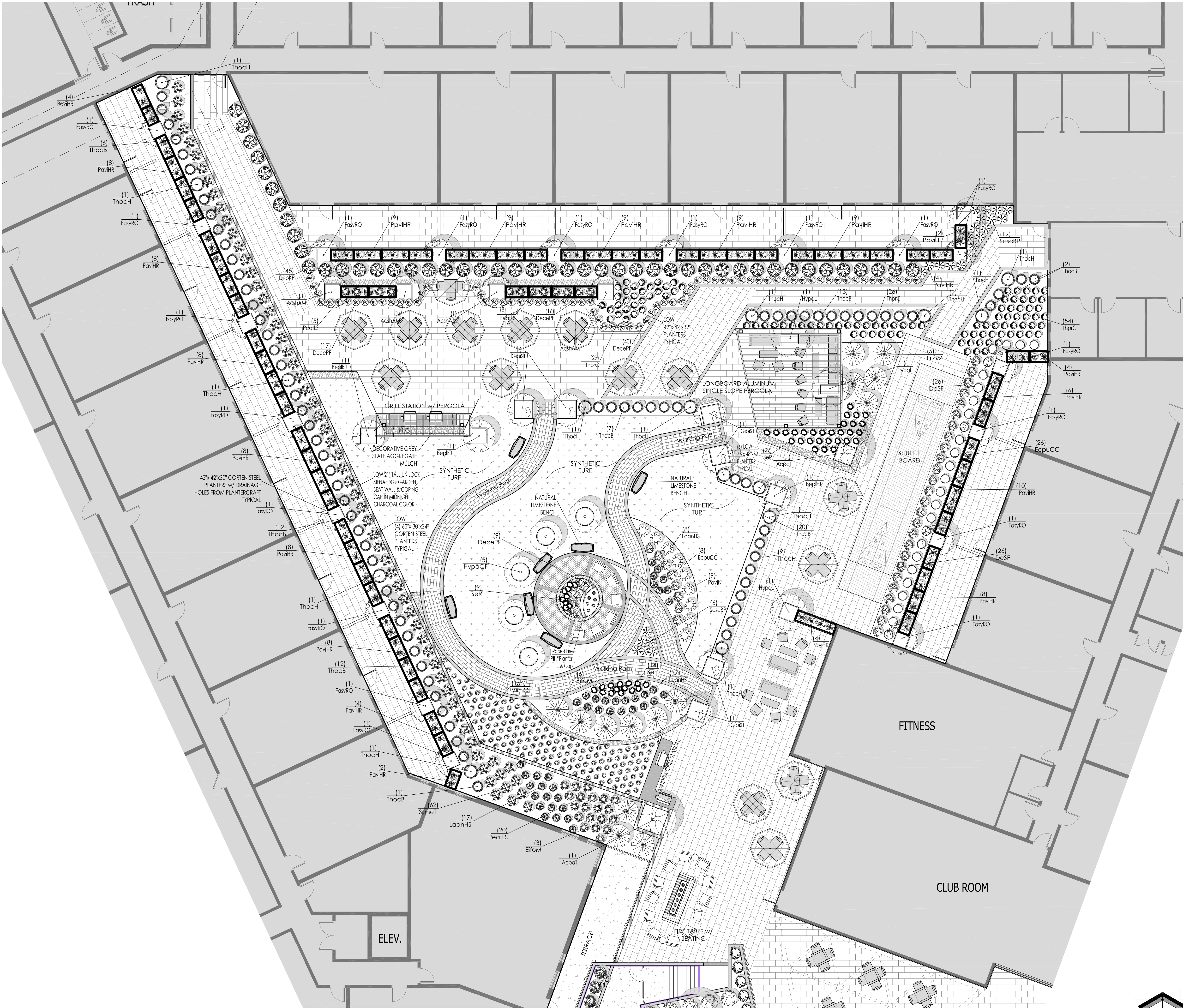
Quantity	Code Name	Symbol	Scientific Name	Common Name	Planting Size	Comments
0	JuchMJ		Juniperus chinensis 'Mint Julep'	Mint julep juniper	18" - 24" - B&B	6
42	JuscM		Juniperus scopulorum 'Medora'	Medora Juniper	4' - 5' - B&B	5
25	JupISG		Juniperus x pfitzeriana 'MonSan'	Sea of Gold Juniper	24" - Cont	6

Quantity	Code Name	Symbol	Scientific Name	Common Name	Planting Size	Comments
97	MiSLK		Miscanthus sinensis 'Little Kitten'	Little Kitten Maiden Grass	1-Gal - Cont	7
17	PavHR		Panicum virgatum 'Hot Rod'	Hot Rod Switch Grass	1-Gal - Cont	7
91	PavIN		Panicum virgatum 'Northwind'	Northwind Switch Grass	1-Gal - Cont	7
89	PavS		Panicum virgatum 'Shenandoah'	Shenandoah Switch Grass	1-Gal - Cont	7
27	SpheT		Sporobolus heterolepis 'Tara'	Tara Prairie Dropseed	1-Gal - Cont	7

Quantity	Code Name	Symbol	Scientific Name	Common Name	Planting Size	Comments
90	HePMt		Hemerocallis 'Persian Market'	Persian Market Daylily	1-Gal - Cont	7
154	HeVS		Hemerocallis 'Varety is the Spice'	Varety is the Spice Daylily	1-Gal - Cont	7
100	HeViM		Heuchera x villosa 'Mocha'	Mocha Coral Bells	1-Gal - Cont	7
45	Hog		Hosta x Guacamole	Guacamole Plantain Lily	1-Gal - Cont	7
19	PhpaSF		Phlox paniculata 'Fantasy'	Summer Sweet Fantasy Garden Phlox	1-Gal - Cont	7

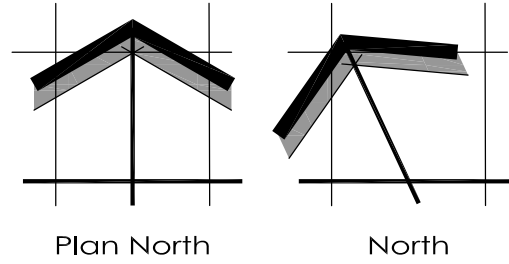
- Comments
1. Straight central leader, full & even crown. Prune only after planting.
 2. Well balanced, multi-stemmed tree with a minimum of (3) strong canes and full appearance.
 3. Prune existing tree, remove any dead, diseased or hazardous limbs. Thin out as required and raise canopy for safety and viability for both pedestrians and motorists.
 4. Remove tree in its entirety and grind stump to a minimum of 6" below adjacent grade. Remove grinding chips and fill hole with topsoil.
 5. Sow with specified turf grass seed as required.
 6. Evenly shaped upright tree/shrub with full branching to the ground.
 7. Full, well rooted plant, evenly shaped.
 7. Full, well rooted plant.
- A. Maria Zerk

SCALE: 1" = 20'-0"



1 PROPOSED LANDSCAPE PLAN

SCALE: 1" = 10'-0"



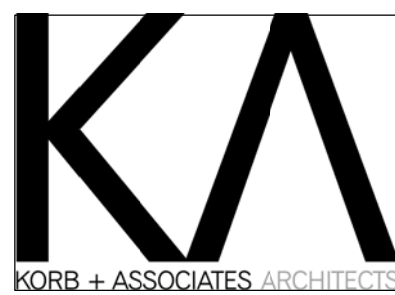
Broadleaf Deciduous Tree					
Quantity	Code Name	Symbol	Scientific Name	Common Name	Planting Size
2	AcpaT		Acer palmatum var. dissectum 'Tamukeyama'	Tamukeyama Japanese Maple	40" - Cont.
4	AcshAM		Acer shirasawanum 'Autumn Moon'	Autumn Moon Fullmoon Maple	40" - Cont.
3	BepkJ		Betula platyphylla 'Jefpark'	Parkland Pillar Birch	6" - B&B
20	FasyRO		Fagus sylvatica 'Red Obelisk'	Red Obelisk Beech	6" - B&B
6	GibST		Ginkgo biloba 'JINP Sky Tower'	Sky Tower Ginkgo	6" - B&B
1, 6					
Broadleaf Deciduous Shrub					
Quantity	Code Name	Symbol	Scientific Name	Common Name	Planting Size
26	DeSF		Deutzia 'NCDXI'	Yuki Snowflake Deutzia	15" - Cont.
46	DispKF		Diervilla x splendens 'Kodiak Fresh'	Kodiak Fresh Bush Honeysuckle Diervilla	18" - Cont.
3	Hypal		Hydrangea paniculata 'LimeLight'	LimeLight Hardy Hydrangea	5" - Cont.
5	HypaQF		Hydrangea paniculata 'Quick Fire'	Quick Fire Hardy Hydrangea	5" - Cont.
Conifer Evergreen					
Quantity	Code Name	Symbol	Scientific Name	Common Name	Planting Size
14	EfoM		Euonymus fortunei 'Moonshadow'	Moonshadow Wintercreeper	18" - Cont.
Conifer Evergreen Shrub					
Quantity	Code Name	Symbol	Scientific Name	Common Name	Planting Size
77	ThocB		Thuja occidentalis 'Bobazam'	Mr. Bowling Ball Arborvitae	18" - Cont.
15	ThocH		Thuja occidentalis 'Holmstrup'	Holmstrup Dwarf Arborvitae	2' - 3' - Cont.

Proposed Plant Material Table - Courtyard

Perennial Grass					
Quantity	Code Name	Symbol	Scientific Name	Common Name	Planting Size
82	DecePF		Deschampsia cespitosa 'Pixie Fountain'	Pixie Fountain Tufted Hair Grass	1-Gal - Cont.
141	PavHR		Panicum virgatum 'Hot Rod'	Hot Rod Switch Grass	1-Gal - Cont.
9	PavN		Panicum virgatum 'Northwind'	Northwind Switch Grass	1-Gal - Cont.
24	ScscBP		Schizachyrium scoparium 'Blue Paradise'	Blue Paradise Little Bluestem	1-Gal - Cont.
63	SphET		Sporobolus heterolepis 'Tara'	Tara Prairie Dropseed	1-Gal - Cont.
Perennial					
Quantity	Code Name	Symbol	Scientific Name	Common Name	Planting Size
34	EcpuCC		Echinacea purpurea 'Coral Craze'	Coral Craze Coneflower	1-Gal - Cont.
42	LoanHS		Lavandula angustifolia 'Hidcote Superior'	Hidcote Superior English Lavender	1-Gal - Cont.
33	PecLIS		Perovskia atriplicifolia 'Little Spire'	Little Spire Russian Sage	1-Gal - Cont.
Ground Cover Perennial					
Quantity	Code Name	Symbol	Scientific Name	Common Name	Planting Size
52	SeR		Sedum 'Razzeberry'	Sunsparkler Dazzleberry Sedum	4 1/2" pot
101	ThprC		Thymus praecox 'Coccineus'	Red Creeping Thyme	4 1/2" pot
156	VimSS		Vinca minor 'Sunny Skies'	Sunny Skies Periwinkle	4 1/2" pot

Comments

1. Straight central leader, full & even crown. Prune only after planting.
2. Well balanced, multi-stemmed tree with a minimum of (3) strong canes and full appearance.
3. Evenly shaped upright tree/shrub with full branching to the ground.
4. Full, well rooted plant, evenly shaped.
5. Full, well rooted plant.
6. Male only
7. Tree-form, Single Stem Specimen



PROJECT:
7474 HARWOOD
7474 HARWOOD BLVD
WAUWATOSA, WI 53213

OWNER:
THREE LEAF PARTNERS
504 WEST JUNEAU
MILWAUKEE, WI 53203

ARCHITECT:
KORB + ASSOCIATES
ARCHITECTS
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STE 300
BROOKFIELD, WI 53005

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ARCHITECT:
INSITE LANDSCAPE DESIGN INC.
11525 W NORTH AVE
WAUWATOSA, WI 53226

DATE: REVISION:

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PROJ. NO.	24004.01
SCALE:	1" = 10'-0"
PHASE:	DESIGN REVIEW
BOARD SUBMISSION	
DATE:	5.28.2024

PROPOSED COURTYARD LANDSCAPE
PLAN AND PLANT MATERIAL TABLE

LSP1.2

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1 K9GRASS FROM FOREVERLAWN

4 BLACK ALUMINUM PRIVACY SCREEN WALLS

NORTHERN BOUNDARY SEGEMENTED BLOCK RETAINING WALL





LSD1 3

ARCANA™

THICKNESS 50MM
REGION CHICAGO



UNILOCK Exclusive Technologies
= ENDURACOLOR™
= EASYCLEAN™

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UNILOCK
TECH SHEET

ARCANA™

APPLICATIONS

Note: Not all sizes are suitable for every application. Contact Unilock Representative for assistance.

Pedestal or Overlay
Deck/Overlay, Deck

Residential & Commercial Pedestrian
Walkway, Patio, Terrace, Pool Deck, Driveway, Conjecture, Fire Deck, Plaza, Park, School

COLORS



12"x24"
305mm x 605mm x 50mm
11 7/8" x 23 7/8" x 2"

24"x24"
605mm x 605mm x 50mm
23 7/8" x 23 7/8" x 2"

18"x24"
457mm x 605mm x 50mm
17 7/8" x 23 7/8" x 2"



24"x24"
605mm x 605mm x 50mm
23 7/8" x 23 7/8" x 2"

18"x24"
457mm x 605mm x 50mm
17 7/8" x 23 7/8" x 2"

12"x24"
305mm x 605mm x 50mm
11 7/8" x 23 7/8" x 2"



18"x24"
457mm x 605mm x 50mm
17 7/8" x 23 7/8" x 2"

12"x24"
305mm x 605mm x 50mm
11 7/8" x 23 7/8" x 2"

24"x24"
605mm x 605mm x 50mm
23 7/8" x 23 7/8" x 2"

BEACON HILL™
SMOOTH WITH
EASYCLEAN™

THICKNESS 50MM
REGION CHICAGO



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BEACON HILL™ SMOOTH WITH EASYCLEAN™

APPLICATIONS

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Residential & Commercial Pedestrian

COLORS



LARGE RECTANGLE
305mm x 605mm x 50mm
11 7/8" x 23 7/8" x 2 3/8"

SMALL RECTANGLE
150mm x 605mm x 50mm
7 1/2" x 11" x 2 3/8"

SQUARE
305mm x 305mm x 50mm
11 7/8" x 11 7/8" x 2 3/8"

XL
370mm x 605mm x 50mm
22 1/2" x 23 7/8" x 2 3/8"



LARGE RECTANGLE
305mm x 605mm x 50mm
11 7/8" x 23 7/8" x 2 3/8"

SMALL RECTANGLE
150mm x 605mm x 50mm
7 1/2" x 11" x 2 3/8"

SQUARE
305mm x 305mm x 50mm
11 7/8" x 11 7/8" x 2 3/8"

XL
370mm x 605mm x 50mm
22 1/2" x 23 7/8" x 2 3/8"

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3

1 UNILOCK ARCANA - OPTIONAL COURTYARD PAVER

SORENO™

THICKNESS 50MM
REGION CHICAGO



UNILOCK Exclusive Technologies
= ENDURACOLOR™
= EASYCLEAN™
= COMFORT STEP

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UNILOCK
TECH SHEET

SORENO™

APPLICATIONS

Note: Not all sizes are suitable for every application. Contact Unilock Representative for assistance.

Pedestal or Overlay
Deck/Overlay, Deck

Residential & Commercial Pedestrian

COLORS



16"x32"
407mm x 810mm x 50mm
16" x 32" x 2"



16"x32"
407mm x 810mm x 50mm
16" x 32" x 2"



16"x32"
407mm x 810mm x 50mm
16" x 32" x 2"

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2

SORENO™

LAYING PATTERNS



LP SORENO 16X32 RB A

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3

3 UNILOCK SORENO - OPTIONAL COURTYARD PAVER



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mdavis@insitedesigninc.com

PROJECT:
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DATE REVISION

PROJ. NO.	24004.01
SCALE:	1" = 10'-0"
PHASE:	DESIGN REVIEW BOARD SUBMISSION
DATE:	07.09.2024

PROPOSED COURTYARD LANDSCAPE
MATERIALS

LSP1.4

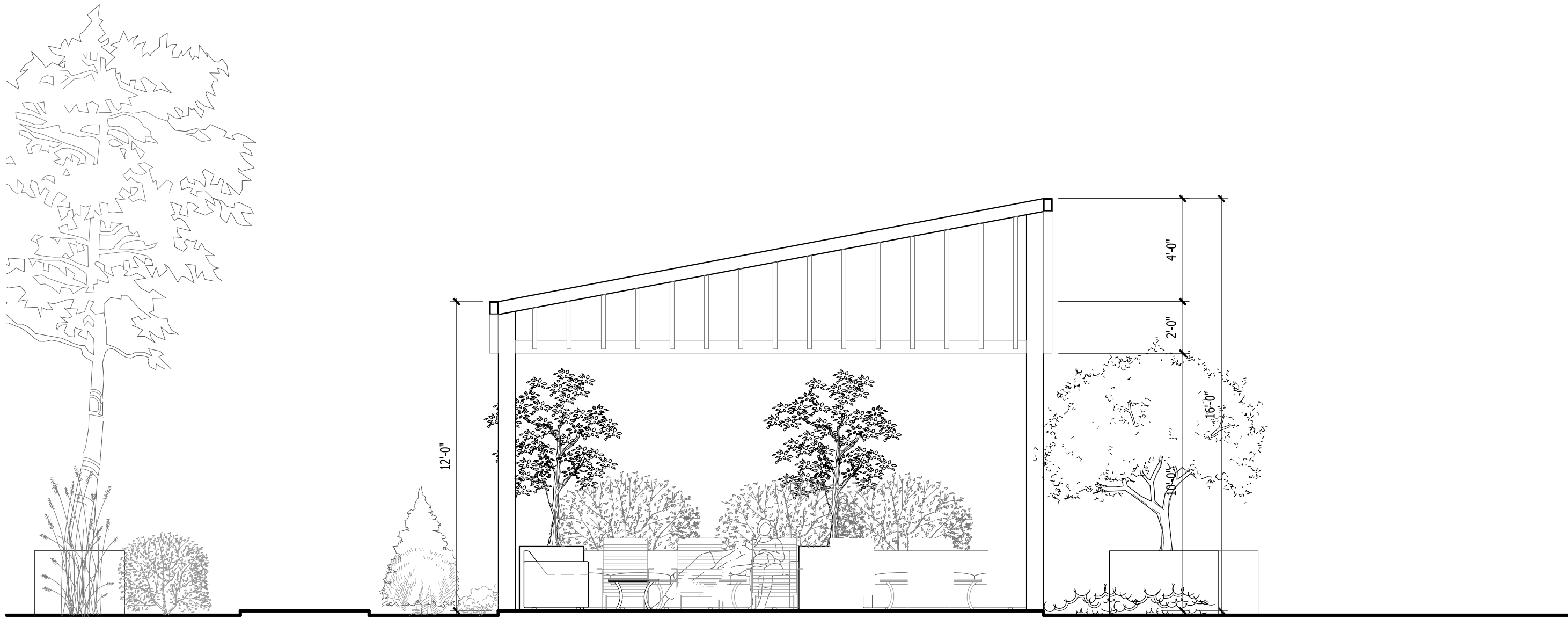
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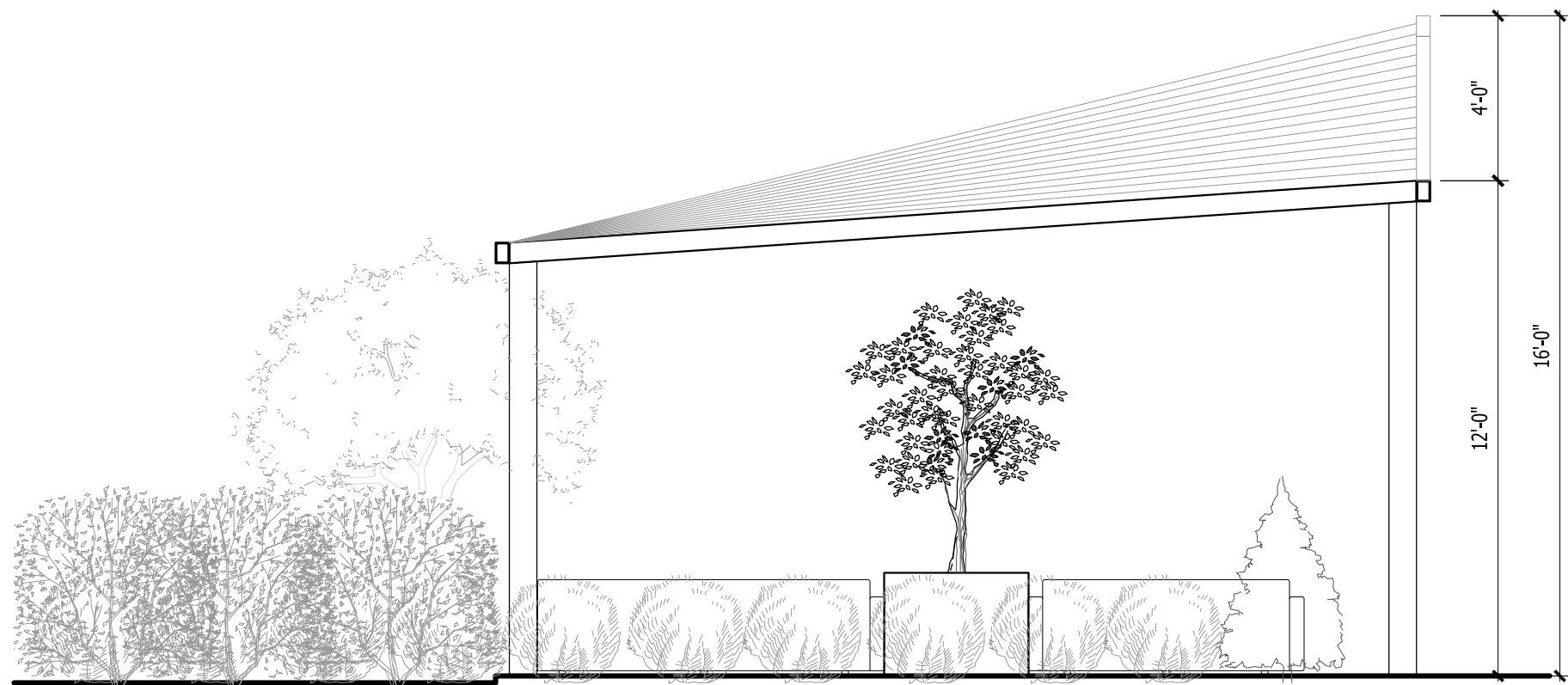
1 COURTYARD
CENTER CIRCULAR FIRE PIT CONCEPT SKETCH

SCALE: N.T.S.



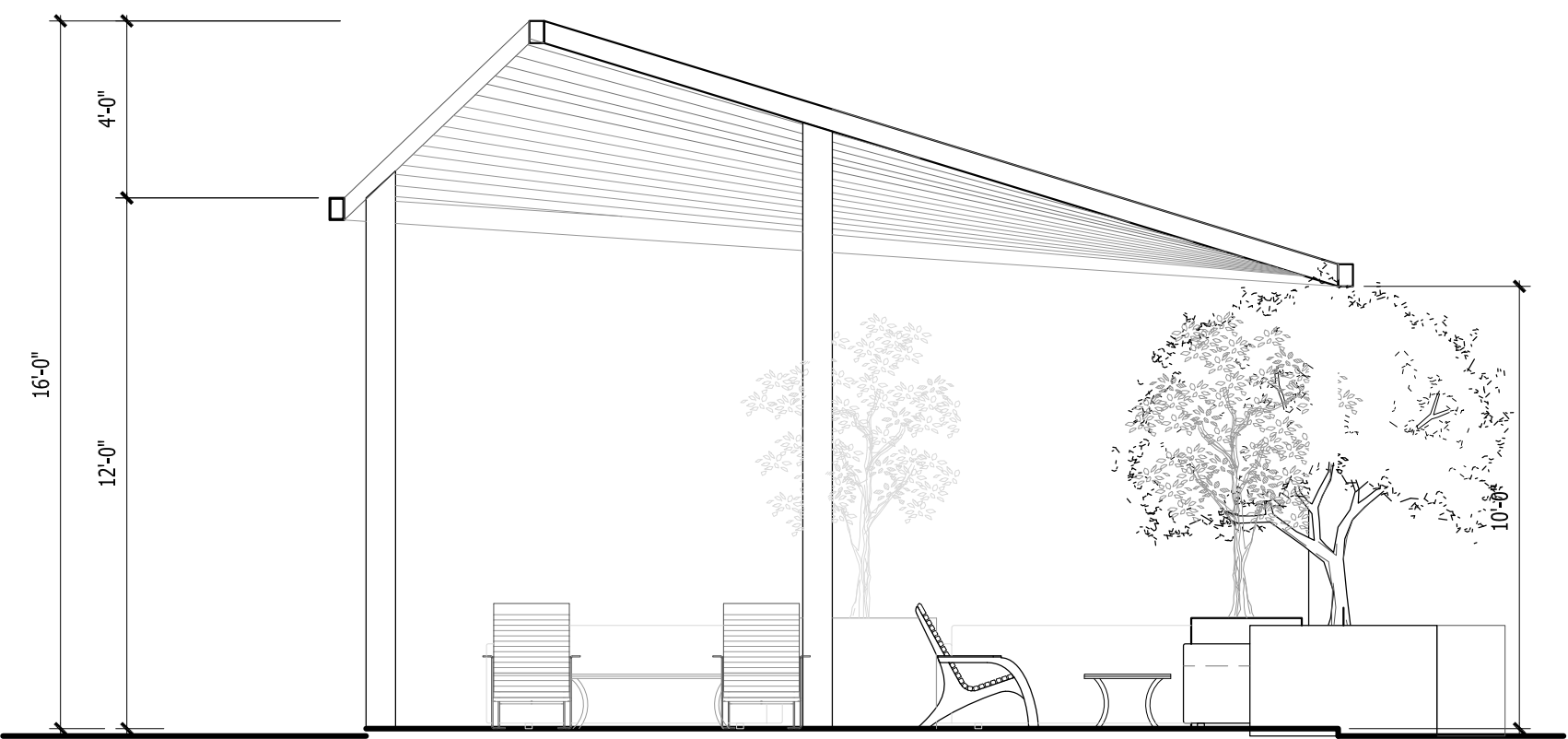
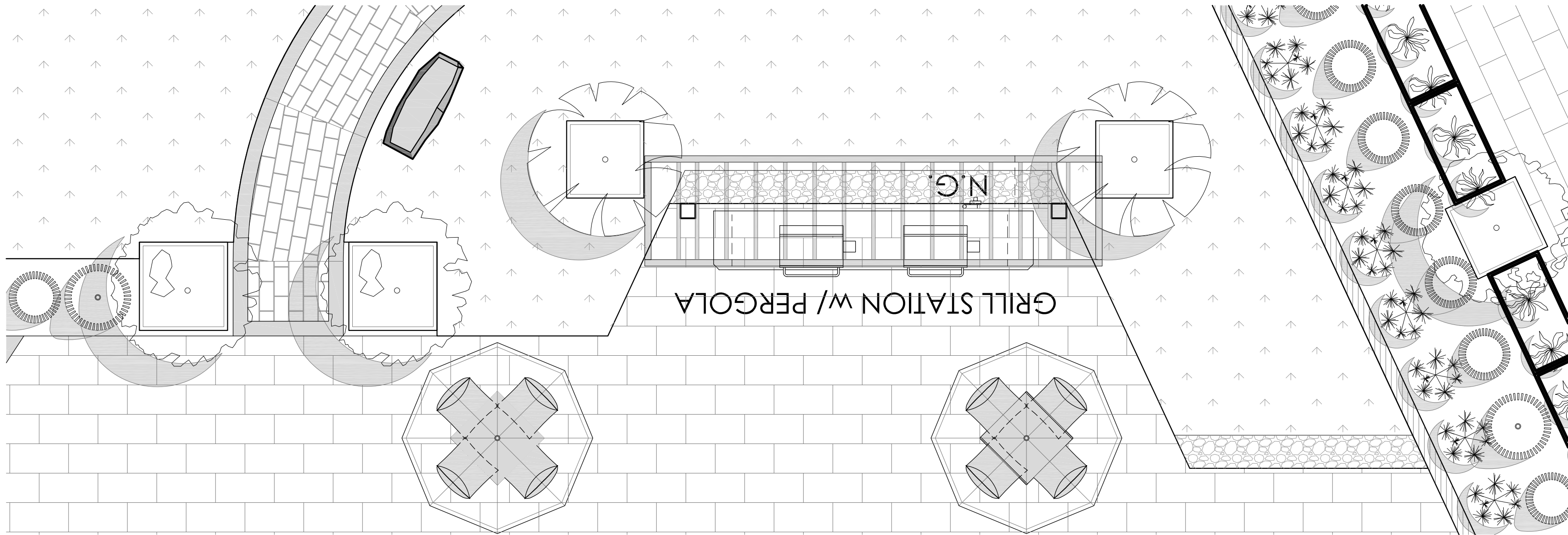
2 COURT YARD PERGOLA FRONT ELEVATION

SCALE: 1/4" = 1'-0"



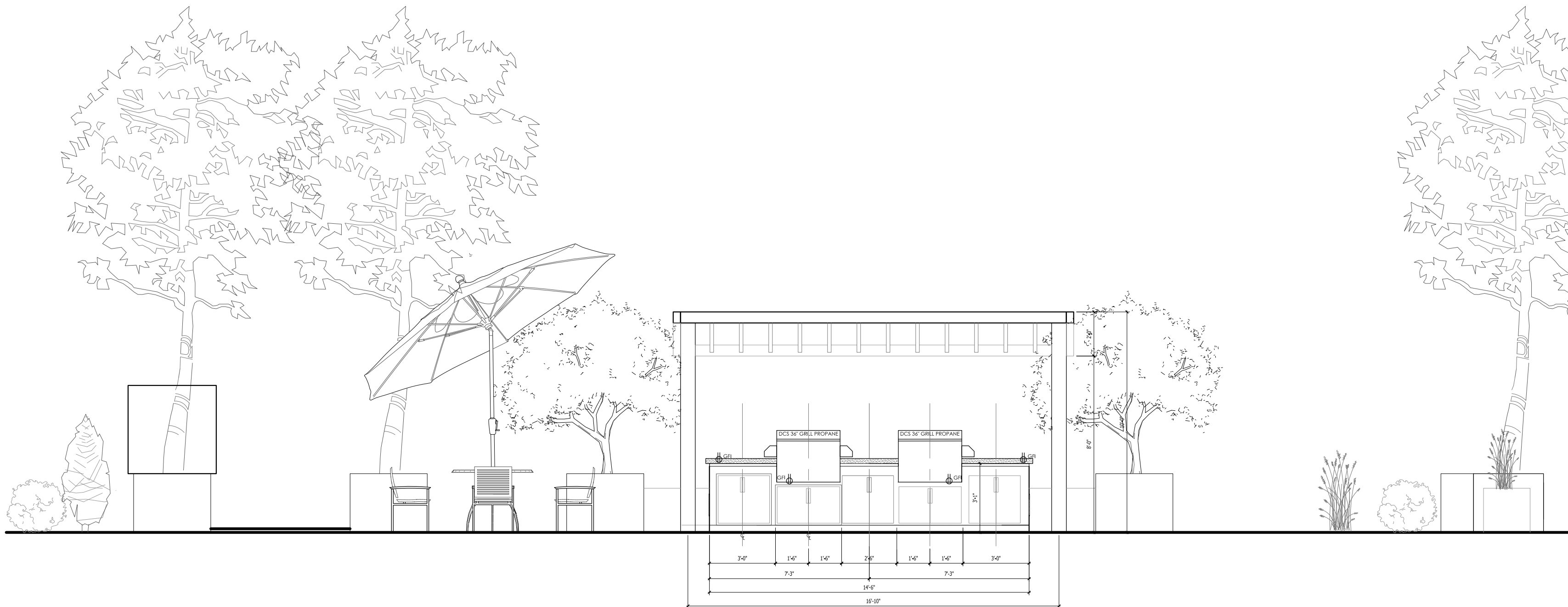
3 COURT YARD PERGOLA NORTH ELEVATION

SCALE: 1/4" = 1'-0"



4 COURT YARD PERGOLA SOUTH ELEVATION

SCALE: 1/4" = 1'-0"



5 OUTDOOR LIVING GRILL STATION & PERGOLA ELEVATION & PLAN

SCALE: 1/4" = 1'-0"



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DATE REVISION

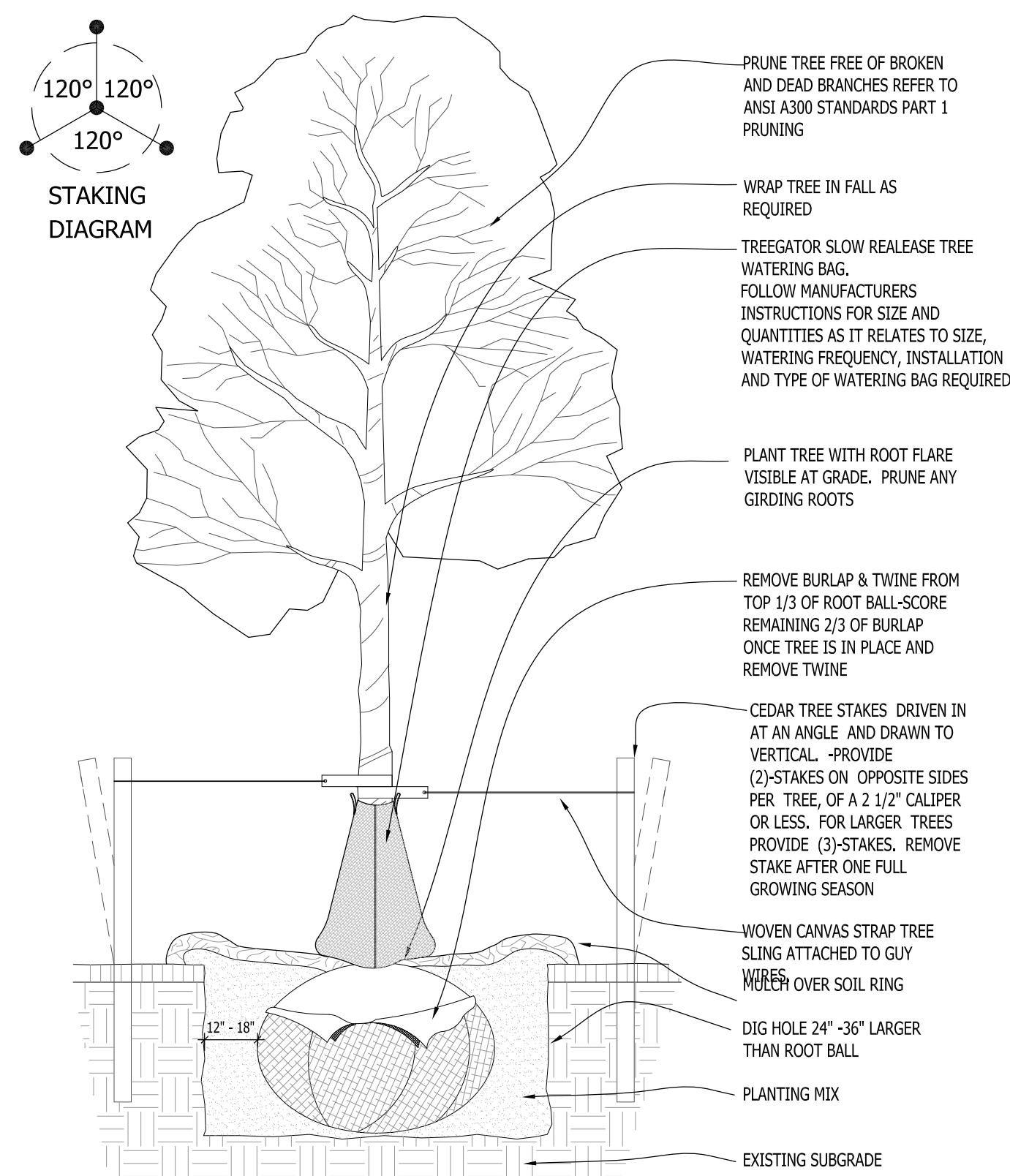
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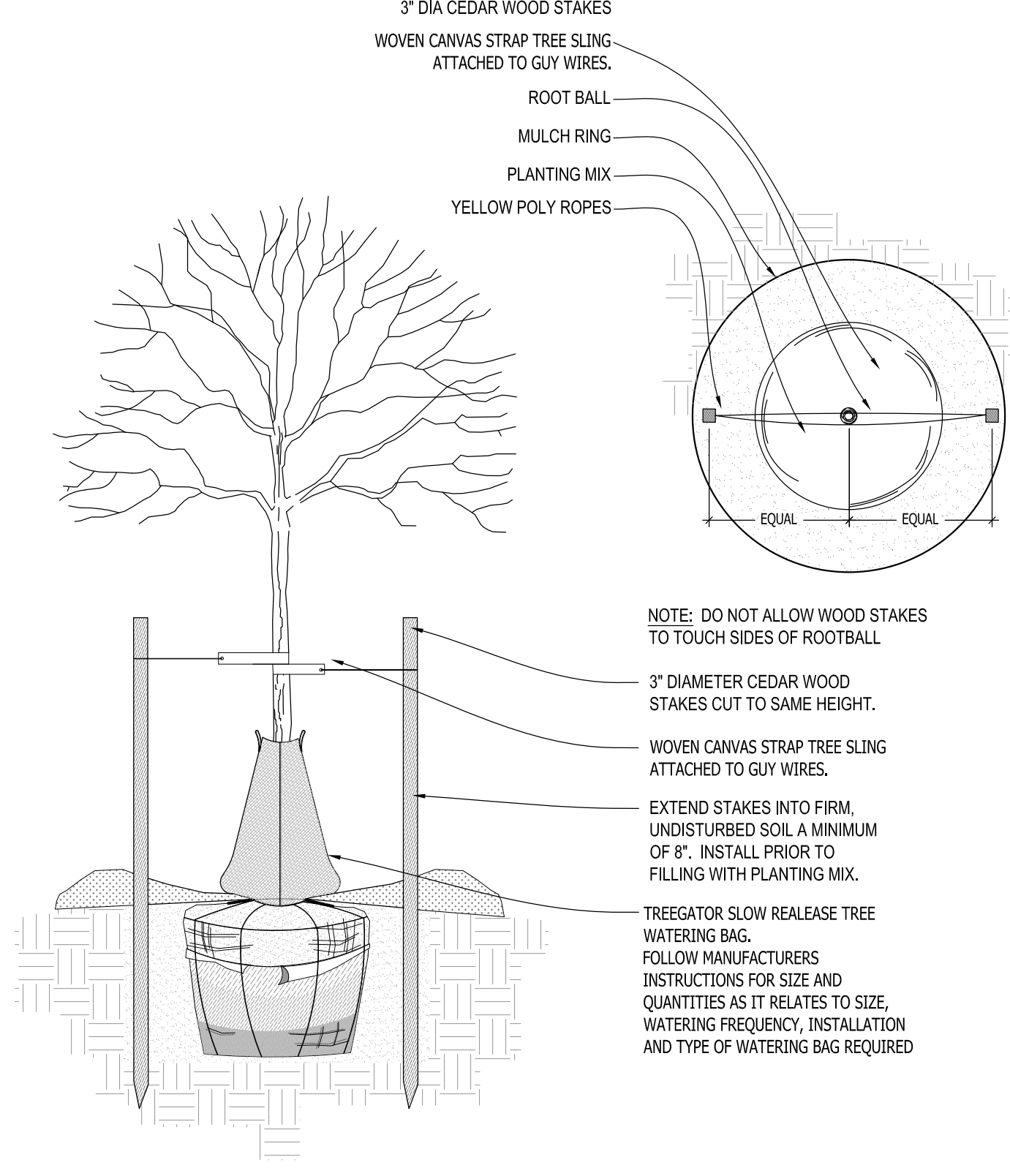
PROPOSED COURTYARD AMENITIES

LSP1.5

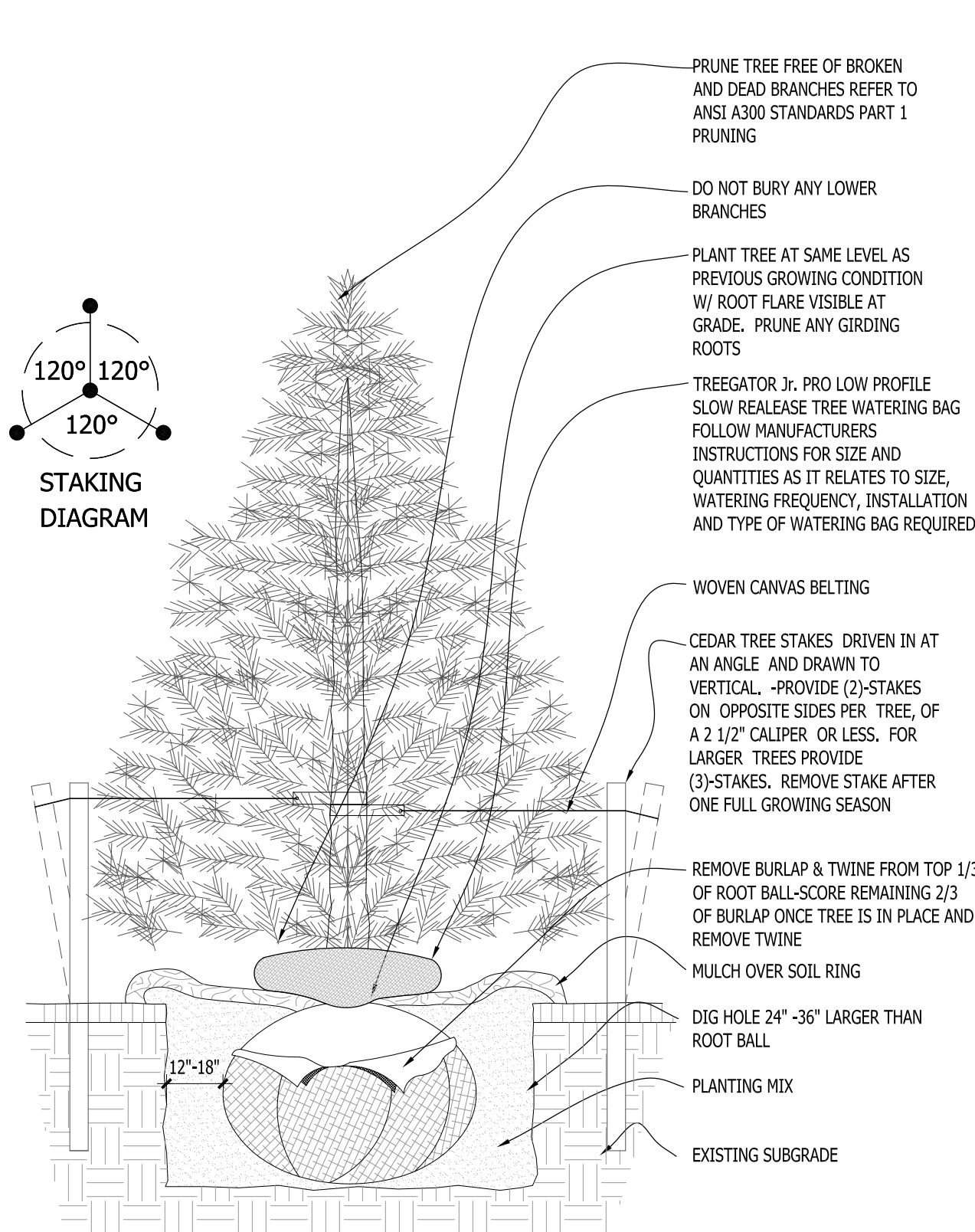
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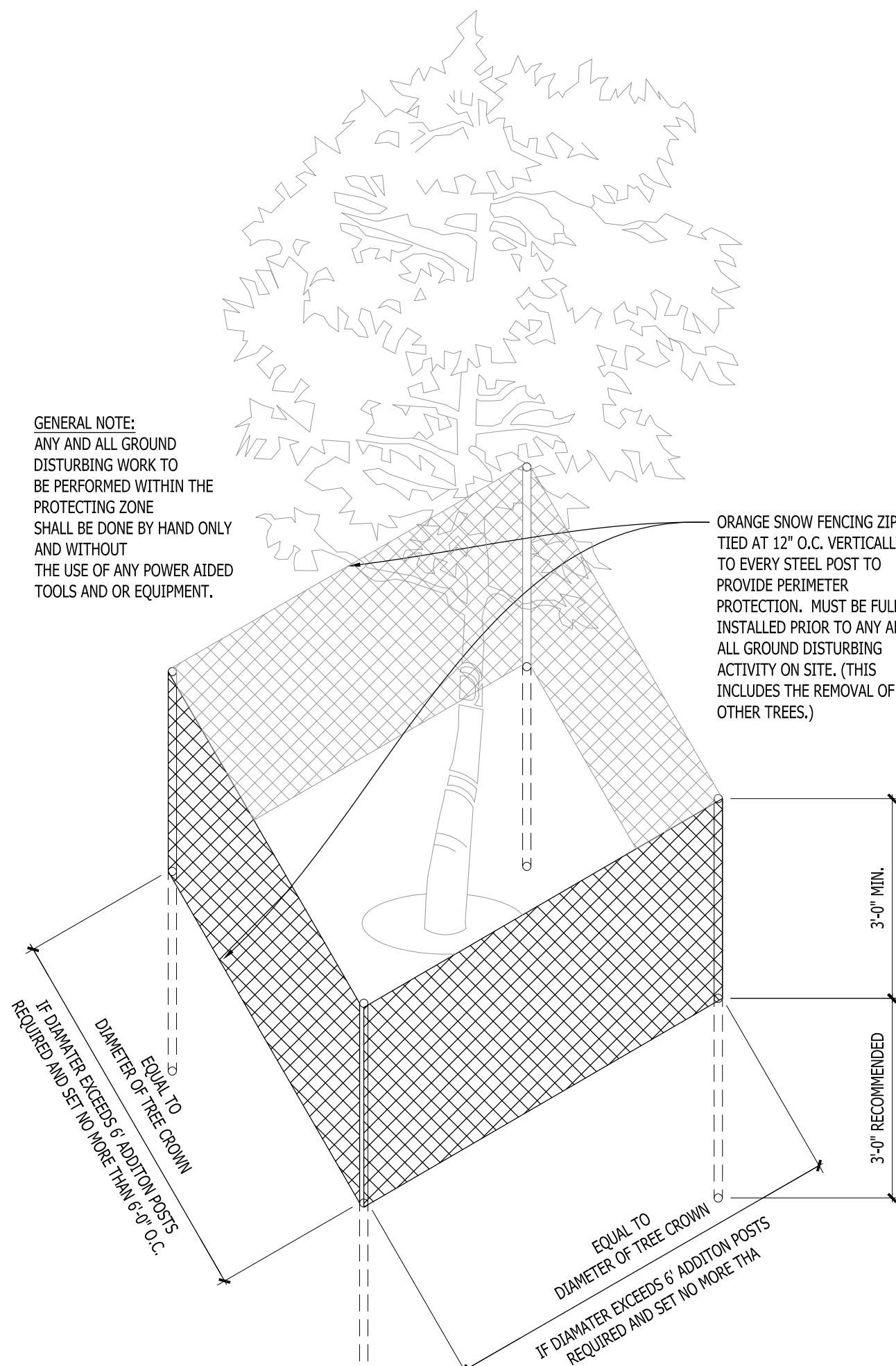
1 DECIDUOUS TREE PLANTING DETAIL
SCALE: NONE



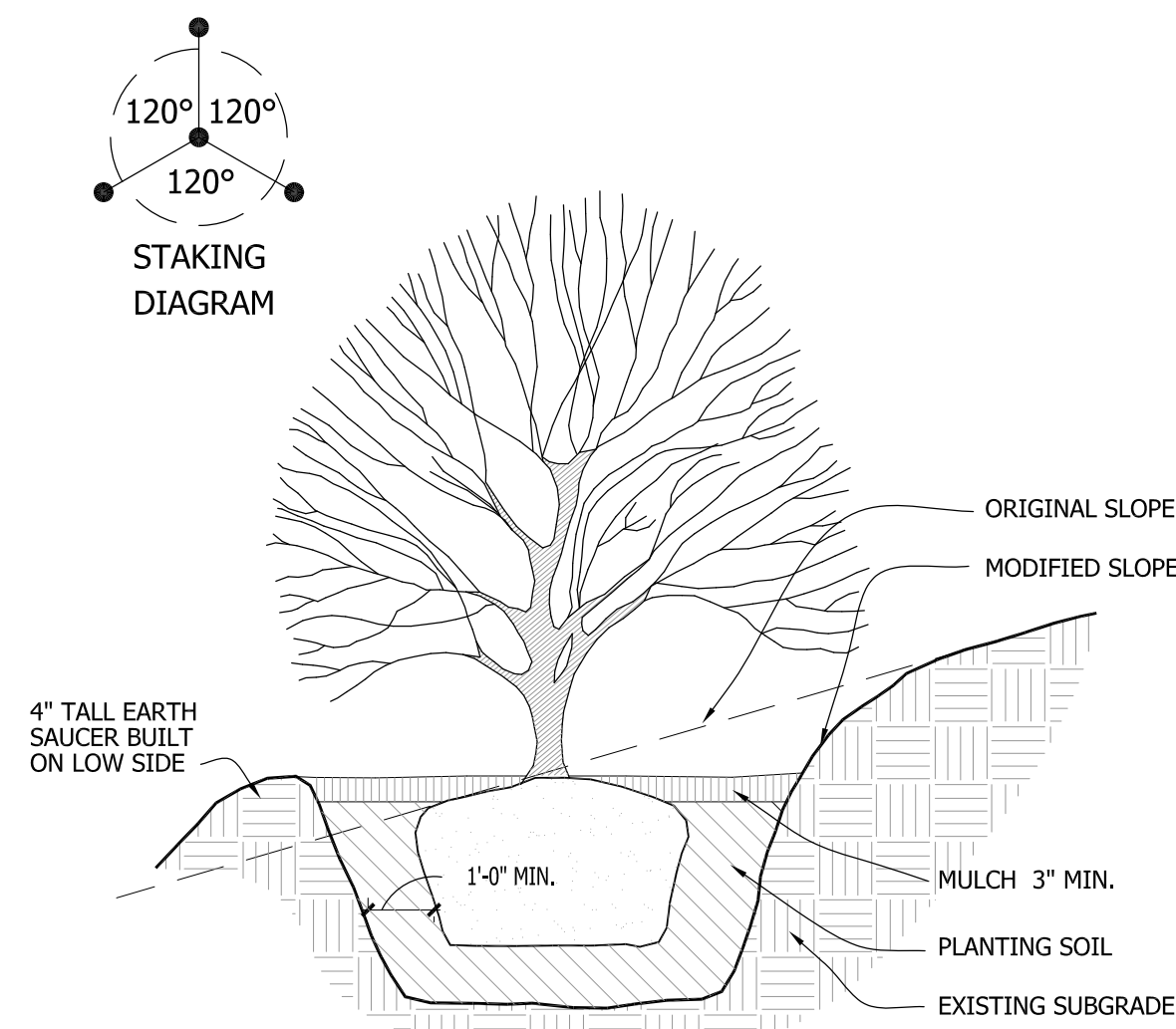
2 DECIDUOUS TREE STAKING
PARKING ISLAND/RESTRICTED AREAS
SCALE: NONE



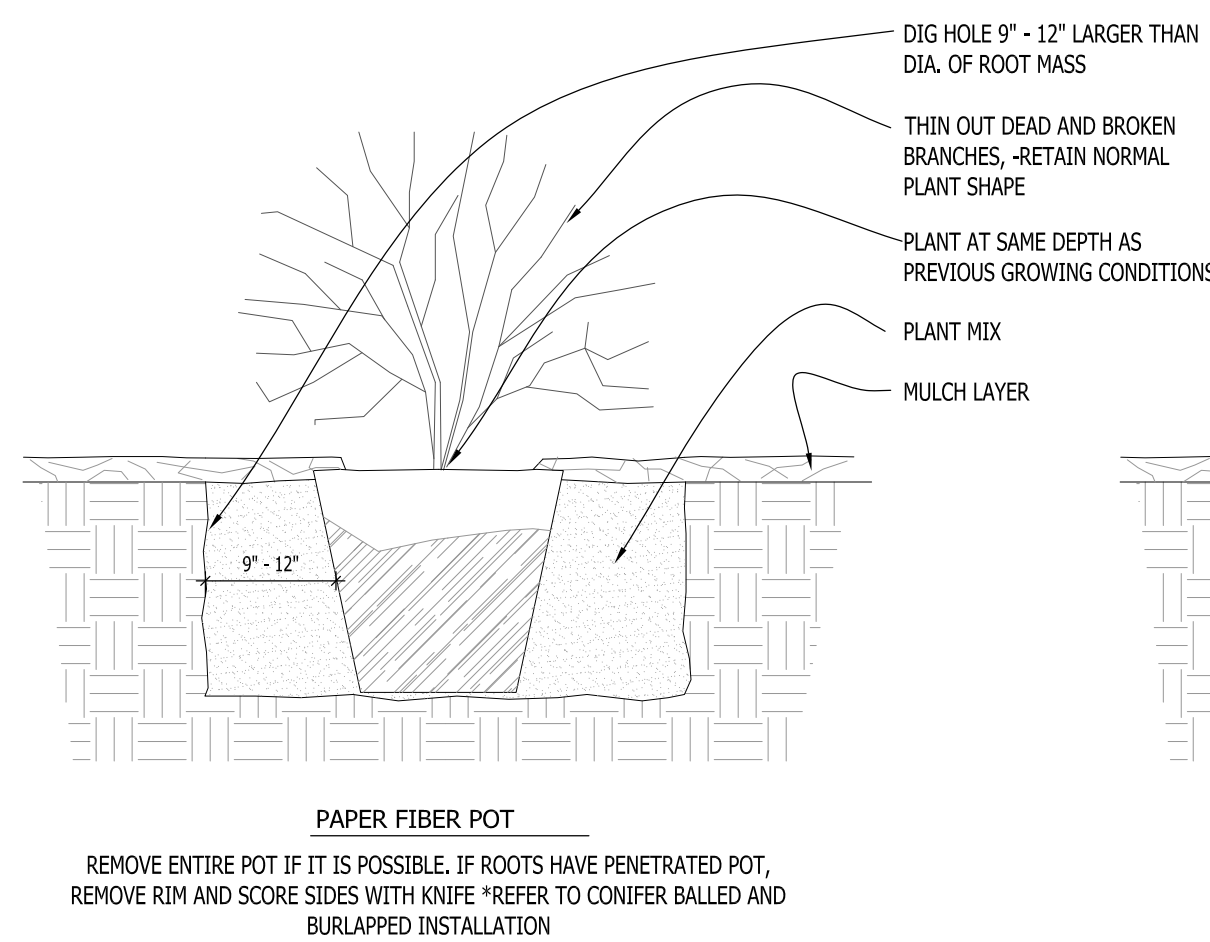
3 CONIFEROUS TREE PLANTING DETAIL
SCALE: NONE



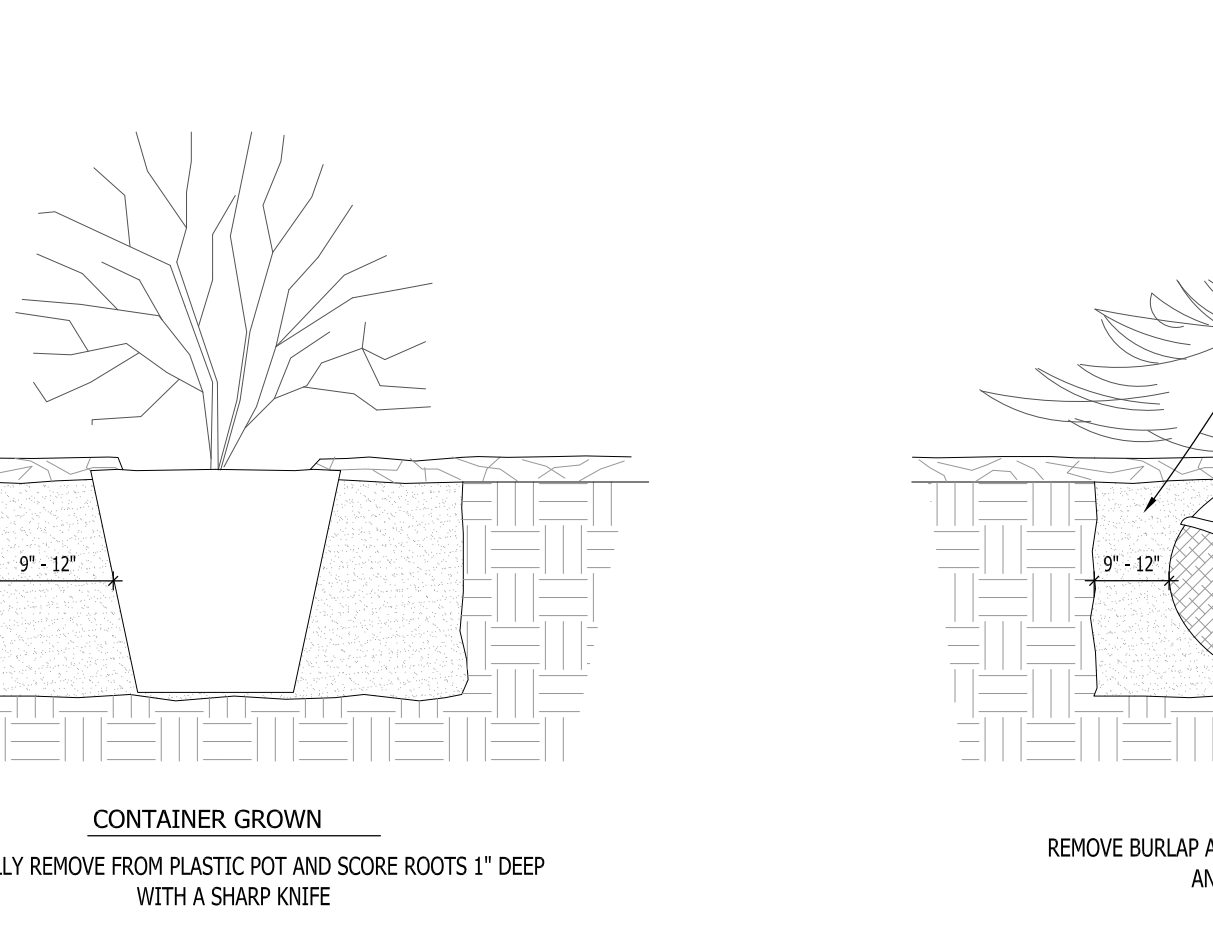
4 EXISTING TREE PROTECTION DETAIL
SCALE: NONE



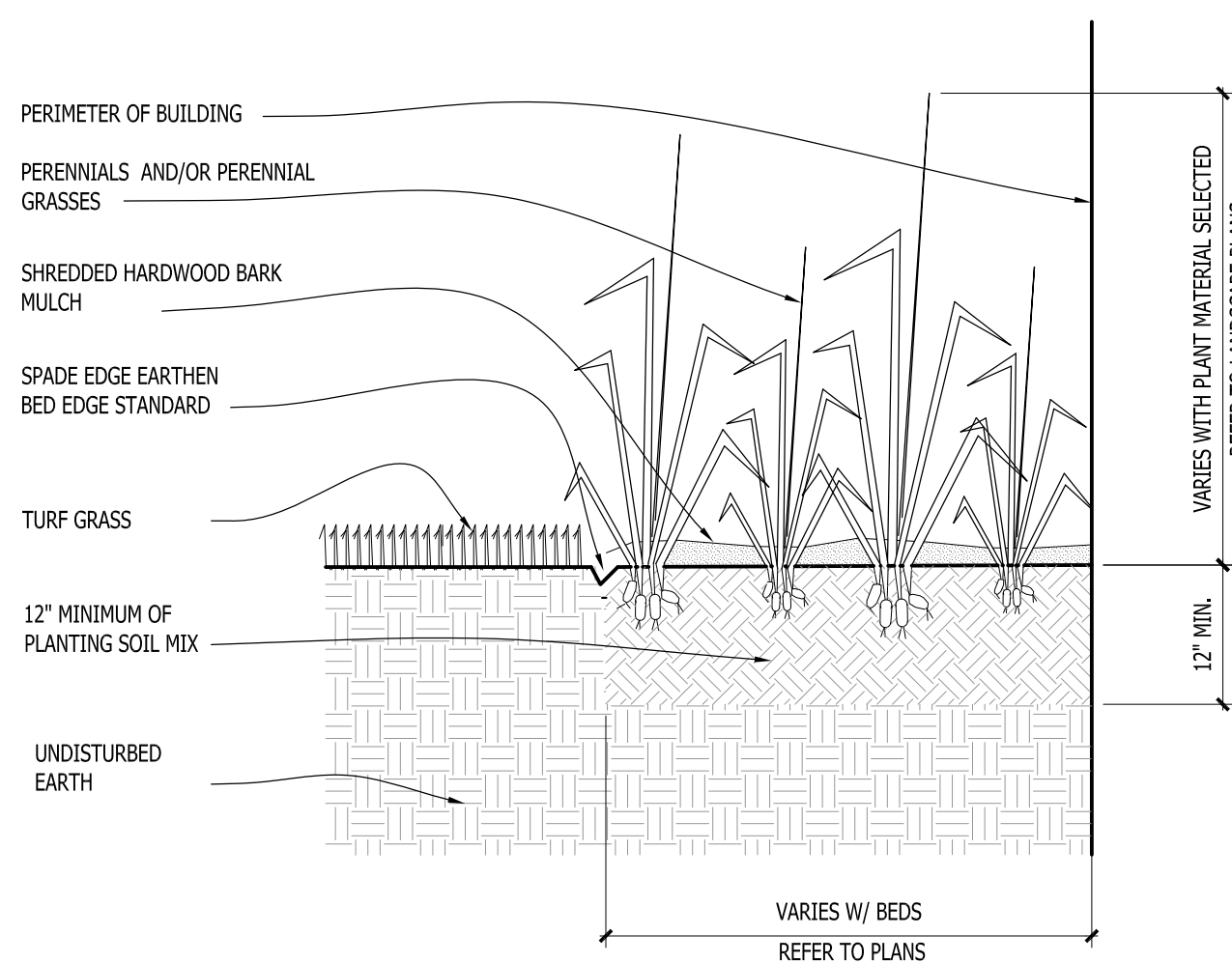
5 SLOPE PLANTING DETAIL
REFER TO TYPICAL DECIDUOUS TREE DETAIL FOR STAKING
SCALE: NONE



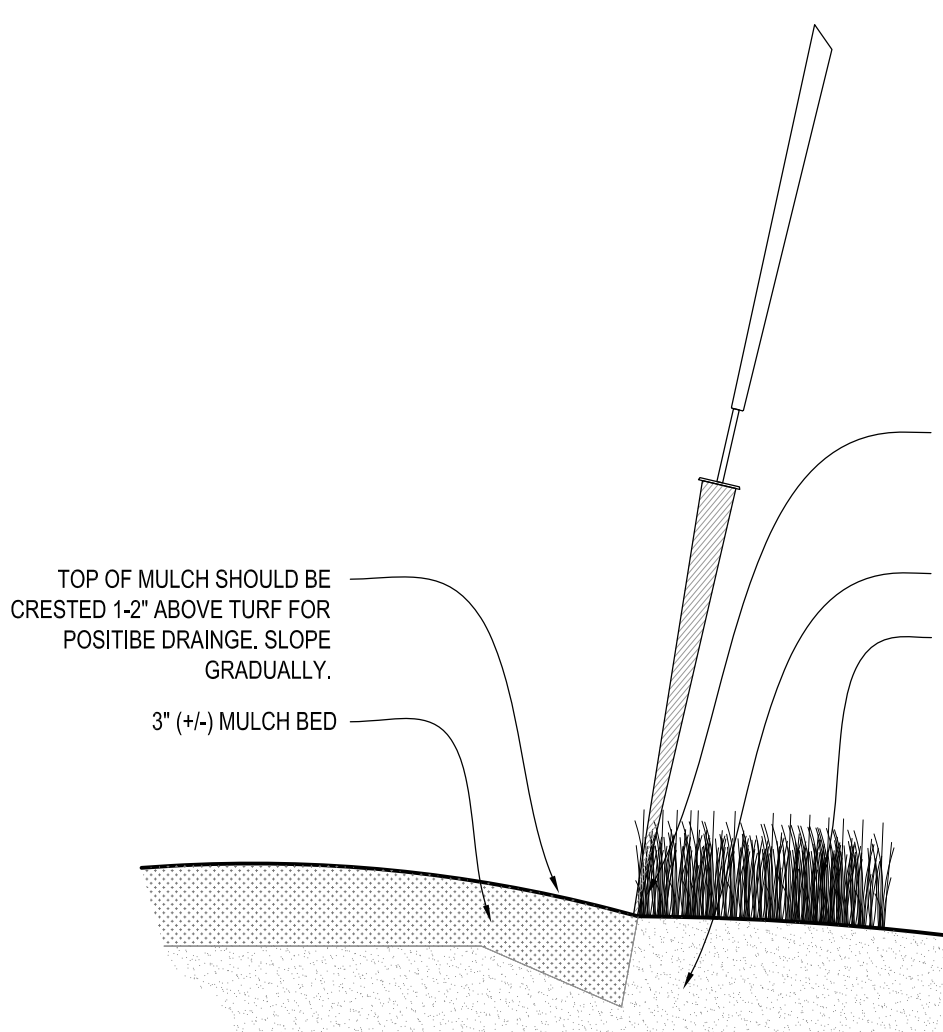
6 DECIDUOUS SHRUB PLANTING DETAIL
SCALE: NONE



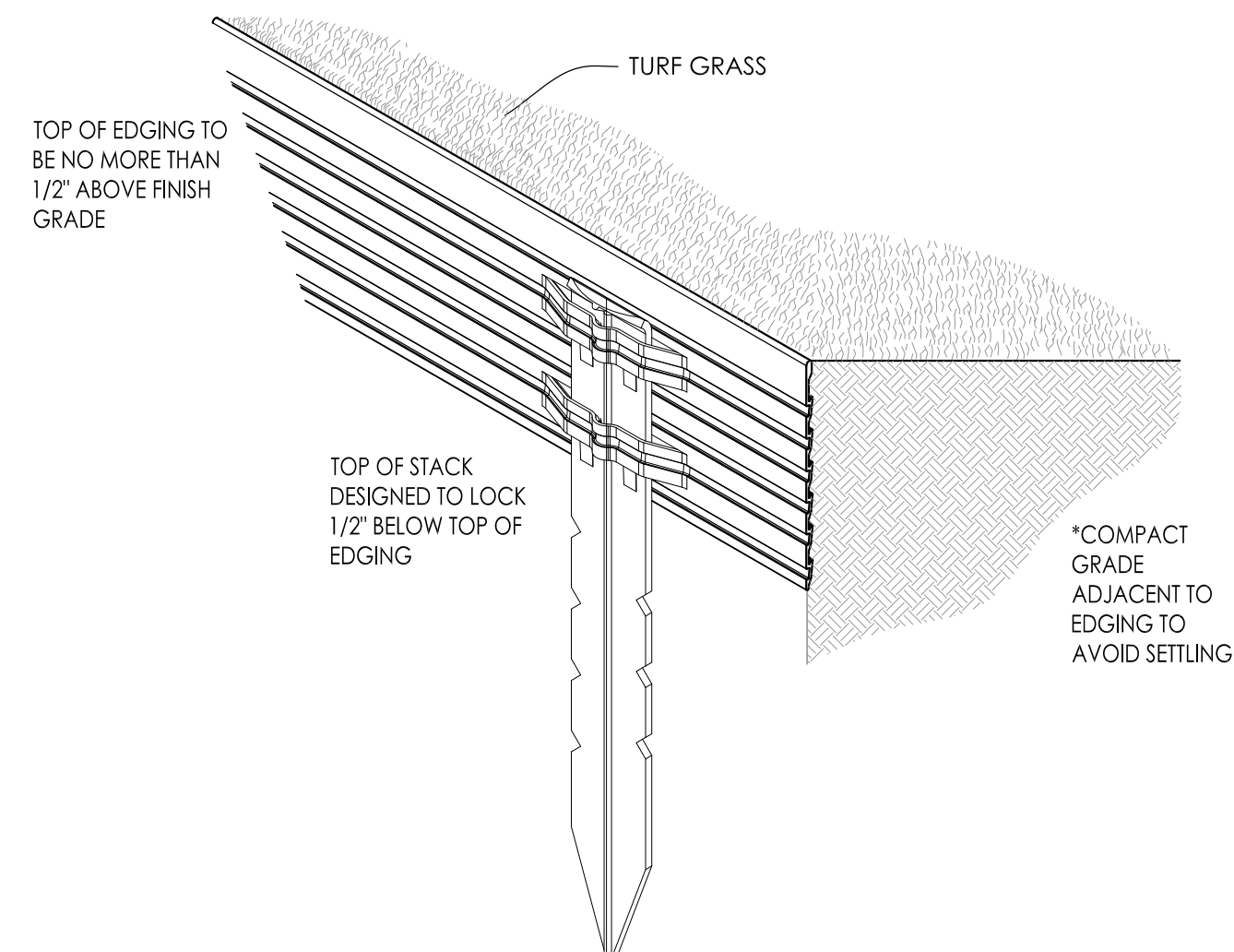
7 CONIFEROUS SHRUB PLANTING DETAIL
SCALE: NONE



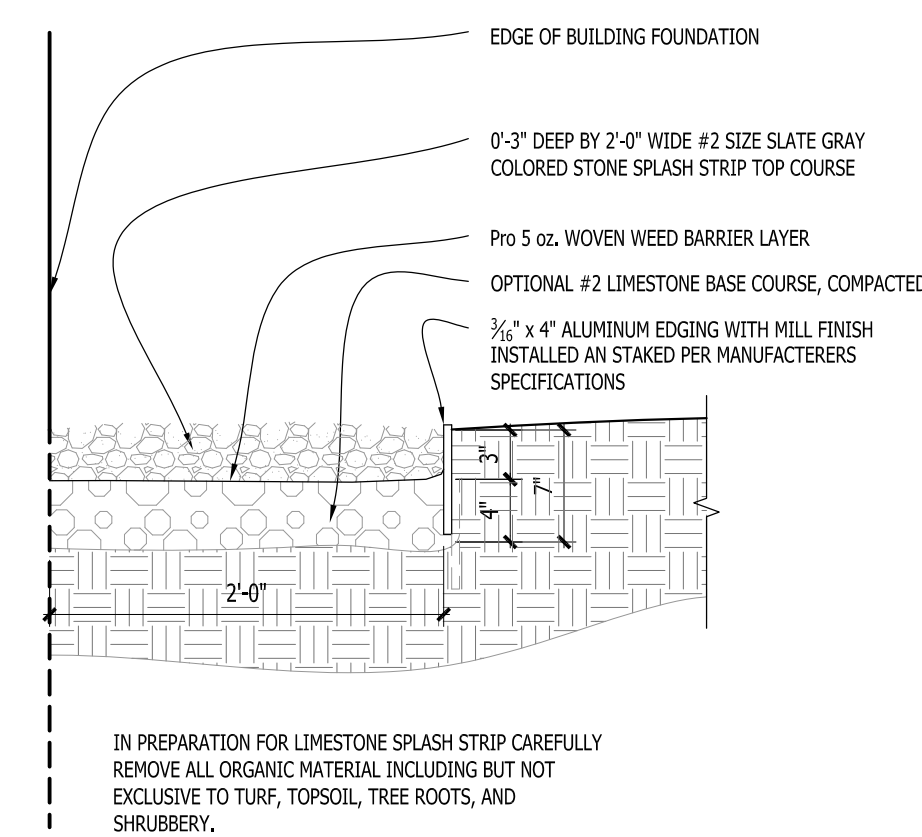
8 PERENNIAL BED PLANTING DETAIL
SCALE: NONE



9 SPADE EDGE PLANT BED EDGE DETAIL
SCALE: NONE



10 METAL LANDSCAPE EDGING DETAIL
SCALE: 1/2" = 1'-0"



11 COMPACTED GRAVEL SPLASH STRIP
SCALE: 1" = 1'-0"

1 STERNBERG ML660 MEDIUM POST TOP LED LUMINAIRE

2 URBANLINE 3" SQUARE ALUMINUM POLE

3 RIALTA 36" TALL BOLLARD

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