

7474 HARWOOD

DRB SUBMITTAL III

SITE AND NEIGHBORHOOD CONTEXT



MENOMONEE RIVER

ROOT COMMON



SITE PLAN

NOT TO SCALE





BASEMENT PLAN_PARKING AND PARKING RATIOS

TOTAL UNITS - 153 TOTAL PARKING REQ - 174

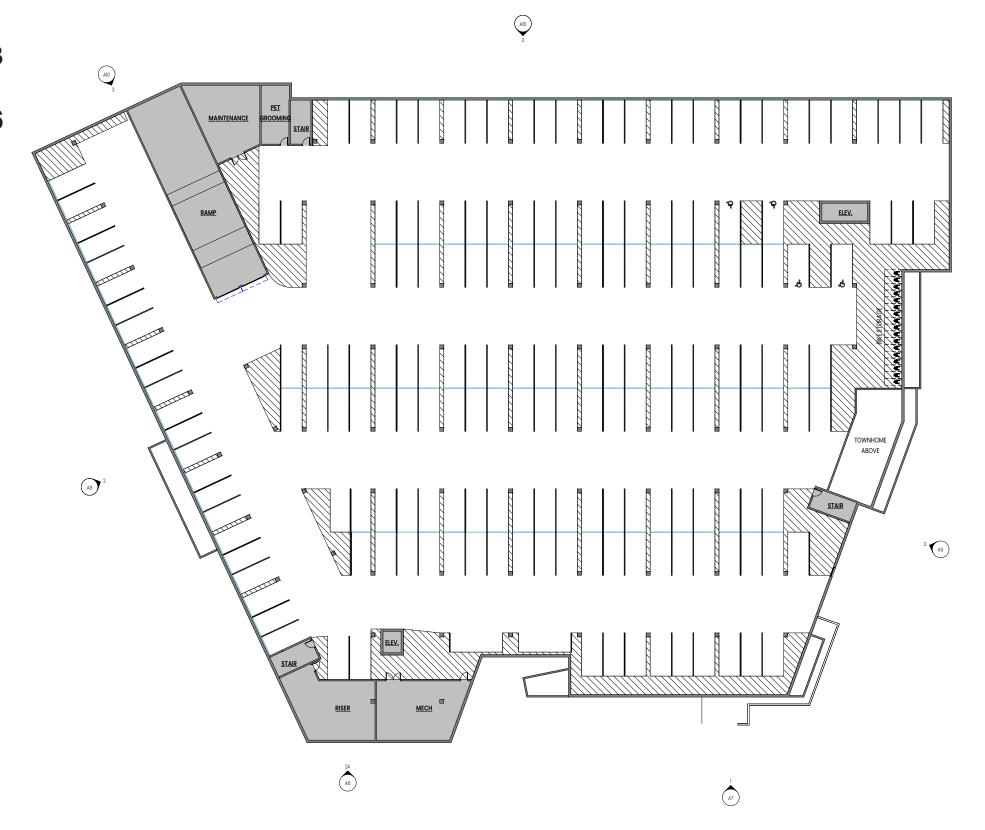
RESIDENT PARKING PROVIDED - 193

VISITOR PARKING PROVIDED - 23

TOTAL PARKING PROVIDED - 216

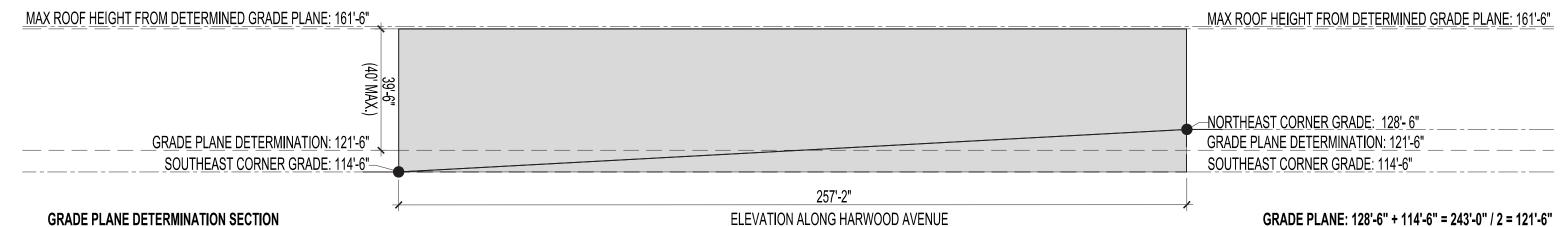


1 **(**A9)



GRADE PLANE DETERMINATION









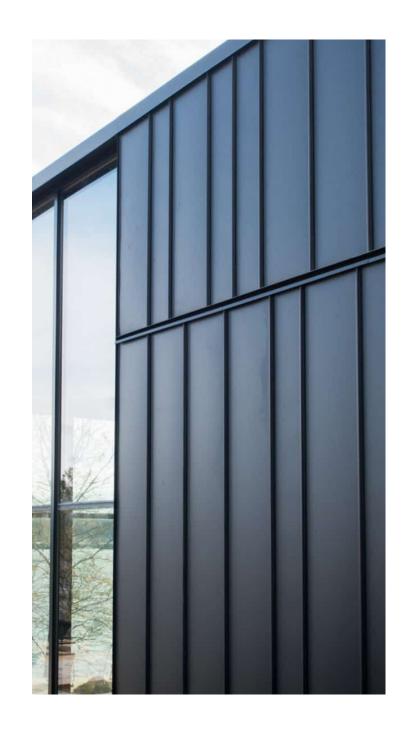
MATERIAL SELECTIONS_WARM AND RICH TONE AND PALETTE



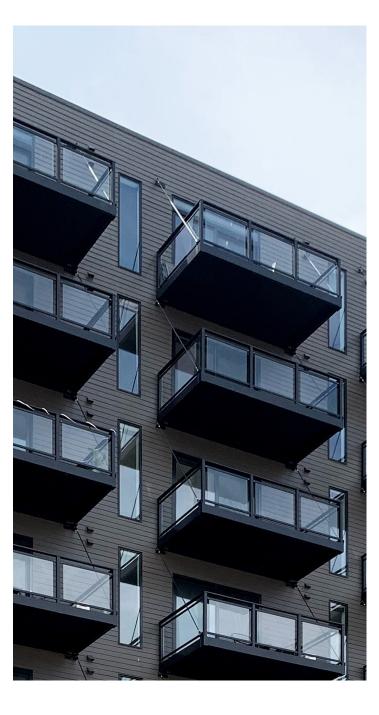


MATERIAL SELECTIONS_PRODUCT INSTALL REFERENCES





MP-1 METAL PANEL



SDG-1 CEMENT BOARD LAP SIDING



SDG-2 CEMENT BOARD PANEL



STN-1 FISCHER STONE

APPROACH_HARWOOD AVE LOOKING NORTH









OVERLOOK PLAZA AND CANOPY_LOOKING WEST





PARK AND PLAZA





PARK AND PLAZA_NEW ELEMENTS INTEGRATING WITH EXISTING INFRASTRUCTURE



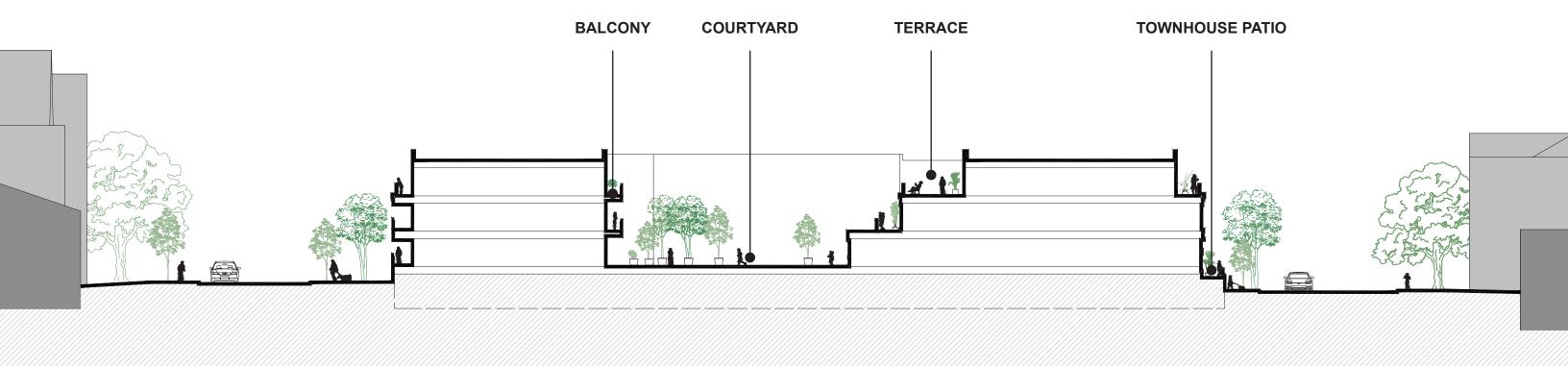


NEW PARK ENTRANCE_HARWOOD AVE LOOKING NORTHWEST









WAUWATOSA AVE HARWOOD AVE

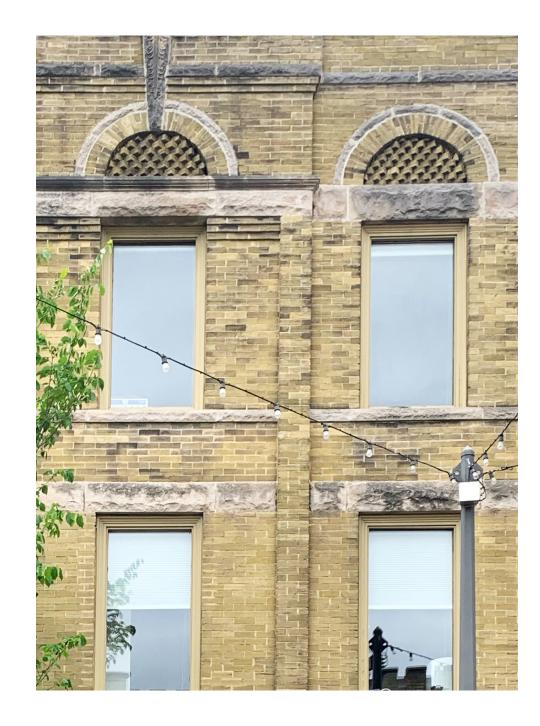
TOWNHOUSES_HARWOOD AVE LOOKING NORTHWEST

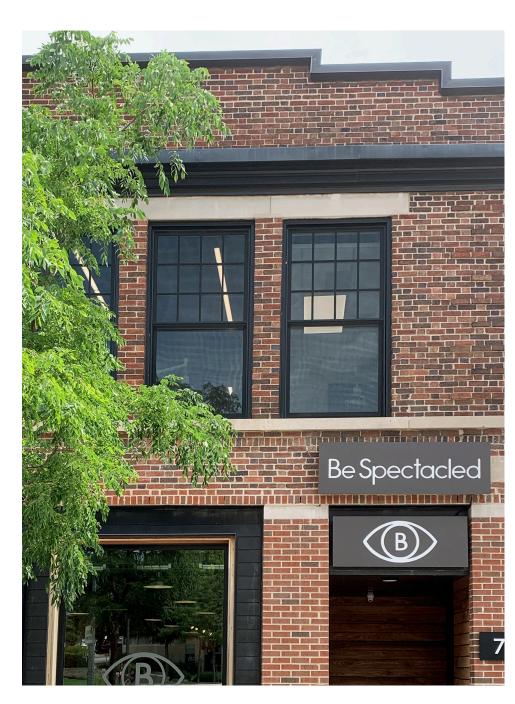


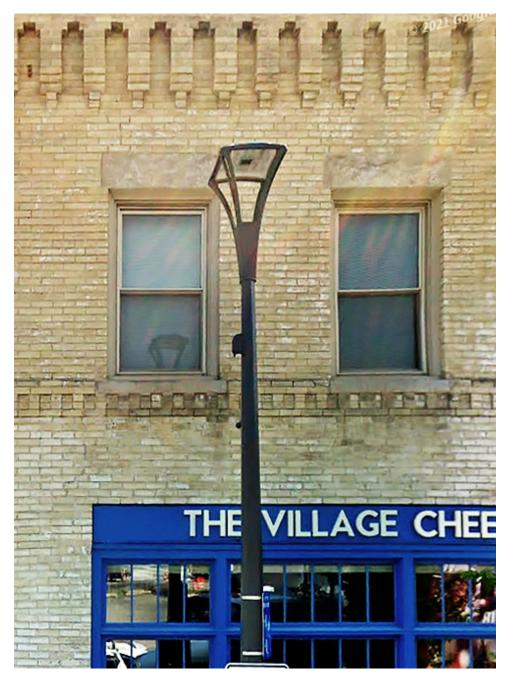


SURROUNDING ARCHITECTURE_TAKING CUES FROM OUR NEIGHBORS





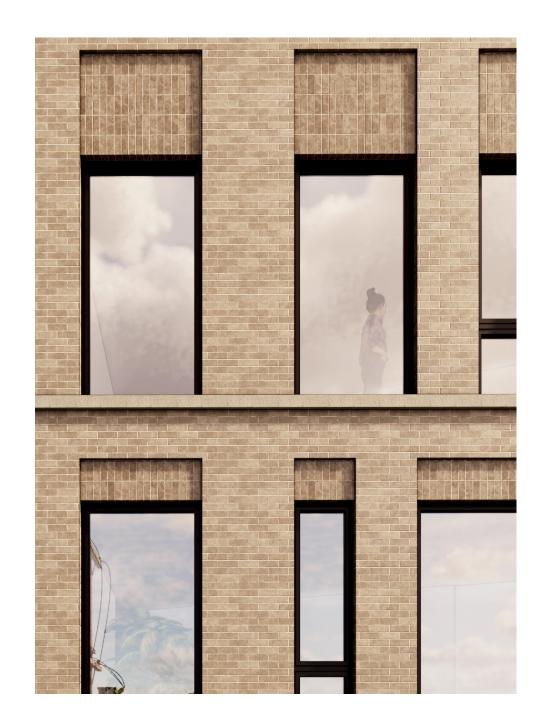




VENDETTA COFFEE BAR 7511 HARWOOD THE VILLAGE CHEESE SHOP

FAMILY OF FACADES_RESPECTING THE SCALE OF THE STREET AND REFLECTING THE CONTEXT



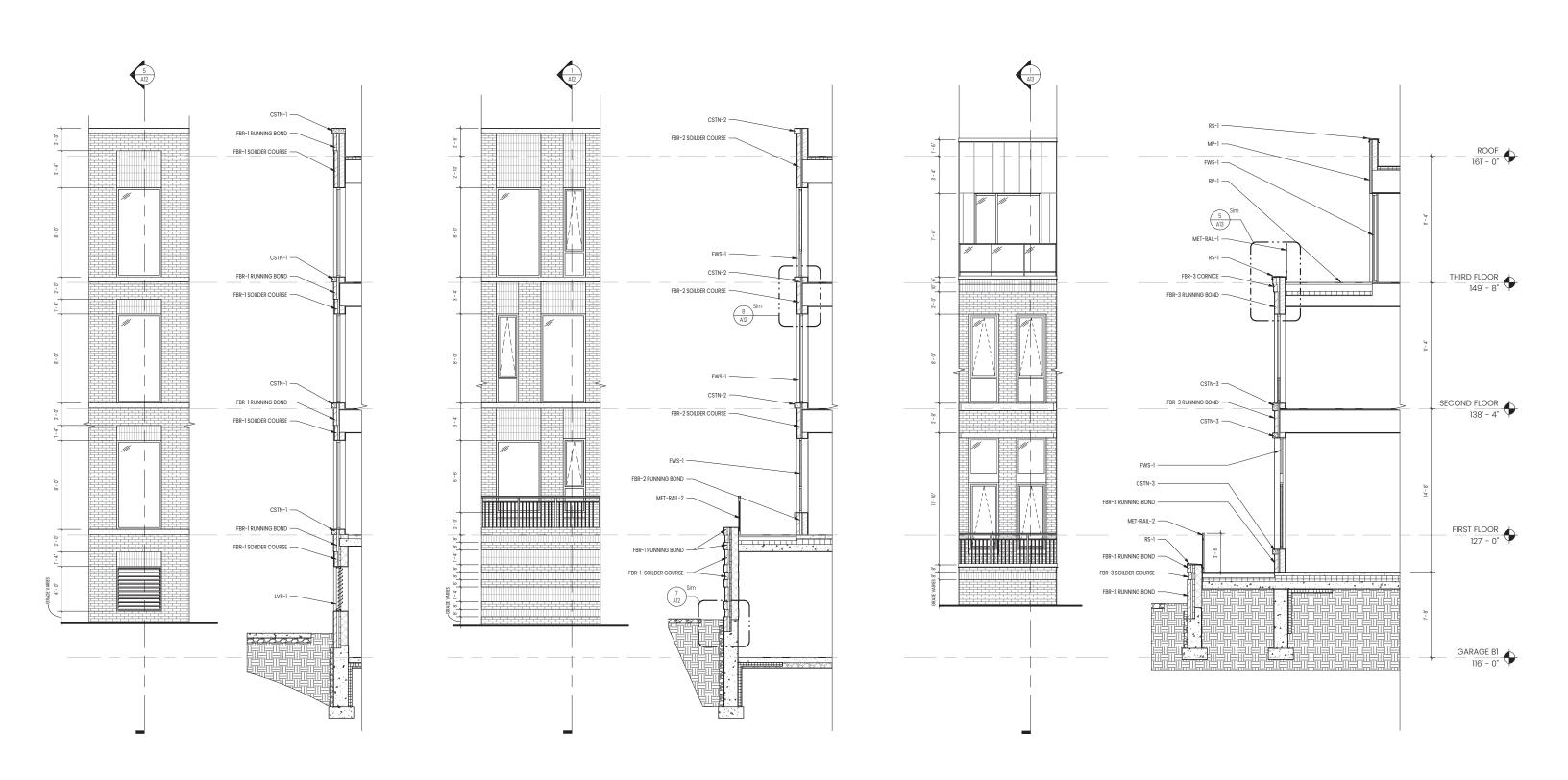






ARCHITECTURAL DETAILS OF PROPOSED DEVELOPMENT





ENTRY PAVILION_HARWOOD AVE LOOKING NORTHWEST





ENTRY CANOPY_HARWOOD AVE LOOKING SOUTH



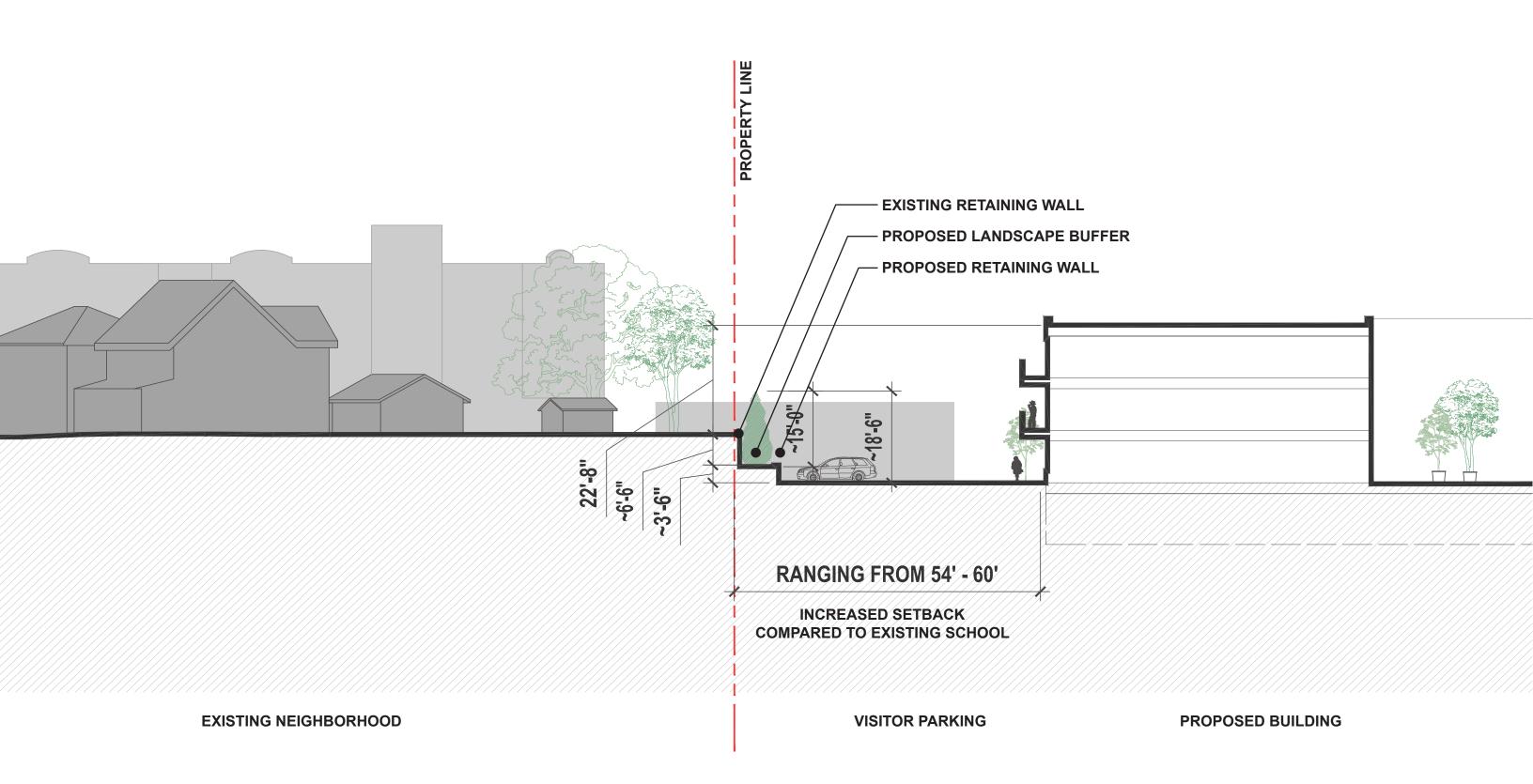






NORTHERN EDGE AND GREEN BUFFER_BUILDING SECTION AT NORTH





NW CORNER_VISITOR PARKING AND GARAGE ACCESS





HARMONEE CORRIDOR_HARMONEE AVE LOOKING EAST





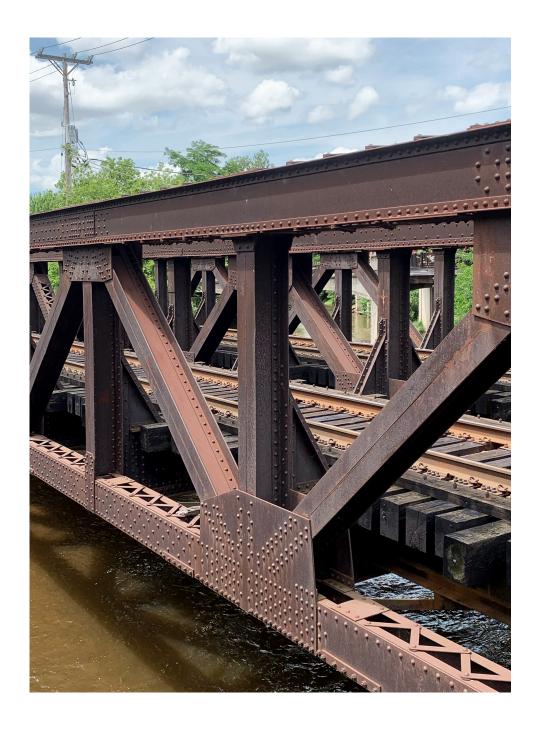
WAUWATOSA AVE_LOOKING NORTH

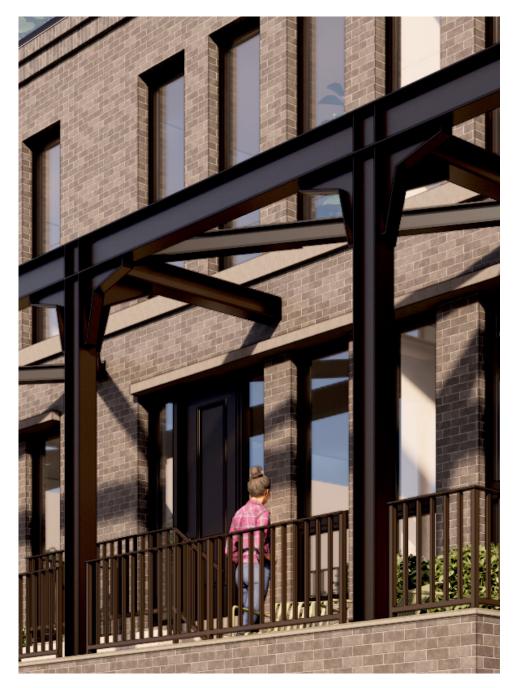




WAUWATOSA AVE PERGOLA







METAL STRUCTURE INSPIRED BY THE WAUWATOSA RAIL BRIDGE

SW CORNER_WAUWATOSA AVE LOOKING NORTHEAST





PARK ELEVATION_VIEW FROM ROOT COMMON





SUPPORTING DOCUMENTS



24004_01- 7474 HARWOOD PROJECT DATA- 4 stories within 40'-0" height limit

7.8.2024														
	STUDIO	550 SF	JR 1 BR	650 SF	1 BR	750-850 SF	1 BR +	850-950 SF	2 BR	1150-1250 SF	3 BR	1400+ SF	TOTALS	PARKING
Level 3	3	0	12		23		2		16			0	53	
Level 2	2	0	12		22		6		13			1	54	
Level 1	L	2	12		17		6		8			1	46	23
Level B1		0	0		0		0			0		0	0	193
TOTAL UNITS	5	2	36		62		14			37		2	153	
% TOTAI	1	%	2	24%		41%		9%		24%		1%	100%	
TOTAL BEDS	5	2	36		62		14			74		6	194	
PARKING REQ. PER UNIT TYPE		1		1		1		1		1.5		2		
TOTAL PARKING REQ	•	2		36		62		14		55.5		4		174
											RESIDENT PARKING PROVIDED		193	
											VISITO	R PARKING PRO	OVIDED	23
											TOTAL	PARKING PROV	VIDED	216
											CARS P	ER UNIT RATIO)	1.41
											CARS P	ER BED RATIO		1.11













7474 HARWOOD

DRB SUBMISSION #3 7.9.2024





7474 HARWOOD BLVD WAUWATOSA, WI 53213

OWNER	ARCHITECT	CIVIL ENGINEER	LANDSCAPE CONSULTANT:	
THREE LEAF PARTNERS	KORB + ASSOCIATES ARCHITECTS	TRIO	INSITE DESIGN INC.	
504 WEST JUNEAU	648 N. PLANKINTON AVE, SUITE 240	4100 N CALHOUN RD	11525 W NORTH AVE	
MILWAUKEE, WI 53203	MILWAUKEE, WI 53203	STE 300	WAUWATOSA, WI 53226	
CONTACT:	CONTACT:	BROOKFIELD, WI 53005 CONTACT:	CONTACT:	
JORDAN MICHALKIEWICZ	MARK LARSON (PROJ. MGR.)	JOSH PUDELKO	MICHAEL DAVIS	
jmichalkiewicz@threeleafdevelopment.com	mlarson@kaa-arch.com	jpudelko@trioeng.com	mdavis@insitedesigninc.com	
(414) 775-0857	(414) 273-8230	(262) 790-1480	(414) 476-1204	
	SUPERVISING PROFESSIONAL:			

DRAWING INDEX

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LANDSCAPE

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LSP1.2 - PROPOSED COURTYARD LANDSCAPE PLAN

LSP1.3 - PROPOSED COURTYARD LANDSCAPE MATERIALS

LSP1.4 - PROPOSED LANDSCAPE PLAN PLANTING DETAILS

LSP1.5 - PROPOSED COURTYARD AMENITIES

LSP1.6 - PROPOSED LANDSCAPE PLAN PLANTING DETAILS

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ARCHITECTURAL

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JASON KORB

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A9 - ELEVATIONS - EAST

A10 - ELEVATIONS - NORTH

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A12 - BUILDING SECTIONS/DETAILS

A13 - BUILDING SECTIONS/DETAILS

PROJECT: 7474 HARWOOD

7474 HARWOOD BLVD WAUWATOSA, WI 53213

OWNER: THREE LEAF PARTNERS

504 WEST JUNEAU MILWAUKEE, WI 53203

ARCHITECT: KORB + ASSOCIATES ARCHITECTS 648 N. PLANKINTON AVE,

SUITE 240 MILWAUKEE, WI 53203 CIVIL ENGINEER:

4100 N CALHOUN RD

LANDSCAPE CONSULTANT: INSITE DESIGN INC.

WAUWATOSA, WI 53226

BROOKFIELD, WI 53005

11525 W NORTH AVE

PROJ. NO. 24004.01 PHASE: DRB SUBMISSION #3





PROJECT:
7474 HARWOOD
7474 HARWOOD BLVD
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OWNER:
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MILWAUKEE, WI 53203

ARCHITECT:

KORB + ASSOCIATES

ARCHITECTS

648 N. PLANKINTON AVE,

SUITE 240

MILWAUKEE, WI 53203

CIVIL ENGINEER:

TRIO
4100 N CALHOUN RD
STE 300
BROOKFIELD, WI 53005

INSITE DESIGN INC.
11525 W NORTH AVE
WAUWATOSA, WI 53226

DATE REVISION

PROJ. NO. 24004.01

SCALE: 1" = 20'-0"

PHASE: DRB SUBMISSION #3

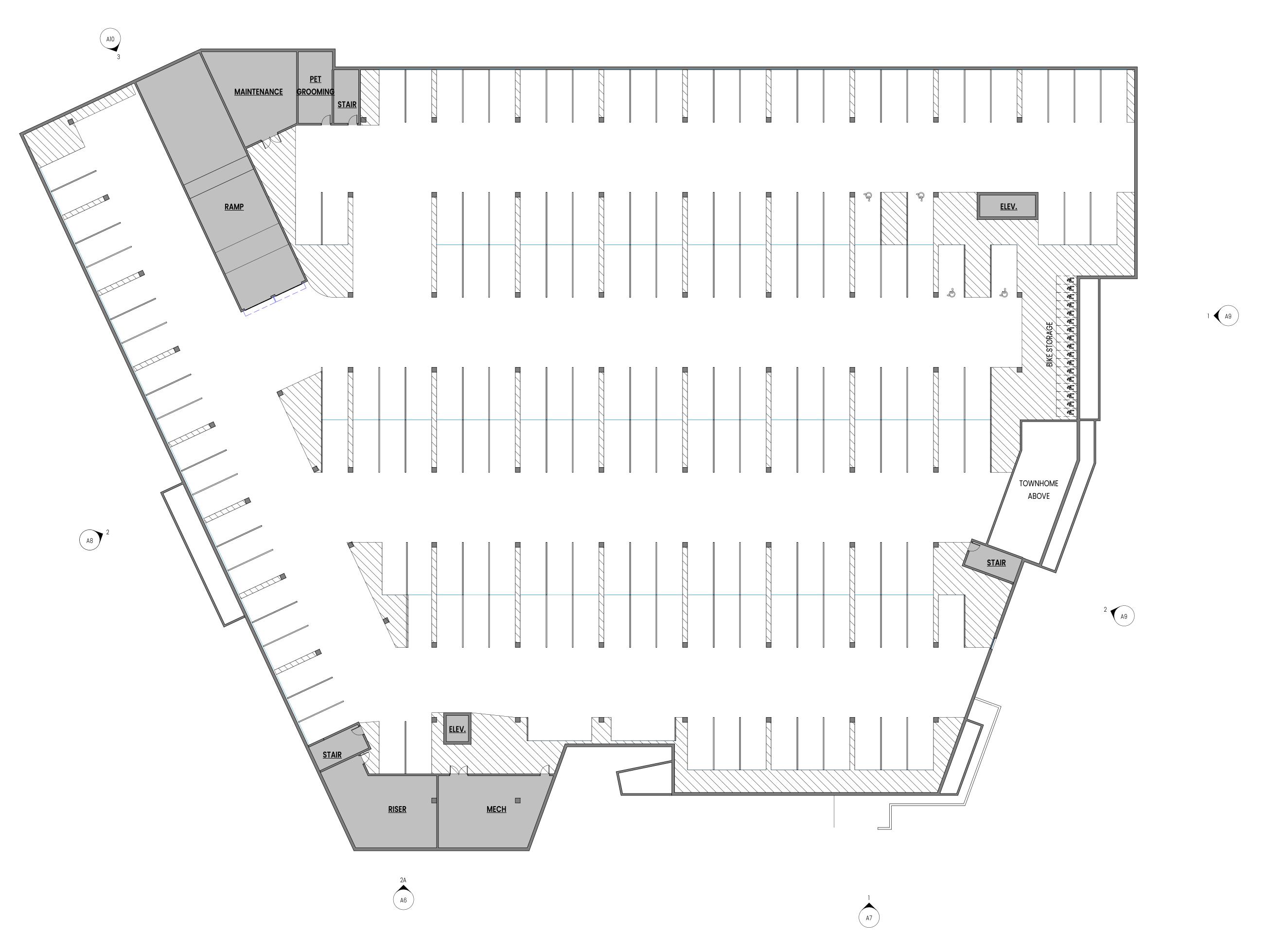
DATE: 7.9.2024

ARCHITECTURAL SITE PLA

Al







GARAGE B1

1/16" = 1'-0"

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7474 HARWOOD
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ARCHITECT:

KORB + ASSOCIATES

ARCHITECTS

648 N. PLANKINTON AVE,

SUITE 240

MILWAUKEE, WI 53203

CIVIL ENGINEER:

4100 N CALHOUN RD STE 300 BROOKFIELD, WI 53005

INSITE DESIGN INC.
11525 W NORTH AVE
WAUWATOSA, WI 53226

DATE REVISION

PROJ. NO.
SCALE:
PHASE:
DATE:

PROJ. NO. 24004.01

SCALE: 1/16" = 1'-0"

PHASE: DRB SUBMISSION #3

DATE: 7.9.2024

BASEMENT FLOOR PLAN

A2





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7474 HARWOOD BLVD
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ARCHITECT:

KORB + ASSOCIATES

ARCHITECTS

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SUITE 240

MILWAUKEE, WI 53203

CIVIL ENGINEER:

4100 N CALHOUN RD STE 300 BROOKFIELD, WI 53005

INSITE DESIGN INC.
11525 W NORTH AVE
WAUWATOSA, WI 53226

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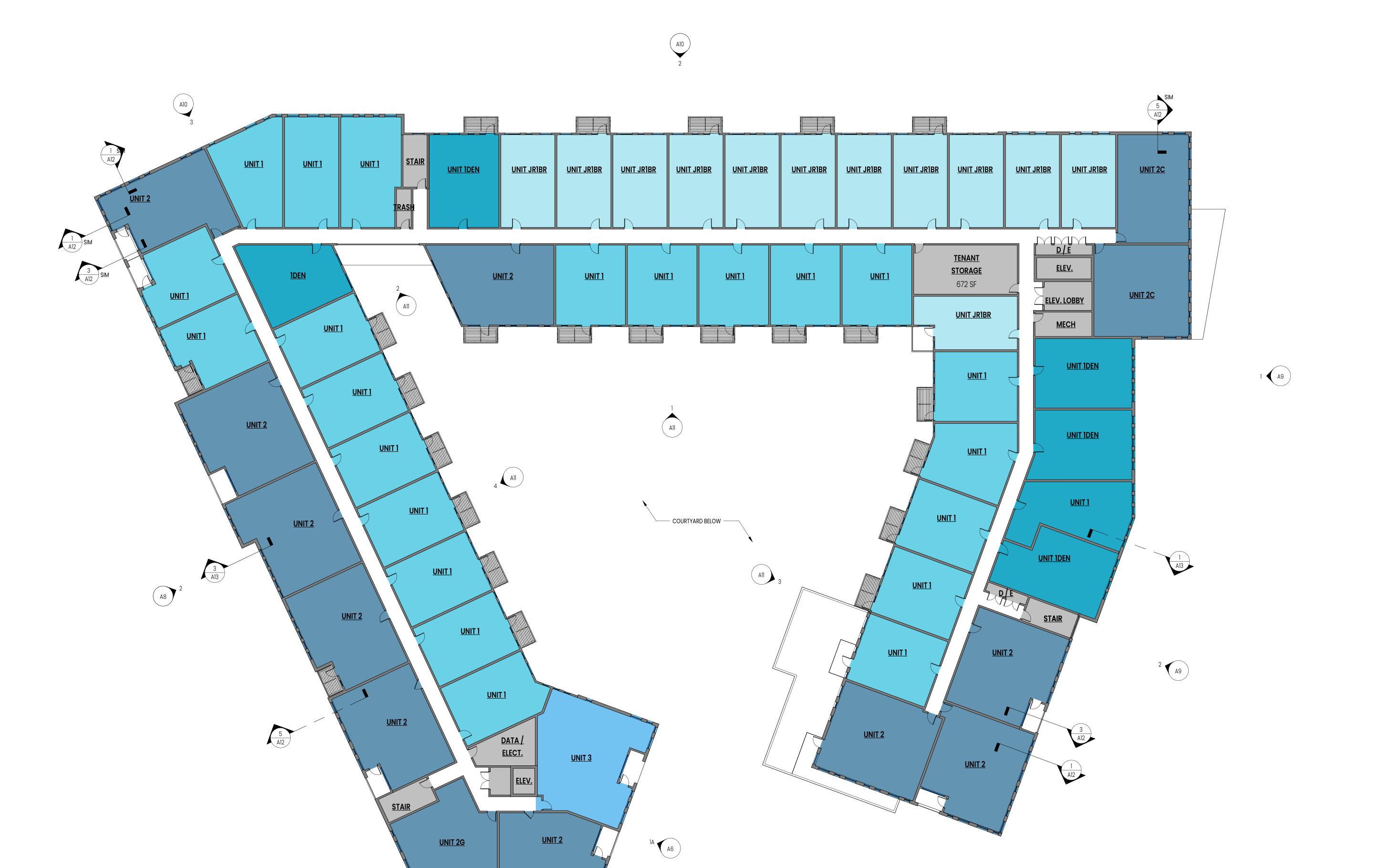
SCALE: 1/16" = 1'-0"

PHASE: DRB SUBMISSION #3

DATE: 7.9.2024

FIRST FLOOR PLAN

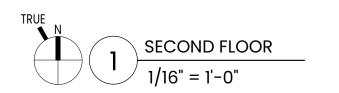
A3



A6

A7

A7







PROJECT: 7474 HARWOOD 7474 HARWOOD BLVD WAUWATOSA, WI 53213

OWNER: THREE LEAF PARTNERS 504 WEST JUNEAU MILWAUKEE, WI 53203

ARCHITECT: KORB + ASSOCIATES ARCHITECTS 648 N. PLANKINTON AVE, SUITE 240 MILWAUKEE, WI 53203

CIVIL ENGINEER: TRIO 4100 N CALHOUN RD STE 300

LANDSCAPE ARCHITECT: INSITE DESIGN INC. 11525 W NORTH AVE WAUWATOSA, WI 53226

BROOKFIELD, WI 53005

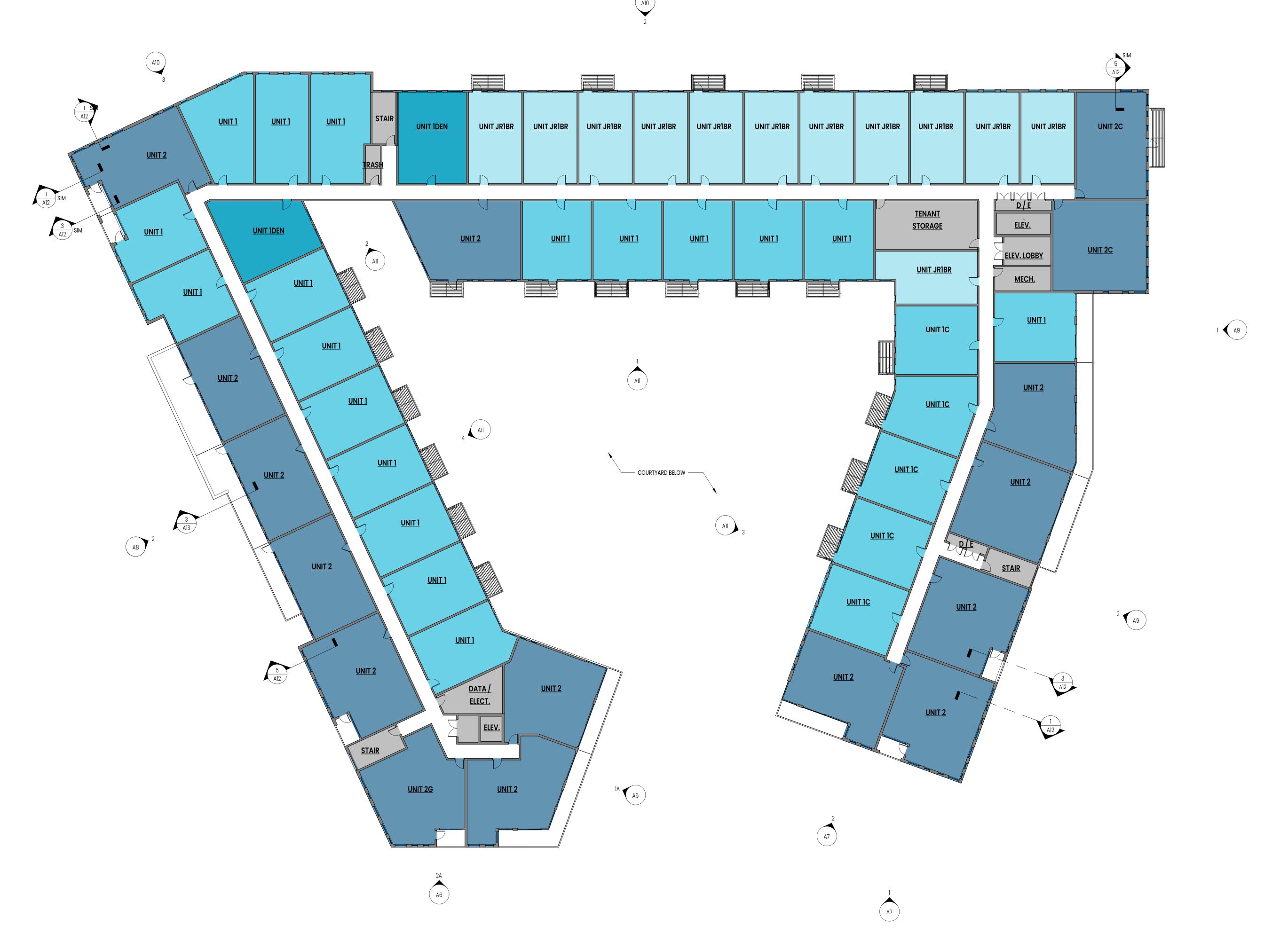
DATE REVISION

PROJ. NO. 24004.01

SCALE: 1/16" = 1'-0" PHASE: DRB SUBMISSION #3 **DATE:** 7.9.2024







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TRIO 4100 N CALHOUN RD STE 300 BROOKFIELD, WI 53005

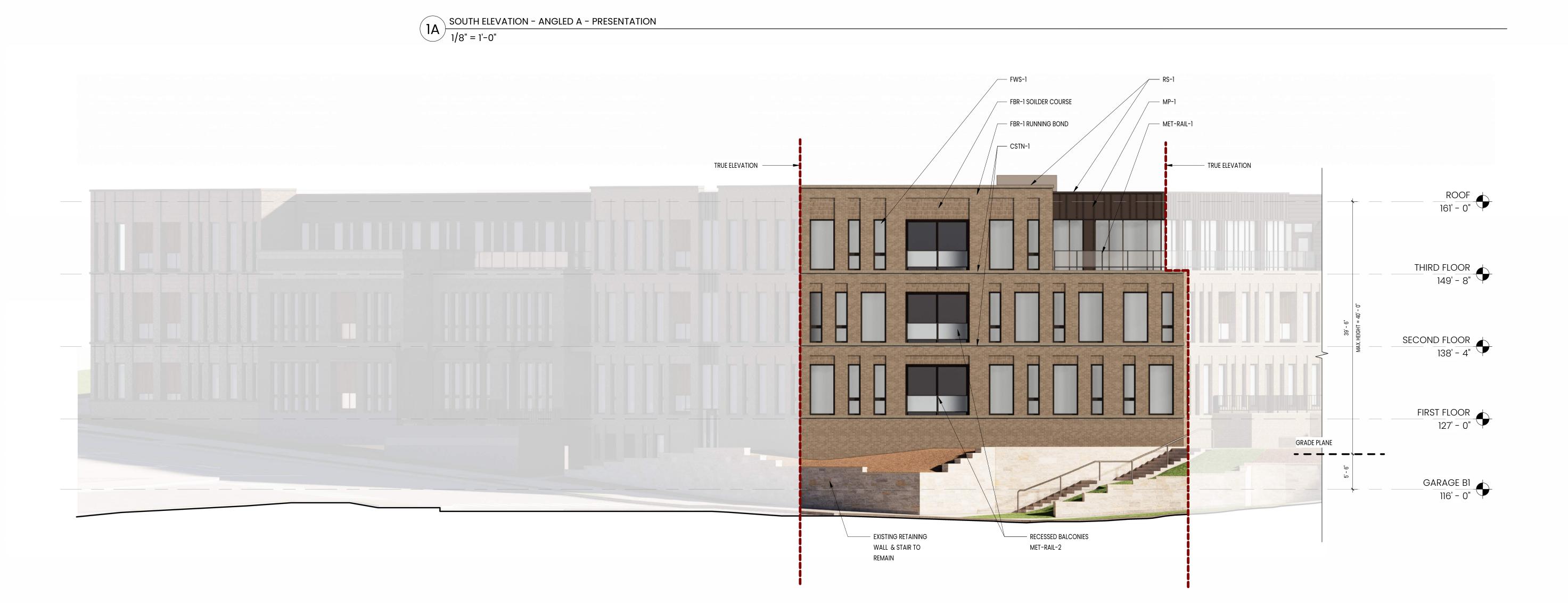
LANDSCAPE ARCHITECT: INSITE DESIGN INC. 11525 W NORTH AVE WAUWATOSA, WI 53226

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PROJ. NO. 24004.01 **SCALE:** 1/16" = 1'-0" PHASE: DRB SUBMISSION #3





MATERIAL FINISH LEGEND KEYNOTE DESCRIPTION FBR-1 FACE BRICK 1 - BELDEN - MODULAR MAYO CLEAR A FBR-2 FACE BRICK 2 - BELDEN - MODULAR NAPIER BLD FBR-3 FACE BRICK 3 - BELDEN - MODULAR LANDMARK GRAY VELOUR CSTN-1 CAST STONE 1 - CUSTOM CAST STONE - SANDSTONE CSTN-2 CAST STONE 2 - CUSTOM CAST STONE - DEEP TAN CSTN-3 CAST STONE 3 - CUSTOM CAST STONE - NATURAL MP-1 METAL PANEL - MAC PANELS MS1 MODULAR - TITANIUM BLACK SDG-1 CEMENT BOARD LAP SIDING - JAMES HARDIE - RICH ESPRESSO SDG-2 CEMENT BOARD PANEL (WOOD LOOK) - PARKLEX - RICH CINNAMON MET-RAIL-1 METAL RAILING - GLASS PANEL MET-RAIL-2 METAL RAILING - PICKETT RS-1 METAL COPING FWS-1 FIBERGLASS WINDOW SYSTEM LVR-1 WALL LOUVER RP-1 ROOF PAVER AFS-1 ALUMINUM FRAMING SYSTEM

STN-1 FISCHER STONE, SPLIT FACE - TO MATCH EXISTING STONE



PROJECT: 7474 HARWOOD 7474 HARWOOD BLVD WAUWATOSA, WI 53213

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504 WEST JUNEAU MILWAUKEE, WI 53203

ARCHITECT: KORB + ASSOCIATES **ARCHITECTS** 648 N. PLANKINTON AVE, SUITE 240 MILWAUKEE, WI 53203 CIVIL ENGINEER:

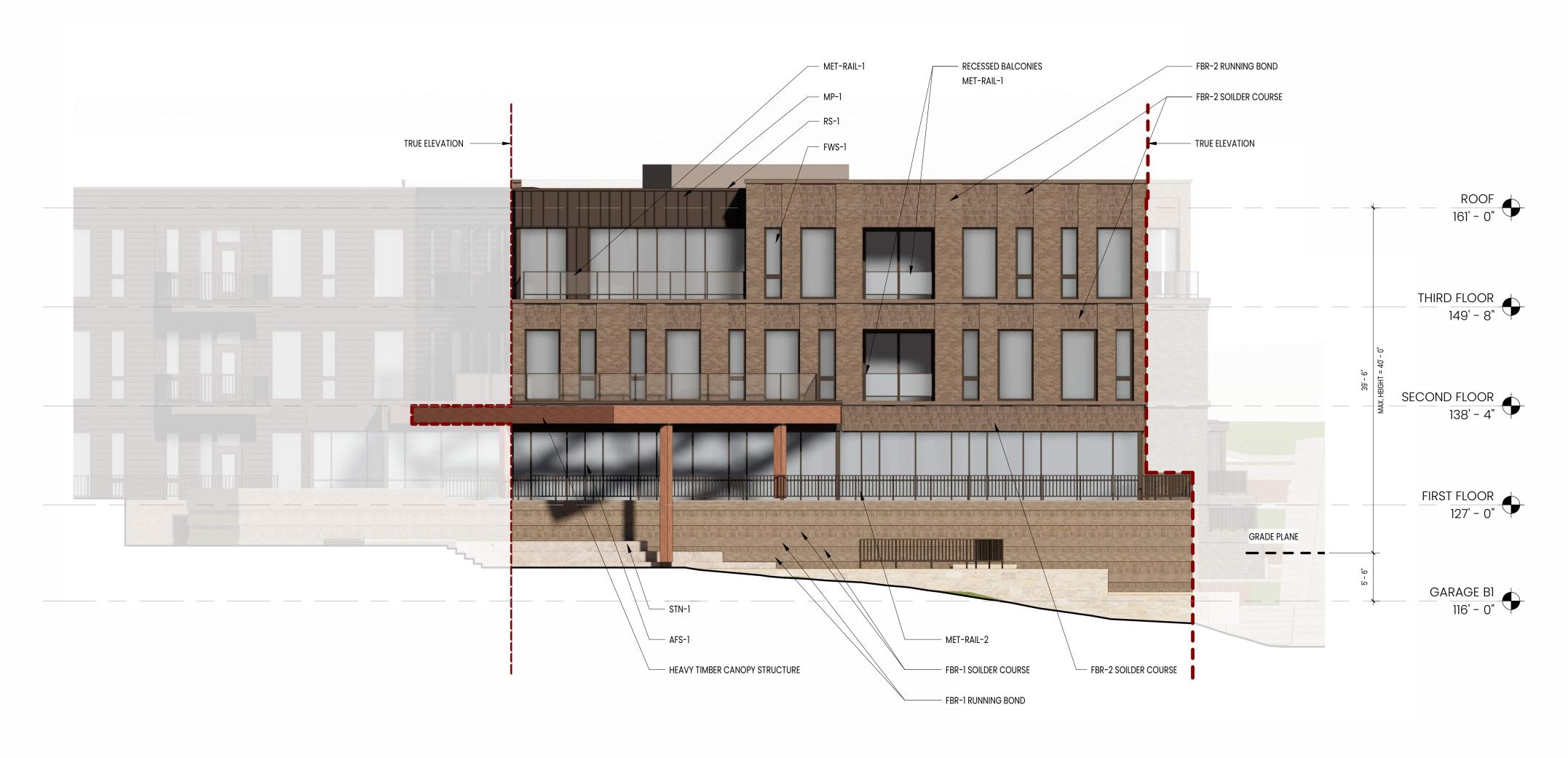
> 4100 N CALHOUN RD STE 300 BROOKFIELD, WI 53005

LANDSCAPE ARCHITECT: INSITE DESIGN INC. 11525 W NORTH AVE WAUWATOSA, WI 53226

DATE REVISION

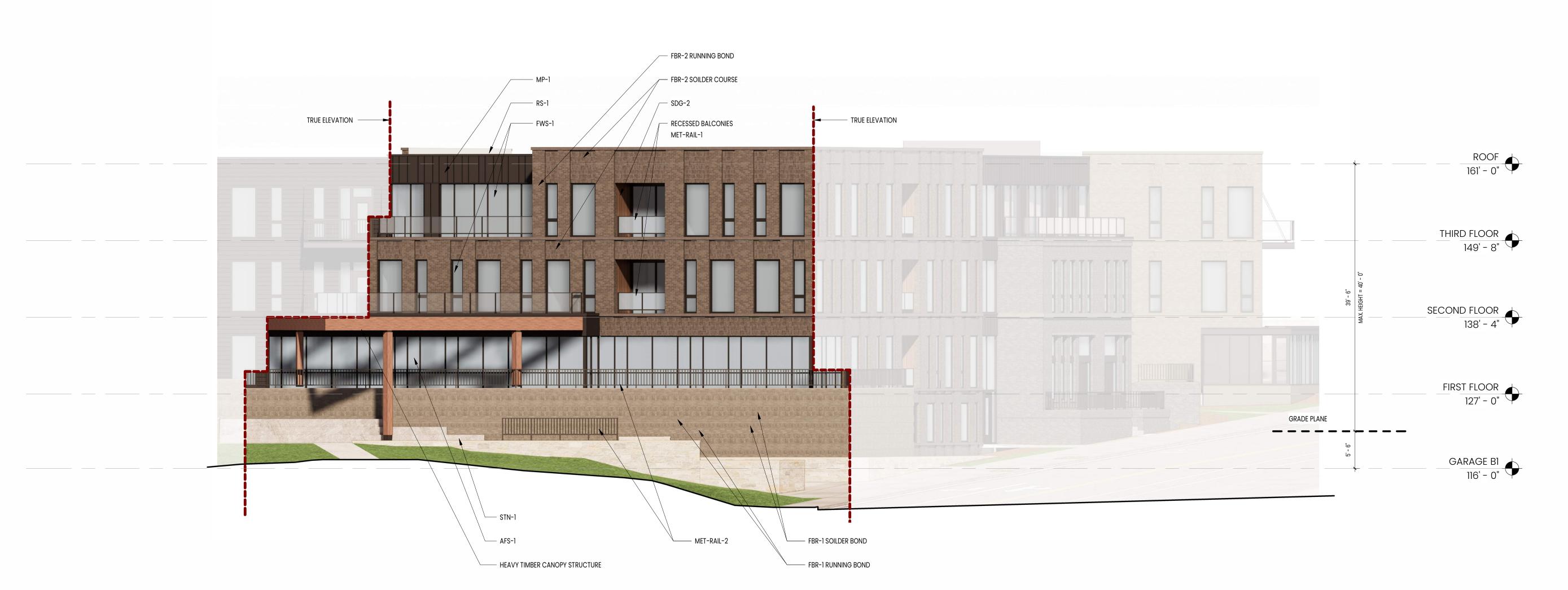
PROJ. NO. 24004.01 SCALE: As indicated PHASE: DRB SUBMISSION #3

DATE: 7.9.2024 ELEVATIONS - SOUTH A



SOUTH ELEVATION - ANGLED B - PRESENTATION

1/8" = 1'-0"



SOUTH ELEVATION - B - PRESENTATION

MATERIAL FINISH LEGEND KEYNOTE DESCRIPTION FBR-1 FACE BRICK 1 - BELDEN - MODULAR MAYO CLEAR A FBR-2 FACE BRICK 2 - BELDEN - MODULAR NAPIER BLD FBR-3 FACE BRICK 3 - BELDEN - MODULAR LANDMARK GRAY VELOUR CSTN-1 CAST STONE 1 - CUSTOM CAST STONE - SANDSTONE CSTN-2 CAST STONE 2 - CUSTOM CAST STONE - DEEP TAN CSTN-3 CAST STONE 3 - CUSTOM CAST STONE - NATURAL MP-1 METAL PANEL - MAC PANELS MS1 MODULAR - TITANIUM BLACK SDG-1 CEMENT BOARD LAP SIDING - JAMES HARDIE - RICH ESPRESSO SDG-2 CEMENT BOARD PANEL (WOOD LOOK) - PARKLEX - RICH CINNAMON MET-RAIL-1 METAL RAILING - GLASS PANEL MET-RAIL-2 METAL RAILING - PICKETT RS-1 METAL COPING FWS-1 FIBERGLASS WINDOW SYSTEM LVR-1 WALL LOUVER RP-1 ROOF PAVER AFS-1 ALUMINUM FRAMING SYSTEM STN-1 FISCHER STONE, SPLIT FACE - TO MATCH EXISTING STONE



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WAUWATOSA, WI 53213

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THREE LEAF PARTNERS
504 WEST JUNEAU
MILWAUKEE, WI 53203

ARCHITECT:

KORB + ASSOCIATES

ARCHITECTS

648 N. PLANKINTON AVE,

SUITE 240

MILWAUKEE, WI 53203

A100 N CALHOUN RD
STE 300
BROOKFIELD, WI 53005

CIVIL ENGINEER:

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11525 W NORTH AVE
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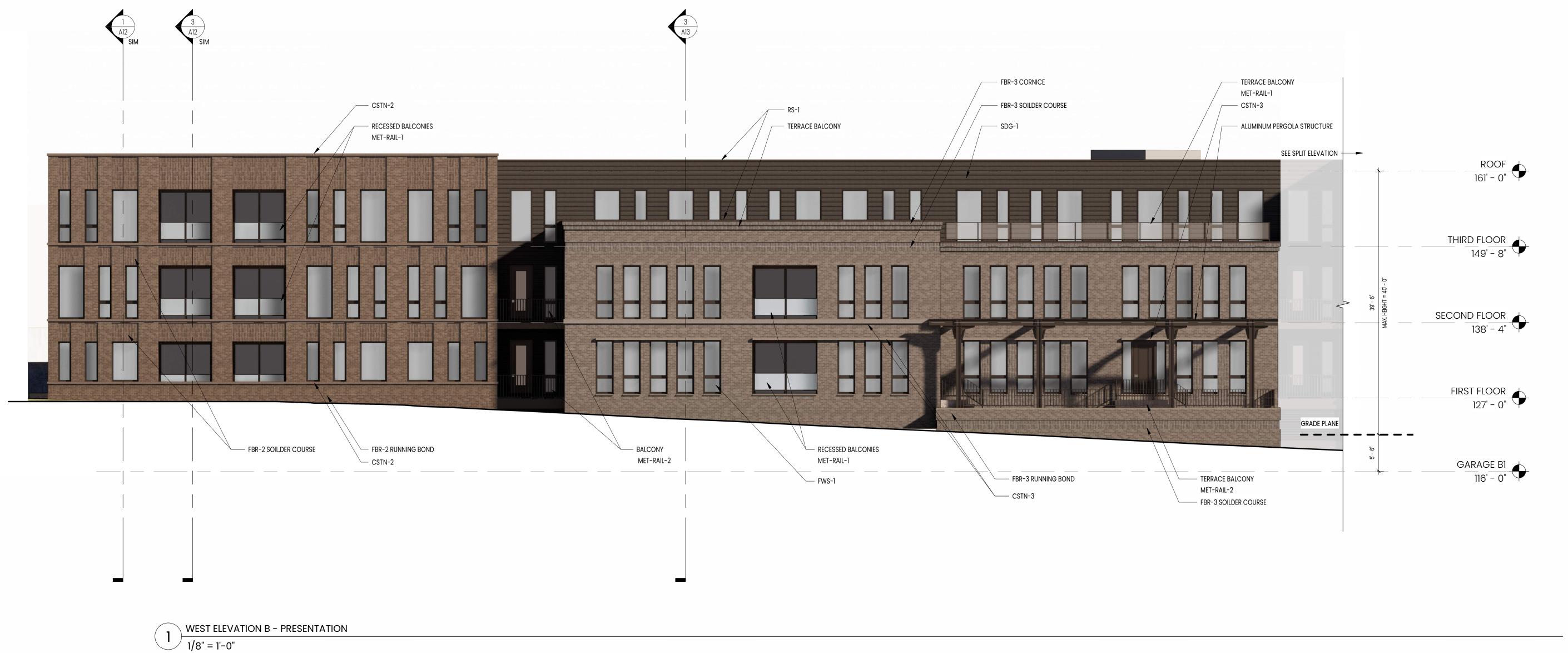
SCALE: As indicated

PHASE: DRB SUBMISSION #3

DATE: 7.9.2024

ELEVATIONS - SOUTH B

____A7







KEYNOTE	DESCRIPTION
FBR-1	FACE BRICK 1 - BELDEN - MODULAR MAYO CLEAR A
FBR-2	FACE BRICK 2 - BELDEN - MODULAR NAPIER BLD
FBR-3	FACE BRICK 3 - BELDEN - MODULAR LANDMARK GRAY VELOUR
CSTN-1	CAST STONE 1 - CUSTOM CAST STONE - SANDSTONE
CSTN-2	CAST STONE 2 - CUSTOM CAST STONE - DEEP TAN
CSTN-3	CAST STONE 3 - CUSTOM CAST STONE - NATURAL
MP-1	METAL PANEL - MAC PANELS MS1 MODULAR - TITANIUM BLACK
SDG-1	CEMENT BOARD LAP SIDING - JAMES HARDIE - RICH ESPRESSO
SDG-2	CEMENT BOARD PANEL (WOOD LOOK) - PARKLEX - RICH CINNAM
MET-RAIL-1	METAL RAILING - GLASS PANEL
MET-RAIL-2	METAL RAILING - PICKETT
RS-1	METAL COPING
FWS-1	FIBERGLASS WINDOW SYSTEM
LVR-1	WALL LOUVER
RP-1	ROOF PAVER
AFS-1	ALUMINUM FRAMING SYSTEM
STN-1	FISCHER STONE, SPLIT FACE - TO MATCH EXISTING STONE



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KORB + ASSOCIATES

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TRIO
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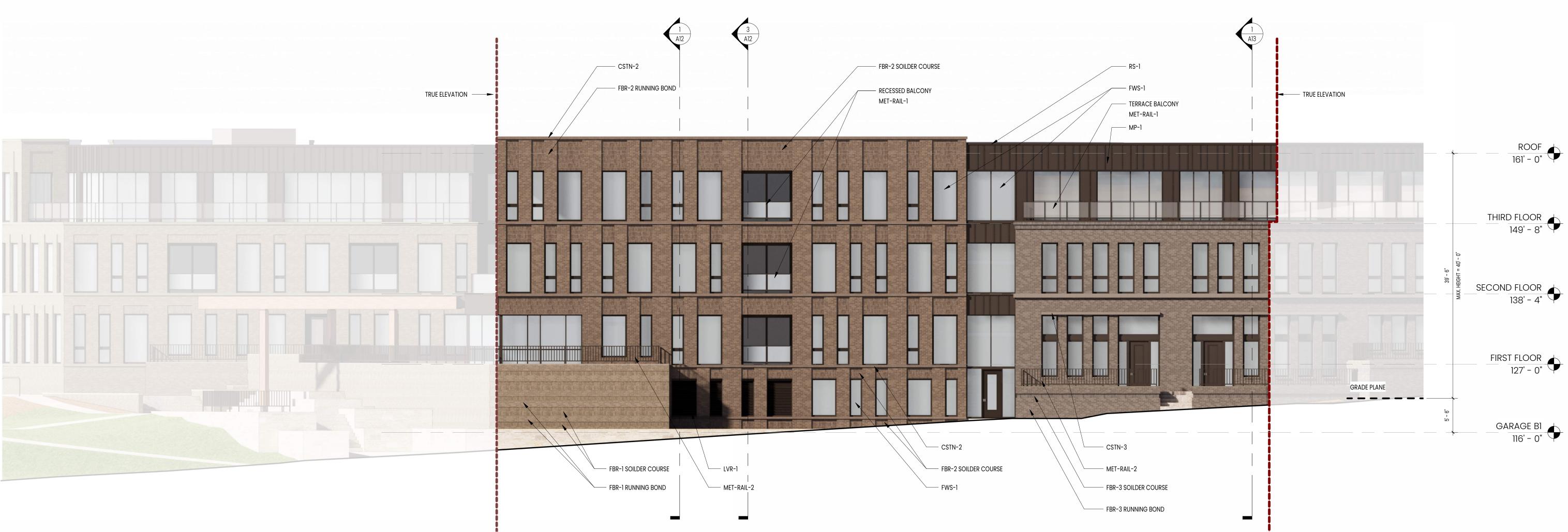
SCALE: As indicated

PHASE: DRB SUBMISSION #3

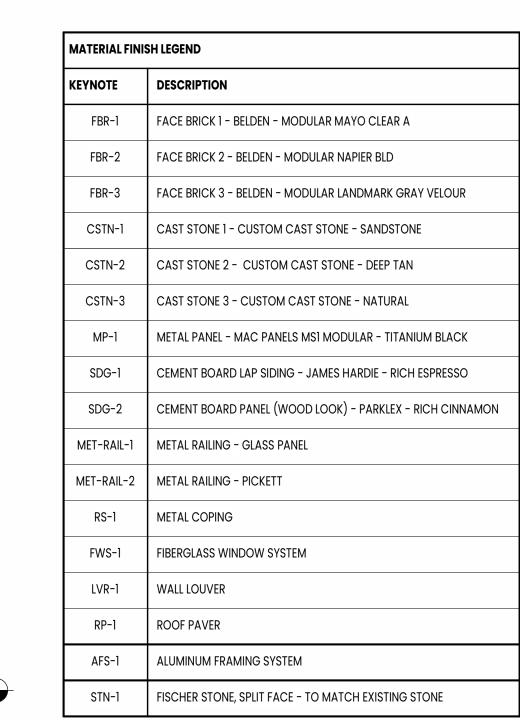
DATE: 7.9.2024

ELEVATIONS - WEST

A8









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THREE LEAF PARTNERS
504 WEST JUNEAU
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ARCHITECT:

KORB + ASSOCIATES

ARCHITECTS

648 N. PLANKINTON AVE,

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MILWAUKEE, WI 53203

TRIO
4100 N CALHOUN RD

STE 300

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LANDSCAPE ARCHITECT:
INSITE DESIGN INC.

11525 W NORTH AVE

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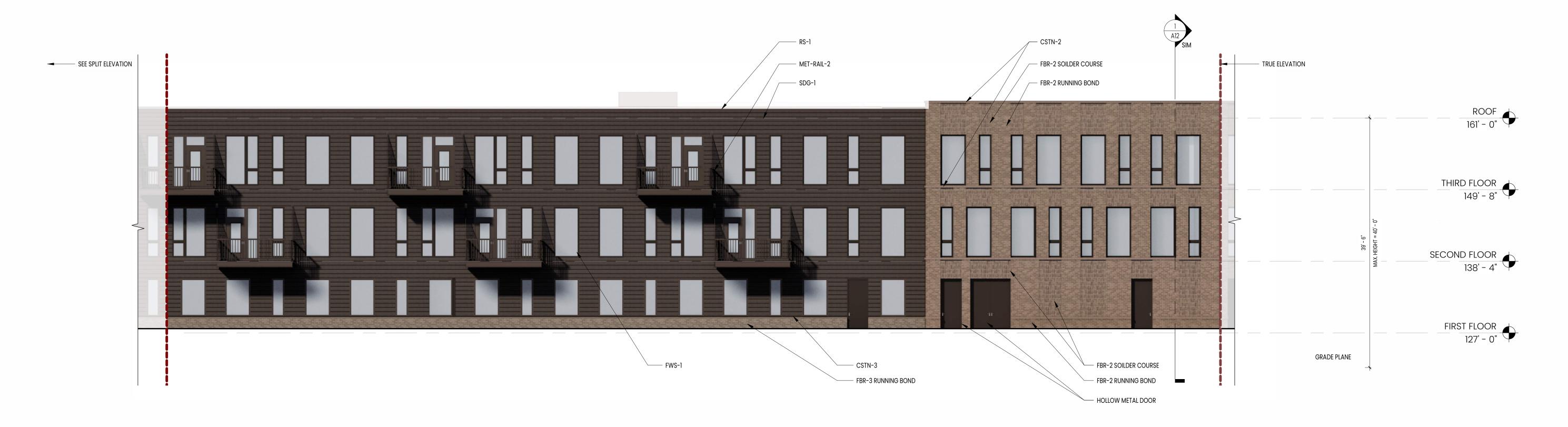
ELEVATIONS - EAST

PROJ.
SC
PH
D

Α9



 $3 \frac{\text{NORTH ELEVATION - C - PRESENTATION}}{1/8" = 1'-0"}$



NORTH ELEVATION - B - PRESENTATION 1/8" = 1'-0"



NORTH ELEVATION - A - PRESENTATION





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ARCHITECT:

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ARCHITECTS

648 N. PLANKINTON AVE,

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CIVIL ENGINEER:

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ELEVATIONS - NORTH



MATERIAL FINI	SH LEGEND
KEYNOTE	DESCRIPTION
FBR-1	FACE BRICK 1 - BELDEN - MODULAR MAYO CLEAR A
FBR-2	FACE BRICK 2 - BELDEN - MODULAR NAPIER BLD
FBR-3	FACE BRICK 3 - BELDEN - MODULAR LANDMARK GRAY VELOUR
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RP-1	ROOF PAVER
AFS-1	ALUMINUM FRAMING SYSTEM
STN-1	FISCHER STONE, SPLIT FACE - TO MATCH EXISTING STONE





COURTYARD ELEVATION - WEST - PRESENTATION 1/8" = 1'-0"



2 COURTYARD ELEVATION - NORTH - B - PRESENTATION 1/8" = 1'-0"

COURTYARD ELEVATION - NORTH - A - PRESENTATION 1/8" = 1'-0"



PROJECT: 7474 HARWOOD 7474 HARWOOD BLVD WAUWATOSA, WI 53213

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CIVIL ENGINEER: 4100 N CALHOUN RD STE 300

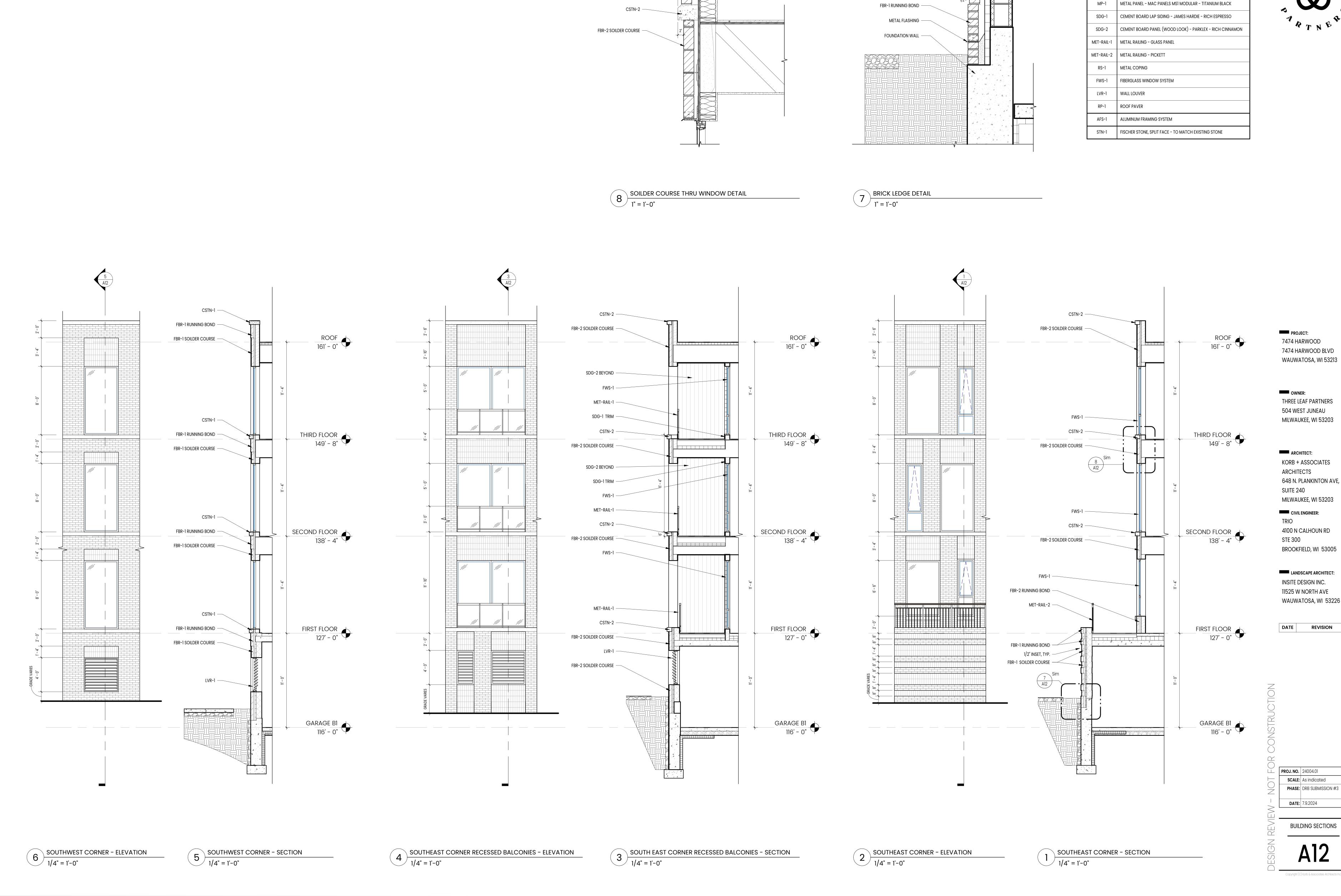
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BROOKFIELD, WI 53005

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3 COURTYARD ELEVATION - EAST - PRESENTATION 1/8" = 1'-0"



FBR-2 RUNNING BOND -

MATERIAL FINISH LEGEND

FBR-1 SOILDER COURSE

FBR-1 RUNNING BOND —

FBR-1 SOILDER COURSE -

KEYNOTE DESCRIPTION

FBR-1 FACE BRICK 1 - BELDEN - MODULAR MAYO CLEAR A

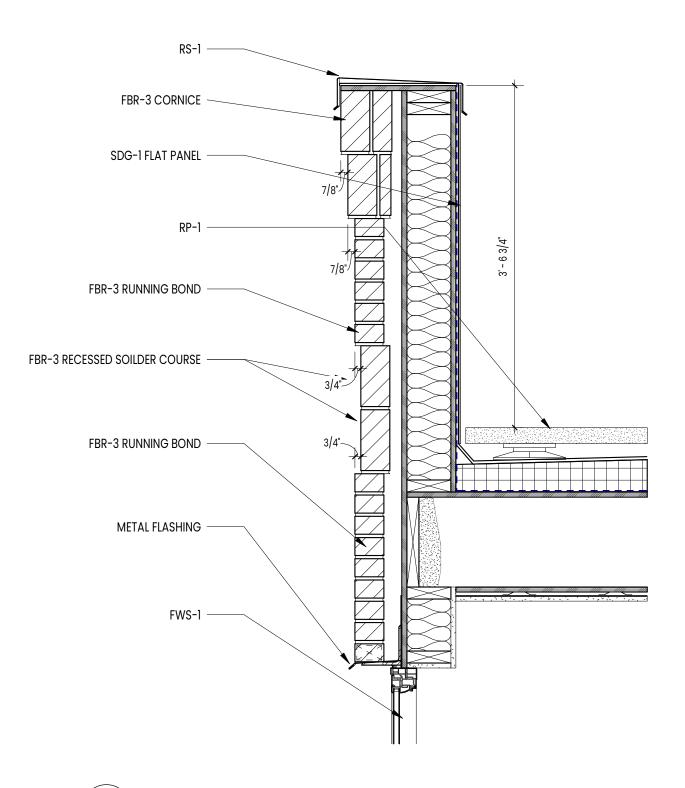
FBR-2 FACE BRICK 2 - BELDEN - MODULAR NAPIER BLD

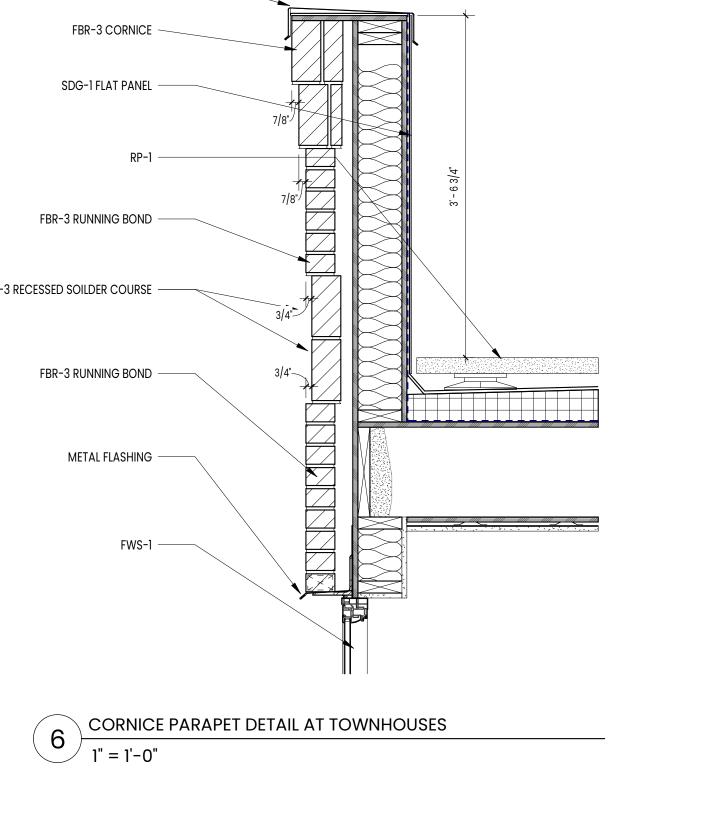
CSTN-1 CAST STONE 1 - CUSTOM CAST STONE - SANDSTONE

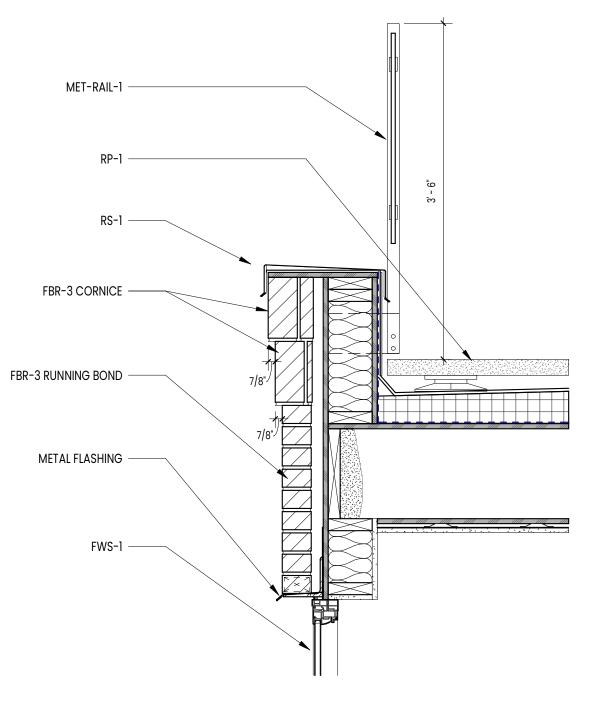
CSTN-2 CAST STONE 2 - CUSTOM CAST STONE - DEEP TAN

CSTN-3 CAST STONE 3 - CUSTOM CAST STONE - NATURAL

FBR-3 FACE BRICK 3 - BELDEN - MODULAR LANDMARK GRAY VELOUR



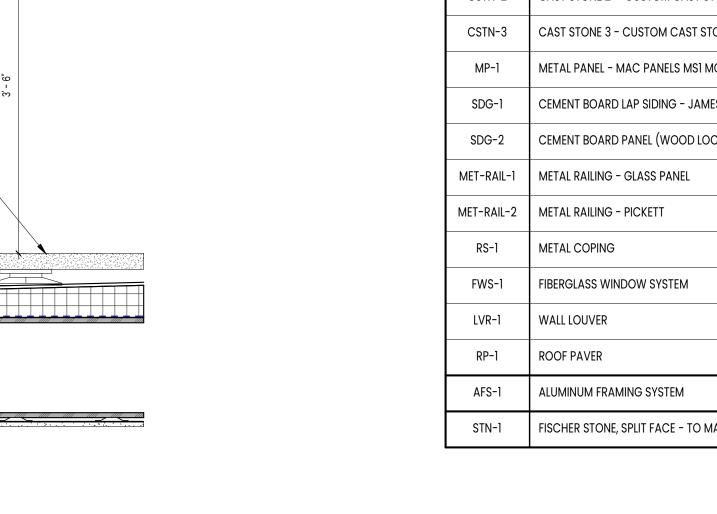


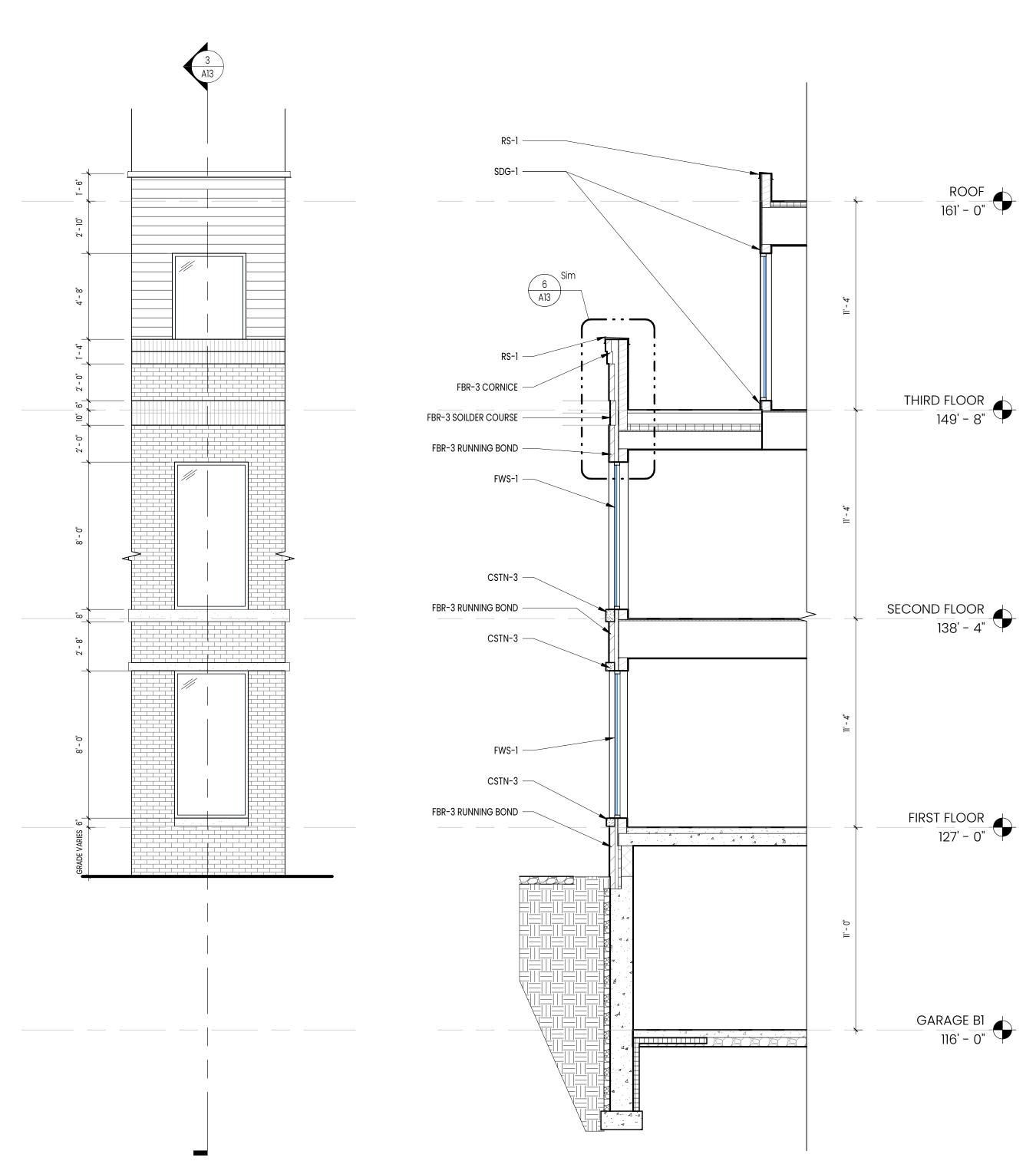


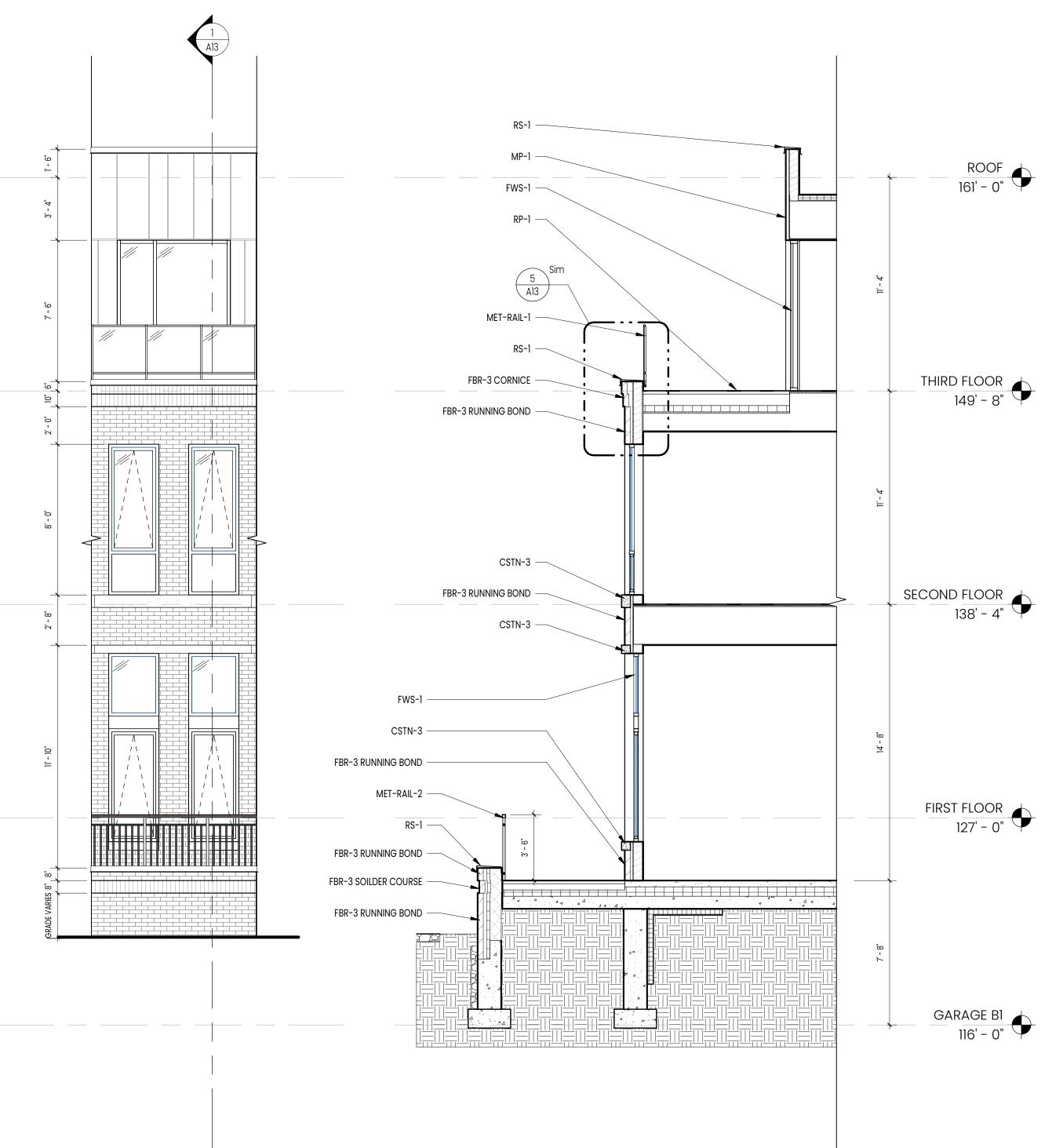
CORNICE DETAIL AT TOWNHOUSES



MATERIAL FINISH LEGEND







PROJ. NO. 24004.01 **SCALE:** As indicated PHASE: DRB SUBMISSION #3 **DATE:** 7.9.2024

PROJECT:

OWNER:

ARCHITECT:

ARCHITECTS

SUITE 240

CIVIL ENGINEER:

TRIO

STE 300

KORB + ASSOCIATES

648 N. PLANKINTON AVE,

MILWAUKEE, WI 53203

4100 N CALHOUN RD

BROOKFIELD, WI 53005

LANDSCAPE ARCHITECT:

WAUWATOSA, WI 53226

DATE REVISION

INSITE DESIGN INC. 11525 W NORTH AVE

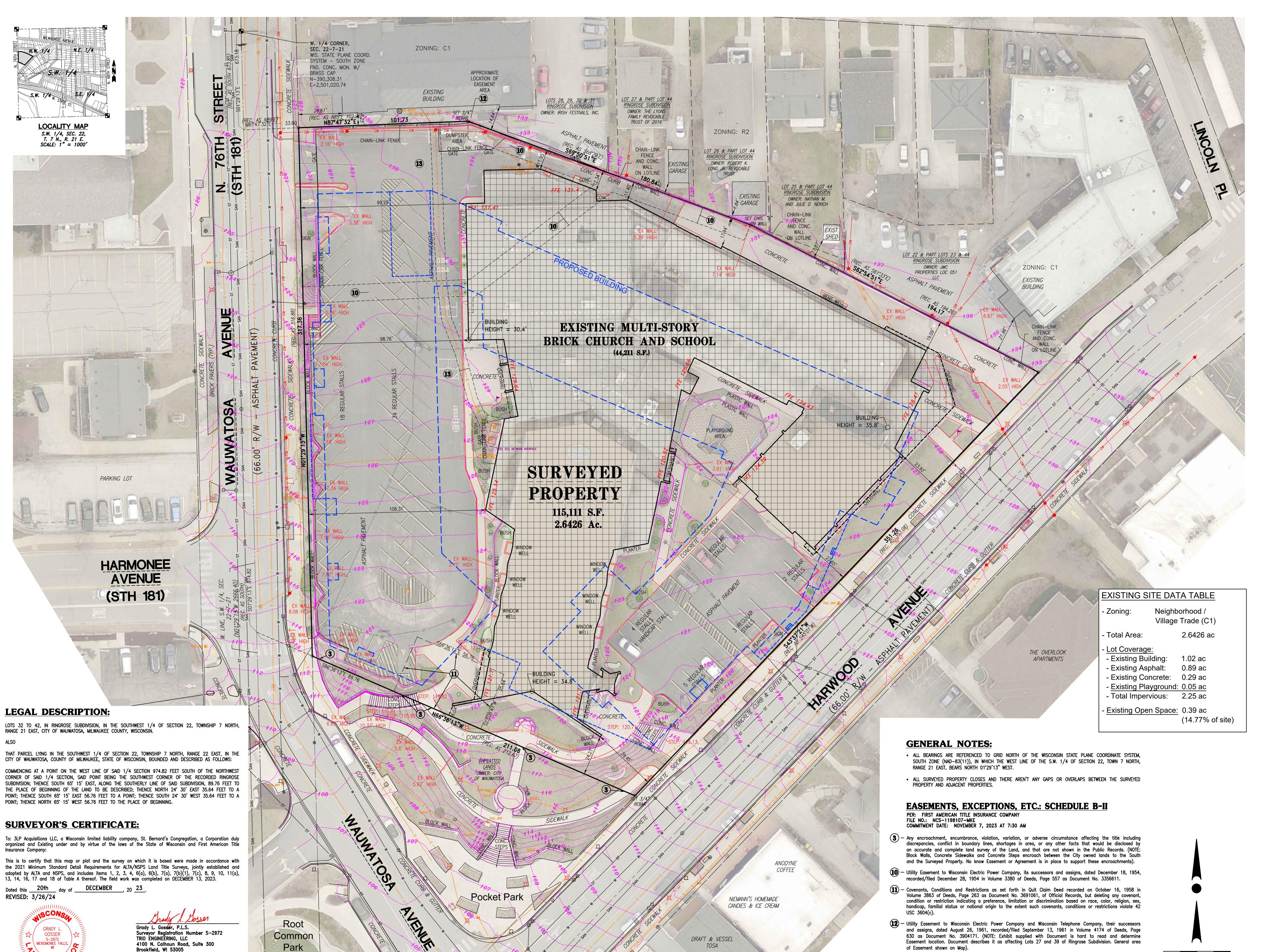
7474 HARWOOD

7474 HARWOOD BLVD WAUWATOSA, WI 53213

THREE LEAF PARTNERS

504 WEST JUNEAU MILWAUKEE, WI 53203

HARMONEE AVE TOWNHOUSE - SECTION



Phone: (262)790-1480 Fax: (262)790-1481

Email: ggosser@trioeng.com







PROJECT: 7474 HARWOOD 7474 HARWOOD BLVD WAUWATOSA, WI 53213

OWNER: THREE LEAF PARTNERS 504 WEST JUNEAU MILWAUKEE, WI 53203

ARCHITECT: **KORB + ASSOCIATES** ARCHITECTS 648 N. PLANKINTON AVE, SUITE 240 MILWAUKEE, WI 53203

CIVIL ENGINEER: TRIO ENGINEERING 4100 N CALHOUN RD STE 300 BROOKFIELD, WI 53005

LANDSCAPE ARCHITECT INSITE DESIGN INC. 11525 W NORTH AVE

WAUWATOSA, WI 53226

DATE REVISION 4.9.2024 DRB SUBMISSION **Z** 5.28.2024 DRB RESUBMITTAL 7.8.2024 DRB RESUBMITTAL

PROJ. NO. 24004.01 SCALE: PHASE: DRB SUBMISSION #3 DATE: 7.8.2024

LAND SURVEY

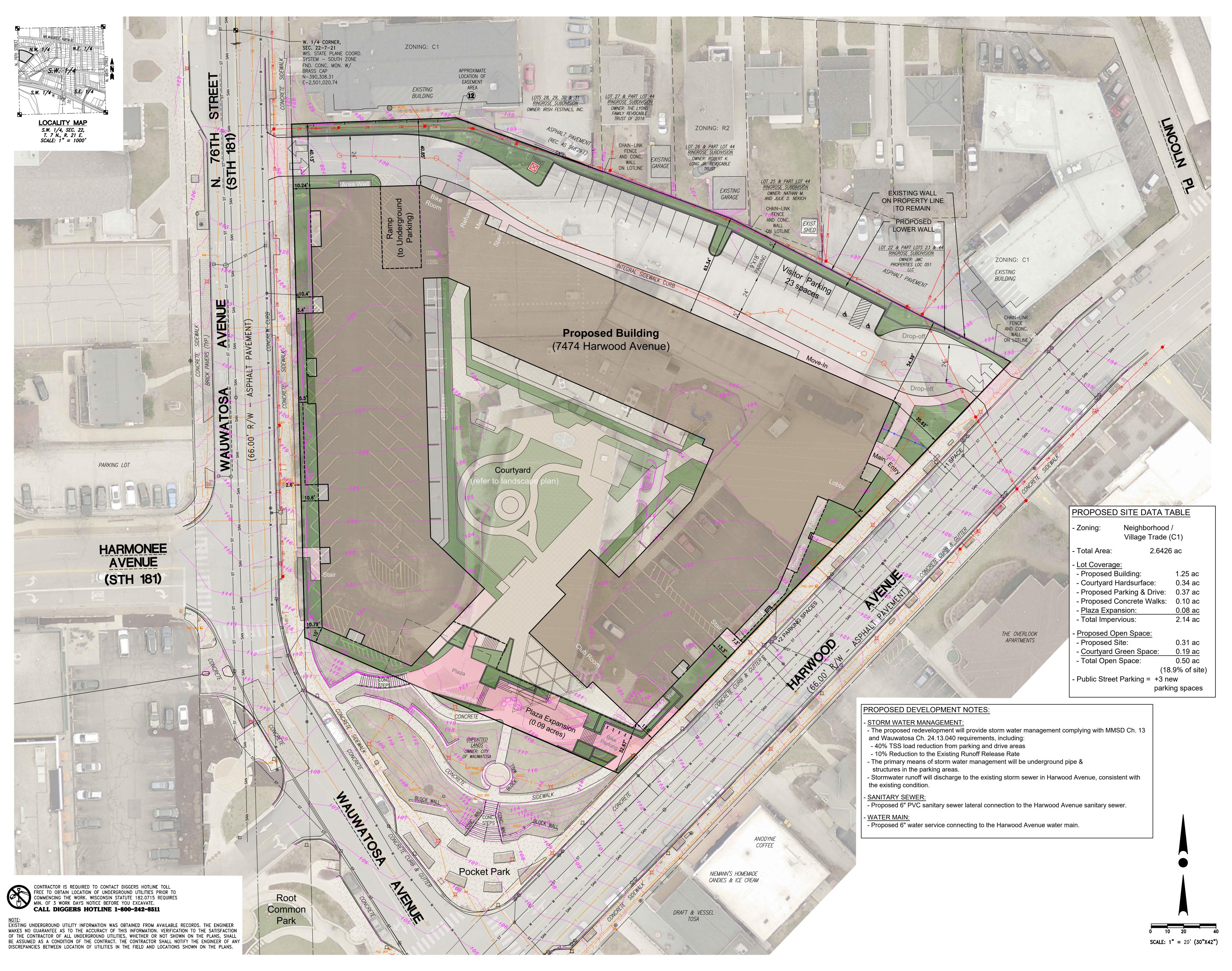
EXISTING SITE PLAN

SCALE: 1" = 20' (30"X42")

(13) — Utility Easement to Wisconsin Electric Power Company and Wisconsin Telephone Company, their successors

Document No. 3977775.

and assigns, dated September 14, 1962, recorded/filed September 28, 1962 in Reel 23, Pages 785-787 as











PROJECT:
7474 HARWOOD
7474 HARWOOD BLVD
WAUWATOSA, WI 53213

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WAUWATOSA, WI 53226

DATE REVISION

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PROJ. NO. 24004.01

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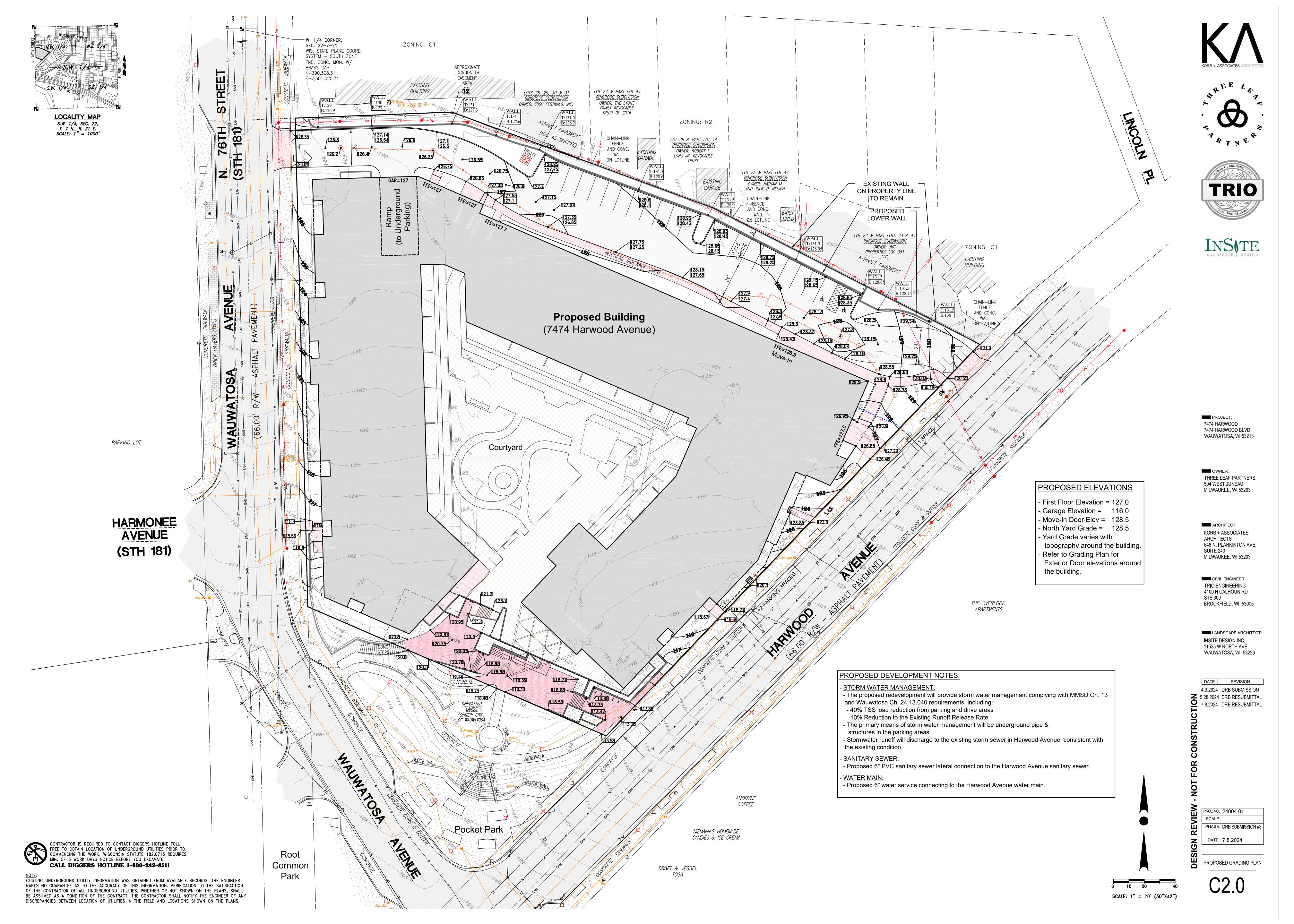
PHASE: DRB SUBMISSION #3

DATE: 7 8 2024

DATE: 7.8.2024

PROPOSED SITE PLAN

C1.0



SITE INFORMATION

usda plant hardiness zone TOTAL IMPERVIOUS LOT ZONING -TOTAL GREENSPACE - -LOT AREA SITE LANDSCAPE PERCENTAGE

SITE BUILDING AREA ...

DESIGN COMPLIANCE REQUIREMENTS: DURING THE PREPARATION OF THIS LANDSCAPE PLAN, THE CITY OF WAUWATOSA LANDSCAPE REQUIREMENTS WERE REFERENCED FOR COMPLIANCE. LANDSCAPING AND SCREENING 24.12: 24.12.020 - PERIMETER VEHICULAR USE AREA LANDSCAPING, 24.12.030 - INTERIOR VEHICULAR USE AREA LANDSCAPING, SCREENING: 24.12.040, LANDSCAPE MATERIAL AND DESIGN 24.12.050, LANDSCAPE PLAN 24.12.060, MID MIDTOWN DISTRICTS - 24.06.85P - LOT EDGES, ID MIDTOWN DISTRICTS - 24.06.85P4 - LANDSCAPE EDGES, ID MIDTOWN DISTRICTS - 24.06.85P6 - PARKING EDGE,

TOTAL PARKING STALLS

24.12.020 - PERIMETER VEHICULAR USE AREA LANDSCAPING. A LANDSCAPE STRIP WITH A MINIMUM DEPTH OF 10 FEET MUST BE PROVIDED BETWEEN THE VEHICULAR USE AREA AND THE PUBLIC RIGHT-OF-WAY.

VUA MUST INCLUDE AT LEAST 2 DECIDUOUS TREES AND 8 SHRUBS PER 50 FEET OF VEHICULAR USE AREA FRONTAGE IS REQUIRED. PROVIDED VUA = $XX' \times XX'$ AND IS A TOTAL OF XX SQUARE FEET

SIZE OF VUA BUFFER PROVIDED IS X'-XX" X XXX" = XXXX sq ft. X TREES AND XX SHRUBS REQUIRED

X TREES AND X SHRUBS ARE PROVIDED

24.12.030 - Interior Vehicular Use Area Landscaping. 2. Minimum Interior Landscape Area. At least 10% of the interior of vehicular use areas must be landscaped AT A MINIMUM OF 135 square feet and be at least 10 feet in width.

XXX SQ FT OF INTERIOR LANDSCAPE IS REQUIRED

0 SQ FT OF INTERIOR LANDSCAPE IS PROVIDED 24.12.040 - Screening. All plant material used for screening must be at least 4 feet in height at time of planting.

EXISTING CONDITIONS GENERAL NOTES

- 1. INFORMATION PERTAINING TO EXISTING CONDITIONS GIVEN ON THESE LANDSCAPE DRAWINGS REPRESENTS TO THE BEST OF OUR KNOWLEDGE THE ACTUAL EXISTING FIELD CONDITIONS. INSITE LANDSCAPE DESIGN, INC. MAKES NO WARRANTY AS TO THEIR ACCURACY. CONTRACTOR TO FIELD VERIFY EXISTING CONDITIONS IMPERATIVE TO THEIR NEW WORK. REPORT ANY DISCREPANCIES BETWEEN THE DRAWINGS AND FIELD CONDITIONS TO THE LANDSCAPE ARCHITECT FOR REVIEW. ANY WORK PERFORMED PRIOR TO RESOLUTION OF DISCREPANCIES BY THE LANDSCAPE ARCHITECT IS SUBJECT TO REMOVAL AND
- REPLACEMENT AT NO ADDITIONAL COST TO THE CONTRACT. THE LOCATIONS OF EXISTING UTILITY INSTALLATIONS AS SHOWN ON THIS PLAN ARE APPROXIMATE. THERE MAY BE UNDERGROUND UTILITY INSTALLATIONS WITHIN THE PROJECT AREA OF DISTURBANCE THAT ARE NOT SHOWN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE EXISTENCE AND LOCATION OF ALL UNDERGROUND UTILITIES.
- VERIFY ALL EXISTING CONDITIONS, DIMENSIONS, AND ALIGNMENT OF WALLS. BRING ANY DISCREPANCIES TO THE LANDSCAPE ARCHITECTS ATTENTION PRIOR TO FABRICATION / CONSTRUCTION BEGINS. 4. VERIFY LOCATION OF ACCESS PANELS w/ MECHANICAL AND ELECTRICAL EQUIPMENT FOR ACCESSIBILITY OF MECHANICAL & ELECTRICAL ITEMS. VERIFY LOCATIONS OF ALL BURIED UTILITIES AND STRUCTURES AND LOCATIONS OF ALL OVERHEAD WIRES.
- VERIFY LOCATION OF ALL EXISTING EASEMENTS. 6. INSITE LANDSCAPE DESIGN, INC, ASSUMES NO RESPONSIBILITY FOR DAMAGES, LIABILITY OR COSTS RESULTING FROM CHANGES OR ALTERATIONS MADE TO THIS PLAN WITHOUT THE EXPRESSED WRITTEN CONSENT OF INSITE LANDSCAPE DESIGN, INC.

PLANTER SPECULATIONS

- BOTTOM OF PLANTER (APPROX. LOWER THIRD OF PLANTER INTERIOR) TO BE FILLED WITH A LIGHTWEIGHT GRANULAR DRAINAGE MATERIAL THAT WILL PROMOTE HEALTHY PLANT GROWTH BY RETAINING AND DRAINING WATER IN A NATURAL WAY SUCH AS ROOFLITE DRAIN OR SIMILAR.
- UPPER PORTION OF PLANTER (APPROX. UPPERTWO-THIRDS OF PLANTER INTERIOR) TO BE FILLED WITH A SOILESS GROWING MEDIUM OPTIMIZED FOR THE DEEPER ROOT ZONE BELOW A TOP LAYER OF ROOFLITE EXTENSIVE MC IS A PRECISELY BALANCED BLEND OF LIGHT WEIGHT MINERAL AGGREGATES LIKE HYDROCKS OR PUMICE AND PREMIUM ORGANIC COMPONENTS LIKE USCC STA APPROVED COMPOST AND FREE OF WEEDS. INSECTS AND DISEASES. MEDIA TO HAVE A PH OF APPROX. 6.2 THAT MAY CONTAIN INGREDIENTS SUCH AS SPHAGNUM PEAT MOSS, PERLITE, VERMICULITE, COMPOSTED BARK, COMPOST, AND COCONUT COIR. PLUS SMALL AMOUNTS OF LIME AND FERTILIZE. EXAMPLES ROOFLITE EXTENSIVE MC, 100% COMPOST 100% SOILLESS MIX, 50% SOILLESS MIX + 50% COMPOST. TOPSOIL SHOULD ONLY BE ADDED TO VERY LARGE CONTAINERS AND NOT EXCEED 5-10% OF THE VOLUME.
- 3. BOTTOM LAYER OF DRAIN MATERIAL AND GROWING MEDIA TO BE SEPARATED BY A THIN, MECHANICALLY STRENGTHENED, NON-WOVEN, ROOT-PERMEABLE, ENDLESS FIBER FLEECE SEPARATION LAYER AND FILTER BETWEEN DRAINAGE AND SUBSTRATE LAYERS. SEPARATION FABRIC WORKS AS A FILTER KEEPS THE FINER PARTICLES CONTAINED IN THE GROWTH MEDIA OR BASE LAYER FROM MIGRATING INTO THE DRAINAGE AND SHOULD NOT CLOG OR DEGRADE OVER TIME.
- 4. PLANTERS SHOULD BE FERTILIZED FREQUENTLY AND IN SMALL AMOUNTS. ORGANIC OPTIONS INCLUDE BLOOD MEAL AND BONE MEAL FOR SUPPLEMENTAL NITROGEN AND PHOSPHORUS, AS THE SEASON GOES ON, YOU CAN LIQUID FEED WITH SUBSTANCES SUCH AS FISH EMULSION OR COMPOST. INORGANIC FERTILIZER, ADD A SLOW-RELEASE GRANULAR PRODUCT WITH A NITROGEN-PHOSPHORUS-POTASSIUM RATIO OF 3:1:2. ONE EXAMPLE MIGHT HAVE A FORMULATION OF 18-6-12. REAPPLY HALFWAY THROUGH
- THE GROWING SEASON. YOU MAY ALSO CHOOSE A WATER-SOLUBLE FERTILIZER WITH A SIMILAR CHEMICAL MAKEUP AND APPLY FREQUENTLY USING A HOSE OR WATERING CANT TEA. PLANTERS SHOULD BE MONITORED AND BE WATERED FREQUENTLY IF NOT ON A DRIP IRRIGATION SYSTEM. BASED IN PLANT MATERIAL AND GROWING CONDITIONS MAY NEED TO BE WATERED UP TO TWICE A DAY.

LANDSCAPE PLAN GENERAL NOTES

PLANT MATERIAL SHOWN ON LANDSCAPE PLAN IS DEPICTED AT MATURE GROWTH.

- AT LEAST SEVENTY-TWO HOURS PRIOR TO ANY EXCAVATION, CONTRACTOR SHALL VERIFY UTILITY LOCATIONS AS GIVEN BY THE ELECTRIC, GAS, TELEPHONE, WATER, SEWER, AND CABLE TELEVISION COMPANIES, UTILITIES OR ENTITIES. REVIEW WITH OWNER'S REPRESENTATIVE SITE MECHANICAL, SITE ELECTRICAL AND LIGHTING, SITE GRADING AND DRAINAGE, SITE IRRIGATION AND ALL OTHER DRAWINGS PERTAINING TO UNDERGROUND UTILITY LOCATIONS. RECORD SET OF INFORMATION THE SAME AS IN POSSESSION OF OWNER'S REPRESENTATIVE. ALSO REVIEW OWNER'S "MARK SETS" OF ALL OF THESE DRAWINGS IN POSSESSION OF THE CONTRACTOR OR OWNER. MARK ALL SUCH UTILITIES ON THE SITE PRIOR TO COMMENCING. COORDINATE WITH OWNER BEFORE AND DURING CONSTRUCTION. REPAIR ANY DAMAGE TO ANY SYSTEM THAT IS CAUSED BY LANDSCAPE
- 2. ALL PLANTINGS SPECIFIED FOR THE HARWOOD PROJECT PLANTING TABLES SHALL COMPLY WITH STANDARDS AS DESCRIBED IN AMERICAN STANDARD OF NURSERY STOCK ANSI Z60.1 2014 AND ANSI STANDARDS FOR PLANTING 2012.
- ALL DEVIATIONS FROM THE APPROVED HARWOOD PROJECT PLANS SHALL BE NOTED ON THE RECORD DRAWINGS BY THE CONTRACTOR AND MAY BE EXECUTED ONLY WITH PRIOR APPROVAL FROM THE LANDSCAPE ARCHITECT AND OWNER'S REPRESENTATIVE. VERBAL AGREEMENTS OR REVISIONS WITHOUT A CHANGE ORDER WILL NOT BE RECOGNIZED BY LANDSCAPE ARCHITECT AND OWNER.
- 4. ALL PLANTS MUST BE BID AND SELECTED PER THE SPECIES SPECIFIED ON THE PLANS. ANY SPECIES SUBSTITUTIONS MUST BE APPROVED IN WRITING BY LANDSCAPE ARCHITECT. THE SIZES OF PLANT MATERIAL LISTED HEREIN IS A MINIMUM ACCEPTABLE SIZE. ADDITIONALLY, IF EXCESSIVE PRUNING REDUCES THE CROWN THE PLANT
- 5. PROTECT PUBLIC FROM CONSTRUCTION WITH BARRIERS AND BARRICADES.
- 6. ALL AREAS THAT WERE DISTURBED DURING CONSTRUCTION AND AREAS NOT COVERED WITH PAVEMENT, BUILDING, PLANTING BEDS, OR TREE PITS ARE TO BE TOPSOILED 3" DEEP (MIN.) AND SHALL BE SODDED/SEEDED WITH SPECIFIED LAWN GRASS. LANDSCAPE CONTRACTOR SHALL INCLUDE COST PER SQUARE YARD FOR ADDITIONAL SEED OPERATIONS AS MAY BE POSSIBLY REQUIRED TO REESTABLISH ADJACENT TURF GRASS AREAS WHICH MAY BECOME DAMAGED DURING THE CONSTRUCTION PROCESS OR TO REPAIR DAMAGE DONE BY OTHERS.
- 7. CONTRACTOR IS RESPONSIBLE FOR FURNISHING ALL MATERIALS, TOOLS, EQUIPMENT, LABOR, AND PLANTS NECESSARY FOR PROPER PLANTING AND INSTALLATION OF ALL
- 8. QUANTITIES ON PLANT MATERIALS LIST ARE FOR CONVENIENCE OF BIDDING ONLY. CONTRACTOR IS RESPONSIBLE FOR ALL PLANTS SHOWN ON LANDSCAPE PLANS AND COVERAGE OF ALL AREAS DELINEATED. THE PLANS ARE TO SUPERSEDE THE PLANT LIST IN ALL CASES.
- 9. CONTRACTOR IS RESPONSIBLE FOR ALL ESTIMATING AND BIDDING, ALL AREAS, QUANTITIES MATERIALS SHOULD BE FIELD VERIFIED WITH SITE CONDITION.
- 10. WHERE DISCREPANCIES OCCUR BETWEEN THE LANDSCAPE PLANS AND/OR ARCHITECTURAL AND/OR THE CIVIL DRAWINGS (AND ANY OTHER SITE DRAWINGS) THE DISCREPANCIES MUST BE BROUGHT TO THE LANDSCAPE ARCHITECTS ATTENTION FOR COORDINATION AND RESOLUTION.
- 11. ALL DISEASED, NOXIOUS OR INAPPROPRIATE MATERIALS SHALL BE REMOVED FROM THE PROPOSED SITE PRIOR TO THE START OF CONSTRUCTION AND DURING THE MAINTENANCE PERIOD.
- 12. GENERAL CONTRACTOR SHALL LEAVE THE SITE FREE OF CONSTRUCTION DEBRIS.
- 13. ALL LAWN AND PLANTING AREAS SHALL SLOPE TO DRAIN A MINIMUM OF 2% UNLESS NOTED OTHERWISE AND REVIEWED WITH OWNER'S REPRESENTATIVE FOR FINAL
- 14. FINISH GRADES FOR SHRUB AND GROUND COVER AREAS SHALL BE HELD 1" BELOW TOP OF ADJACENT PAVEMENTS AND CURBS, UNLESS NOTED OTHERWISE ON THE PLANS. REFER TO LSP1.9 FOR FURTHER INFORMATION.
- 15. ALL PERENNIAL, ANNUAL AND GROUND COVER AREAS TO RECEIVE A BLEND OF ORGANIC SOIL AMENDMENTS PRIOR TO PLANTING. TILL THE FOLLOWING MATERIALS INTO EXISTING TOPSOIL TO A DEPTH OF APPROXIMATELY 8". A DEPTH OF 12" IN TREE PITS. PROPORTIONS AND QUANTITIES MAY REQUIRE ADJUSTMENT DEPENDING ON THE CONDITION OF EXISTING SOIL. REFER TO LSP1.9 FOR FURTHER INFORMATION. PER EVERY 100 SQUARE FEET ADD: ONE - 2 CUBIC FOOT BALE OF PEAT MOSS, 2 POUNDS OF 5 -10 -5 GARDEN FERTILIZER, 1/4 CUBIC YARD OF COMPOSTED MANURE OR OTHER COMPOSTED, ORGANIC MATERIAL.
- 16. ALL SHRUBS TO BE POCKET PLANTED WITH A 50/50 MIX OF COMPOSTED, ORGANIC MATERIAL AND EXISTING SOIL. INSTALL TOPSOIL INTO ALL BEDS AS NEEDED TO ACHIEVE PROPER GRADE. REMOVE ALL EXCESSIVE GRAVEL, CLAY AND STONES. REFER TO LSP1.9 FOR FURTHER INFORMATION.
- 17. PLANT ALL TREES SLIGHTLY HIGHER THAN FINISHED GRADE AT ROOT FLARE. BACK FILL HOLE WITH 2/3 EXISTING TOPSOIL AND ORGANIC SOIL AMENDMENTS SPECIFIED IN NOTE 15. AVOID ANY AIR POCKETS. DISCARD ANY GRAVEL CLAY OR STONES. REFER TO LSP1.9 FOR FURTHER INFORMATION.
- 18. ALL TREES TO BE INSTALLED, STAKED AND GUYED ACCORDING TO DETAILS. REFER TO ANSI STANDARDS FOR PLANTING 2012 AND DETAILS ON LSP1.9 FOR FURTHER
- 19. PROVIDE A 4'-0" 5'-0" DIAMETER MULCH RING AT THE ROOT BALL FLARE OF ALL LAWN TREES.
- 20. ALL PLANTINGS TO BE WATERED AT THE TIME OF PLANTING, THROUGHOUT CONSTRUCTION AND UPON COMPLETION OF PROJECT AS REQUIRED.
- WHERE SPECIFIED, ALL PLANT BEDS, PITS AND TREE RINGS ARE TO RECEIVE A MINIMUM OF 2" 3" DRESSING OF SHREDDED HARDWOODM OAK BARK MULCH SHAVINGS FREE OF GROWTH, WEEDS, FOREIGN MATTER DETRIMENTAL TO PLANT LIFE OR GERMINATION INHIBITING INGREDIENTS. LANDSCAPE CONTRACTOR TO PROVIDE A SAMPLE TO OWNER FOR APPROVAL. CONTRACTOR TO TAKE CARE WITH INSTALLATION NOT TO DAMAGE OR COVER PLANTS. REFER TO LSP1.9 FOR FURTHER INFORMATION.
- 22. LAWN INSTALLATION: CONTRACTOR TO FURNISH AND PREPARE TOPSOIL (3" MIN) AND SEED BED (REMOVE ALL STONES 1" OR LARGER), APPLY STARTER FERTILIZER AND SEED UNIFORMLY. PROVIDE A MULCH COVERING SUITABLE TO GERMINATE AND ESTABLISH TURF. EROSION CONTROL MESH SHOULD BE USED IN SWALES AND STEEP GRADES WHERE APPLICABLE. METHODS OF INSTALLATION MAY VARY AT THE DISCRETION OF CONTRACTOR. IT IS HIS/HER RESPONSIBILITY TO ESTABLISH AND GUARANTEE A SMOOTH, UNIFORM, QUALITY TURF. IF STRAW MULCH IS USED AS A COVERING, A TACKIFIER MAY BE NECESSARY TO AVOID WIND DAMAGE.
- 23. DELUXE 50 GRASS SEED MIX REINDER'S (800) 785-3301
- 20% KENTUCKY BLUE GRASS
- 15% NEWPORT KENTUCKY BLUE GRASS 15% SR 2100 Kentucky Bluegrass
- 25% Creeping Red Fescue 15% Replicator Perennial Ryegrass
- 10% Fiesta 4 Perennial Ryegrass APPLY AT A RATE OF 200 POUNDS PER ACRE. REFER TO SUPPLIERS SPECIFICATIONS & INSTALLATION CUT SHEETS FOR FURTHER FORMATION
- 24. DURING THE INITIAL "30 DAY MAINTENANCE PERIOD" THE LANDSCAPE CONTRACTOR IS REQUIRED TO PROVIDE AND ON-GOING PLEASANT VISUAL ENVIRONMENT WHEREAS ANY PLANT WHICH IS NOT RESPONDING TO TRANSPLANTING OR THRIVING SHALL IMMEDIATELY BE REPLACED. NEW LAWNS SHALL BE WATERED AND REPAIRED AND WEEDS MUST CONSTANTLY BE REMOVED, NO EXCEPTIONS WILL BE GRANTED.
- MAINTENANCE NOTE: MAINTENANCE IS THE RESPONSIBILITY OF THE PROPERTY OWNER TO MAINTAIN REQUIRED LANDSCAPING IN ACCORDANCE WITH THE MUNICIPALITY'S PROPERTY MAINTENANCE CODE AND AN APPROVED MAINTENANCE PLAN. THE MAINTENANCE MUST INCLUDE, AT A MINIMUM, METHODS FOR PROVIDING THE FOLLOWING:
- NECESSARY IRRIGATION (if REQUIRED)
- INTEGRATED PEST MANAGEMENT,
- PROPER FERTILIZATION TREE CARE AND PRUNING, SHRUB TIP CLIPPING AND SHAPING AS REQUIRED
- REPLACEMENT OF LOST VEGETATION, AND ALL DISEASED, DAMAGED, OR DEAD MATERIAL WILL BE REPLACED BY THE END OF THE FOLLOWING PLANTING SEASON IN PERPETUITY. FOR REPLACEMENT IN PERPETUITY REFER TO APPROVED DEVELOPERS AGREEMENT. WEED MANAGEMENT AND BED CARE.
- 25. ALL NEWLY PLANTED TREES AND SHRUBS ARE TO RECEIVE AN APPLICATION OF AN ANTI-TRANSPLANT SPRAY THAT WILL EFFECTIVELY REDUCE THE WATER LOSS OF TRANSPIRATION OF PLANT MATERIAL AND REDUCE THE STRESS OF TRANSPLANTATION. IT IS RECOMMENDED AS PART OF THE ONGOING MAINTENANCE THAT ANY BROADLEAF EVERGREEN AND CONIFEROUS TREE AND SHRUBS (EXCLUDING ARBORVITAE) RECEIVE AN APPLICATION OF AN ANTI-DESICCANT SPRAY TO REDUCE THE LOSS OF MOISTURE DUE TO WINTER DESICCATION.
- 26. MAINTENANCE. THE OWNER SHALL TEND AND MAINTAIN ALL PLANT MATERIALS IN A HEALTHY GROWING CONDITION AS PER THE APPROVED MAINTENANCE PLAN AND APPROVED PLAN DOCUMENTS, PLANTINGS SHALL BE REPLACED WHEN NECESSARY AND KEPT FREE FROM REFUSE & DEBRIS. ALL PLANTING MATERIAL WHICH IS DYING OR DAMAGED BEYOND RECOVERY SHALL BE REPLACED WITHIN SIX (6) MONTHS OR BY THE NEXT PLANTING SEASON, WHICHEVER COMES FIRST. REFER TO ADDITIONAL INFORMATION REGARDING INSTALLATION AND MAINTENANCE FOR THE SPECIFIED SEED MIXES ON PER CUT SHEET PROVIDED ON LSP1.16.
- 27. LANDSCAPE / SITE DEMOLITION CONTRACTOR TO VERIFY LOCATIONS OF EXISTING TREES AND SHRUBS TO BE SALVAGED AND CLEARLY TAG THEM WITH MARKING TAPE AND CONSTRUCTION FENCE.
- 28. LANDSCAPE / SITE DEMOLITION CONTRACTOR TO VERIFY LOCATIONS OF EXISTING TREES AND SHRUBS TO BE RELOCATED. ALL PLANT MATERIAL TO BE RELOCATED IS TO BE CLEARLY TAGGED WITH MARKING TAPE MOVED BEFORE AND SITE DEMOLITION IS TO BEGIN.
- 29. ALTERNATE BID: DESIGN IRRIGATION SYSTEM TO BE DESIGNED FOR A OVERLAPPING ZONED SPRINKLER HEAD SYSTEM IN ALL LAWN & ISLAND AREAS AND A DRIP SYSTEM FOR ALL FOUNDATION PLANTING AREAS.

TO OBTAIN LOCATION OF PARTICIPANT'S UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN WISCONSIN STATUTE 182.0175 (1974) REQUIRES A MINIMUM OF 3 DAYS NOTICE BEFORE YOU EXCAVATE (NOT INCLUDING SATURDAY, SUNDAY OR LEGAL HOLIDAYS) UNDERGROUND SEWER AND UTILITY INFORMATION TO OBTAIN LOCATION OF AS SHOWN IS OBTAINED FROM THE RECORDS OF PARTICIPANT'S

OTHER UNDERGROUND UTILITY INSTALLATIONS WITHIN THE PROJECT AREA THAT ARE NOT SHOWN.

MUNICIPALITY AND LOCAL UTILITY COMPANIES. UNDERGROUND FACILITIES THE ACCURACY OF WHICH CAN NOT BE BEFORE YOU DIG IN WISCONIN GUARANTEED OR CERTIFIED TO. THE LOCATIONS CALL THE MILWAUKEE UTILITY OF EXISTING UTILITY INSTALLATIONS AS SHOWN ON ALERT NETWORK THIS SURVEY ARE APPROXIMATE. THERE MAY BE www.Diggershotline.com Know what's below. <u>(800)-242-8511</u>





11525 W. North Avenue, Suite 1B Wauwatosa, WI 53226 Tel (414) 476-1204

> www.insitedesigninc.com mdavis@insitedesigninc.com

PROJECT: 7474 HARWOOD 7474 HARWOOD BLVD WAUWATOSA, WI 53213

OWNER: THREE LEAF PARTNERS 504 WEST JUNEAU MILWAUKEE, WI 53203

ARCHITECT: **KORB + ASSOCIATES** ARCHITECTS 648 N. PLANKINTON AVE SUITE 240 MILWAUKEE, WI 53203

ENGINEER: TRIO 4100 N CALHOUN RD STE 300

BROOKFIELD, WI 53005

LANDSCAPE ARCHITECT: INSITE LANDSCAPE DESIGN INC 11525 W NORTH AVE WAUWATOSA, WI 53226

REVISION

PROJ. NO. 24004.0 PHASE: DESIGN REVIEW DATE: 7.09.2024

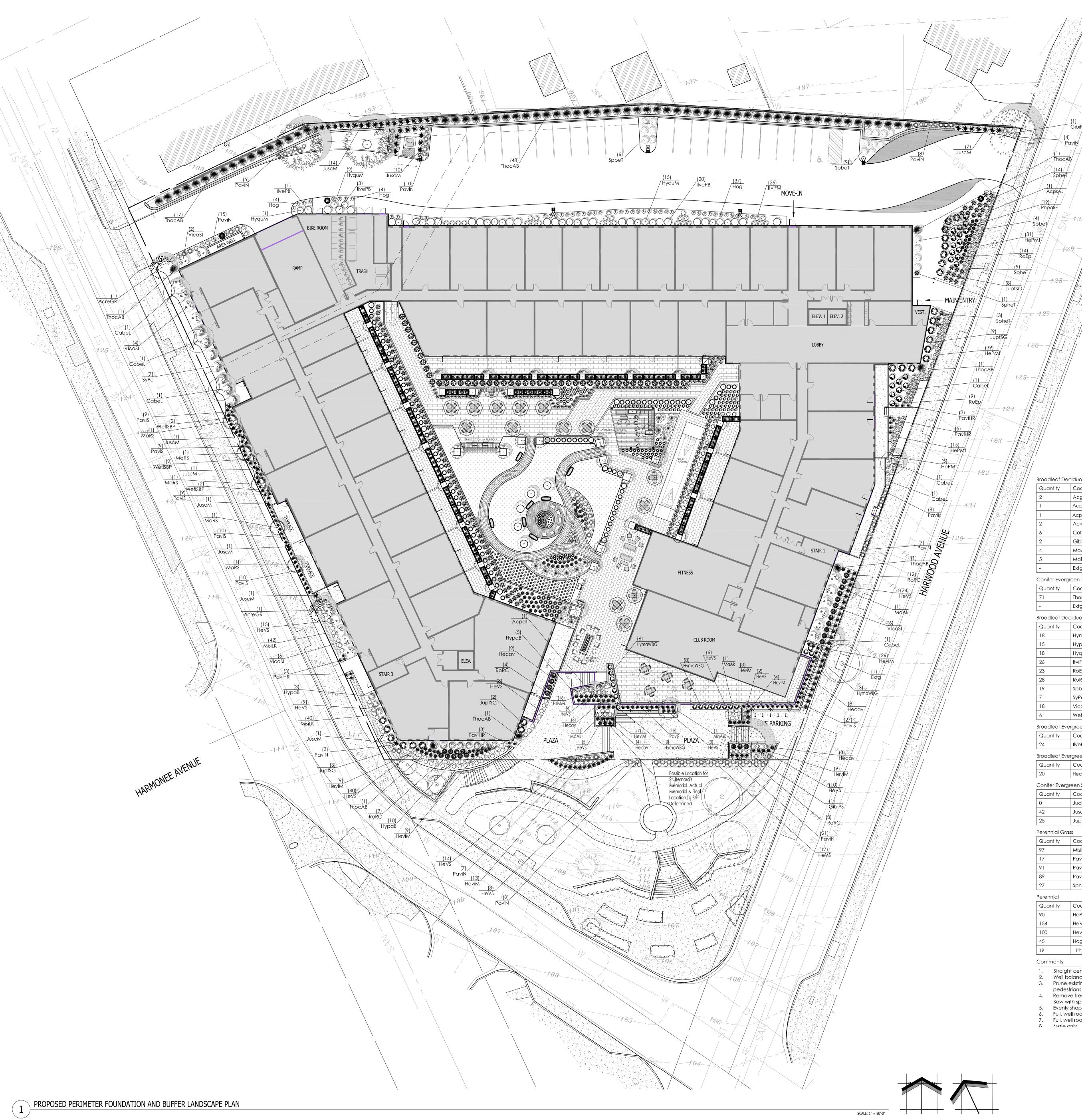
PROPOSED LANDSCAPE PLAN GENERA NOTES AND SITE INFORMATION

LSP1.0

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THREE LEAF PARTNERS

504 WEST JUNEAU MILWAUKEE, WI 53203

ARCHITECT:

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INSITE LANDSCAPE DESIGN INC.

DATE REVISION

11525 W NORTH AVE WAUWATOSA, WI 53226

ARCHITECTS 648 N. PLANKINTON AVE,

Quantity 2	Code Name	Symbol	Scientific Name	Common Name	Planting Size	Comm
1			Acer griseum	Paperbark maple	2"-Cal - B&B	1
	Acgr AcpaT			Tamukeyama Japanese Maple	60"- Cont	1
1	<u> </u>		<u> </u>	Arctic Jade Korean Maple	48"- Cont	1
1	AcroCR		Acer x pseudosieboldianum 'Arctic Jade' Acer rubrum 'JFS-KW78	'		1
2	AcreGR	"		Armstrong Gold Red Maple	3"-Cal - B&B	1
6	CabeL	Θ	Carpinus betulus 'Lucas'	Lucas Columnar European Hornbeam	1 1/2" Cal - B&B	1 0
2	GibiPS	9	Ginko biloba 'Princeton Sentry'	Princeton Sentry Maidenhair Tree	2 1/2"-Cal - B&B	1, 8
4	MaAk		Malus 'Adirondack'	Adirondack Flowering Crab	1"-Cal - B&B	
5	MaRS	\bigcirc	Malus 'JFS KW213MX'	Raspberry Spear Flowering Crab	1"-Cal - B&B	
-	Extg	\bigcirc	Existing to Remain	Existing to Remain	Existing	3
Conifer Everg						
Quantity	Code Name	Symbol	Scientific Name	Common Name	Planting Size	Comn
71	ThocAB		Thuja occidentalis 'Art Boe'	North Pole Arborvitae	7' - B&B	5
-	Extg	A MARKET	Existing to Remain	Existing to Remain Existing		3
3roadleaf De	ciduous Shrub					
Quantity	Code Name	Planting Size	Scientific Name	Common Name	Planting Size	Comn
18	HymaWBG	Q	Hydrangea macrophylla 'Wee Bit Giddy'	Wee Bit Giddy	18" - Cont	6
15	НураВ		Hydrangea paniculata 'Bobo'	Bobo Hardy Hydrangea	24"- Cont	6
18	HyquM	Ō	Hydrangea quercifolia 'Munchkin'	Munchkin Oakleaf Hydrangea	18" - Cont	6
26	It∨iFM		Itea virginica 'Fizzy Mizzy'	Fizzy Mizzy Sweetspire	18" - Cont	6
23	RoEp	Ğ	Rosa x Easy Peasy	Oso Easy Peasy Rosw	18" - Cont	6
28	RoRC	0	Rosa x Reminiscent Coral	Reminiscent Coral Rose	18" - Cont	6
19	SpbeT	£.9	Spiraea betulifolia 'Tor'	Tor Birchleaf Spirea	18" - Cont	6
7	SyPe	9	Syringa x 'Penda'	Bloomerang Purple Lilac	18" - 24"- Cont	6
18	VicaSI		Viburnum carlesii 'J.N. Select A''	Spice Island Koreanspice Viburnum	24"- Cont	6
6	WefISBP	300	Weigela florida 'Sonic Bloom Punch'	Sonic Bloom Punch Weigela	18" - Cont	6
		2000	No.gold hollad collection of chief	come preem remem mengera	10 00111	
	ergreen Shrub	0 1 1	0 . 100 .1		DI 1: 6:	
Quantity	Code Name	Symbol	Scientific Name	Common Name	Planting Size	Comm
24	llvePB	$\overline{}$	Ilex verticillata 'Berry Poppins'	Berry Poppins Winterberry	18" - Cont	6
Broadleaf Eve	ergreen Vine					
Quantity	Code Name	Symbol	Scientific Name	Common Name	Planting Size	Comm
20	Hecav	不	Hedera canariensis 'variegata'	Variegated algerian ivy	18" - Cont	6
Conifer Everg	reen Shrub					
Quantity	Code Name	Symbol	Scientific Name	Common Name	Planting Size	Comm
0	JuchMJ	24.74 24.74	Juniperus chinensis 'Mint julep'	Mint julep juniper	18" - 24" - B&B	6
42	JuscM	*	Juniperus scopulorum 'Medora'	Medora Juniper	4' - 5' - B&B	5
25	JupfSG		Juniperus x pfizeriana 'MonSan'	Sea of Gold Juniper	24"- Cont	6
Perennial Gra	,	.4%	<u>, </u>	'		1
	Code Name	Symbol	Scientific Name	Common Name	Planting Size	Comm
Quantity 97					-	
	MisiLK		Miscanthus sinensis 'Little Kitten'	Little Kitten Maiden Grass	1-Gal Cont	7
17	PaviHR	JM,	Panicum virgatum 'Hot Rod'	Hot Rod Switch Grass	1-Gal Cont	7
91	PaviN	THE	Panicum virgatum 'Northwind'	Northwind Switch Grass	1-Gal - Cont	7
89	PaviS	*	Panicum virgatum 'Shenandoah'	Shenandoah Switch Grass	1-Gal - Cont	7
27	SpheT	**	Sporobolus heterolepis 'Tara'	Tara Prairie Dropseed	1-Gal - Cont	7
Perennial				1		1
Quantity	Code Name	Symbol	Scientific Name	Common Name	Planting Size	Comm
Quantity	i .	1 1	l	Devision Manda I Devision	110101	1 7
90	HePMt	\otimes	Hemercallis 'Persian Market'	Persian Market Daylily	1-Gal - Cont	7
<u>'</u>	HePMt HeVS		Hemercallis 'Persian Market' Hemerocallis 'Varety is the Spice'	Varety is the Spice Daylily	1-Gal - Cont	7

Straight central leader, full & even crown. Prune only after planting.

Well balanced, multi-stemmed tree with a minimum of (3) strong canes and full appearance. 3. Prune existing tree, remove any dead, diseased or hazardous limbs. Thin out as required and raise canopy for safety and viability for both

| Summer Sweet Fantasy Garden Phlox | 1-Gal - Cont

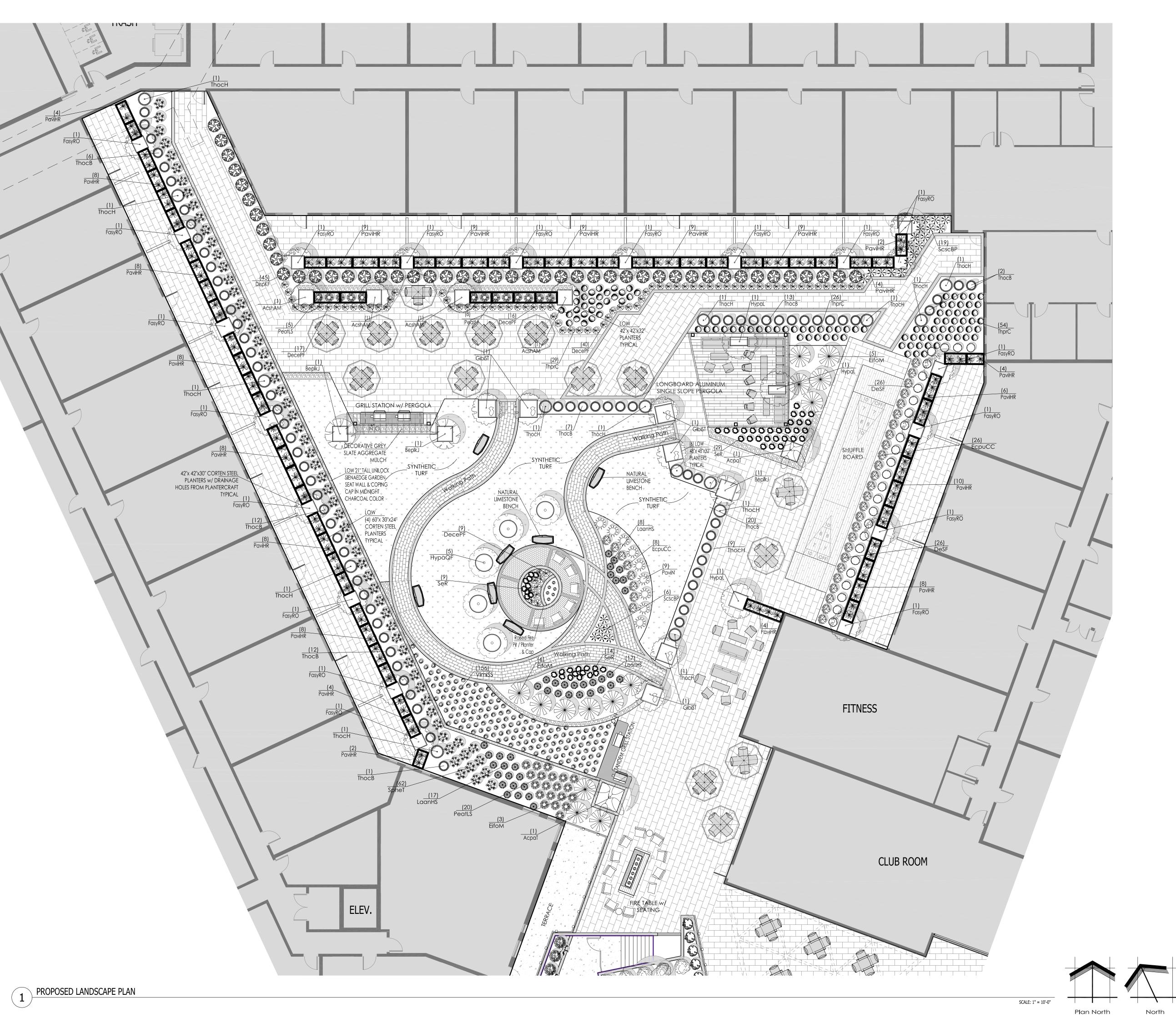
- pedestrians and motorists. 4. Remove tree in its entirety and grind stump to a minimum of 6" below adjacent grade. Remove grinding chips and fill hole with topsoil.
- Sow with specified turf grass seed as required.

Phlox paniculata 'Fantasy'

- 5. Evenly shaped upright tree/shrub with full branching to the ground.6. Full, well rooted plant, evenly shaped.
- 7. Full, well rooted plant.

PROJ. NO. 24004.01 SCALE: 1" = 20'-0" PHASE: DESIGN REVIEW SUBMISSION DATE: 7.09.2024

> PROPOSED PERIMETER FOUNDATION AND BUFFER LANDSCAPE PLAN AND PLANT MATERIAL TABLE



Proposed Plant Material Table - Courtyard

Quantity	Code Name	Symbol	Scientific Name	Common Name	Planting Size	Comments
2	AcpaT	AcpaT & Acer palmatum var. dissectum 'Tamukeyama'		Tamukeyama Japanese Maple	60"- Cont	1
4	AcshAM Acer shirasawanum 'Autumn Moon'		Acer shirasawanum 'Autumn Moon'	Autumn Moon Fullmoon Maple	60"- Cont	1
3	BeplkJ Betula platyphylla 'Jefpark'		Betula platyphylla 'Jefpark'	Parkland Pillar Birch	6' - B&B	1
20	FasyRO	0	Fagus sylvatica 'Red Obelisk'	Red Obelisk Beech	6' - B&B	1
6	GibiST	6	Ginkgo Bilboa 'JN9' Sky Tower	Sky Tower Ginkgo	6' - B&B	1, 6
Broadleaf De	eciduous Shrub					
Quantity	Code Name	Symbol	Scientific Name	Common Name	Planting Size	Comments
26	DeSF	0	Deutzia 'NCDXI'	Yuki Snowflake Deutzia	15" - Cont	4
46	DispKF	₩	Diervilla x splendens 'Kodiak Fresh'	Kodiak Fresh Bush Honeysuckle Diervilla	18" - Cont	4
3	HypaL	0	Hydrangea paniculata 'Limelight'	Limelight Hardy Hydrangea	5' - Cont	7
5	HypaQF	0	Hydrangea paniculata 'Quick Fire'	Quick Fire Hardy Hydrangea	5' - Cont	7
Broadleaf Ev	ergreen					
Quantity	Code Name	Symbol	Scientific Name	Common Name	Planting Size	Comments
14	EifoM	*	Euonymus fortunei 'Moonshadow'	Moonshadow Wintercreeper	18" - Cont	4
Conifer Ever	green Shrub					
Quantity	Code Name	Symbol	Scientific Name	Common Name	Planting Size	Comments
77	ThocB	0	Thuja occidentalis 'Bobazam'	Mr. Bowling Ball Arborvitae	18" - Cont	4
15	ThocH	Ō	Thuja occidentalis 'Holmstrup'	Holmstrup Dwarf Arborvitae	2' - 3' - Cont	3

e - Courtyard	<u>d</u>					
Perennial Gr	ass					
Quantity	Code Name	Symbol	Scientific Name	Common Name	Planting Size	Comments
82	DecePF	₩	Deschampsia cespitosa 'Pixie Fountain'	Pixie Fountain Tufted Hair Grass	1-Gal - Cont	5
141	PaviHR	*	Panicum virgatum 'Hot Rod'	Hot Rod Switch Grass	1-Gal - Cont	5
9	PaviN	W.	Panicum virgatum 'Northwind'	Northwind Switch Grass	1-Gal - Cont	5
24	ScscBP	*	Schizachyrium scoparium 'Blue Paradise'	Blue Paradise Little Bluestem	1-Gal - Cont	5
63	SpheT	**	Sporobolus heterolepis 'Tara'	Tara Prairie Dropseed	1-Gal - Cont	5
erennial						
Quantity	Code Name	Symbol	Scientific Name	Common Name	Planting Size	Comments
34	EcpuCC	E-1000	Echinacea purpurea 'Coral Craze'	Coral Craze Coneflower	1-Gal - Cont	5
42	LaanHS	*	Lavandula angustifolia 'Hidcote Superior'	Hidcote Superior English Lavender	1-Gal - Cont	5
33	PeatLS		Perovskia atriplicifolia 'Little Spire'	Little Spire Russian Sage	1-Gal - Cont	5
Ground Cov	er Perennial					
Quantity	Code Name	Symbol	Scientific Name	Common Name	Planting Size	Comments
52	SeR		Sedum 'Razzleberry'	Sunsparkler Dazzleberry Sedum	4 1/2" pot	5
101	ThprC	0	Thymus praecox 'Coccineus'	Red Creeping Thyme	4 1/2" pot	5
156	VimiSS	73,53	Vinca minor 'Sunny Skies'	Sunny Skies Periwinkle	4 1/2" pot	5

- Staighneetstral leader, full & even crown. Prune only after planting. Well balanced, multi-stemmed tree with a minimum of (3) strong canes and full appearance. Evenly shaped upright tree/shrub with full branching to the ground.
- 4. Full, well rooted plant, evenly shaped. 5. Full, well rooted plant.
- 6. Male only7. Tree-form, Single Stem Specimen





11525 W. North Avenue, Suite 1B Wauwatosa, WI 53226 Tel (414) 476-1204 www.insitedesigninc.com mdavis@insitedesigninc.com

PROJECT: 7474 HARWOOD 7474 HARWOOD BLVD WAUWATOSA, WI 53213

OWNER: THREE LEAF PARTNERS 504 WEST JUNEAU MILWAUKEE, WI 53203

ARCHITECT: KORB + ASSOCIATES ARCHITECTS 648 N. PLANKINTON AVE, SUITE 240 MILWAUKEE, WI 53203

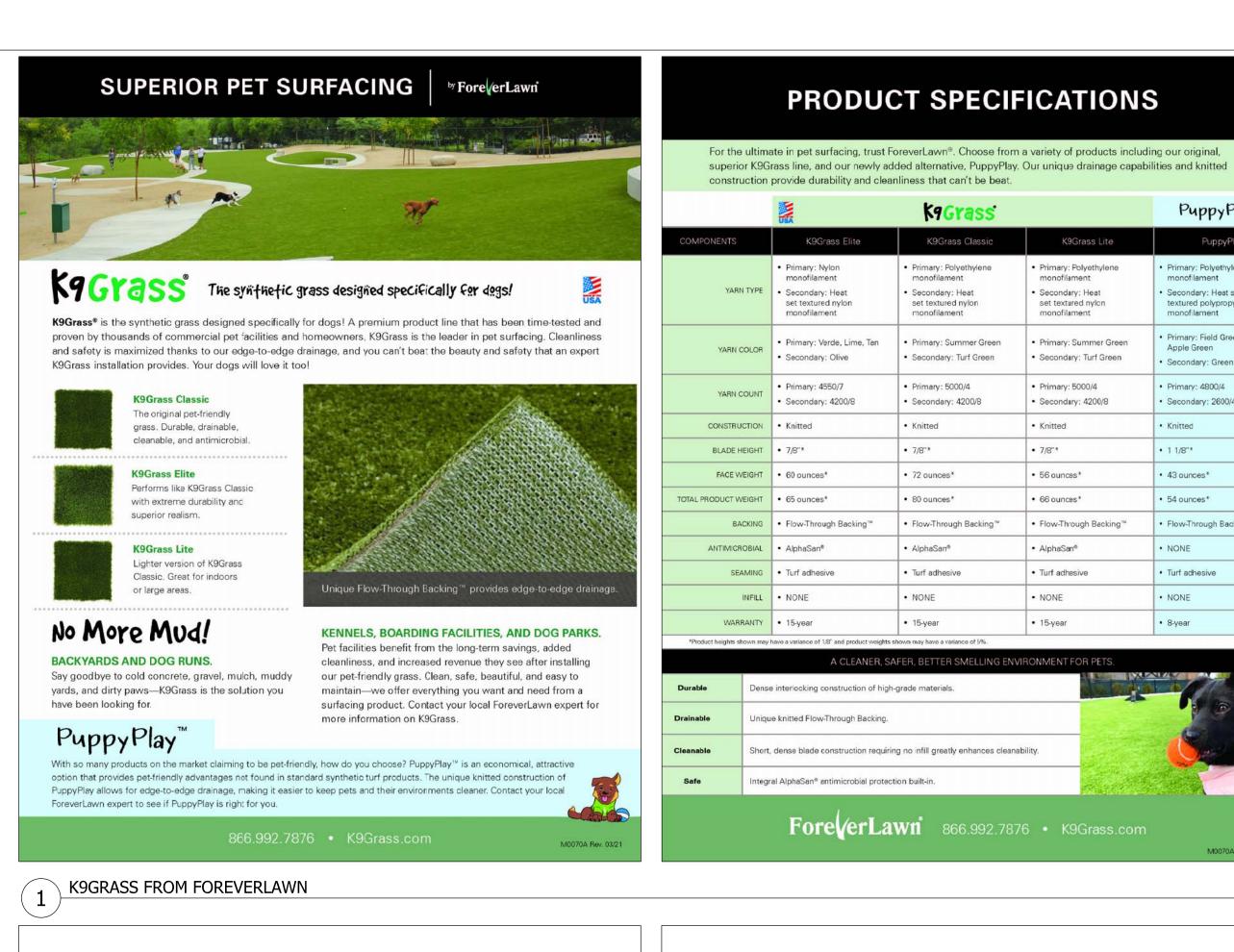
CIVIL ENGINEER: 4100 N CALHOUN RD BROOKFIELD, WI 53005

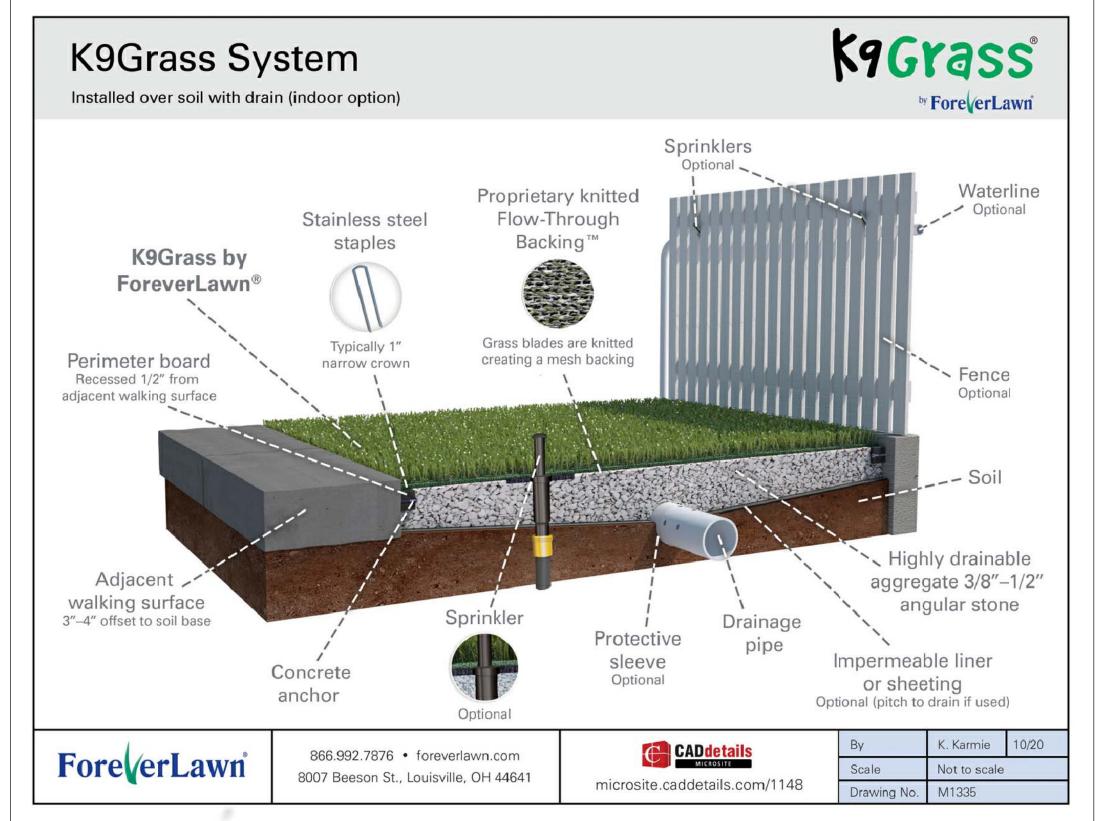
LANDSCAPE ARCHITECT: INSITE LANDSCAPE DESIGN INC. 11525 W NORTH AVE WAUWATOSA, WI 53226

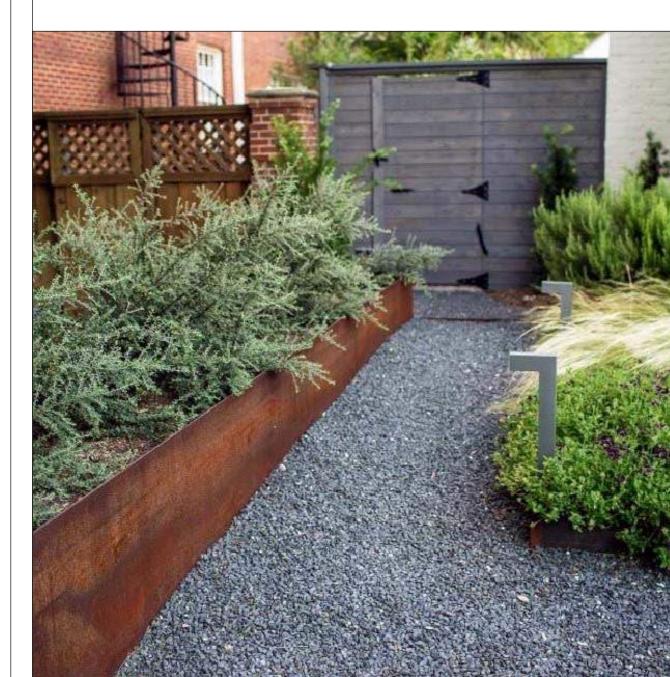
DATE REVISION

PROJ. NO. 24004.01 SCALE: 1" = 10'-0" PHASE: DESIGN REVIEW BOARD SUBMISSION DATE: 5.28.2024

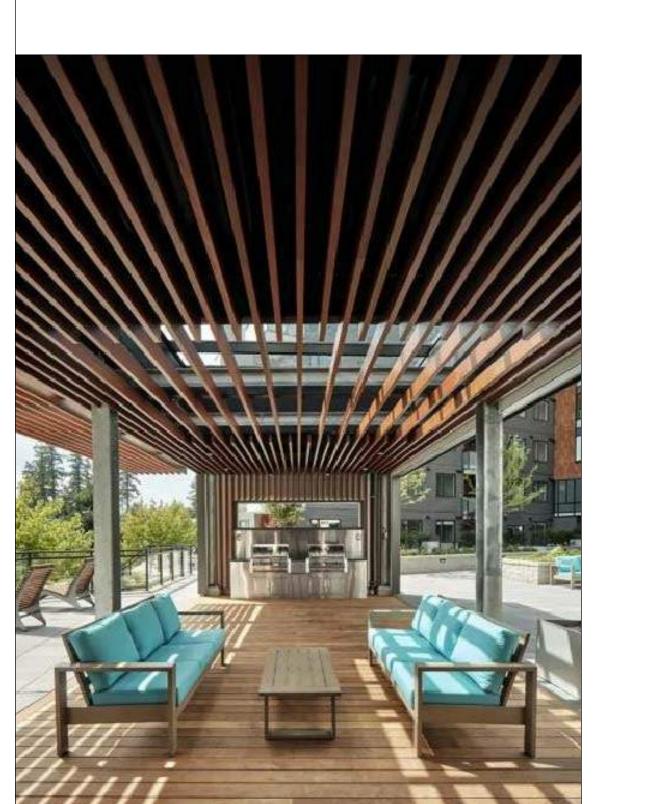
PROPOSED COURTYARD LANDSCAPE PLAN AND PLANT MATERIAL TABLE





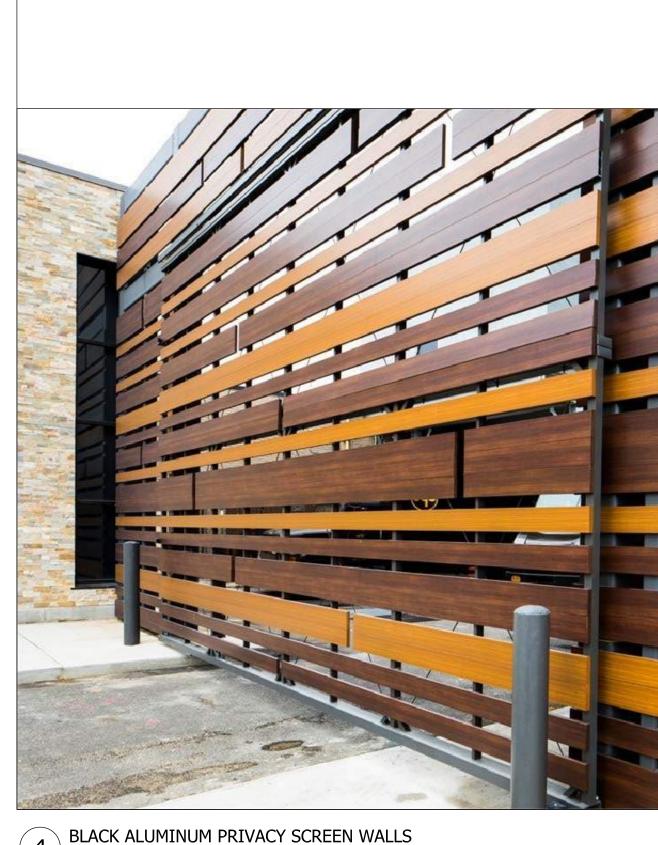


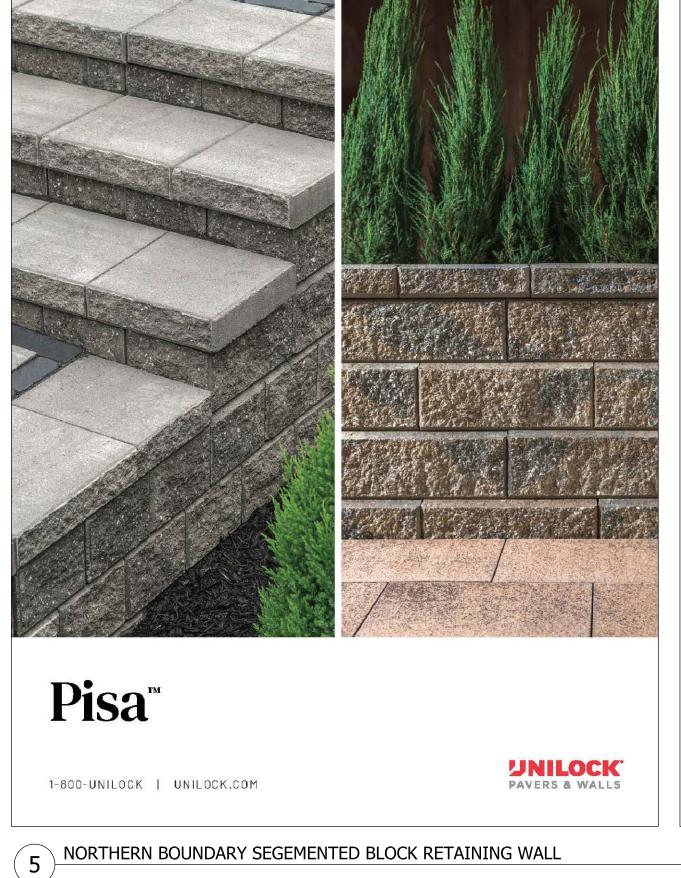
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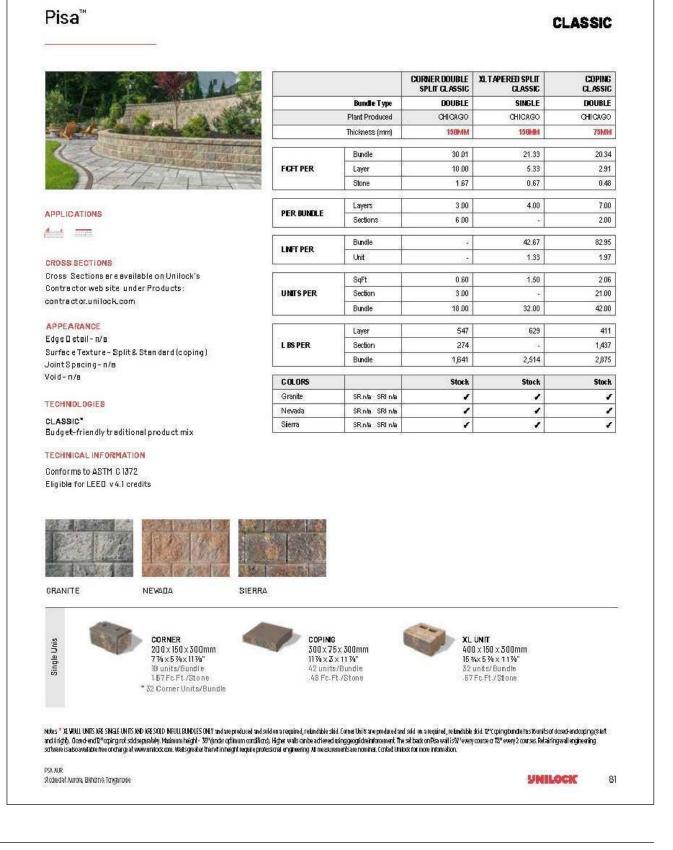


BLACK ALUMINUM SINGLE SLOPE PERGOLA

7 LIMESTONE COURTYARD BENCH







PuppyPlay™

Primary: Polyethylene

Secondary: Heat set

textured polypropylene monofilament

Primary: Field Green &

Secondary: Green & Beige

Primary: 4800/4

Knitted

• 1 1/8"*

43 ounces*

54 ounces*

NONE

NONE

Turf adhesive

Flow-Through Backing™

Secondary: 2600/4

· Primary: Polyethylene

Primary: Summer Green

monofilament

Secondary: Heat

set textured nylon monofilament

Primary: 5000/4

Knitted

• 56 ounces*

66 ounces*

AlphaSan®

Turf adhesive

NONE

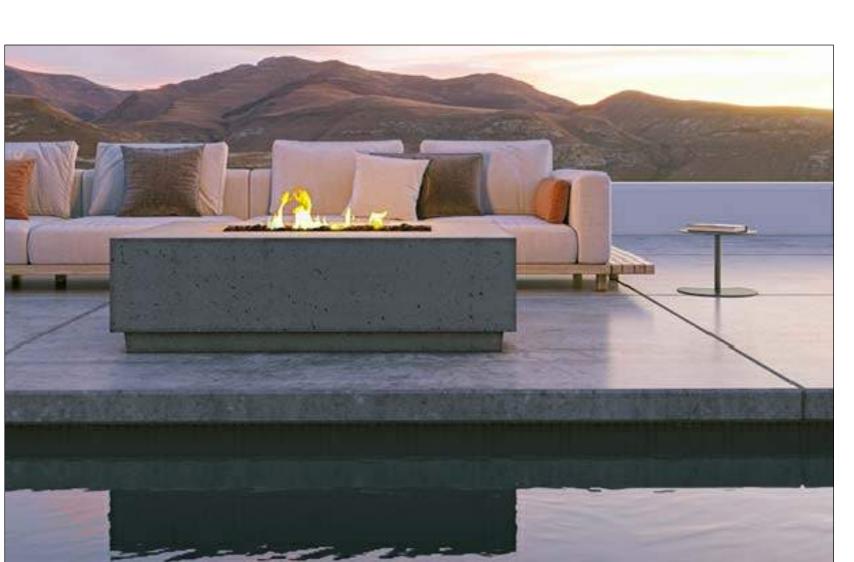
Flow-Through Backing™

• 7/8"*

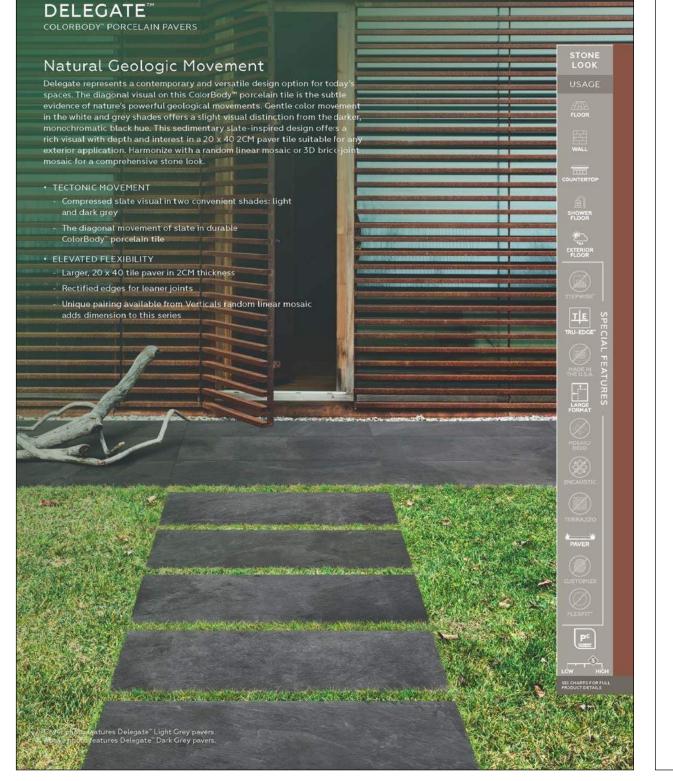
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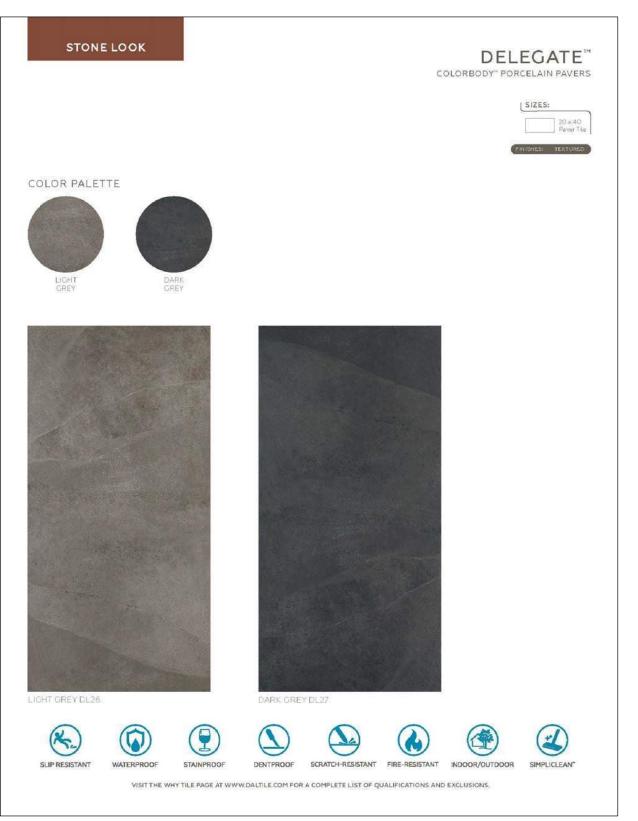
PuppyPlay





8 LINEAR NATURAL GAS FIREPT







9 DALTILE DELEGATE DARK GRAY 20x40 PORCELEIN PAVER

PHASE: DESIGN REVIEW BOARD SUBMISSION DATE: 07.09.2024

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PROJECT:

OWNER:

7474 HARWOOD

7474 HARWOOD BLVD

WAUWATOSA, WI 53213

THREE LEAF PARTNERS

504 WEST JUNEAU MILWAUKEE, WI 53203

ARCHITECT:

ARCHITECTS

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TRIO

STE 300

KORB + ASSOCIATES

648 N. PLANKINTON AVE,

MILWAUKEE, WI 53203

ENGINEER:

LANDSCAPE ARCHITECT:

4100 N CALHOUN RD

BROOKFIELD, WI 53005

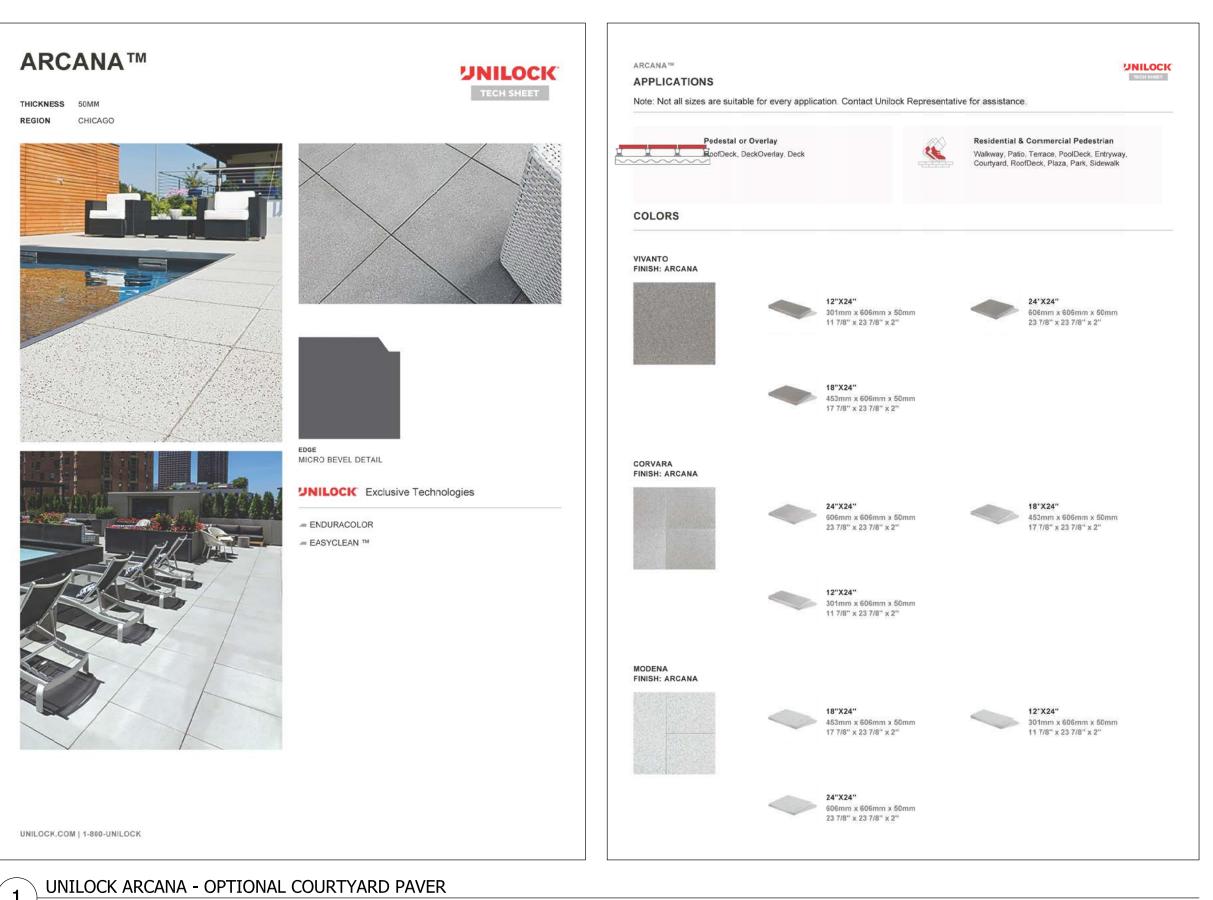
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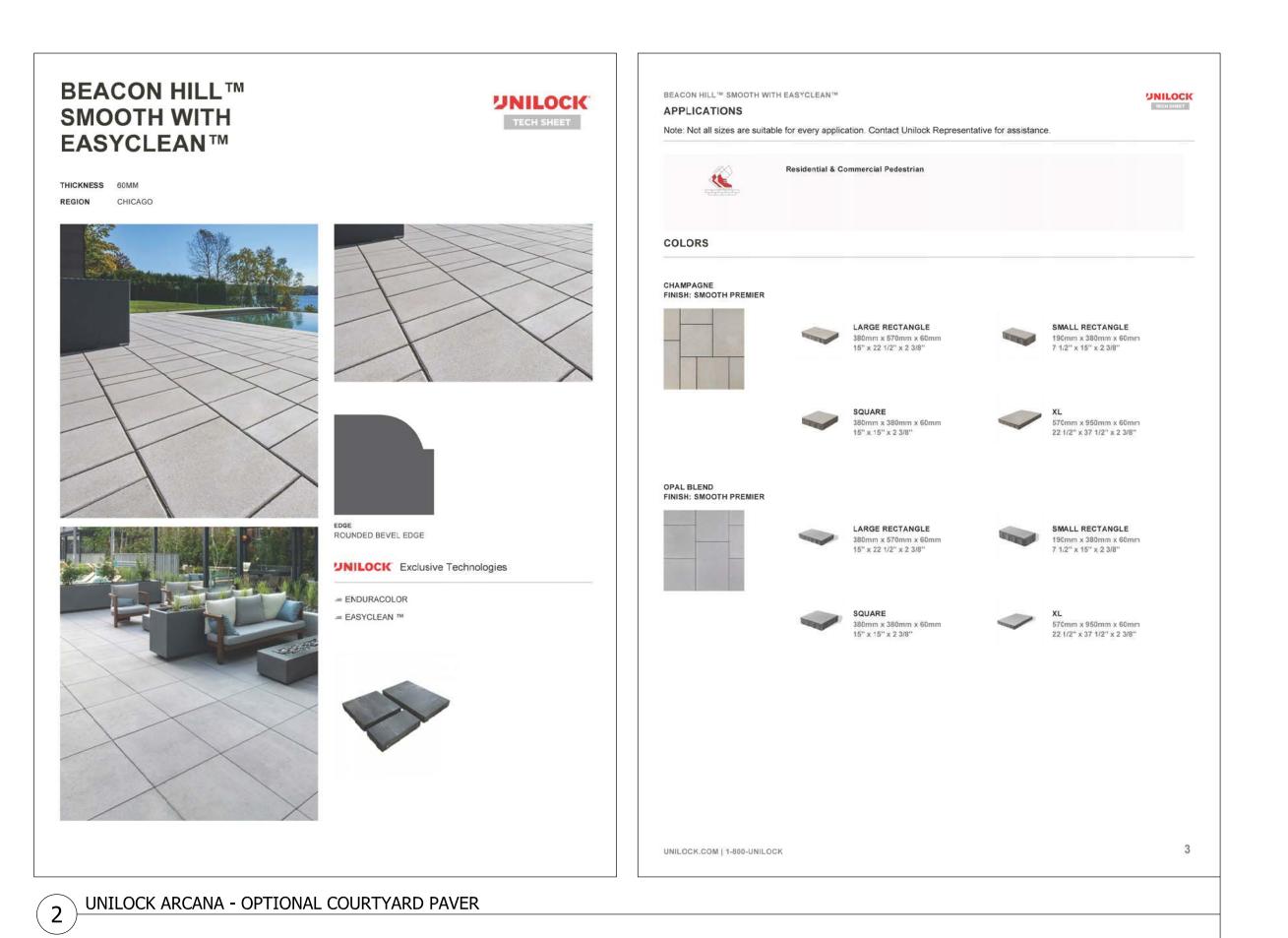
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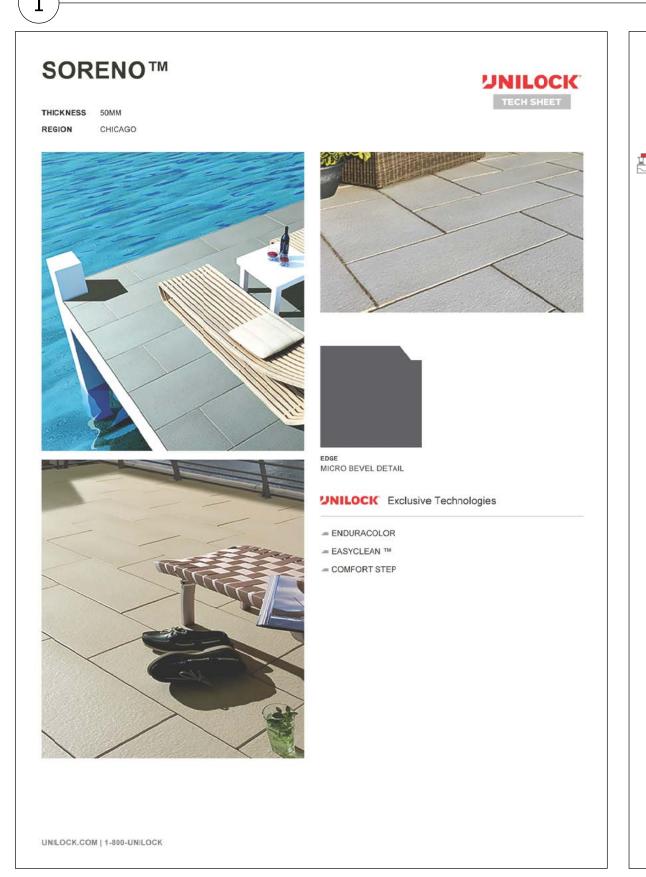
PROPOSED COURTYARD LANDSCAPE

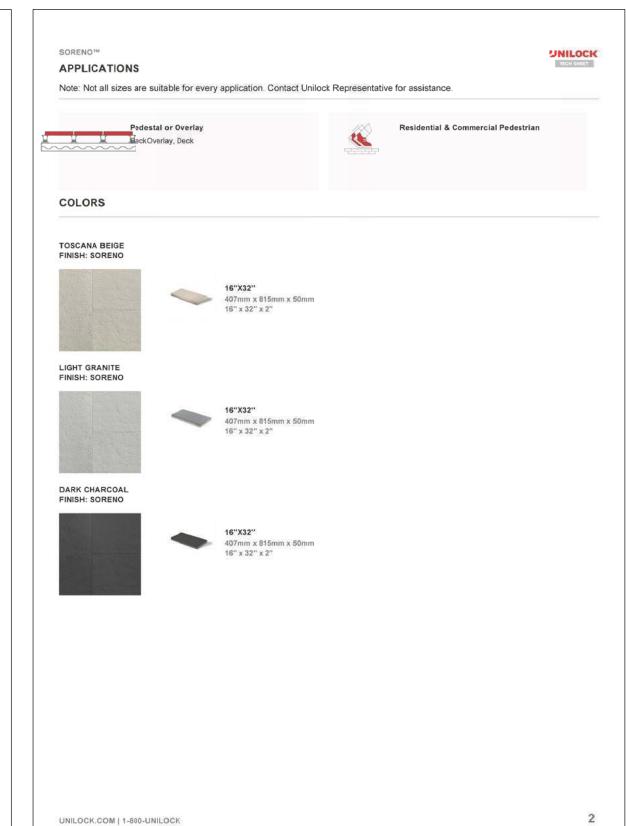
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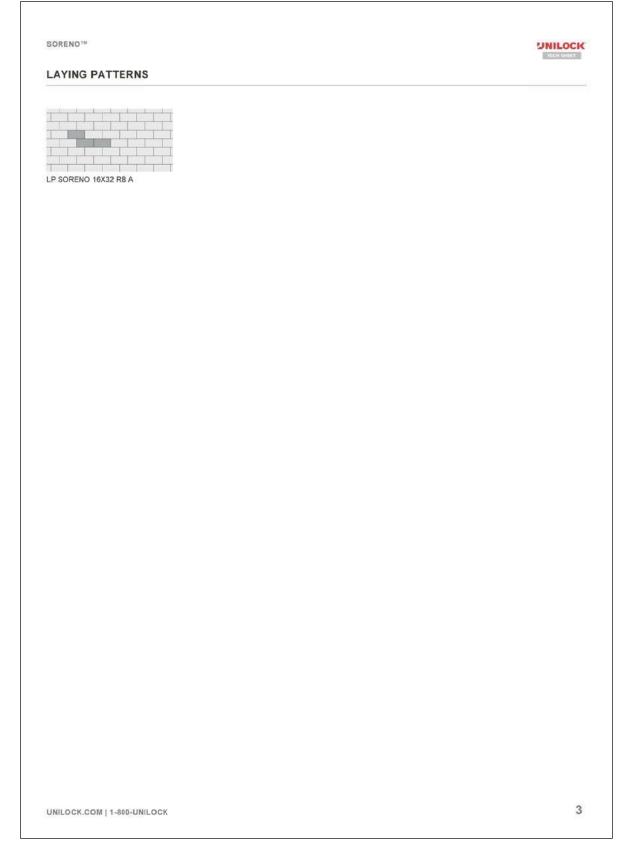
PROJ. NO. 24004.01











3 UNILOCK SORENO - OPTIONAL COURTYARD PAVER

ASSOCIATES ARCHITECTS



LANDSCAPE DESIGN

Landscape Consulting
& Master Planning Design Sevices

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PROJECT:
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I LANDSCAPE
ARCHITECT:
INSITE LANDSCAPE DESIGN INC.
11525 W NORTH AVE
WAUWATOSA, WI 53226

DATE REVISION

EW - NOT FOR CONSTRUCTION

BLOST

BLO

PROJ. NO. 24004.01

SCALE: 1" = 10'-0"

PHASE: DESIGN REVIEW BOARD SUBMISSION

DATE: 07.09.2024

PROPOSED COURTYARD LANDSCAPE

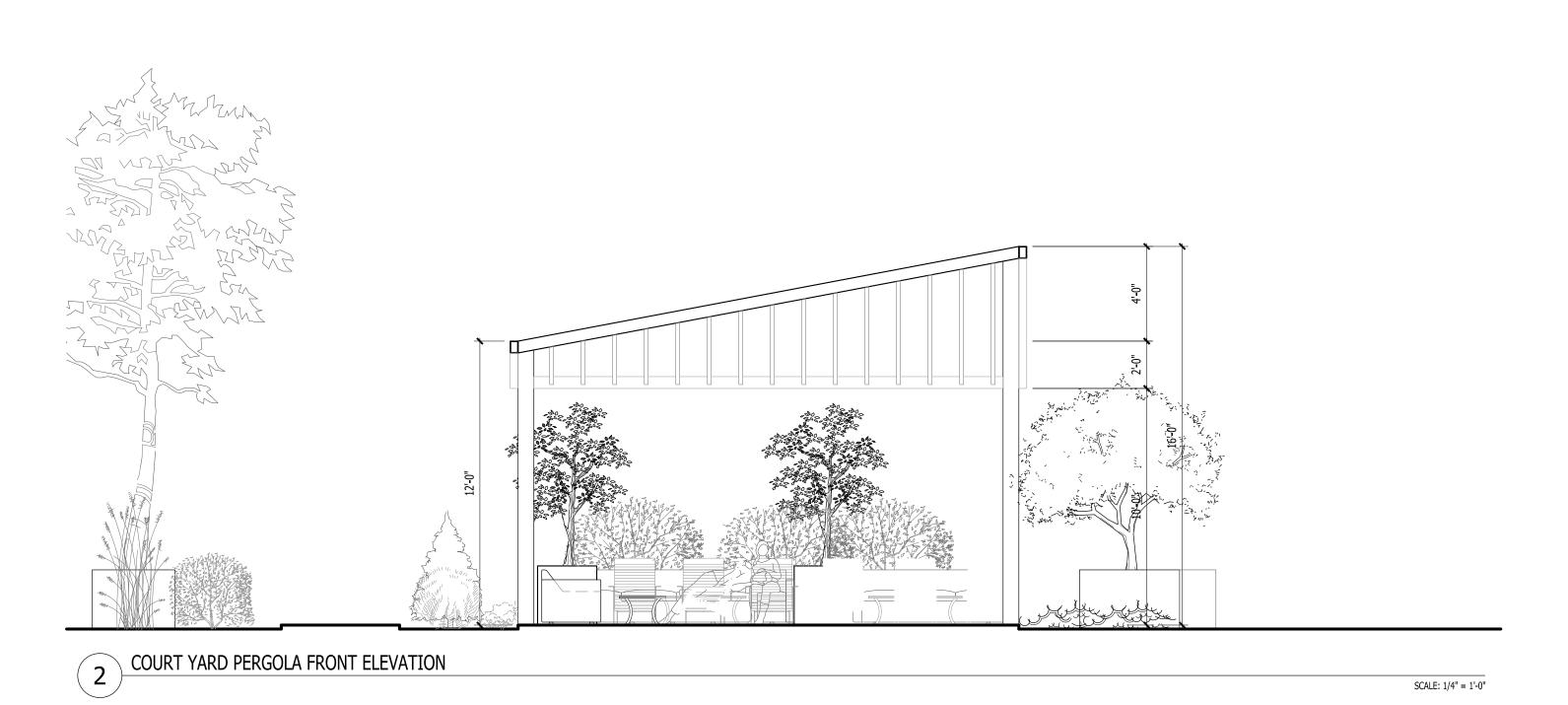
MATERIALS

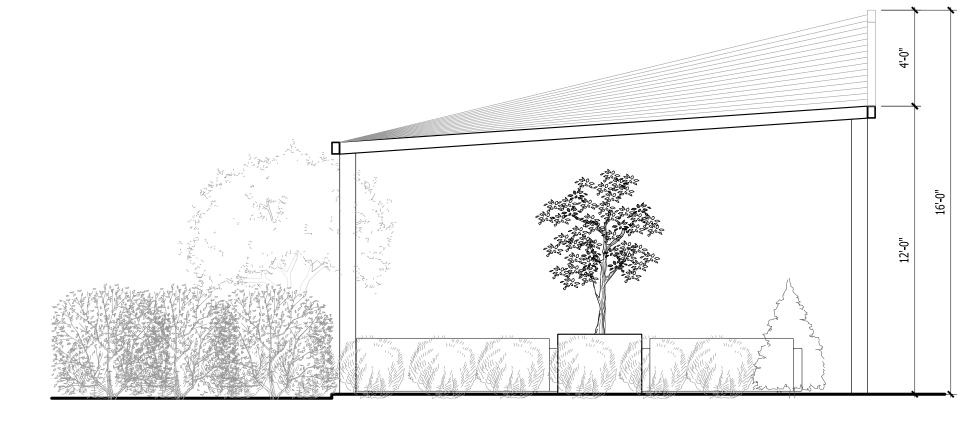
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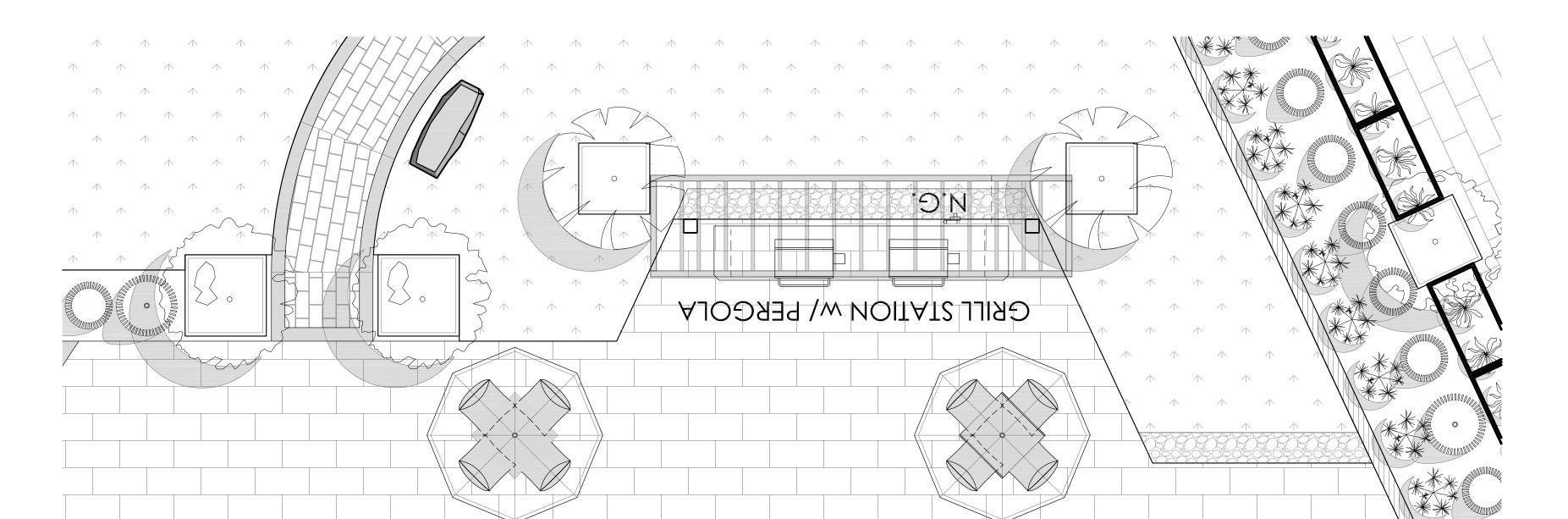


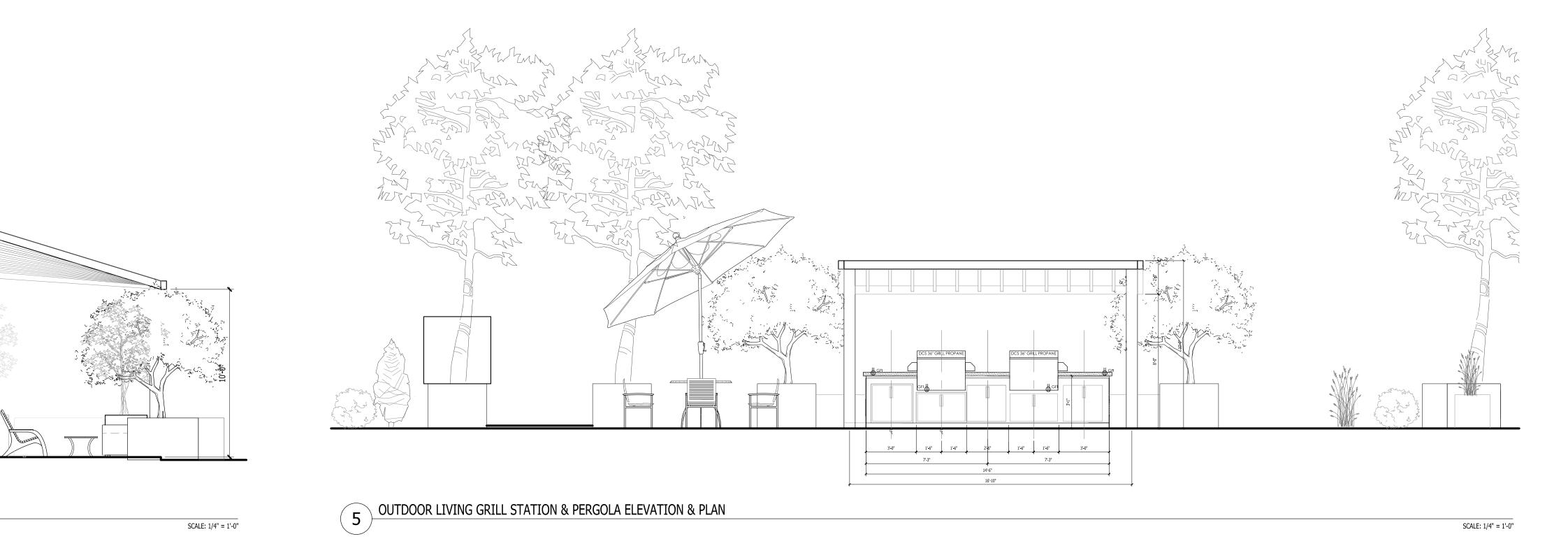
4 COURT YARD PERGOLA SOUTH ELEVATION













PROJECT:
7474 HARWOOD
7474 HARWOOD BLVD
WAUWATOSA, WI 53213

OWNER:
THREE LEAF PARTNERS
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ENGINEER:
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LANDSCAPE
ARCHITECT:
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11525 W NORTH AVE
WAUWATOSA, WI 53226

DATE REVISION

PROJ. NO. 24004.01

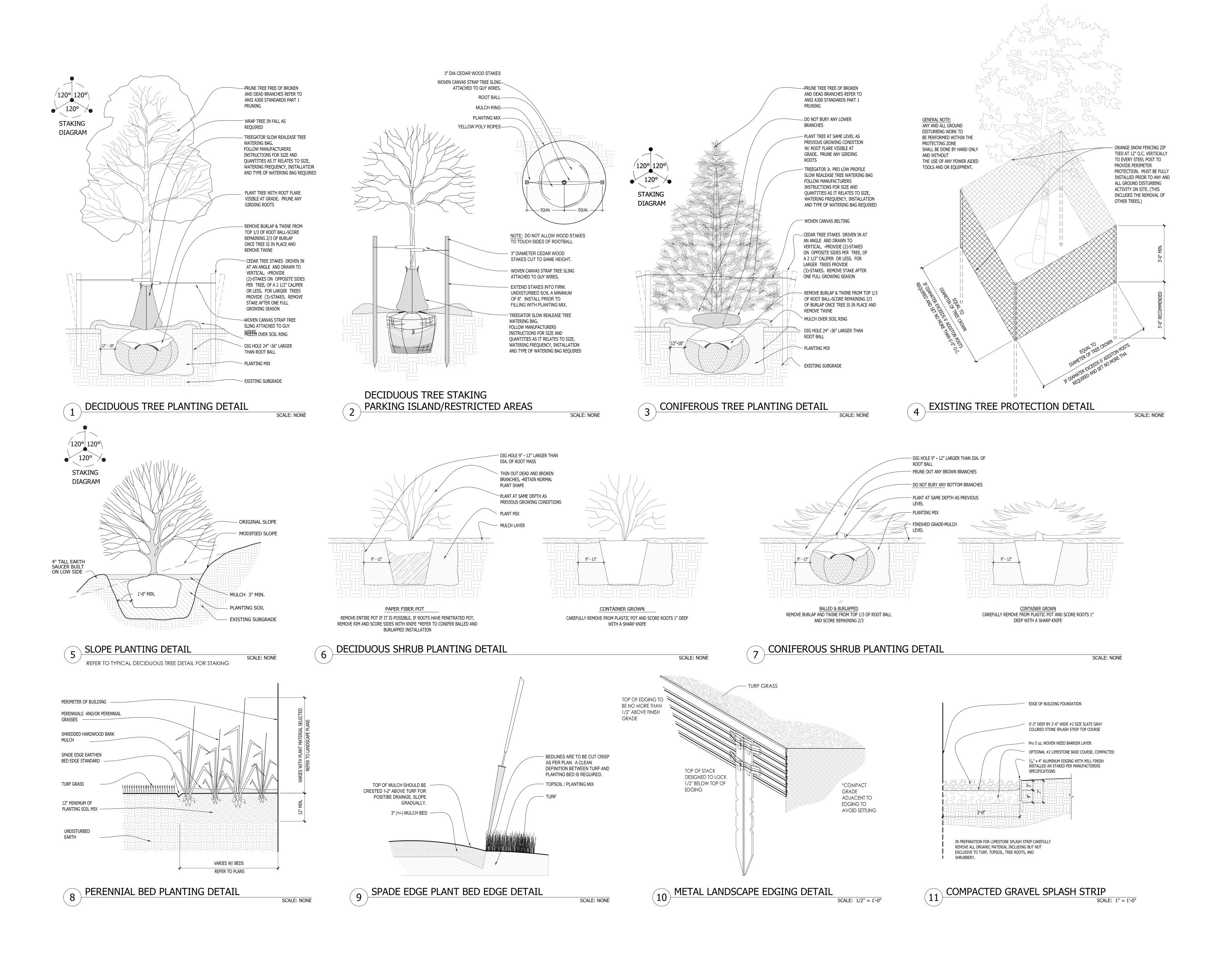
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PROPOSED COURTYARD AMENITIES







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PROJECT: 7474 HARWOOD 7474 HARWOOD BLVD WAUWATOSA, WI 53213

OWNER: THREE LEAF PARTNERS 504 WEST JUNEAU MILWAUKEE, WI 53203

ARCHITECT: KORB + ASSOCIATES ARCHITECTS 648 N. PLANKINTON AVE, SUITE 240 MILWAUKEE, WI 53203

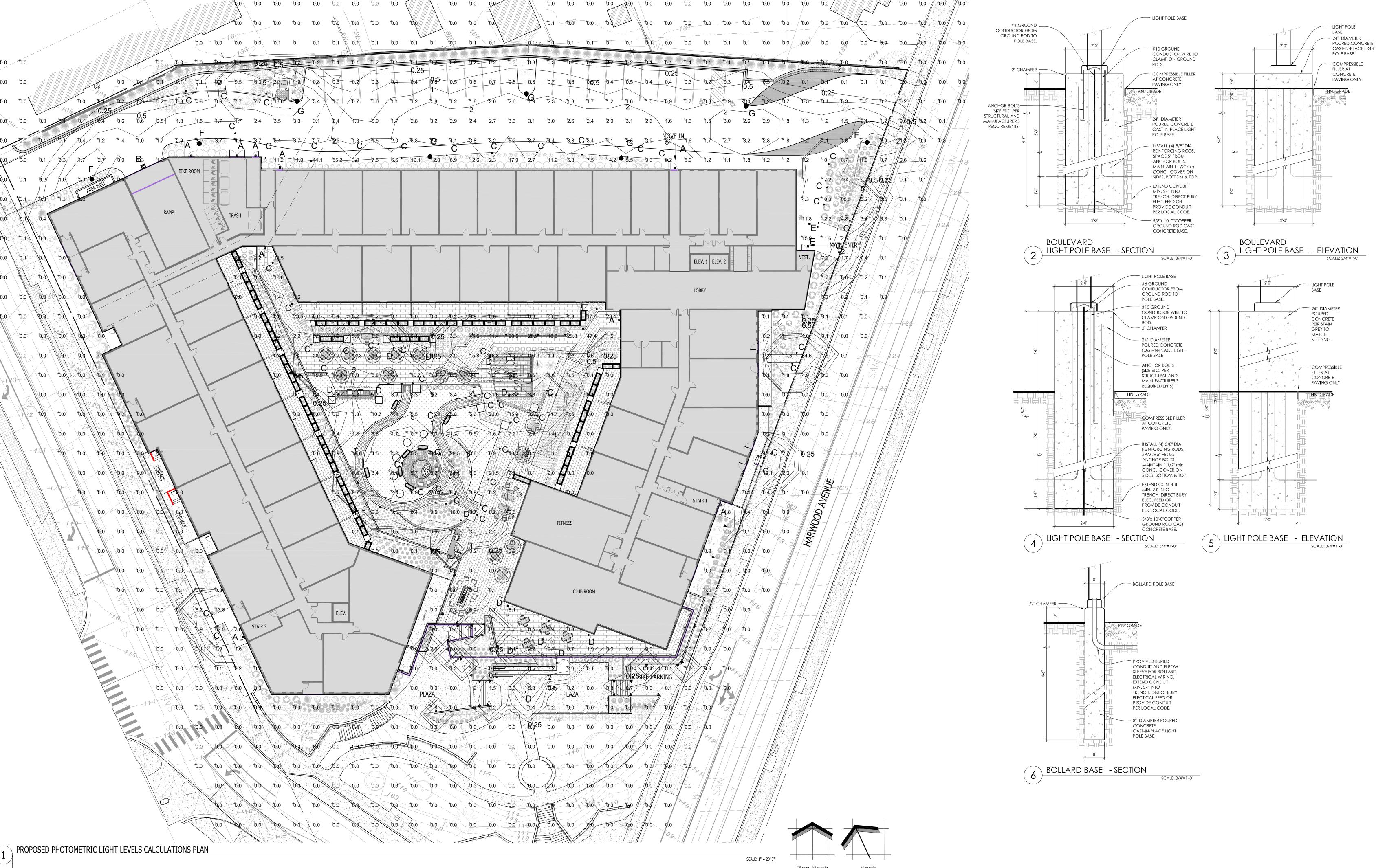
ENGINEER: TRIO 4100 N CALHOUN RD STE 300 BROOKFIELD, WI 53005

LANDSCAPE ARCHITECT: INSITE LANDSCAPE DESIGN INC. 11525 W NORTH AVE WAUWATOSA, WI 53226

REVISION

DATE: 07.09.2024

PROPOSED LANDSCAPE PLAN PLANTING DETAILS



PHOTOMETRIC PLAN GENERAL NOTES

BASED ON THE INFORMATION PROVIDED, ALL DIMENSIONS AND LUMINAIRE LOCATIONS SHOWN REPRESENT RECOMMENDED POLE PLACEMENTS AND LUMINAIRE ORIENTATION. THE ENGINEER AND/OR ARCHITECT MUST DETERMINE APPLICABILITY OF THE LAYOUT TO RELEVANT FIELD

- THE DEPICTED ILLUMINATION RESULTS ARE BASED UPON ILLUMINATION MEASUREMENTS AS CALCULATED BY AN INDEPENDENT LABORATORY. LUMINAIRE CHARACTERISTICAL DATA WAS MEASURED UNDER CONTROLLED CONDITIONS IN ACCORDANCE WITH APPROVED ILLUMINATION ENGINEERING SOCIETY METHODS. ACTUAL ON-SITE PERFORMANCE OF ANY MANUFACTURER'S LUMINAIRES MAY VARY FROM LABORATORY TEST RESULTS DUE TO VARIATIONS IN: ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS, AND OTHER VARIABLE FIELD CONDITIONS.
- 3. IF EXISTING LUMINAIRES ARE INCLUDED IN THIS REPORT, THEIR ILLUMINATION CHARACTERISTICS ARE BASED UPON A COMBINATION OF CUSTOMER'S PROVIDED SPECIFICATIONS & OUR BEST ESTIMATION.
- 4. ALL EXISTING AND NEW CONCRETE LIGHT POLE BASES ARE TO HAVE ALL FORM MARKS REMOVED, GROUND FLUSH AND THE SURFACE IS TO BE PROPERLY PREPARED TO RECEIVE A HAND TROWELED, MASONRY SKIM COAT OF APPROPRIATE THICKNESS TO ACHIEVE A DURABLE SURFACE

EXISTING CONDITIONS GENERAL NOTES

1. INFORMATION PERTAINING TO EXISTING CONDITIONS GIVEN ON THESE ARCHITECTURAL DRAWINGS REPRESENTS TO THE BEST OF OUR KNOWLEDGE THE ACTUAL EXISTING FIELD CONDITIONS. INSITE LANDSCAPE DESIGN, INC. MAKES NO WARRANTY AS TO THEIR ACCURACY. CONTRACTOR TO FIELD VERIFY EXISTING CONDITIONS IMPERATIVE TO THEIR NEW WORK. REPORT ANY DISCREPANCIES BETWEEN THE DRAWINGS AND FIELD CONDITIONS TO THE LANDSCAPE ARCHITECT FOR REVIEW. ANY WORK PERFORMED PRIOR TO RESOLUTION OF DISCREPANCIES BY THE LANDSCAPE ARCHITECT IS SUBJECT TO REMOVAL AND REPLACEMENT AT NO ADDITIONAL COST TO THE CONTRACT.

- 2. VERIFY LOCATION OF ALL EXISTING UNDERGROUND UTILITIES I.E. WATER, SEWER, ELECTRICAL, TELECOMUNICATION AND ACCESS PANELS FOR ALL UTLITIES AND ALL ASSOCIATED EQUIPMENT FOR ACCESSIBILITY OF THOSE ITEMS.
- 3. VERIFY ALL EXISTING CONDITIONS, DIMENSIONS, AND ALIGNMENT OF WALLS. BRING ANY DISCREPANCIES TO THE LANDSCAPE ARCHITECTS ATTENTION PRIOR TO FABRICATION / CONSTRUCTION BEGINS.

LUMIN	AIRE S	CHEE	DULE						
Symbol	Label	Qty	Catalog Number	Description	Lamp	File	Lumens	LLF	Watts
	Α	9	WPLED13	WITH DIFFUSE REFLECTOR AND CLEAR FLAT GLASS LENS	LUMINAIRE OUTPUT = 1711 LMS.	Isi25613.ies	Absolute	1.00	14.8
	В	1	WPLED18	WITH DIFFUSE REFLECTOR AND CLEAR FLAT GLASS LENS	LUMINAIRE OUTPUT = 2859 LMS.	Isi25618.ies	Absolute	1.00	21
\oplus	С	65	RT4xx-26L40T3- MDL05-CA	RT400 Series Rialta Light Column, Type 3, Clear Acrylic Lens	26 LEDs	RT4xx-26L-40- T3-MDL05- CA.ies	Absolute	1.00	46.8
0	D	14	CCT: 2986K, CRI: 82.0Ra	WCED3D-13W-830	LED_Wallcylinder	WCED3D-13W- -830-W.IES	Absolute	1.00	13.2
	E	2	ECLS01_A5SM730 120-277V	EVOLVE CANOPY LED SOFFIT - ECLS01	LED	ECLS01_A5S M730 120-277V.ies	Absolute	1.00	39
	F	3	ML660-12L40T2- MDL008-CA	Medium size Millenia Post Top fixture, Clear Acrylic Flat, T2	4x per board	ML660- 12L40T2- MDL008- CA.IES	Absolute	1.00	26.2
ô	G	5	ML660-16L40T4- MDL018-CA-BLOC	Medium size Millenia Post Top fixture, Clear Acrylic Flat-BLOC , T4	4x per board	ML660- 16L40T4- MDL018-CA- BLOC.IES	Absolute	1.00	78.4
\triangle	Н	33	H12297L; MODEL# MS-1LED- -BZ	LED LAMP	LED	sshell-1led.ies	Absolute	1.00	2.1

STATISTICS						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Calc Zone #1	+	2.3 fc	19.9 fc	0.0 fc	N / A	N / A
LUMINAIRE NO	TES					

- FIXTURE "F" (3) NEW MILENNIA POST TOP MOUNTED POLE FIXTURES (TWIN HEAD AND ARMS) TO BE INSTALLED ON AN **NEW** 3" x 16'-0" STRAINGHT SMOOTH SQAURE POLE WITH urban bronze matte finish(field verify to match existing city fixtures). Mounted and installed on a new 0'-6" poured concrete light pole base foundation. FIXTURE "G" (5) NEW MILENNIA POST TOP ARM MOUNTED POLE FIXTURES (TWIN HEAD AND ARMS) TO BE INSTALLED ON AN **NEW** 3" x 16'-0" STRAINGHT SMOOTH SQAURE POLE WITH URBAN BRONZE MATTE FINISH (FIELD VERIFY TO MATCH EXISTING CITY FIXTURES). MOUNTED AND INSTALLED ON A NEW 2'-6" POURED CONCRETE LIGHT POLE BASE
- 3. FIXTURE "C" (65) NEW ARITECTURAL BOLLARD TO BE MOUNTED AND INSTALLED ON A NEW 0'-6" POURED CONCRETE BOLLARD BASE FOUNDATION.
- 4. ALL NEW PROPOSED AREA LIGHT POLES SHALL BE LOCATED 3-0" FROM BACK OF CURB TO THE EDGE (WHERE APPLICABLE) OR FACE OF THE REINFORCED LIGHT POLE
- INSTALLATION CONTRACTOR TO REFER TO ELECTRICAL PLANS FOR CONDUIT ROUTING OF LIGHT POLES AND SIGNAGE LIGHTING CONTROL AND WIRING. . CONTRACTOR TO REFER TO REINFORCED LIGHT POLE BASE SECTIONS AND DETAILS FOR FURTHER INFORMATION.
- ALL NEW CONCRETE LIGHT POLE BASES ARE TO HAVE ALL EXPOSED FORM MARKS REMOVED, GROUND FLUSH AND THE SURFACE IS TO BE PROPERLY PREPARED TO RECEIVE A HAND TROWELED, MASONRY SKIM COAT OF APPROPRIATE THICKNESS TO ACHIEVE A DURABLE SURFACE AND LONG LASTING AESTHETIC. 8. ALL BUILDING MOUNTED LIGHT FIXTURES ARE FOR REFERENCE ONLY AND ARE TO BE COORDINATED WITH THE ARCHITECTURAL ELEVATIONS AND ELECTRICAL DRAWINGS FOR EXACT MOUNTING HEIGHTS, LOCATIONS AND QUANTITIES.
- THIS LIGHTING PLAN REPRESENTS ILLUMINATION LEVELS ARE CALCULATED VALUES INCLUDE DIRECT AND INTER-REFLECTED COMPONENTS.
- THIS LIGHTING PLAN REPRESENTS ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA TAKEN UNDER CONTROLLED CONDITIONS IN ACCORDANCE WITH THE ILLUMINATING ENGINEERING SOCIETY (IES) APPROVED METHODS. ACTUAL PERFORMANCE OF ANY MANUFACTURER'S LUMINAIRES MAY VARY DUE TO CHANGES IN ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS/LED'S AND OTHER MAY VARY DUE TO CHANGES IN ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS/LED'S AND OTHER VARIABLE FIELD CONDITIONS. CALCULATIONS DO NOT INCLUDE OBSTRUCTIONS SUCH AS BUILDINGS CURBS, LANDSCAPING, OR ANY OTHER ARCHITECTURAL ELEMENTS UNLESS NOTED.



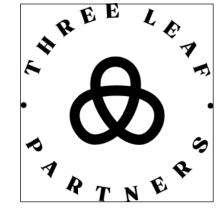
(NOT INCLUDING SATURDAY, SUNDAY OR LEGAL HOLIDAYS)

AS SHOWN IS OBTAINED FROM THE RECORDS OF MUNICIPALITY AND LOCAL UTILITY COMPANIES. UNDERGROUND FACILITIES THE ACCURACY OF WHICH CAN NOT BE BEFORE YOU DIG IN WISCONIN GUARANTEED OR CERTIFIED TO. THE LOCATIONS CALL THE MILWAUKEE UTILITY OF EXISTING UTILITY INSTALLATIONS AS SHOWN ON ALERT NETWORK THIS SURVEY ARE APPROXIMATE. THERE MAY BE www.Diggershotline.com Know what's below. OTHER UNDERGROUND UTILITY INSTALLATIONS

WITHIN THE PROJECT AREA THAT ARE NOT SHOWN.

UNDERGROUND SEWER AND UTILITY INFORMATION TO OBTAIN LOCATION OF <u>(800)-242-8511</u>





11525 W. North Avenue, Suite 1B Wauwatosa, WI 53226 Tel (414) 476-1204 www.insitedesigninc.com

PROJECT: 7474 HARWOOD 7474 HARWOOD BLVD WAUWATOSA, WI 53213

THREE LEAF PARTNERS 504 WEST JUNEAU MILWAUKEE, WI 53203

ARCHITECT: **KORB + ASSOCIATES** ARCHITECTS 648 N. PLANKINTON AVE, SUITE 240 MILWAUKEE, WI 53203

ENGINEER: TRIO 4100 N CALHOUN RD BROOKFIELD, WI 53005

LANDSCAPE ARCHITECT: INSITE LANDSCAPE DESIGN INC. 11525 W NORTH AVE

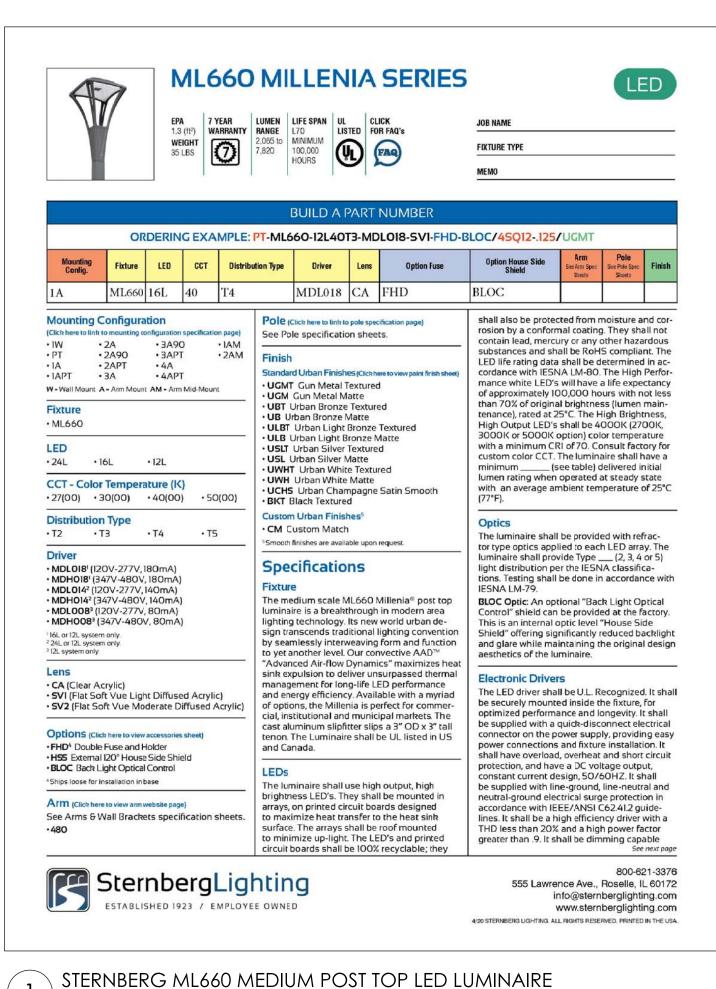
REVISION

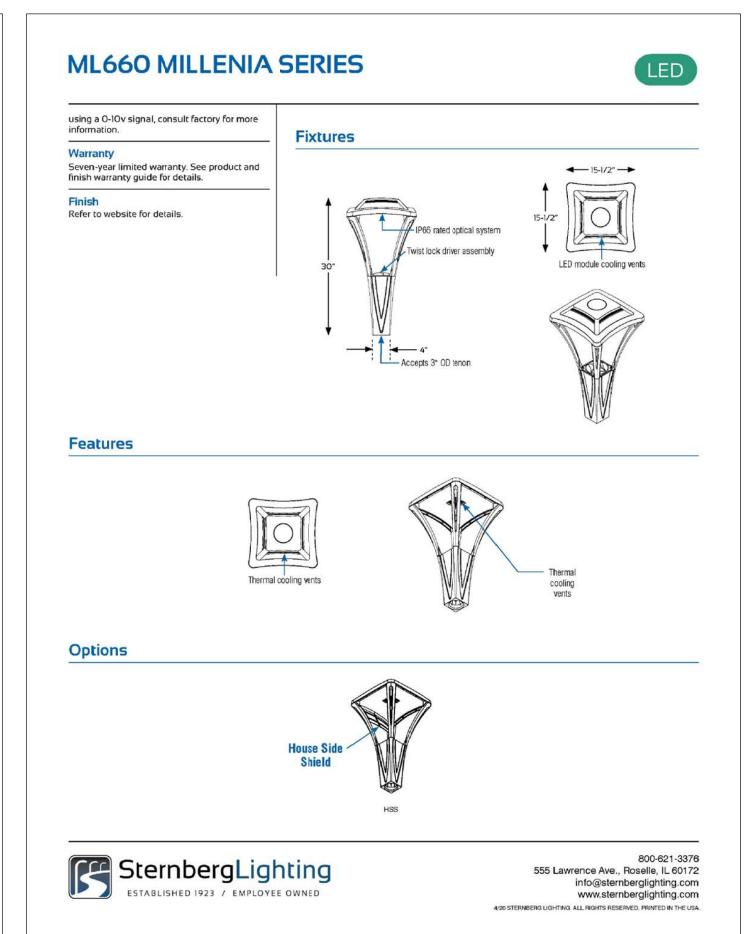
WAUWATOSA, WI 53226

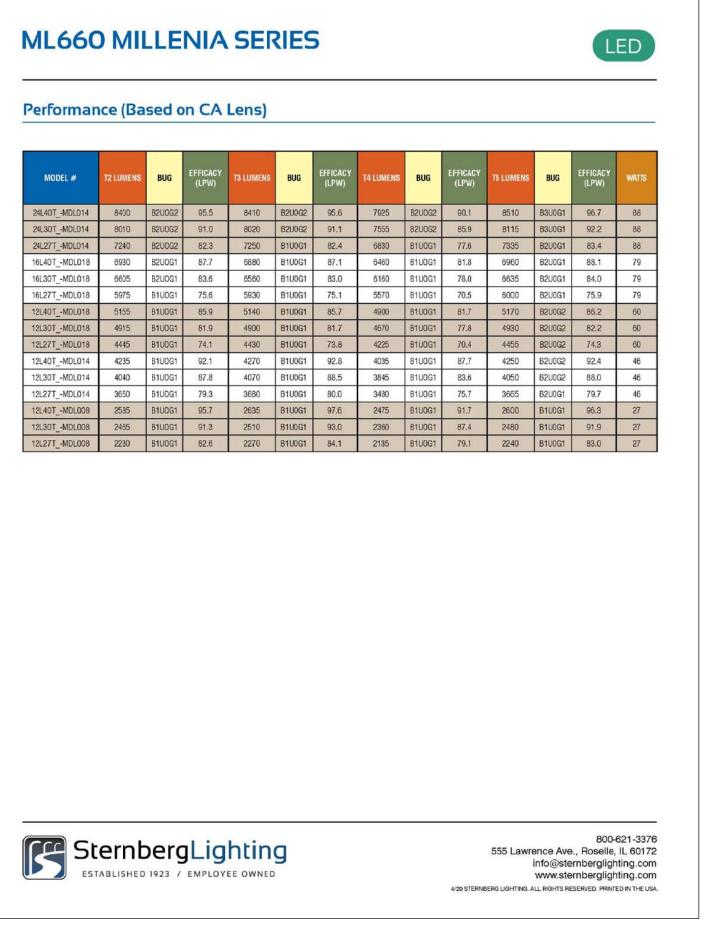
PROJ. NO. | 24004.01 SCALE: 1" = 10'-0"

PHASE: DESIGN REVIEW SUBMISSION DATE: 07.09.2024

PROPOSED PHOTOMETRIC LIGHT LEVEL CALCULATIONS PLAN, GENERAL NOTES, AND LIGHT FIXTURE TABLE



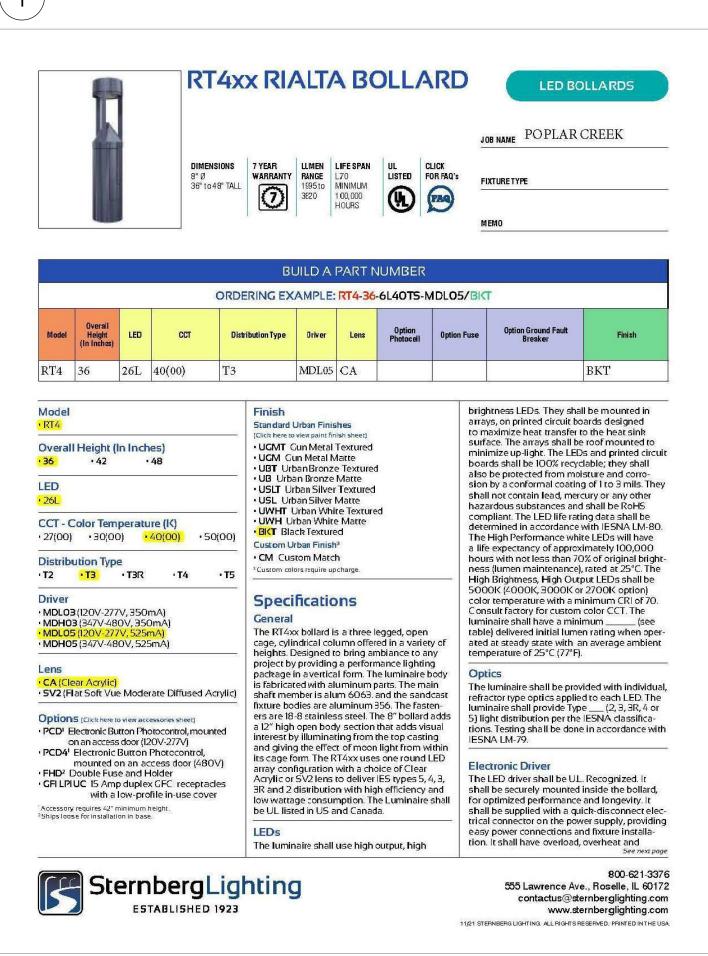


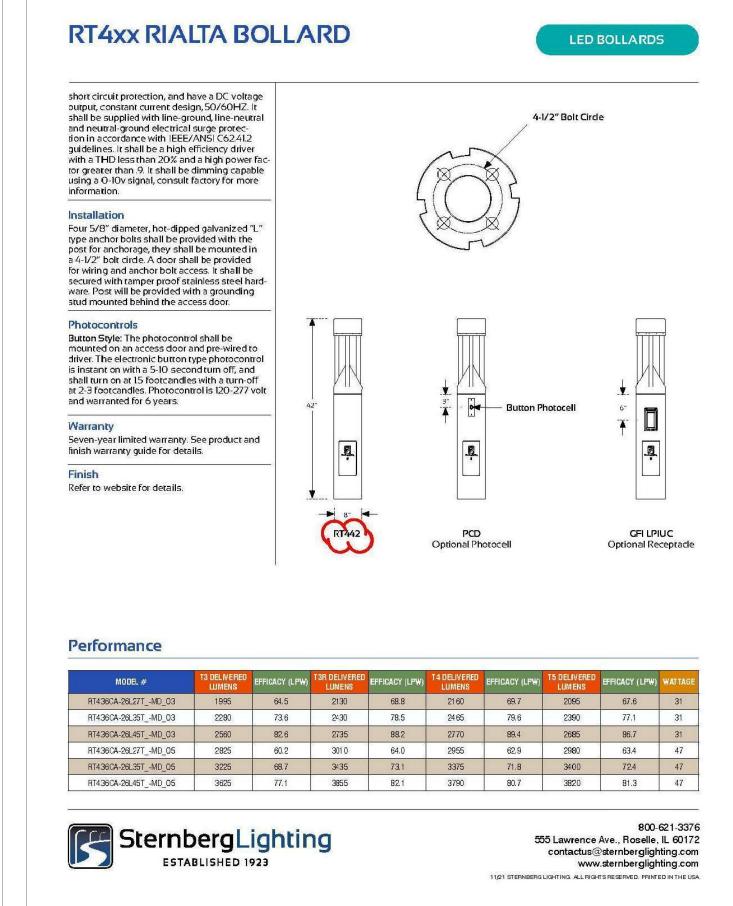






2 URBANLINE 3" SQUARE ALUMINUM POLE





RIALTA 36" TALL BOLLARD

PROJECT: 7474 HARWOOD 7474 HARWOOD BLVD WAUWATOSA, WI 53213

11525 W. North Avenue, Suite 1B Wauwatosa, WI 53226

Tel (414) 476-1204

www.insitedesigninc.com

mdavis@insitedesigninc.com

OWNER: THREE LEAF PARTNERS 504 WEST JUNEAU MILWAUKEE, WI 53203

ARCHITECT: **KORB + ASSOCIATES** ARCHITECTS 648 N. PLANKINTON AVE, SUITE 240

MILWAUKEE, WI 53203

CIVIL ENGINEER: TRIO 4100 N CALHOUN RD STE 300 BROOKFIELD, WI 53005

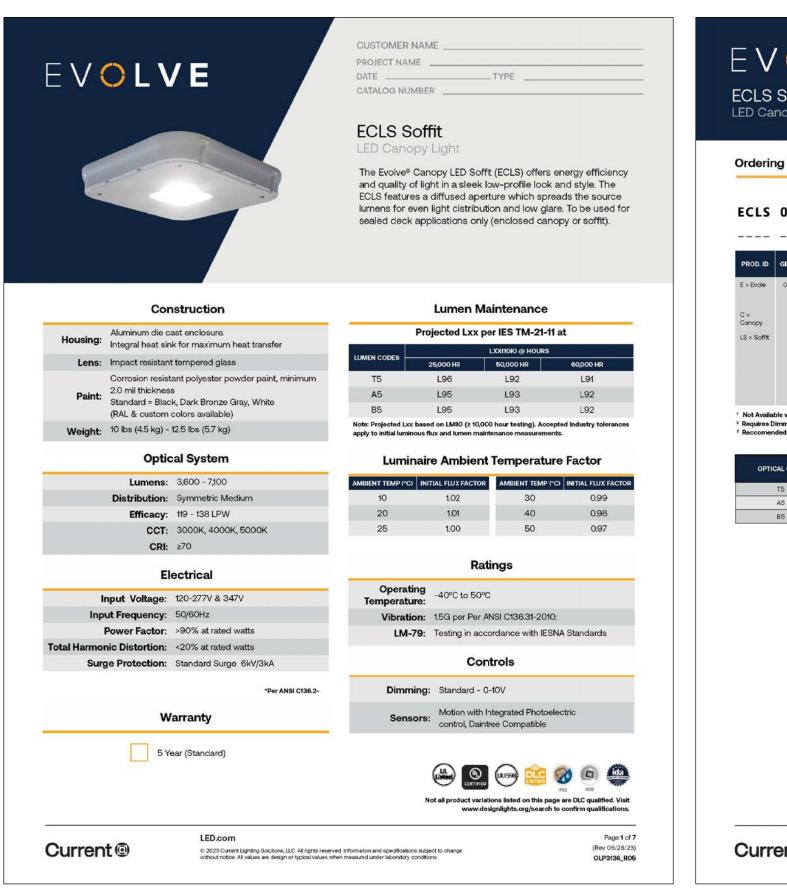
LANDSCAPE ARCHITECT: INSITE LANDSCAPE DESIGN INC. 11525 W NORTH AVE

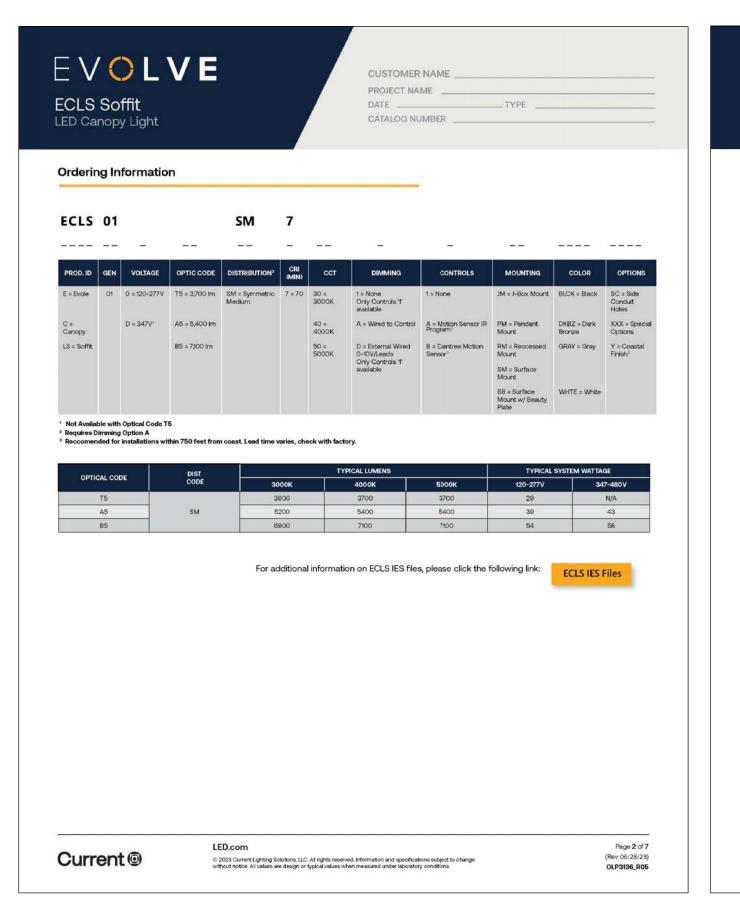
WAUWATOSA, WI 53226

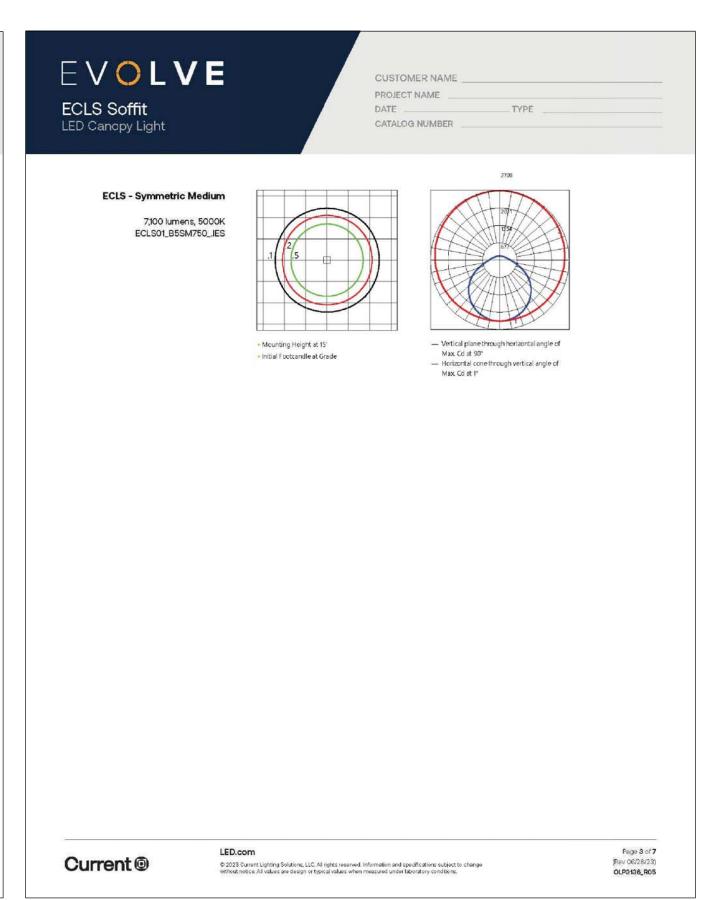
REVISION

PROJ. NO. | 24004.01 SCALE: 1" = 10'-0" BOARD DATE: 5.28.2024

PROPOSED SITE LIGHT FIXTURES





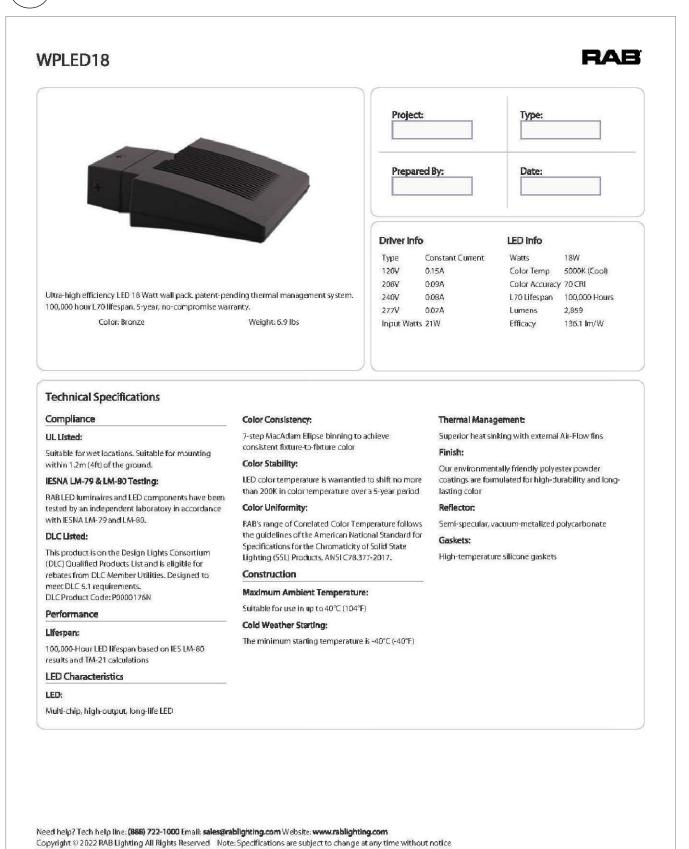




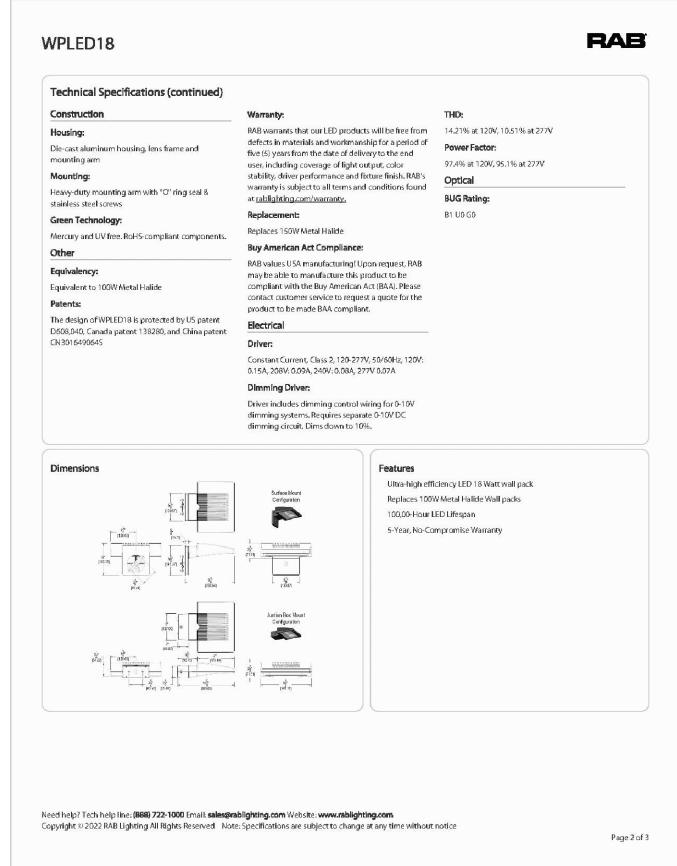


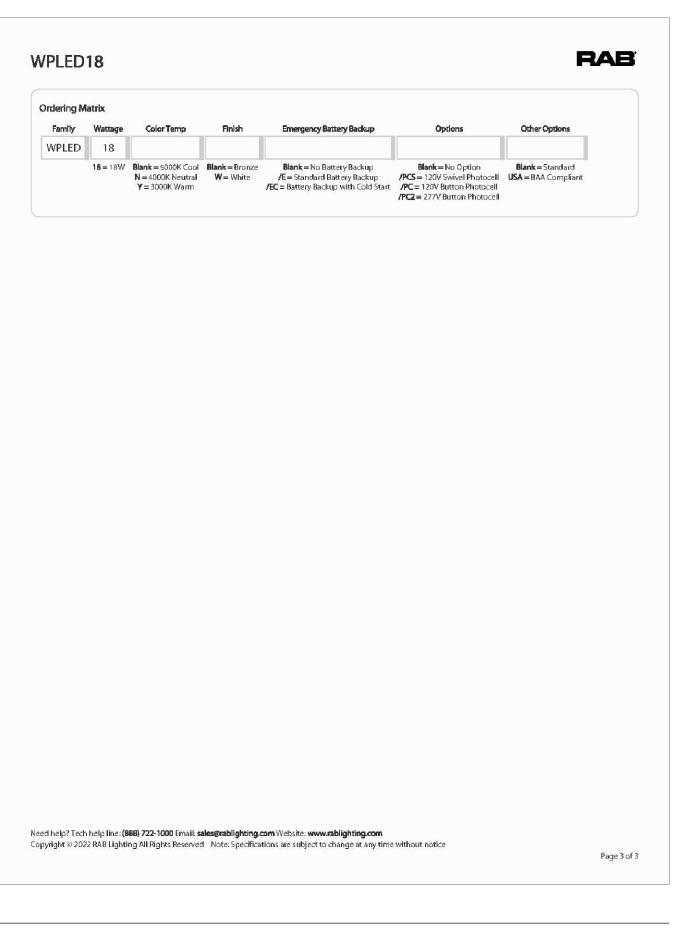
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GE EVOLVE ECLS SERIES CANOPY/SOFFIT LUMINARIES



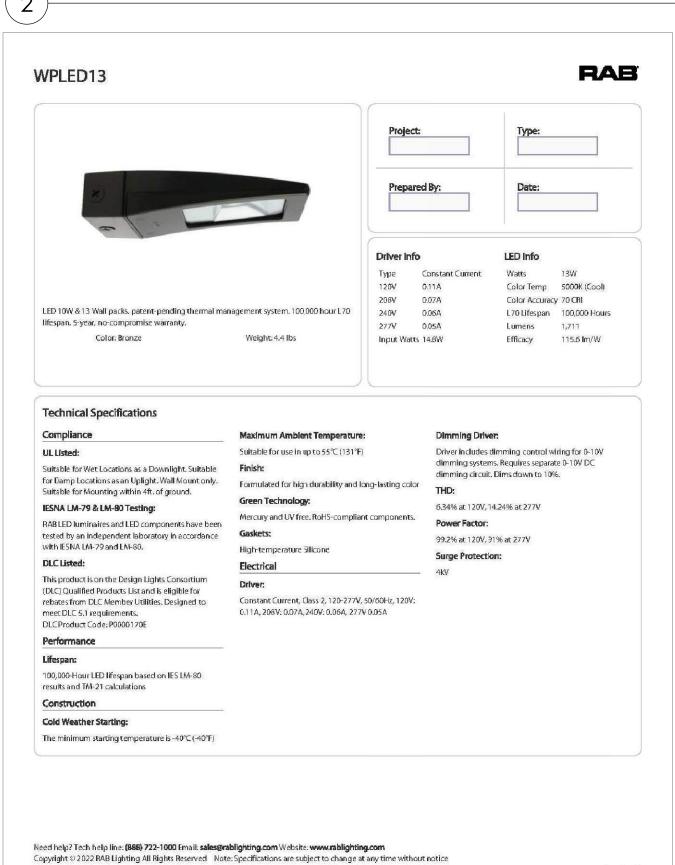
Page 1 of 3

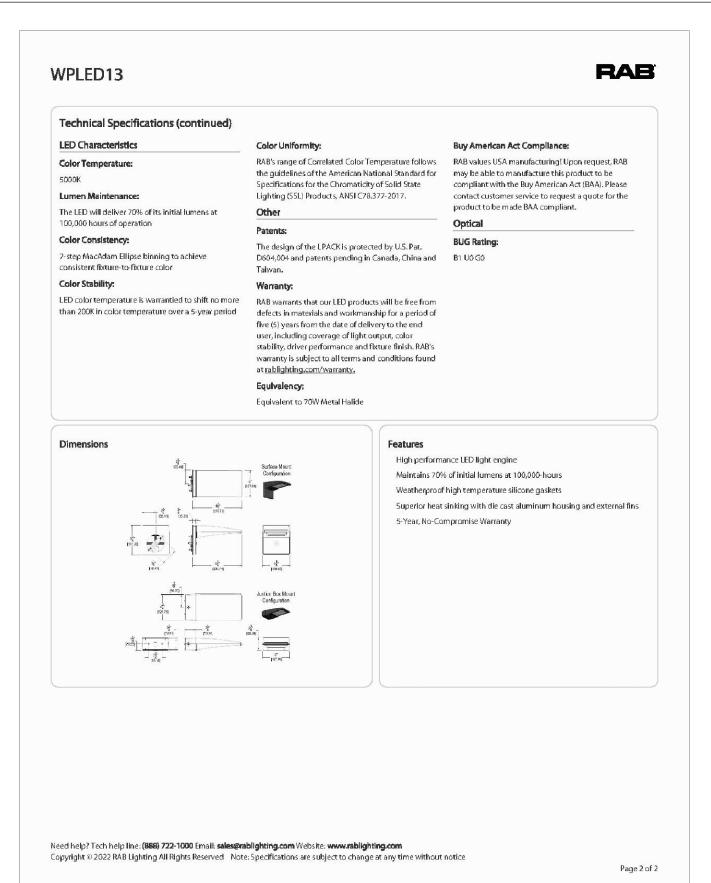






RAB WPLED18 OVERHEAD DOOR WALL PACK









MILWAUKEE, WI 53203

ARCHITECT:

KORB + ASSOCIATES

504 WEST JUNEAU

PROJECT:

OWNER:

7474 HARWOOD

7474 HARWOOD BLVD

WAUWATOSA, WI 53213

THREE LEAF PARTNERS

ARCHITECTS 648 N. PLANKINTON AVE, SUITE 240 MILWAUKEE, WI 53203

CIVIL
ENGINEER:
TRIO
4100 N CALHOUN RD
STE 300
BROOKFIELD, WI 53005

LANDSCAPE
ARCHITECT:
INSITE LANDSCAPE DESIGN INC.
11525 W NORTH AVE

DATE REVISION

WAUWATOSA, WI 53226

V - NOT FOR CONSTRUC

PROJ. NO. 24004.01

SCALE: 1" = 10'-0"

PHASE: DESIGN REVIEW BOARD SUBMISSION

DATE: 5.28.2024

PROPOSED BUILDING MOUNTED LIGHT
FIXTURES

PHO1.3

(4) RAB WPLED13 EXIT DOOR WALL PACK

HOLM sSHELL-9 SURFACE MOUNTED LIGHT