



MAYFAIR MALL

DESIGN REVIEW BOARD PRESENTATION

DECEMBER 18, 2025

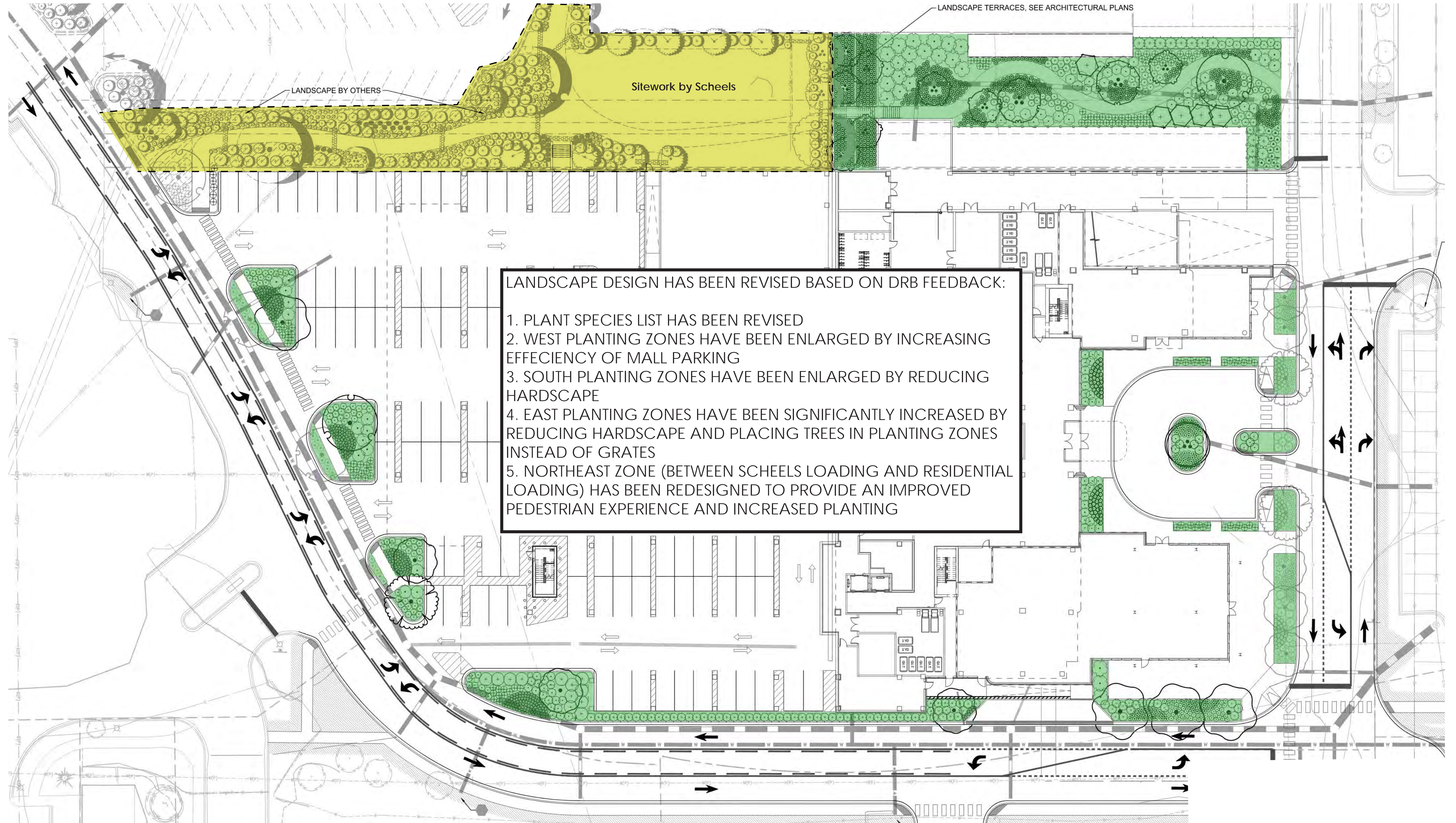


PREVIOUS DESIGN REVIEW BOARD COMMENTS
NOVEMBER 6, 2024

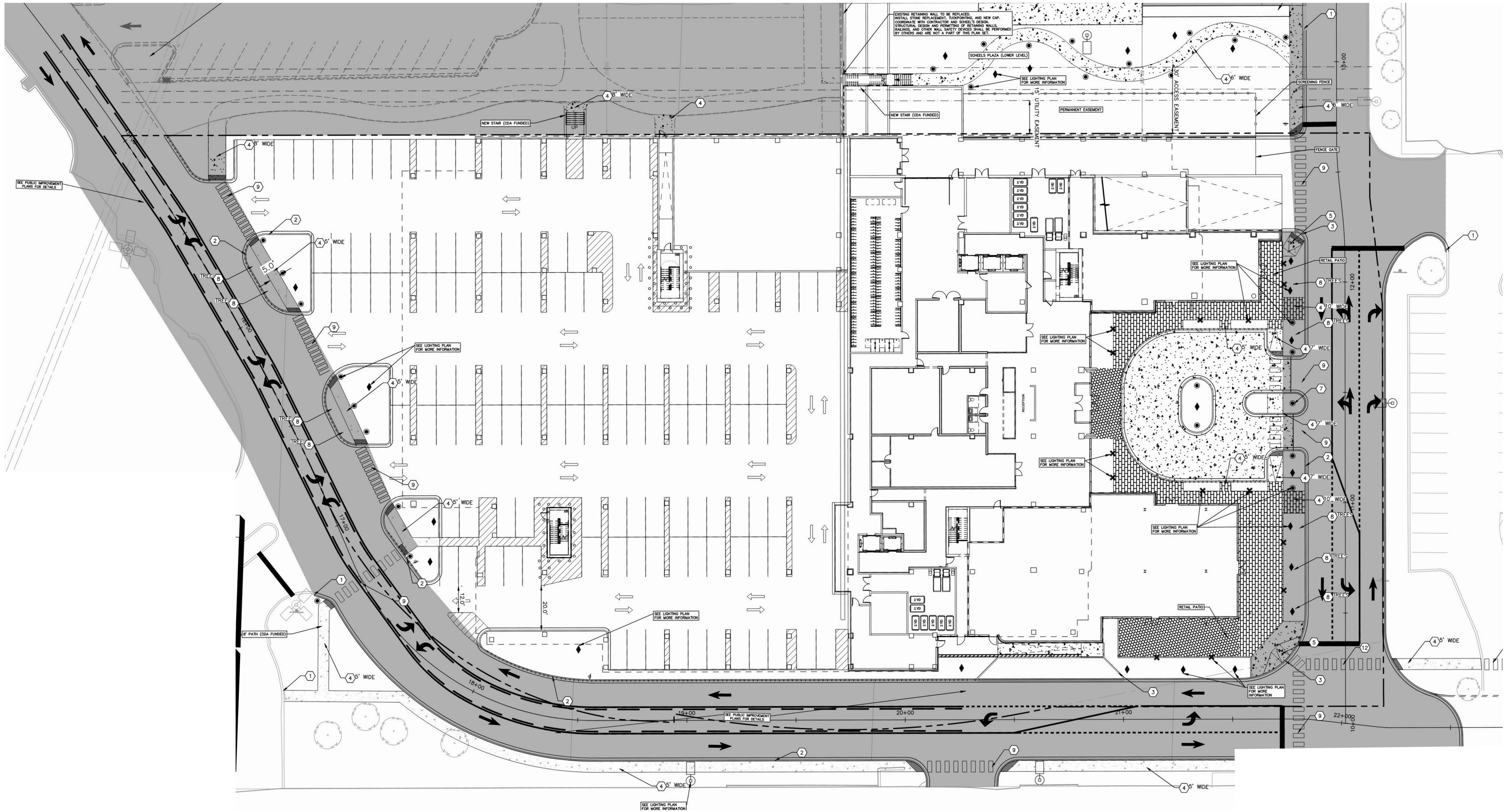
BOARD COMMENTS:

1. Final Landscape plan
2. Mechanical screening as required
3. Area of site between proposed project and mall
4. Detail of glass adjacent to parking structure

ITEM #1: UPDATED LANDSCAPE DESIGN



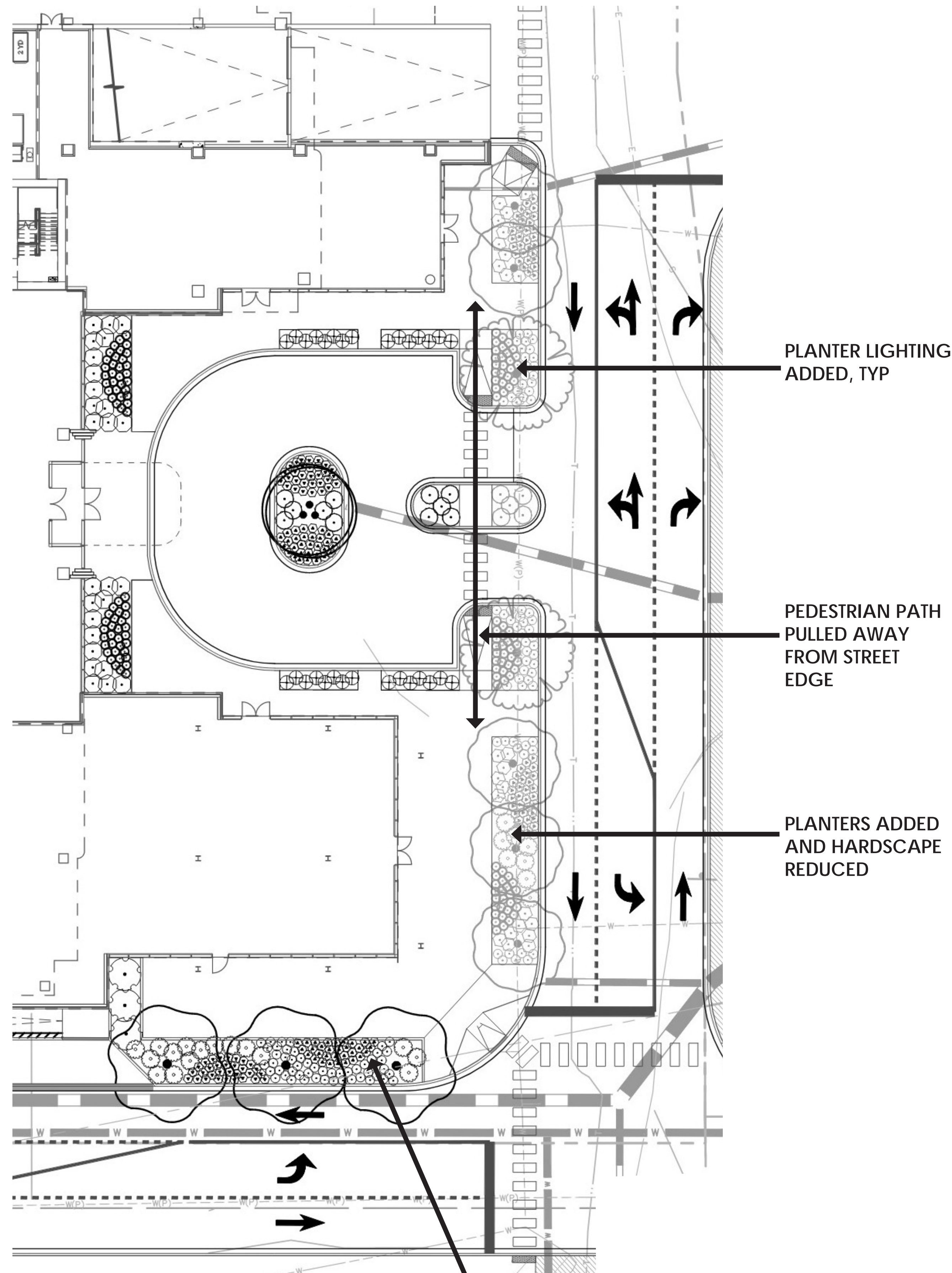
ITEM #1: UPDATED LANDSCAPE DESIGN



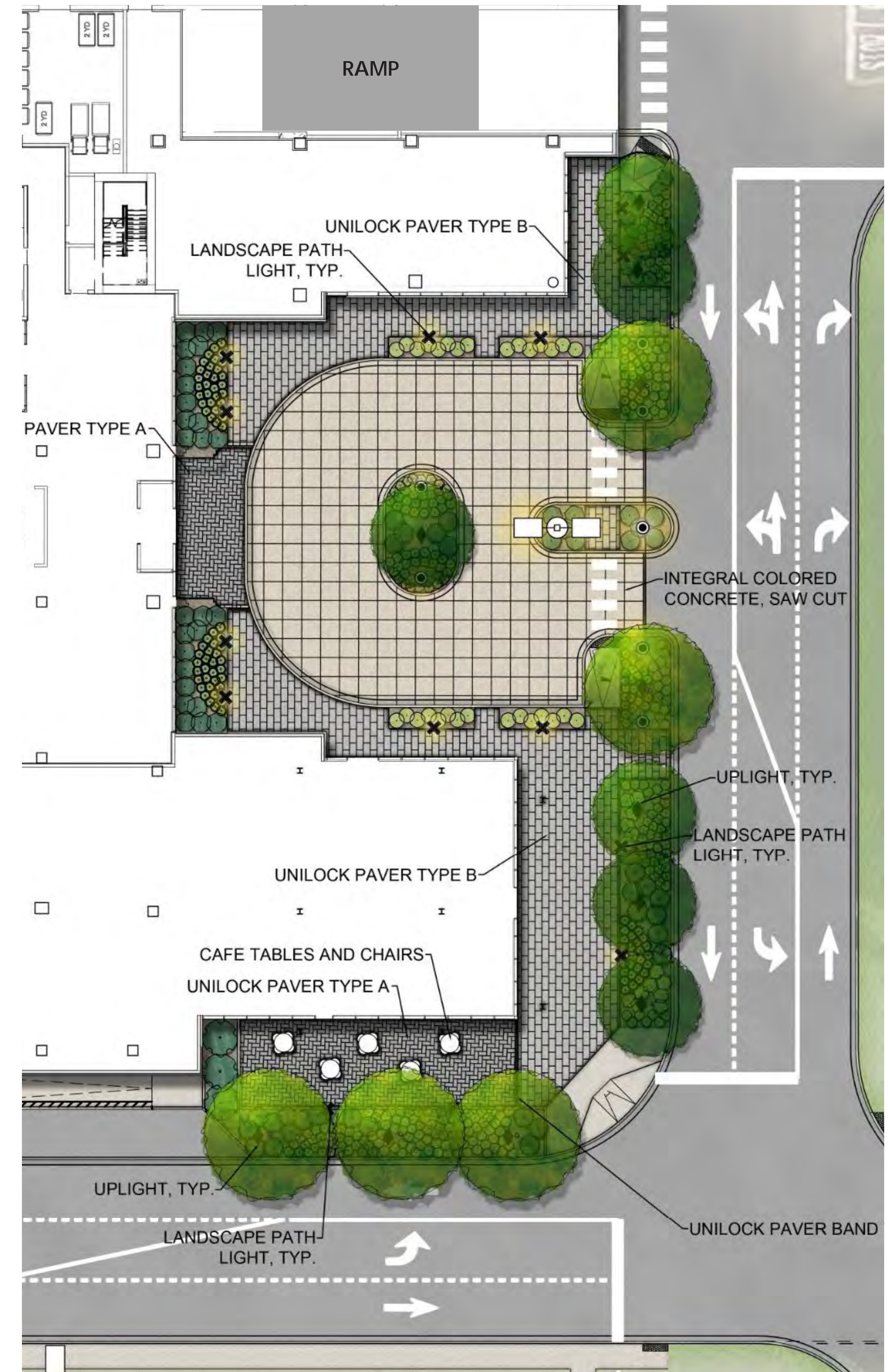
ITEM #1: UPDATED LANDSCAPE DESIGN

PLANT SCHEDULE

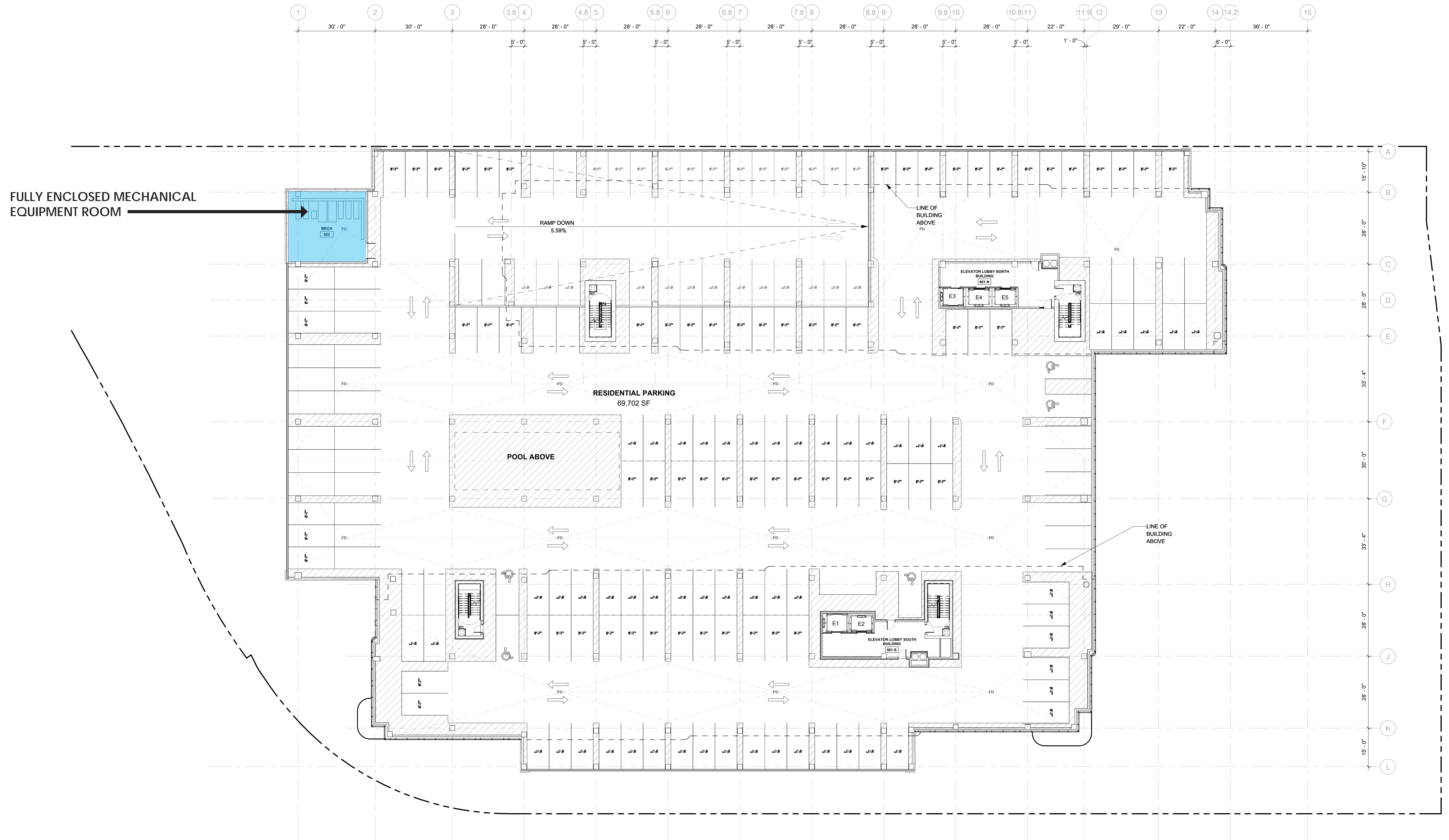
SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME
CANOPY TREES			
	AR	1	ACER RUBRUM 'AUTUMN FLAME' / AUTUMN FLAME RED MAPLE
	BN	2	BETULA NIGRA / RIVER BIRCH MULTI-TRUNK
	QM	2	QUERCUS MACROCARPA / BURR OAK
	QS	3	QUERCUS ROBUR 'FASTIGIATA' / SKYROCKET® ENGLISH OAK
	UC	4	ULMUS X 'FRONTIER' / FRONTIER ELM
LOW EVERGREEN TREES			
	TT	5	THUJA OCCIDENTALIS 'TECHNY' / TECHNY ARBORVITAE
ORNAMENTAL TREE			
	AL	1	AMELANCHIER LAEVIS / ALLEGHENY SERVICEBERRY MULTI-TRUNK
	CA3	8	CORNUS ALTERNIFOLIA / PAGODA DOGWOOD
SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME
SHRUBS			
	AM	34	ARONIA MELANOCARPA 'MORTON' / IROQUOIS BEAUTY™ BLACK CHOKEBERRY
	AS	52	ARONIA MELANOCARPA 'UCONNAM165' / LOW SCAPE MOUND CHOKEBERRY
	CA	11	CEANOTHUS AMERICANUS / NEW JERSEY TEA
	CB	30	CALLICARPA X 'NCCX2' / PEARL GLAM® BEAUTYBERRY
	CS	26	CORNUS STOLONIFERA 'ARCTIC FIRE' / ARCTIC FIRE RED TWIG DOGWOOD
	DI	122	DIERVILLA X SPLENDENS 'EL MADRIGAL' / FIREFLY NIGHTGLOW BUSH HONEYSUCKLE
	FN	74	FORSYTHIA X INTERMEDIA 'NIMBUS' / SHOW OFF® SUGAR BABY® DWARF FORSYTHIA
	IV	21	ITEA VIRGINICA / VIRGINIA SWEETSPIRE
	MY	12	MYRICA GALE / SWEETGALE
	PD	25	PHYSOCARPUS OPULIFOLIUS 'DONNA MAY' / LITTLE DEVIL™ DWARF NINEBARK
	RB	23	RHUS TYPHINA 'BAILTIGER' / TIGER EYES® STAGHORN SUMAC
	RN	10	RHODODENDRON X 'NORTHERN HI-LIGHTS' / NORTHERN HI-LIGHTS AZALEA
	VA	18	VIBURNUM DENTATUM 'CHRISTOM' / BLUE MUFFIN® ARROWWOOD VIBURNUM
	VM	17	VIBURNUM ACERIFOLIUM / MAPLELEAF VIBURNUM
EVERGREEN SHRUBS			
	JB	51	JUNIPERUS SCOPULORUM 'BLUE ARROW' / BLUE ARROW JUNIPER
	JF	14	JUNIPERUS CHINENSIS 'FAIRVIEW' / FAIRVIEW JUNIPER
	JF2	12	JUNIPERUS CHINENSIS 'SEA GREEN' / SEA GREEN JUNIPER
	TS2	16	THUJA PLICATA 'DE RAKT' / SUGAR AND SPICE WESTERN RED CEDAR
ORNAMENTAL GRASSES			
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	KFG	334	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER' / KARL FOERSTER FEATHER REED GRASS
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	SH	14	SPOROBOLUS HETEROLEPIS / PRAIRIE DROPSSEED



PLANTERS INCREASED TO PROVIDE MORE SCREENING FOR SEATING AREA

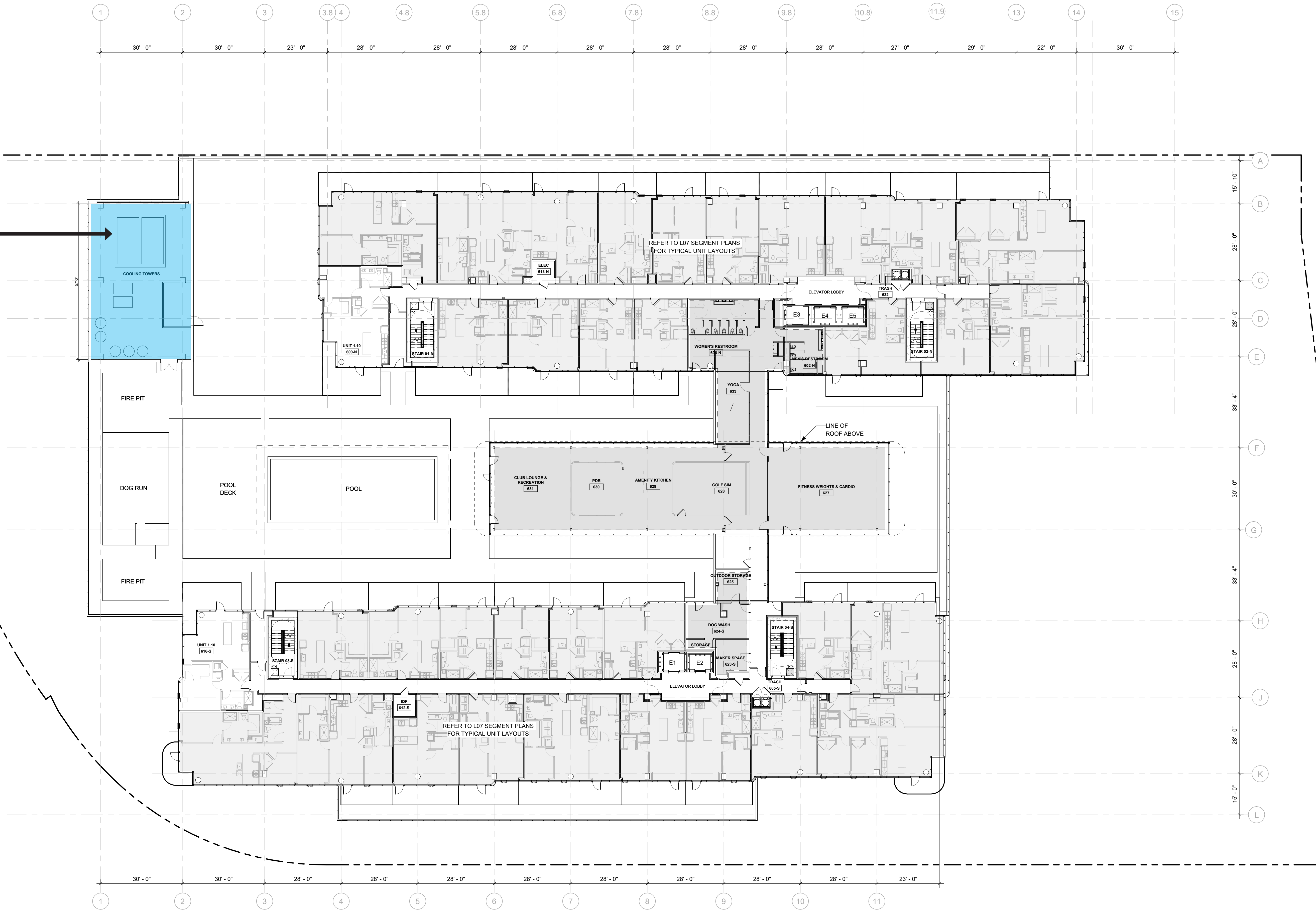


ITEM #2: MECHANICAL SCREENING LEVEL 5

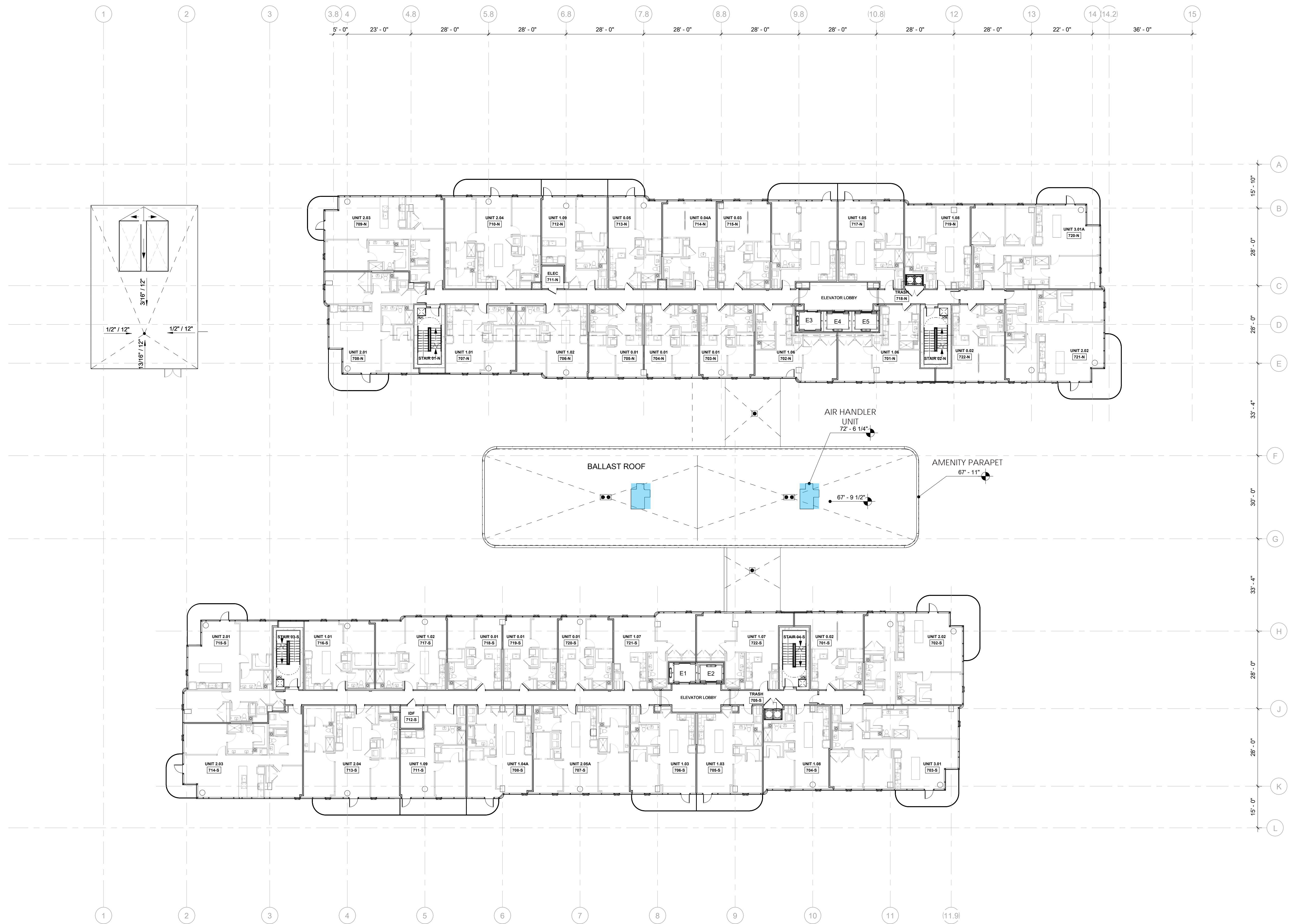


ITEM #2: MECHANICAL SCREENING
LEVEL 6

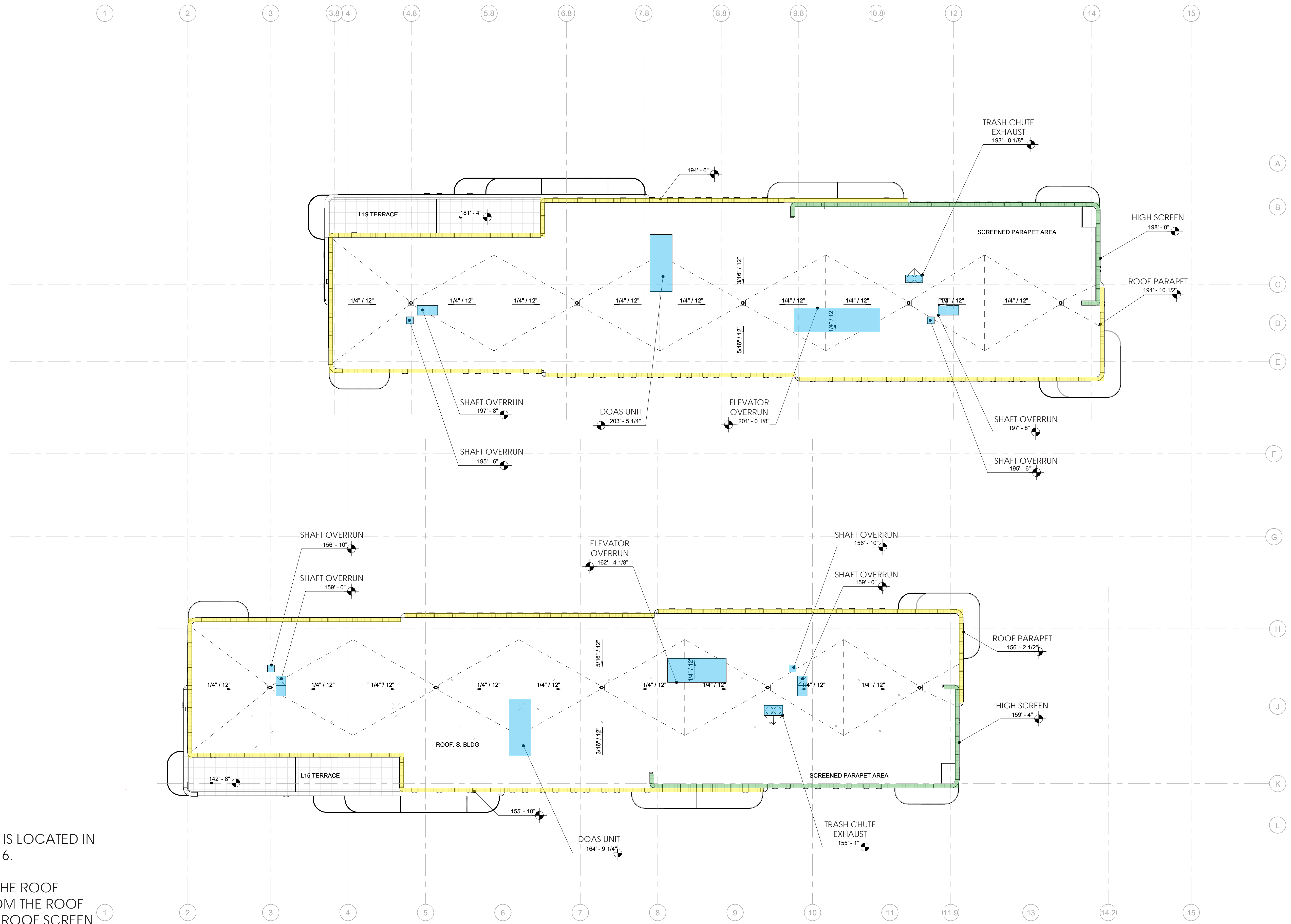
FULLY ENCLOSED MECHANICAL EQUIPMENT ROOM
MAJORITY OF MECHANICAL EQUIPMENT IS LOCATED IN THIS FULLY ENCLOSED ZONE



ITEM #2: MECHANICAL SCREENING
LEVEL 7



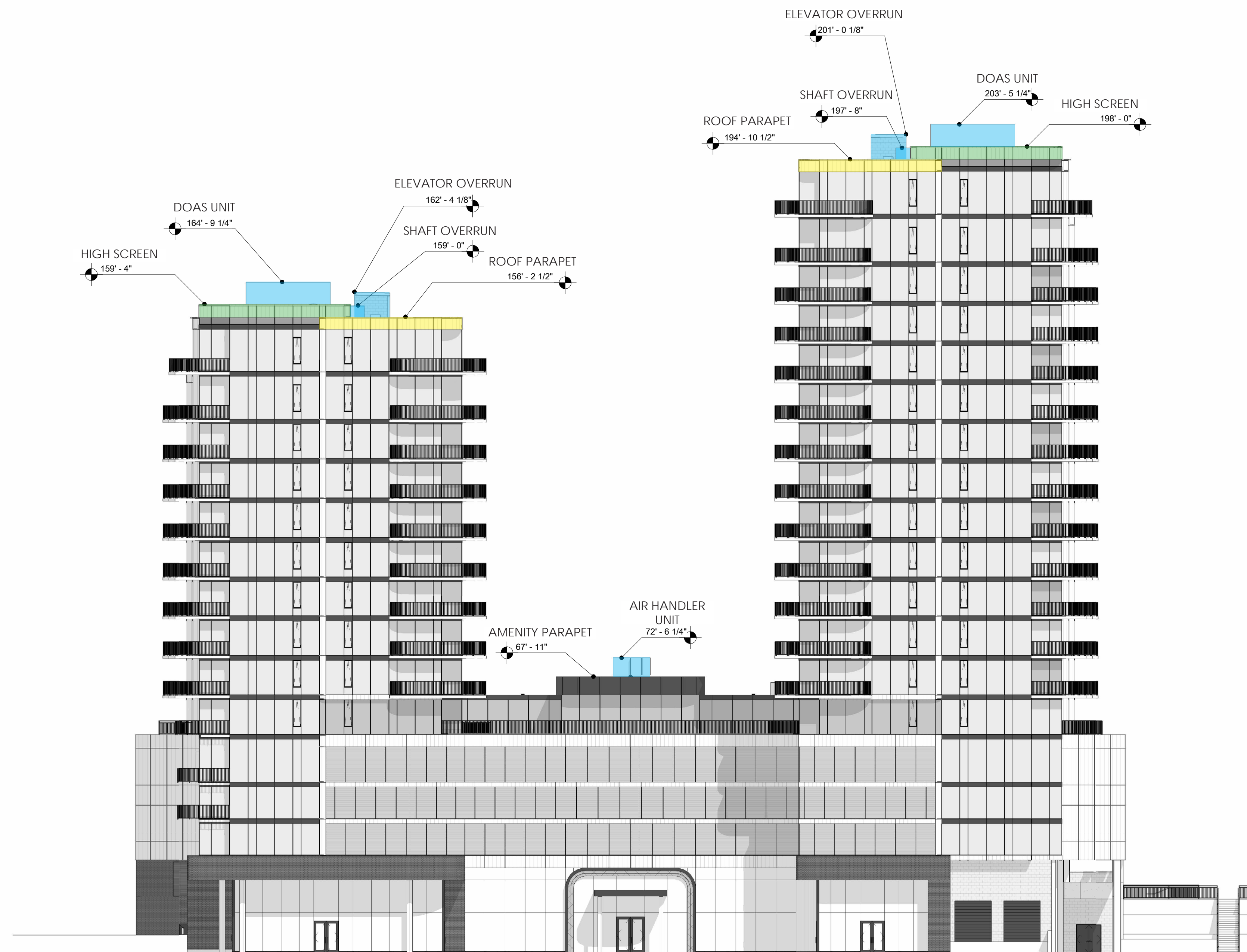
ITEM #2: MECHANICAL SCREENING ROOF PLAN



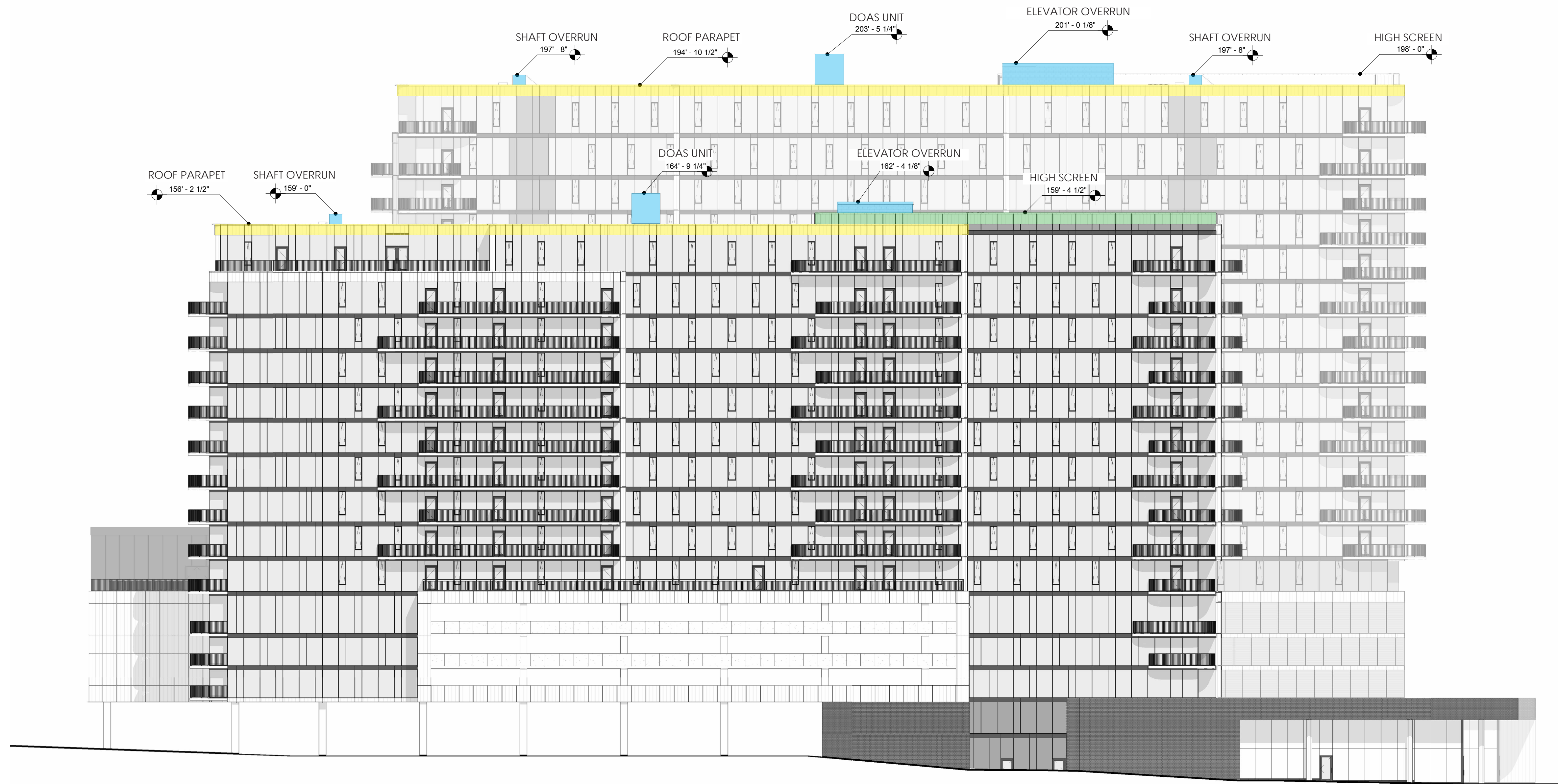
MOST MECHANICAL EQUIPMENT IS LOCATED IN AN ENCLOSED ROOM ON LEVEL 6.

THE ELEMENTS THAT WILL BE ON THE ROOF HAVE BEEN LOCATED AWAY FROM THE ROOF EDGE TO MINIMIZE VIEW, AND A ROOF SCREEN HELPS BLOCK PARTICULAR VIEW ANGLES.

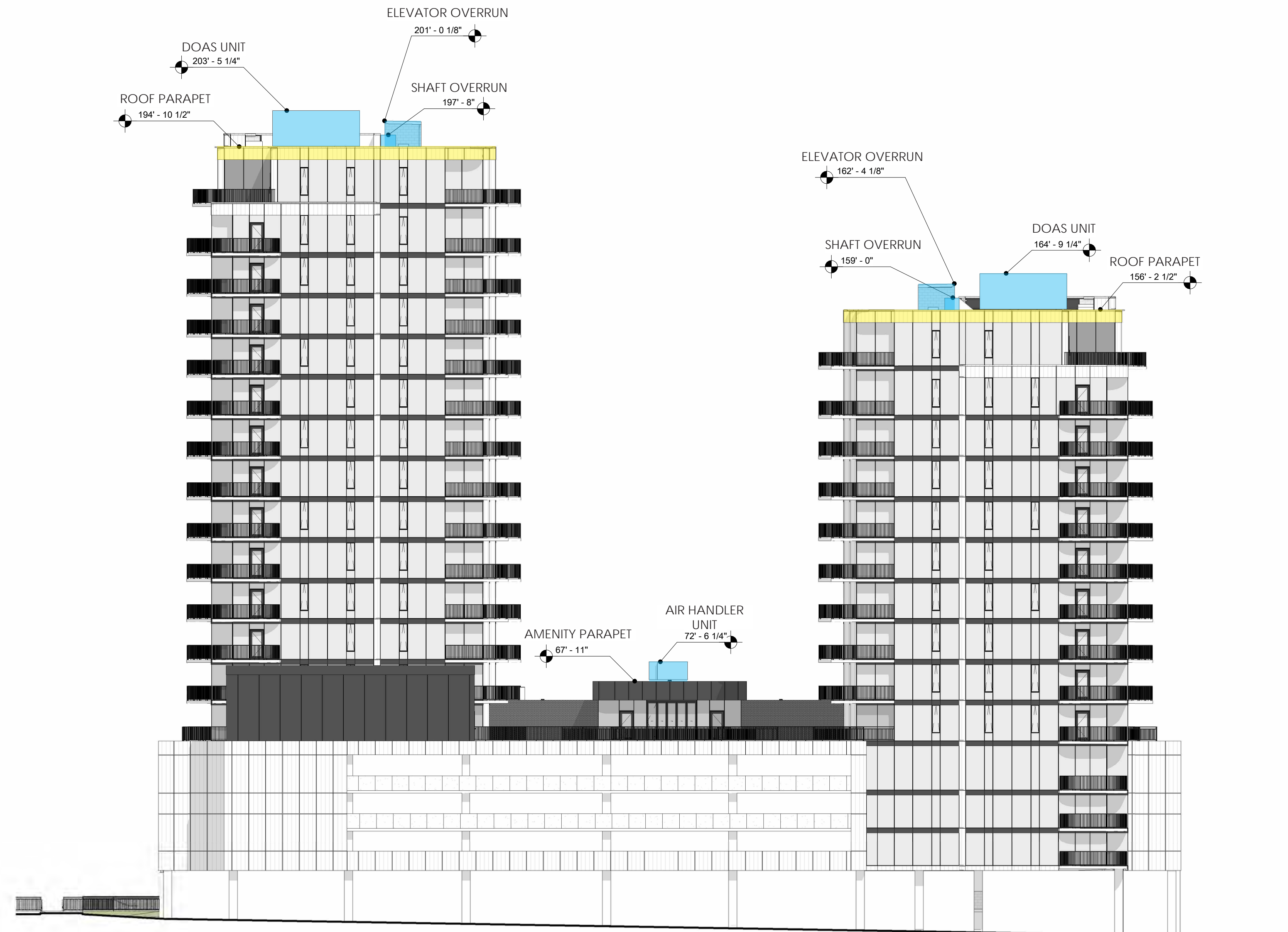
ITEM #2: MECHANICAL SCREENING
OVERALL EAST ELEVATION



ITEM #2: MECHANICAL SCREENING
OVERALL SOUTH ELEVATION



ITEM #2: MECHANICAL SCREENING
OVERALL WEST ELEVATION



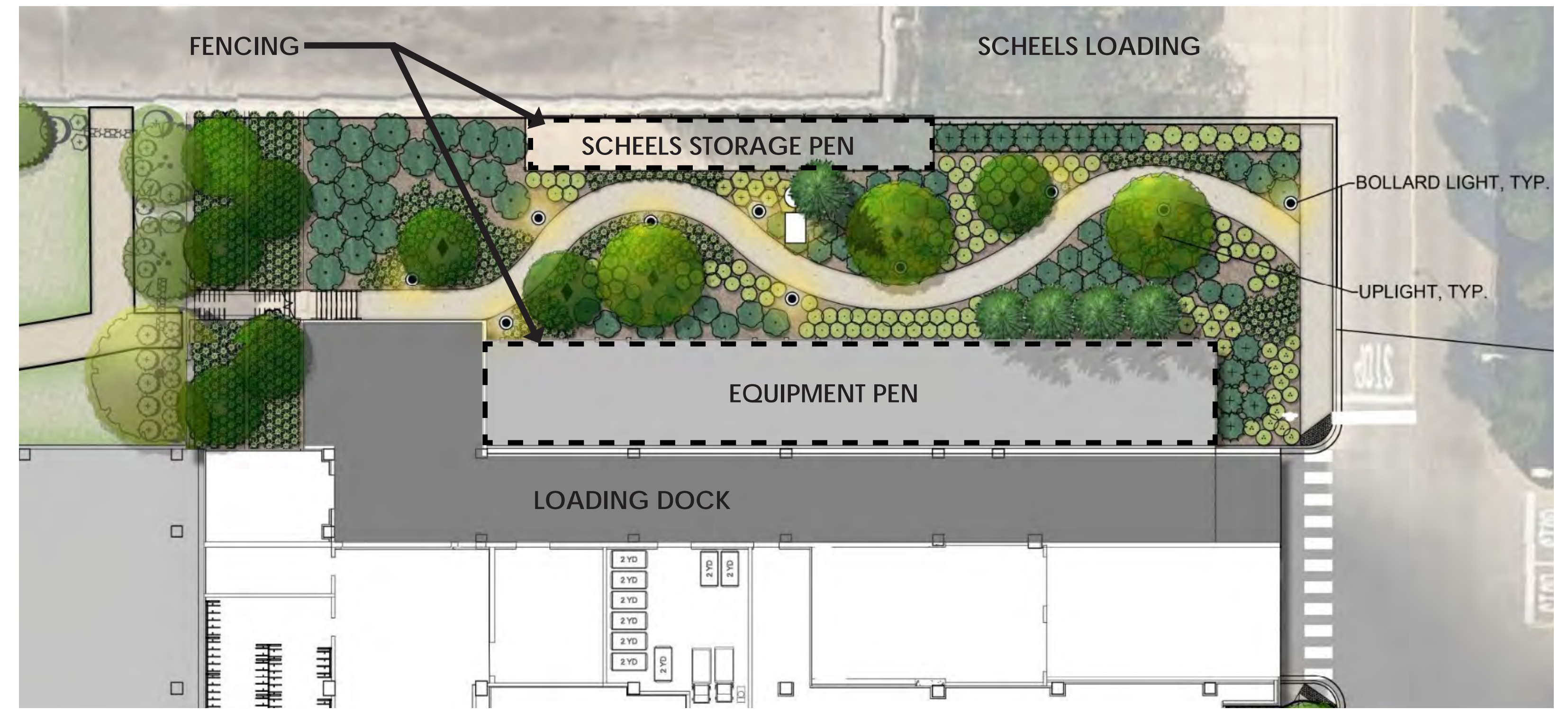
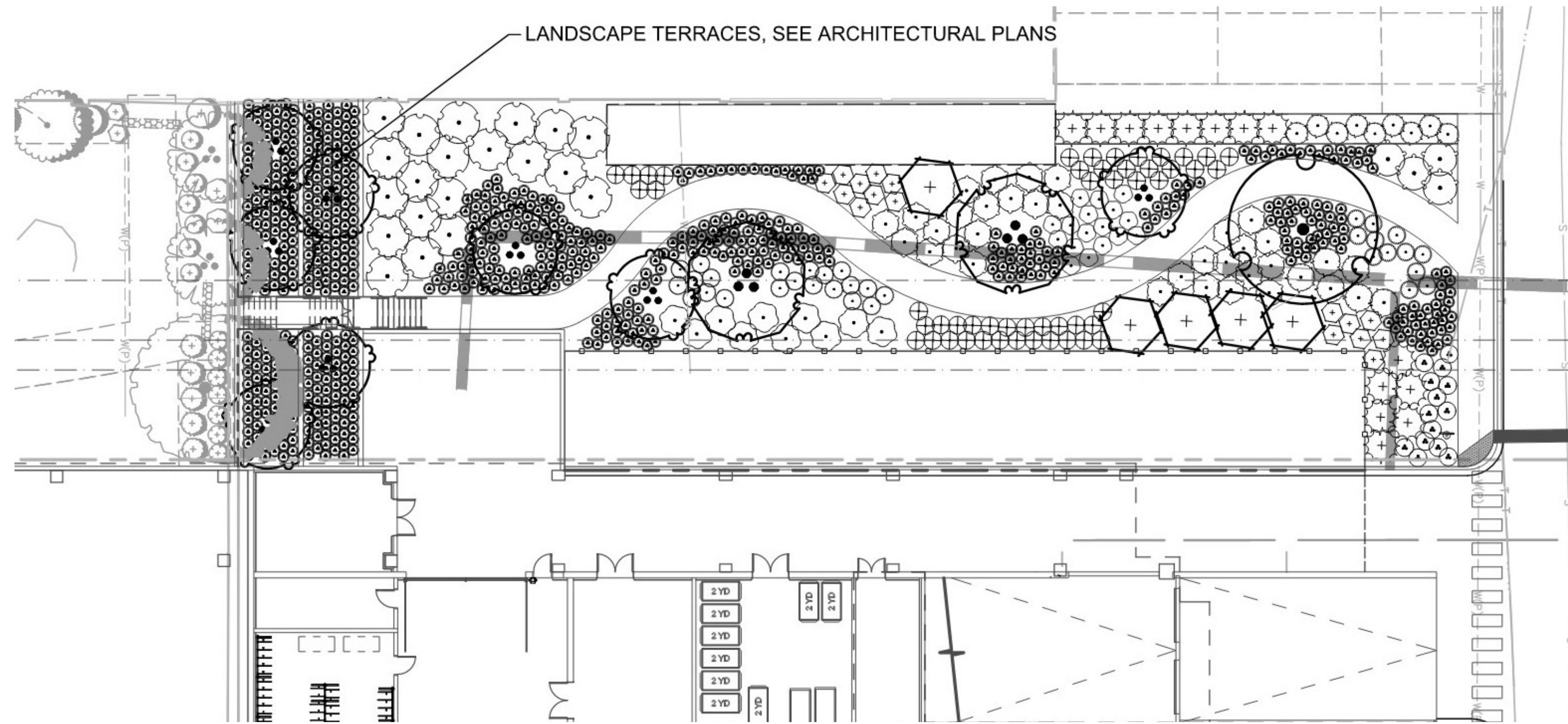
ITEM #2: MECHANICAL SCREENING
OVERALL NORTH ELEVATION



ITEM #3: UPDATED NORTH PATHWAY

REVISED DESIGN INCORPORATES CURVED WALKWAY, ADDITIONAL PLANTING AND LIGHTING, AND SCREENING OF SCHEELS LOADING.

WE ARE WORKING WITH SCHEELS TO PROVIDE A COHESIVE LANDSCAPE FEEL WITH THE UPPER LANDSCAPE ZONE TO THE WEST, WHILE SELECTING SPECIES THAT CAN SURVIVE IN THIS AREA.



PLANT SCHEDULE

SYMBOL CODE QTY BOTANICAL / COMMON NAME

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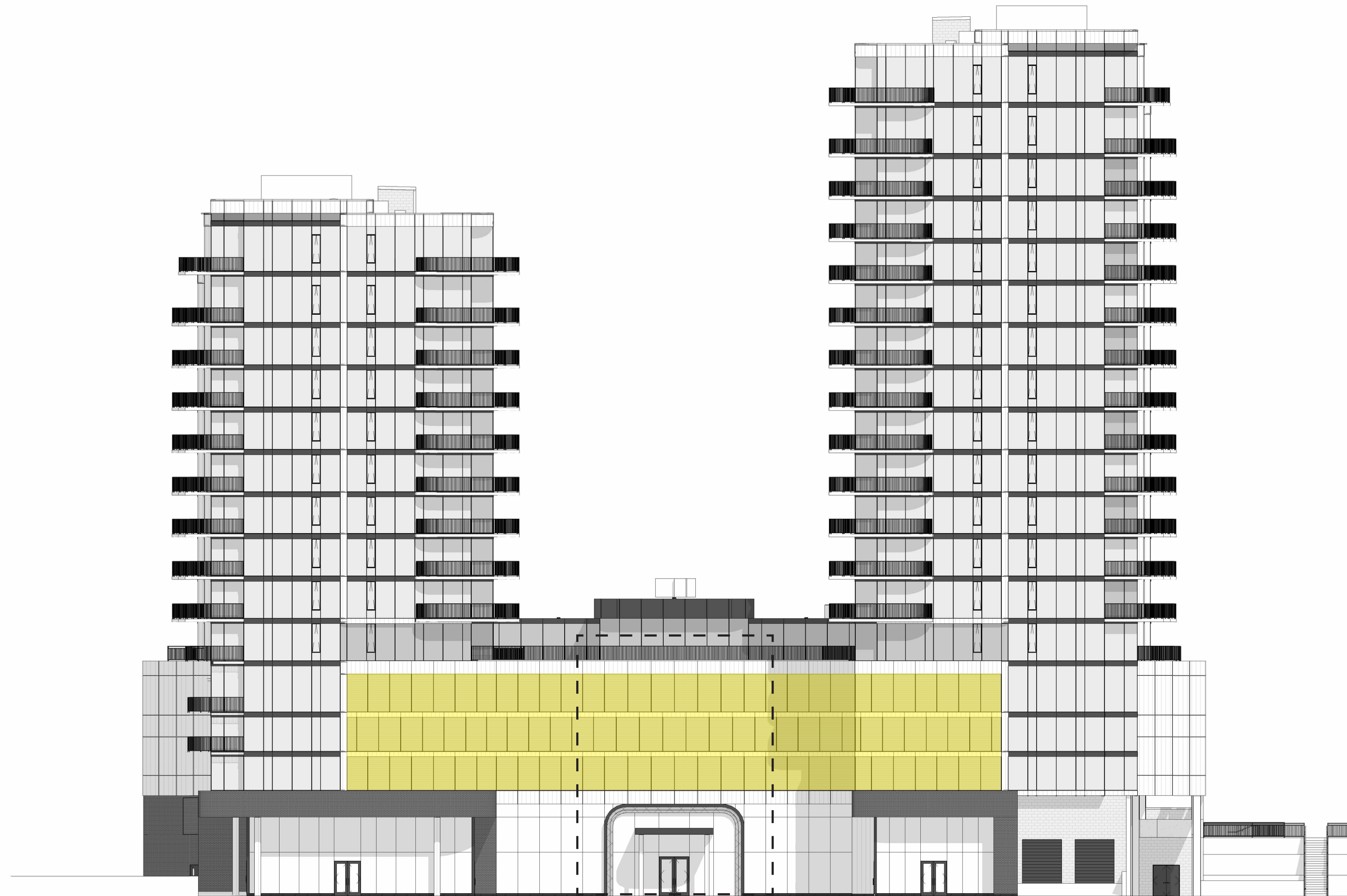
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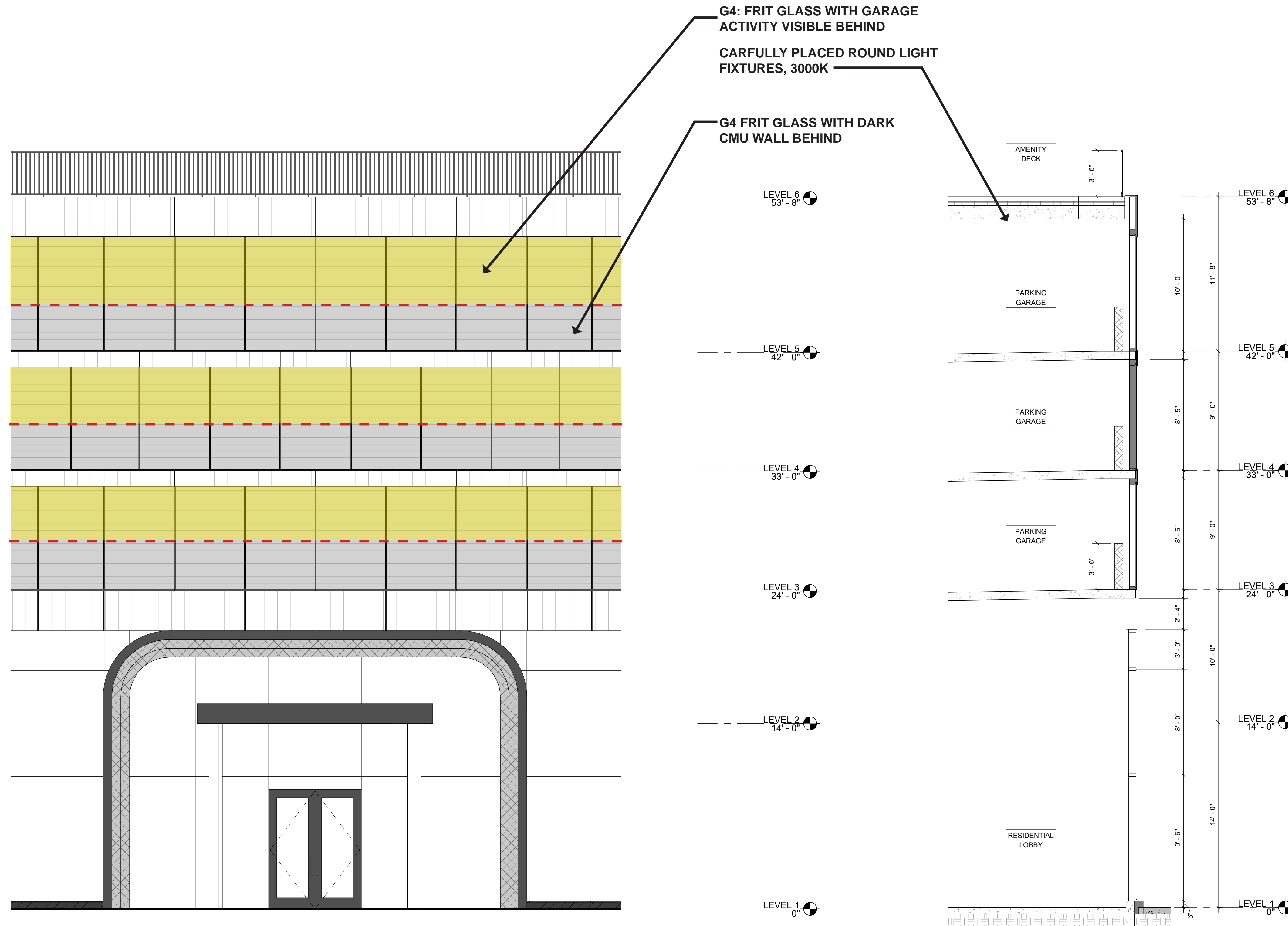
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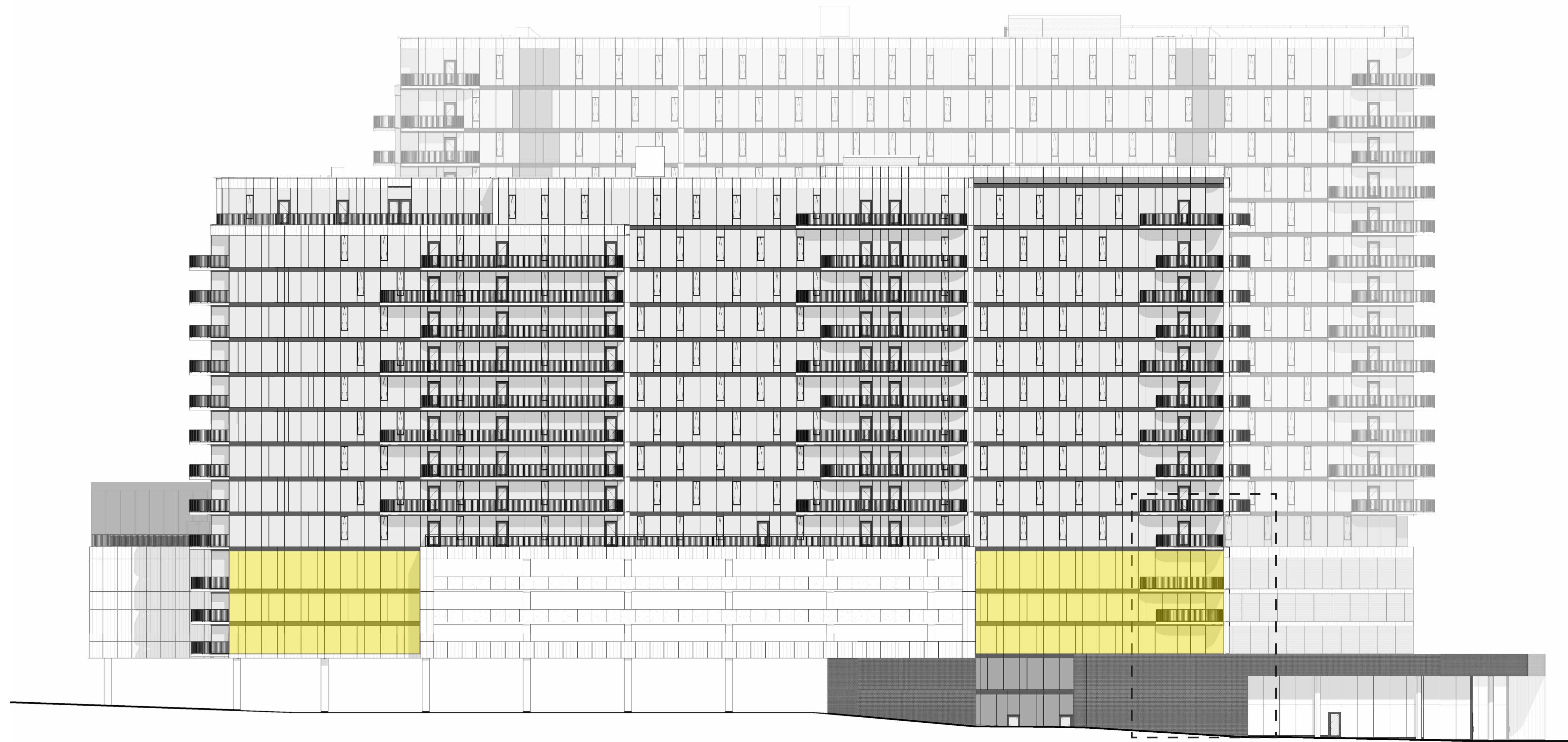
ITEM #4: PARKING GARAGE GLASS
OVERALL EAST ELEVATION



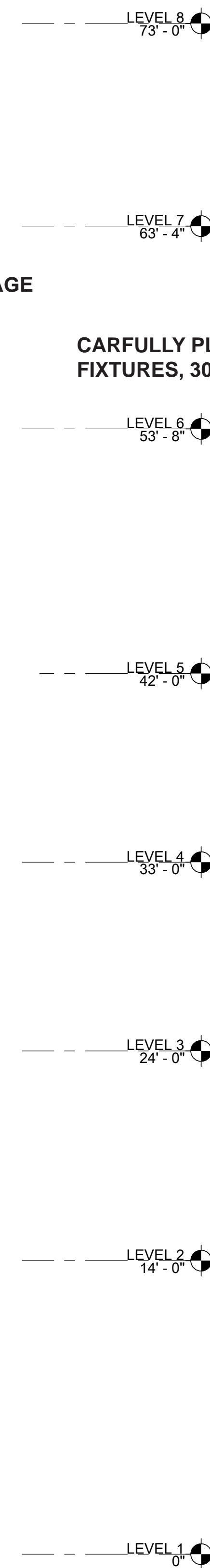
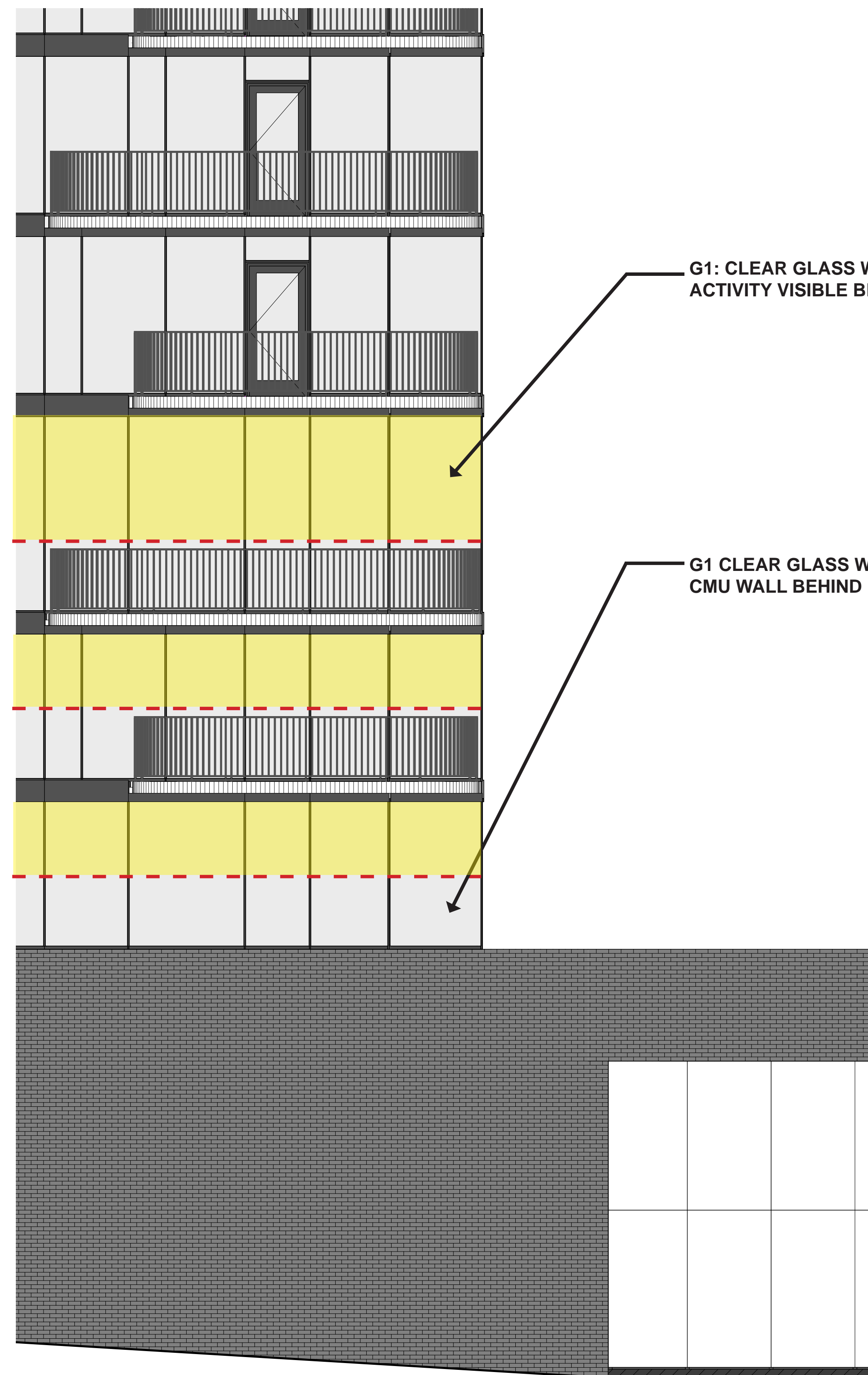
ITEM #4: PARKING GARAGE GLASS
EAST ELEVATION



ITEM #4: PARKING GARAGE GLASS
OVERALL SOUTH ELEVATION



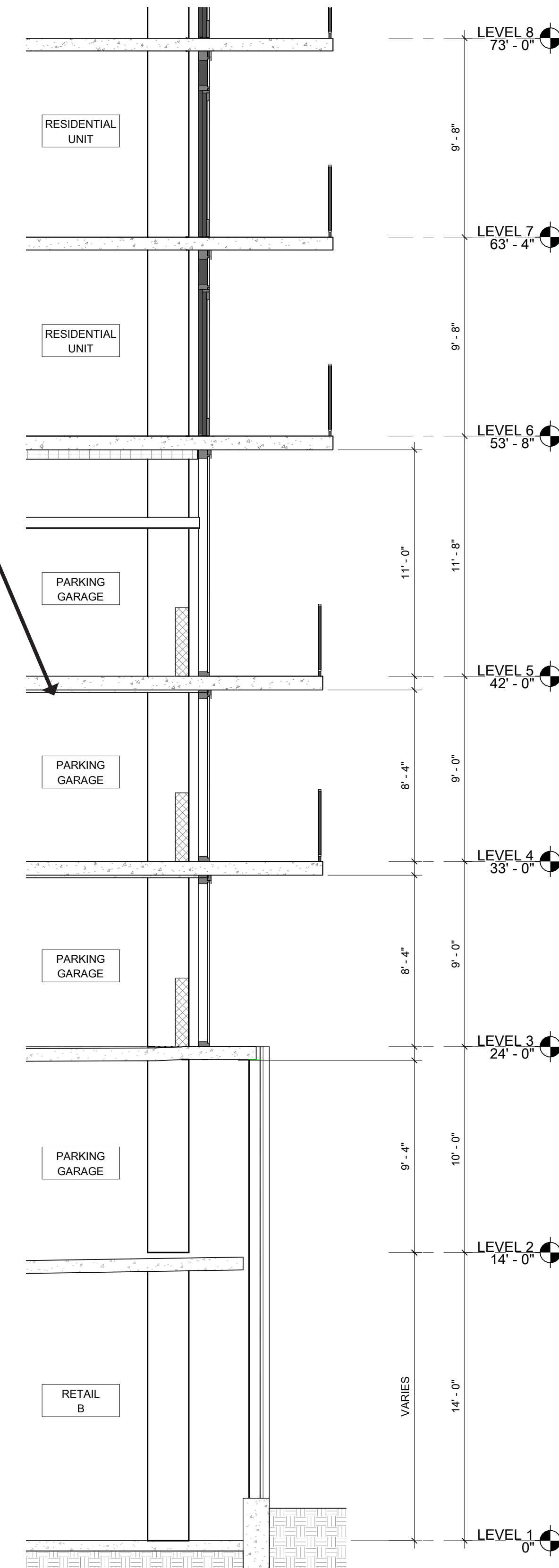
ITEM #4: PARKING GARAGE GLASS
SOUTH ELEVATION



G1: CLEAR GLASS WITH GARAGE ACTIVITY VISIBLE BEHIND

CAREFULLY PLACED ROUND LIGHT FIXTURES, 3000K

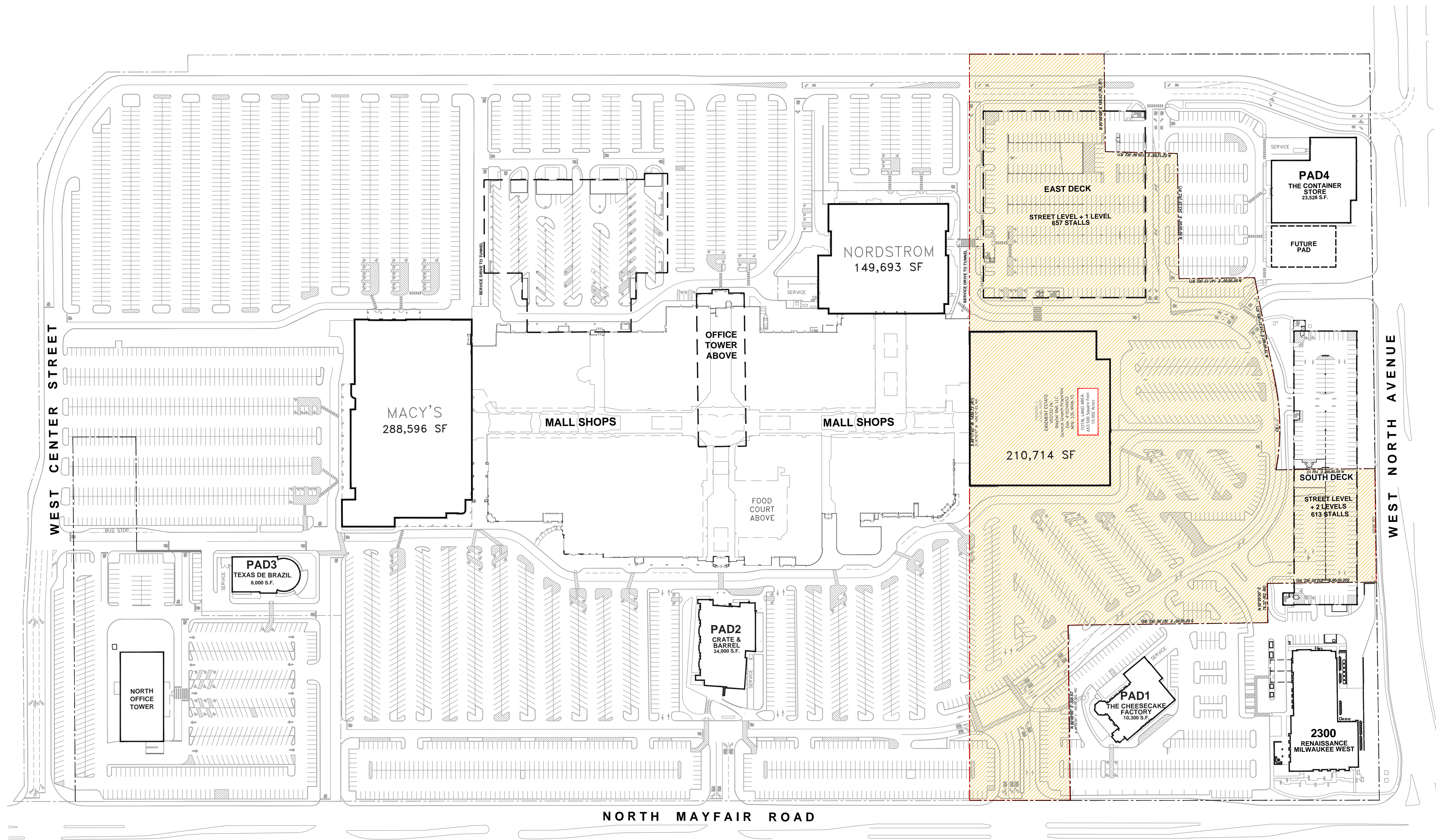
G1 CLEAR GLASS WITH DARK CMU WALL BEHIND





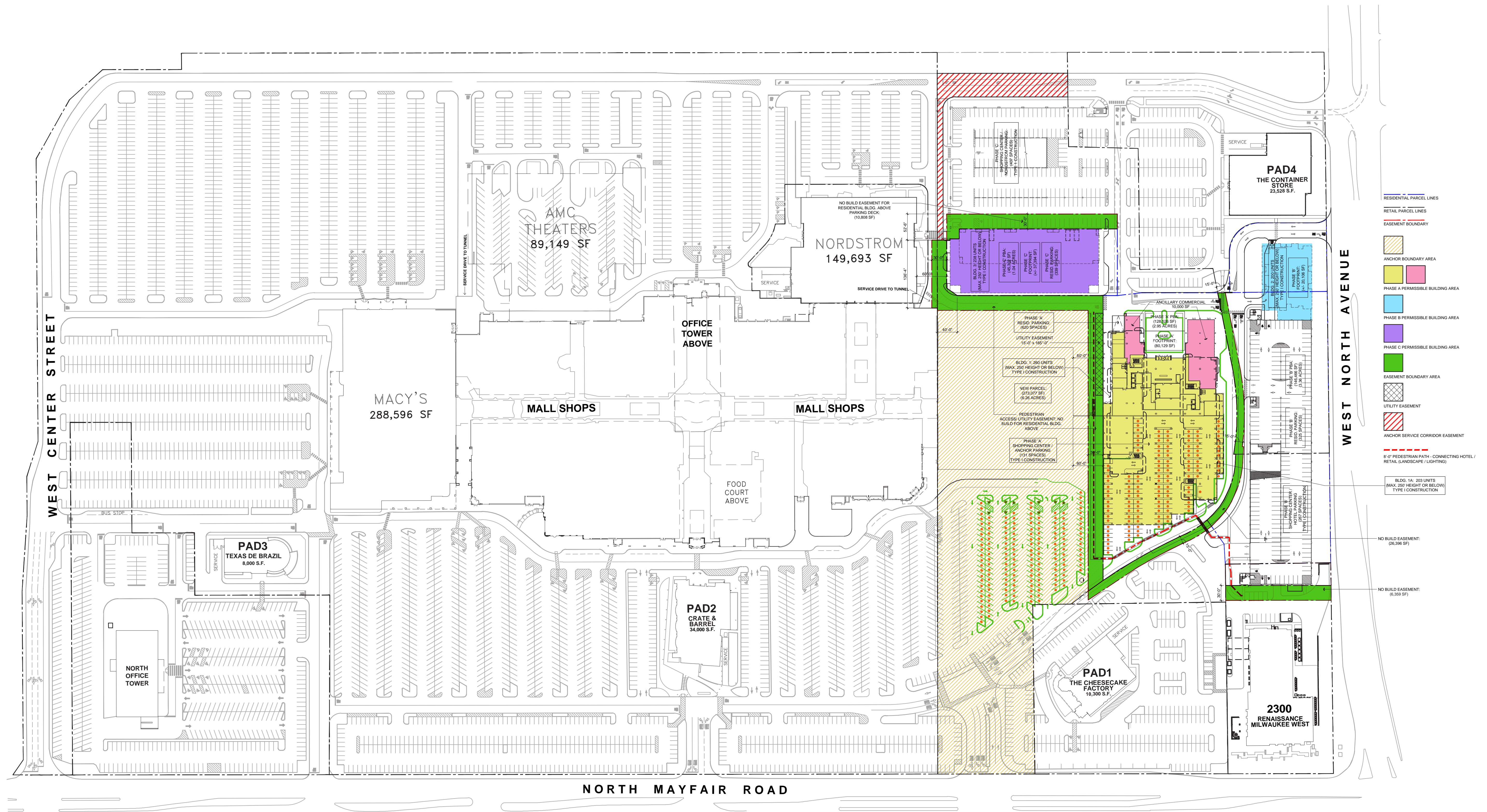
PROJECT INFORMATION

EXISTING PARCEL PLAN

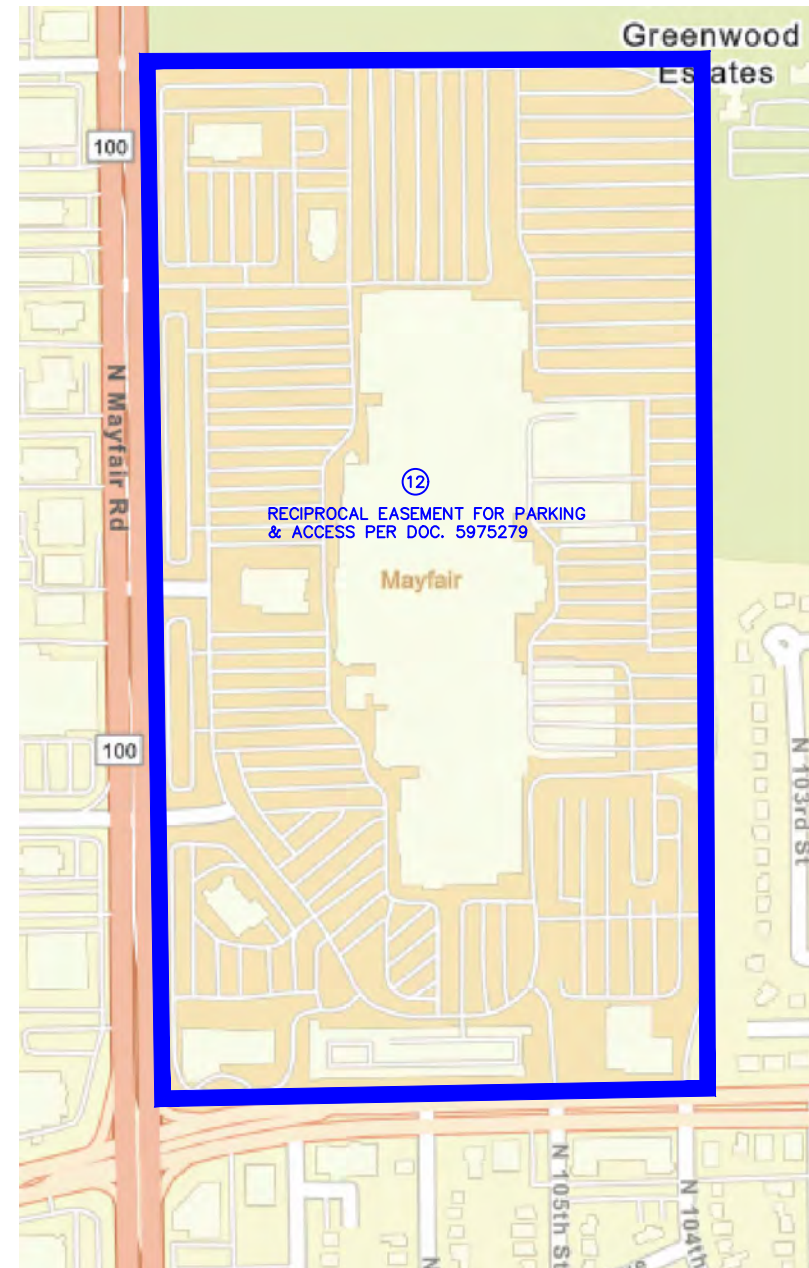
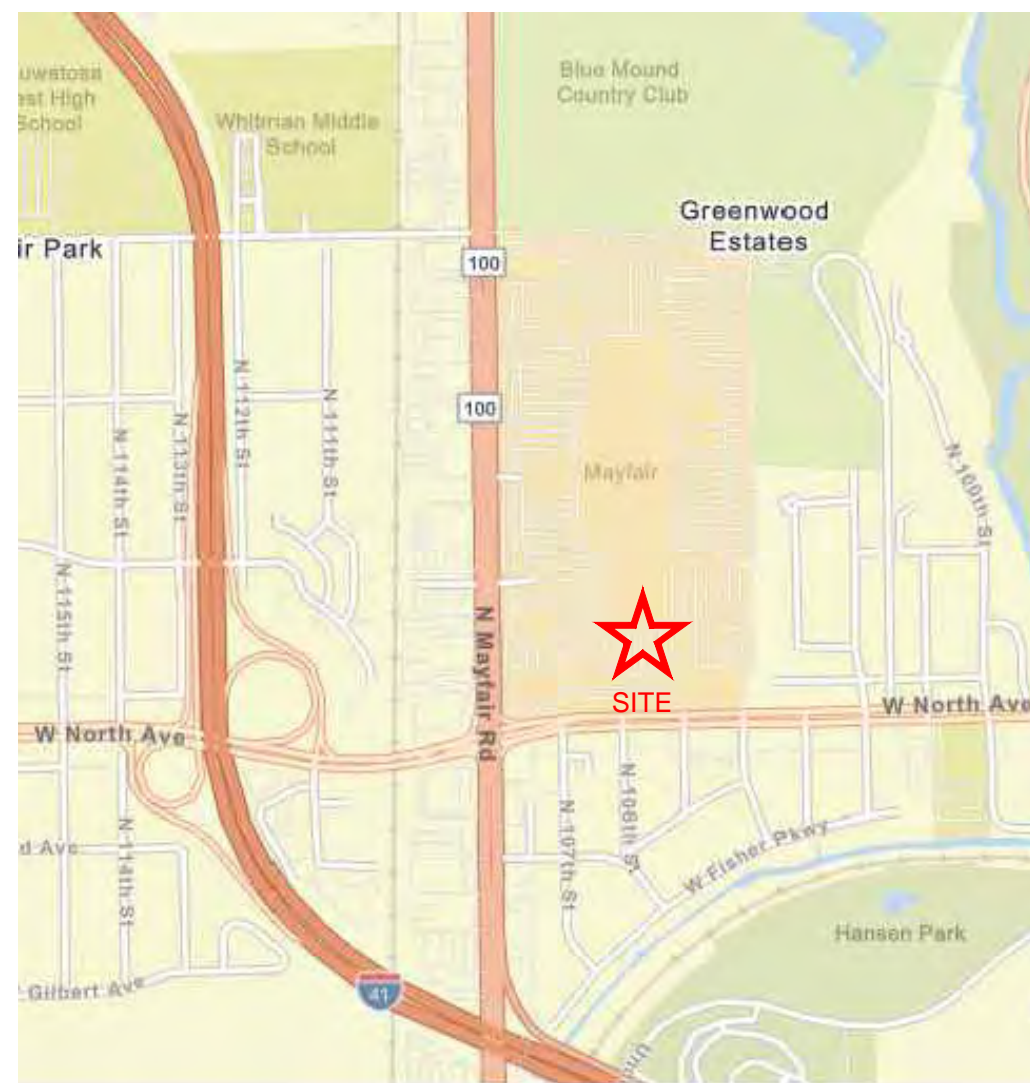


Scale - 1" = 100' - 00"

PROPOSED PARCEL PLAN - ALL PHASES



Scale - 1" = 100' - 00"

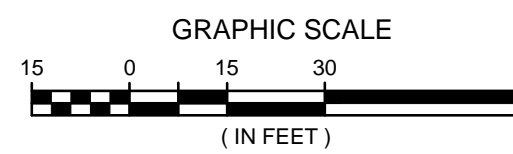


ALTA/NSPS LAND TITLE SURVEY

Lot 2 of CERTIFIED SURVEY MAP NO. 9613 recorded in the Office of the Register of Deeds for Milwaukee County, Wisconsin on November 21, 2024 as Document No. 11466557, Said Certified Survey Map being a redivision of Lots 6 and 7 in Certified Survey Map No. 9575, being part of the Southwest 1/4 of Section 17, Township 7 North, Range 21 East, in the City of Milwaukee, Milwaukee County, Wisconsin.

Property Address: 2400 North Mayfair Road, Wauwatosa, WI
Tax Parcel No. Part of 335-9998-016

Prepared for: Barrett Lo Visionary Development
Survey No. 169502-RMK



LEGEND

○ BOLLARD	○ SANITARY MANHOLE
+ SOIL BORING/MONITORING WELL	▲ SANITARY CLEANOUT OR SEPTIC VENT
▬ FLAGPOLE	● SANITARY INTERCEPTOR MANHOLE
✉ MAILBOX	● MISCELLANEOUS MANHOLE
- SIGN	○ WATER VALVE
☒ AIR CONDITIONER	☒ HYDRANT
☒ CONTROL BOX	○ WATER SERVICE CURB STOP
☒ TRAFFIC SIGNAL	○ WATER MANHOLE
☒ IRRIGATION CONTROL BOX	⬇ WELL
☒ CABLE PEDESTAL	▲ WATER SURFACE
☒ POWER POLE	▲ WETLANDS FLAG
⊥ GUY POLE	▲ MARSH
⊥ LIGHT POLE	▲ CONIFEROUS TREE
▲ SPOT/YARD/PEDESTAL LIGHT	○ DECIDUOUS TREE
⊥ HANDICAPPED PARKING	○ SHRUB
☒ PULL BOX	— EDGE OF TREES
☒ ELECTRIC MANHOLE	— SANITARY SEWER
☒ ELECTRIC PEDESTAL	— STORM SEWER
☒ ELECTRIC METER	— WATERMAIN
☒ ELECTRIC TRANSFORMER	— MARKED GAS MAIN
☒ TELEPHONE MANHOLE	— MARKED ELECTRIC
☒ TELEPHONE PEDESTAL	— OVERHEAD WIRES
☒ UTILITY VAULT	— BUREAU ELEC. SERV.
▲ GAS VALVE	— MARKED TELEPHONE
○ GAS METER	— MARKED CABLE TV LINE
○ STORM MANHOLE	— MARKED FIBER OPTIC
○ ROUND INLET	(P) - UTILITY PER PLAN
☒ SQUARE INLET	— INDICATES EXISTING CONTOUR ELEVATION
⌋ STORM SEWER END SECTION	— INDICATES EXISTING SPOT ELEVATION

A. Basis of Bearings
Bearings are based on THE North line of Lot 1 in Certified Survey Map No. 9575 which bears North 87°53'13" East. Wisconsin State Plane Coordinate System, South Zone (NAD 83/2011).

B. Title Commitment
This survey was prepared based on First American Title Insurance Company National Commercial Services title commitment number NCS-1222412X5-MKE, commitment date December 03, 2024, Revision No. 1 (December 10, 2024), which lists the following easements and/or restrictions from schedule B-II:

1-3, 5, 9, 16. **Visible evidence shown if any.**
4, 6-8, 15, 17-18. **Not survey related.**
10. The public records do not show any legal right of access to or from the Land, and, by reason thereof, the Company does not insure any right of access to and from the Land. **Legal assessment & opinion - not plottable.**

11. Easements, dedications, reservations, provisions, relinquishments, recitals, certificates, and any other matters as provided for or delineated on Certified Survey Map No. 2228; Certified Survey Map No. 3066; Certified Survey Map No. 4004; Certified Survey Map No. 4827 and on Certified Survey Map No. 9575 referenced in the legal description contained herein. **Lies within or crosses the surveyed property - its location is shown.**

12. Reciprocal Easements and Operating Agreement entered into by and between Froedtert-Mayfair, Inc., a Wisconsin corporation and P. A. Bergner & Co. of Illinois, an Illinois corporation dated October 17, 1986 recorded as Document No. 5975279. The rights of Froedtert-Mayfair under said instrument are now held of record by Mayfair Property, Inc., a Delaware corporation as described by Affidavit recorded November 12, 1991 on Reel 2650, Image 528 as Document No. 6541362. Covenants, conditions and restrictions set forth in Warranty Deed executed by Froedtert-Mayfair, Inc., a Wisconsin corporation, and S. D. Realty Company, a Wisconsin corporation, collectively, to P. A. Bergner & Co. of Illinois, an Illinois Corporation, dated October 14, 1986 and recorded October 17, 1986 on Reel 1977, Image 776 as Document No. 5975277. Agreement To (I) Amend Reciprocal Easements and Operating Agreement, and (II) Grant Option to Purchase Real Estate made and entered into by and between Mayfair Property Inc., an Illinois corporation, and P.A. Bergner & Co., an Illinois corporation, dated June 11, 1993 and recorded December 23, 1993, on Reel 3189, Image 666, as Document No. 6876387. Option to purchase as contained therein has expired by its terms. **Lies within or crosses the surveyed property - creates Parking and Access Easements for Mall - see Detail - it is a blanket easement - its location is not shown.**

13. Utility easement granted by K. Evelyn Gilbert to Wisconsin Electric Power Company, its successors and assigns by an instrument dated September 22, 1943 and recorded October 13, 1943 in Volume 1950 of Deeds on Page 329 as Document No. 2451697. Conveyance of Rights in Land recorded November 14, 2022 as Document No. 11299069. **Lies within or crosses the surveyed property - it is a blanket easement - its location is not shown.**

14. Utility Easement granted by S. D. Realty Company to Wisconsin Telephone Company, its successors and assigns by an instrument dated March 7, 1957 and recorded March 11, 1957 in Volume 3678 of Deeds on Page 169 as Document No. 3563582. Conveyance of Rights in Land recorded November 10, 2022 as Document No. 11298329. **Lies within or crosses the surveyed property - its location is shown.**

19. Easements, dedications, reservations, provisions, relinquishments, recitals, certificates, and any other matters as provided for or delineated on Certified Survey Map No. 9613 recorded on November 21, 2024 as Document No. 11466557 referenced in the legal description contained herein. Reference is hereby made to said plat for particulars.

C. Flood Note
According to flood insurance rate map of the City of Wauwatosa, community panel number 55079C0066E, effective date of 9/26/2008, this site falls in zone X (areas determined to be outside the 0.2% annual chance floodplain).

D. Parking Spaces
There are 218 total parking spaces consisting of 218 regular and 0 handicapped parking spaces marked on this site.

E. Municipal Zoning
The zoning information listed is taken from the City of Wauwatosa website - site is zoned General Commercial (C2) with Mayfair Corridor overlay (MAY)

C2
Front setback - 10'
Street side yard setback - 5'
Interior side yard setback - 3'. No side setback is required abutting another C-zoned lot occupied by a building with no side setback along the shared lot line. See Section 24.05.020.C. for Mayfair Corridor Overlay regional mall standards.
Rear yard setback - 10'. See Section 24.05.020.C. for Mayfair Corridor Overlay regional mall standards.
Maximum height - No Maximum

Section 24.05.020.C. Minimum Interior Side Setback and Rear Setback. Parcels associated with a regional mall are allowed 0 feet interior side setback and rear setback for parcel lines not adjacent to R-zoned property. When adjacent to R-zoned property, the minimum interior side setback and rear setback is 15 feet for buildings 50 feet in height and below, 25 feet for buildings 51 feet to 100 feet, and 50 feet for buildings 101 feet and above.

There is no visible evidence of recent earth moving work, building construction or building additions observed in the process of conducting the fieldwork.

There are no proposed changes in street right of way lines, if such information is made available to the surveyor by the controlling jurisdiction or observed in the process of conducting the fieldwork.

There is no visible evidence of recent street or sidewalk construction or repairs observed in the process of conducting the fieldwork.

The Surveyed property has access to N. Mayfair Road and W. North Ave through access easements per document 5975279 (exception 12).

Table A, Item 13, adjoining owners are not available on Milwaukee County GIS tax records.

To: Barrett Lo Visionary Development;
Department of Housing and Urban Development ("HUD");
First American Title Insurance Company National Commercial Services.

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS and includes items 1, 2, 3, 4, 6(a), 6(b), 7(a), 8, 9, 10, 11(a), 12, 13, 16, 17 & 18 of Table A thereof. The fieldwork was completed on October 2, 2024

Date of Plat or Map: October 2, 2024
Revision to Map: July 15, 2025

I CERTIFY, that this survey was prepared under my supervision and is correct to the best of my professional knowledge and belief and complies with Chapter A-E 7 of the Wisconsin Administrative Code.

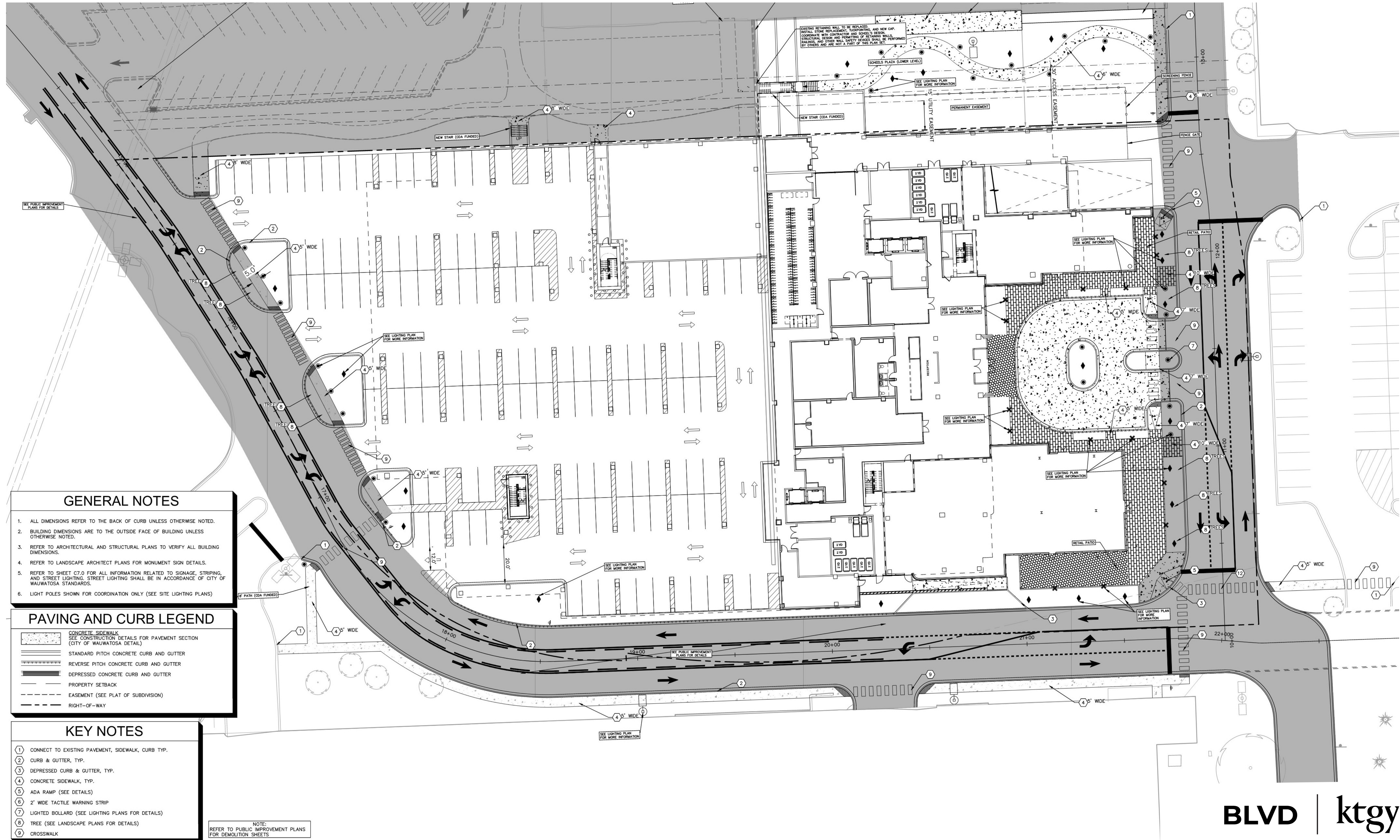


John P. Casucci
Professional Land Surveyor
Registration Number S-2055
john.casucci@rasmith.com



16745 W. Bluemound Road
Brookfield, WI 53005-5938
(262) 781-1000
rasmith.com

PHASE A - SITE PLAN

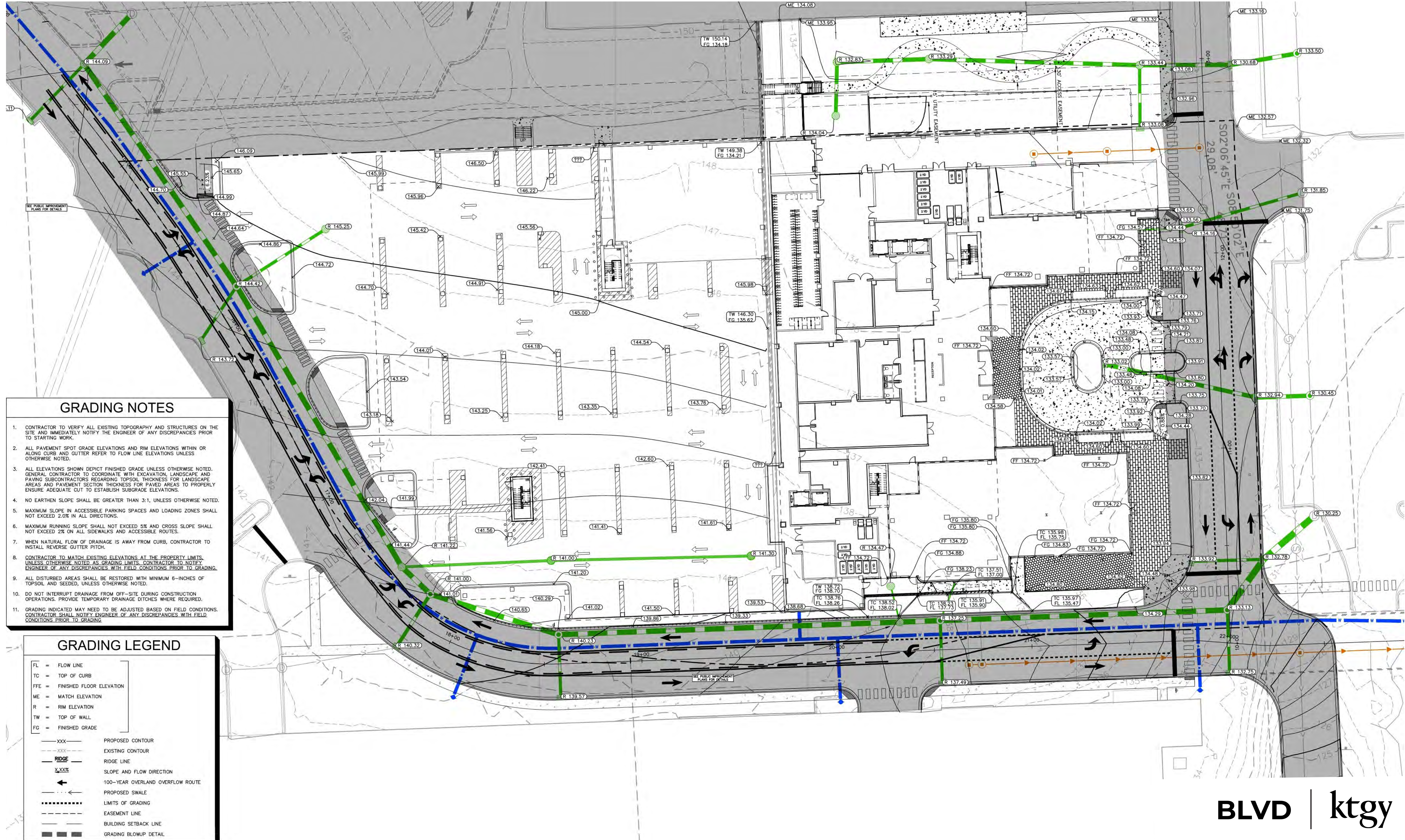


- ### GENERAL NOTES
1. ALL DIMENSIONS REFER TO THE BACK OF CURB UNLESS OTHERWISE NOTED.
 2. BUILDING DIMENSIONS ARE TO THE OUTSIDE FACE OF BUILDING UNLESS OTHERWISE NOTED.
 3. REFER TO ARCHITECTURAL AND STRUCTURAL PLANS TO VERIFY ALL BUILDING DIMENSIONS.
 4. REFER TO LANDSCAPE ARCHITECT PLANS FOR MONUMENT SIGN DETAILS.
 5. REFER TO SHEET C7.0 FOR ALL INFORMATION RELATED TO SIGNAGE, STRIPING, AND STREET LIGHTING. STREET LIGHTING SHALL BE IN ACCORDANCE OF CITY OF WAUWATOSA STANDARDS.
 6. LIGHT POLES SHOWN FOR COORDINATION ONLY (SEE SITE LIGHTING PLANS)

- ### PAVING AND CURB LEGEND
- CONCRETE SIDEWALK
SEE CONSTRUCTION DETAILS FOR PAVEMENT SECTION (CITY OF WAUWATOSA DETAIL)
 - STANDARD PITCH CONCRETE CURB AND GUTTER
 - REVERSE PITCH CONCRETE CURB AND GUTTER
 - DEPRESSED CONCRETE CURB AND GUTTER
 - PROPERTY SETBACK
 - EASEMENT (SEE PLAT OF SUBDIVISION)
 - RIGHT-OF-WAY

- ### KEY NOTES
- ① CONNECT TO EXISTING PAVEMENT, SIDEWALK, CURB TYP.
 - ② CURB & GUTTER, TYP.
 - ③ DEPRESSED CURB & GUTTER, TYP.
 - ④ CONCRETE SIDEWALK, TYP.
 - ⑤ ADA RAMP (SEE DETAILS)
 - ⑥ 2' WIDE TACTILE WARNING STRIP
 - ⑦ LIGHTED BOLLARD (SEE LIGHTING PLANS FOR DETAILS)
 - ⑧ TREE (SEE LANDSCAPE PLANS FOR DETAILS)
 - ⑨ CROSSWALK
- NOTE:
REFER TO PUBLIC IMPROVEMENT PLANS FOR DEMOLITION SHEETS

PHASE A - GRADING PLAN

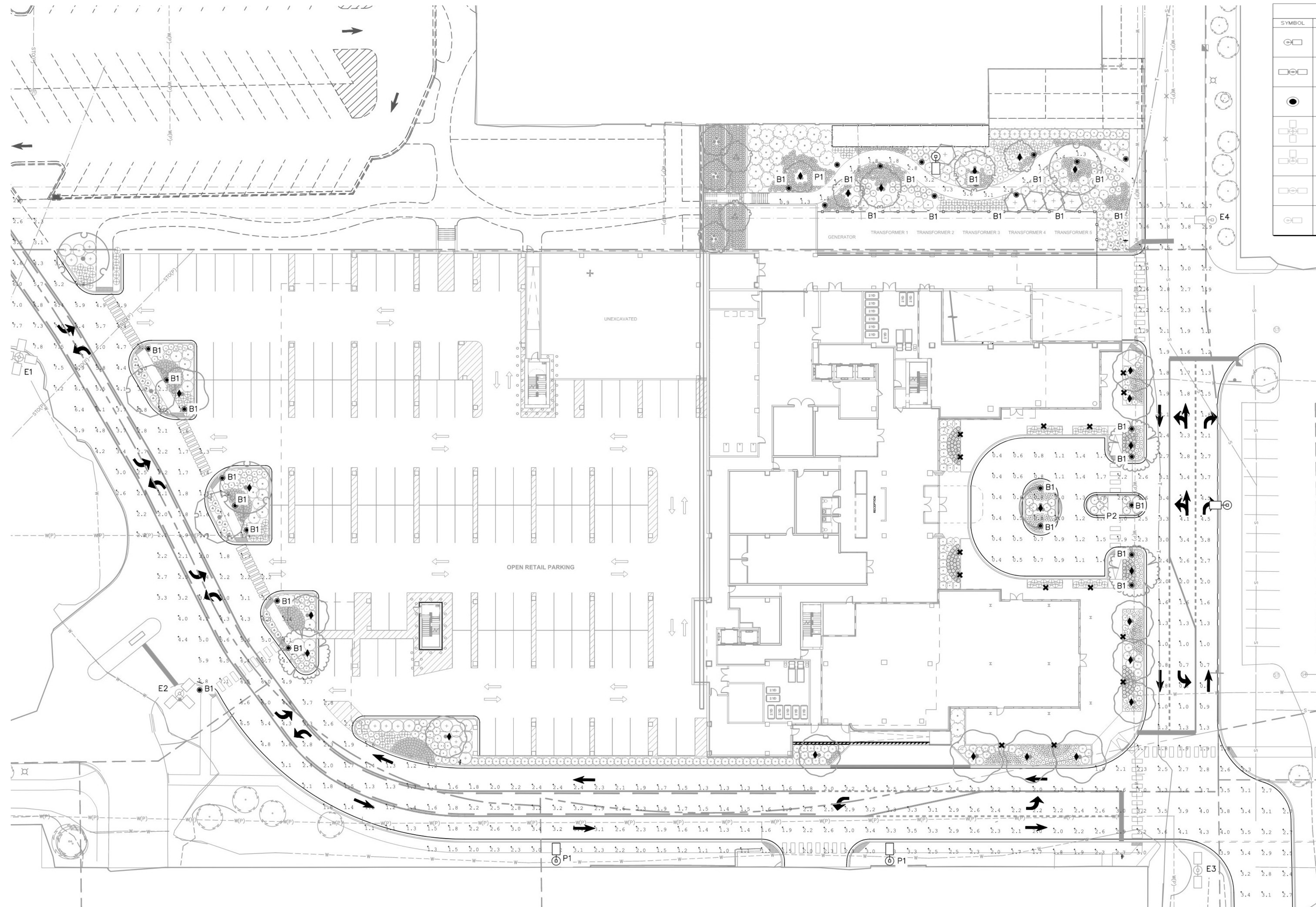


- ### GRADING NOTES
1. CONTRACTOR TO VERIFY ALL EXISTING TOPOGRAPHY AND STRUCTURES ON THE SITE AND IMMEDIATELY NOTIFY THE ENGINEER OF ANY DISCREPANCIES PRIOR TO STARTING WORK.
 2. ALL PAVEMENT SPOT GRADE ELEVATIONS AND RIM ELEVATIONS WITHIN OR ALONG CURB AND GUTTER REFER TO FLOW LINE ELEVATIONS UNLESS OTHERWISE NOTED.
 3. ALL ELEVATIONS SHOWN DEPICT FINISHED GRADE UNLESS OTHERWISE NOTED. GENERAL CONTRACTOR TO COORDINATE WITH EXCAVATION, LANDSCAPE AND PAVING SUBCONTRACTORS REGARDING TOPSOIL THICKNESS FOR LANDSCAPE AREAS AND PAVEMENT SECTION THICKNESS FOR PAVED AREAS TO PROPERLY ENSURE ADEQUATE CUT TO ESTABLISH SUBGRADE ELEVATIONS.
 4. NO EARTHEN SLOPE SHALL BE GREATER THAN 3:1, UNLESS OTHERWISE NOTED.
 5. MAXIMUM SLOPE IN ACCESSIBLE PARKING SPACES AND LOADING ZONES SHALL NOT EXCEED 2.0% IN ALL DIRECTIONS.
 6. MAXIMUM RUNNING SLOPE SHALL NOT EXCEED 5% AND CROSS SLOPE SHALL NOT EXCEED 2% ON ALL SIDEWALKS AND ACCESSIBLE ROUTES.
 7. WHEN NATURAL FLOW OF DRAINAGE IS AWAY FROM CURB, CONTRACTOR TO INSTALL REVERSE GUTTER PITCH.
 8. CONTRACTOR TO MATCH EXISTING ELEVATIONS AT THE PROPERTY LIMITS, UNLESS OTHERWISE NOTED AS GRADING LIMITS. CONTRACTOR TO NOTIFY ENGINEER OF ANY DISCREPANCIES WITH FIELD CONDITIONS PRIOR TO GRADING.
 9. ALL DISTURBED AREAS SHALL BE RESTORED WITH MINIMUM 6-INCHES OF TOPSOIL AND SEEDED, UNLESS OTHERWISE NOTED.
 10. DO NOT INTERRUPT DRAINAGE FROM OFF-SITE DURING CONSTRUCTION OPERATIONS. PROVIDE TEMPORARY DRAINAGE DITCHES WHERE REQUIRED.
 11. GRADING INDICATED MAY NEED TO BE ADJUSTED BASED ON FIELD CONDITIONS. CONTRACTOR SHALL NOTIFY ENGINEER OF ANY DISCREPANCIES WITH FIELD CONDITIONS PRIOR TO GRADING.

GRADING LEGEND

FL	=	FLOW LINE
TC	=	TOP OF CURB
FFE	=	FINISHED FLOOR ELEVATION
ME	=	MATCH ELEVATION
R	=	RIM ELEVATION
TW	=	TOP OF WALL
FG	=	FINISHED GRADE
---	XXX	PROPOSED CONTOUR
---	---	EXISTING CONTOUR
---	---	RIDGE LINE
---	---	SLOPE AND FLOW DIRECTION
---	---	100-YEAR OVERLAND OVERFLOW ROUTE
---	---	PROPOSED SWALE
---	---	LIMITS OF GRADING
---	---	EASEMENT LINE
---	---	BUILDING SETBACK LINE
---	---	GRADING BLOWUP DETAIL

PHASE A - PHOTOMETRICS & LIGHTING



LIGHT FIXTURE SCHEDULE								
SYMBOL	TAG	LABEL	MANUFACTURER	LLF	LUMENS	WATTAGE	COLOR	DESCRIPTION
	P1	DSX2-LED-P3-30K-70CRI-T2M-MVOLT	LITHONIA LIGHTING	0.9	27,908	219W	3000K	SINGLE LUMINAIRE POLE MOUNTED AT 25' AFG INCLUDING FOUNDATION. COORDINATE FIXTURE FINISHES WITH OWNER PRIOR TO PROCUREMENT.
	P2	DSX2-LED-P3-30K-70CRI-T2M-MVOLT	LITHONIA LIGHTING	0.9	55,816	438W	3000K	BACK-TO-BACK LUMINAIRES POLE MOUNTED AT 25' AFG INCLUDING FOUNDATION. COORDINATE FIXTURE FINISHES WITH OWNER PRIOR TO PROCUREMENT.
	B1	BE_84424K3	BEGA	0.9	169	7.9W	3000K	BOLLARD LUMINAIRE MOUNTED AT 2.5' AFG. COORDINATE FIXTURE FINISHES WITH OWNER PRIOR TO PROCUREMENT.
	E1	GL4C-38H-3RM-730	SOLAIS/ENERGY LITE	0.9	148,984	1032W	3000K	FOUR EXISTING LUMINAIRES POLE MOUNTED AT 55' AFG INCLUDING FOUNDATION. LUMINAIRE COLOR, TEMPERATURE AND LUMEN PACKAGE ARE ASSUMED.
	E2	GL4C-38H-3RM-730	SOLAIS/ENERGY LITE	0.9	111,738	774W	3000K	THREE EXISTING LUMINAIRES POLE MOUNTED AT 55' AFG INCLUDING FOUNDATION. LUMINAIRE COLOR, TEMPERATURE AND LUMEN PACKAGE ARE ASSUMED.
	E3	GL4C-38H-3RM-730	SOLAIS/ENERGY LITE	0.9	74,492	516W	3000K	TWO EXISTING LUMINAIRES POLE MOUNTED AT 55' AFG INCLUDING FOUNDATION. LUMINAIRE COLOR, TEMPERATURE AND LUMEN PACKAGE ARE ASSUMED.
	E4	GL4C-38H-3RM-730	SOLAIS/ENERGY LITE	0.9	37,246	258W	3000K	SINGLE EXISTING LUMINAIRE POLE MOUNTED AT 55' AFG INCLUDING FOUNDATION. LUMINAIRE COLOR, TEMPERATURE AND LUMEN PACKAGE ARE ASSUMED.

EXISTING SITE PHOTOS



VIEW FROM SOUTH



VIEW FROM SOUTHEAST



VIEW FROM WEST



VIEW FROM NORTHWEST

South Building (B2)
15 floors, 159'-4" tall
186 units
19 units per floor typ

North Building (B1)
19 floors, 198'-0" tall
276 units
20 units per floor typ

South Retail

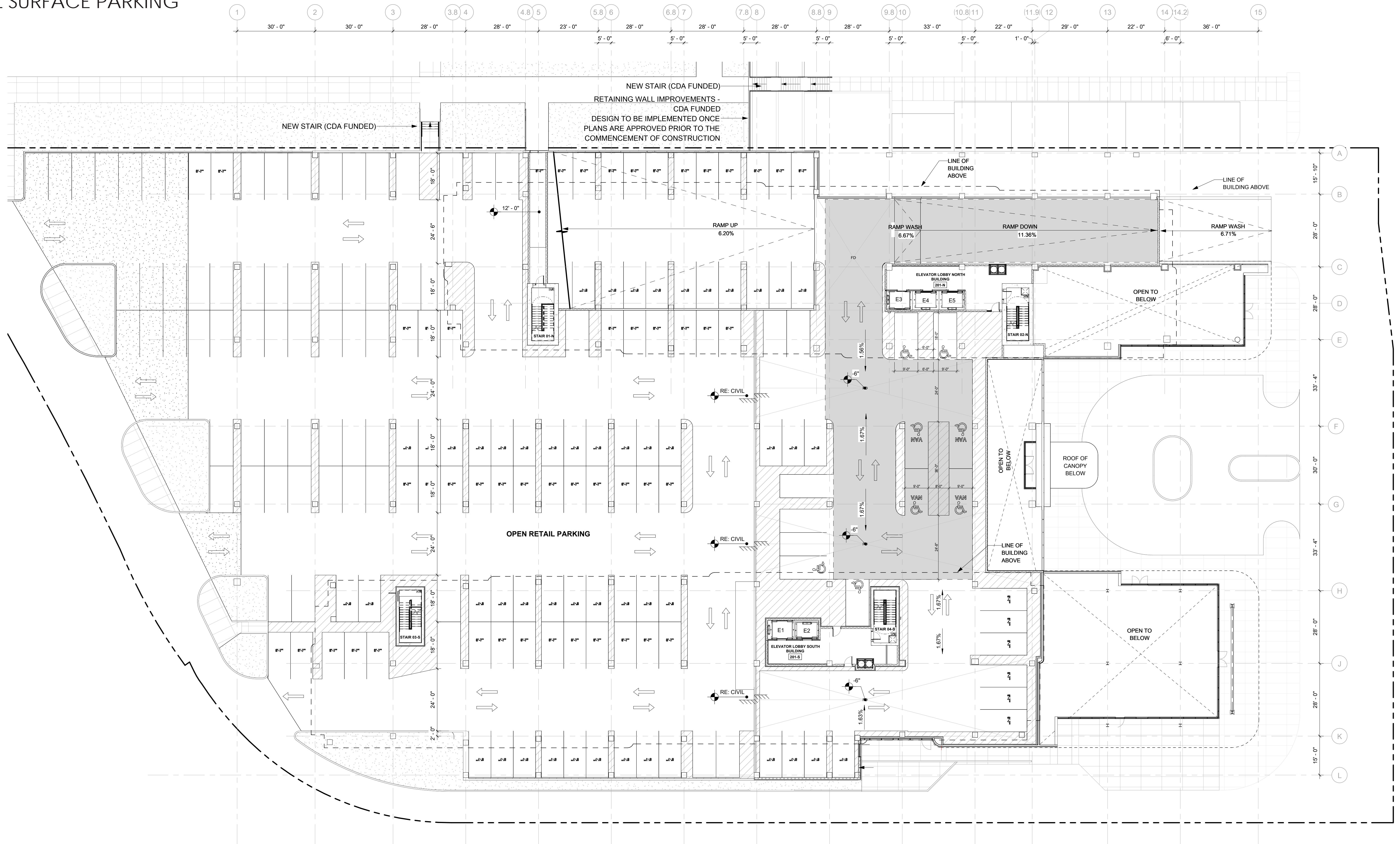
North Retail

Residential Courtyard



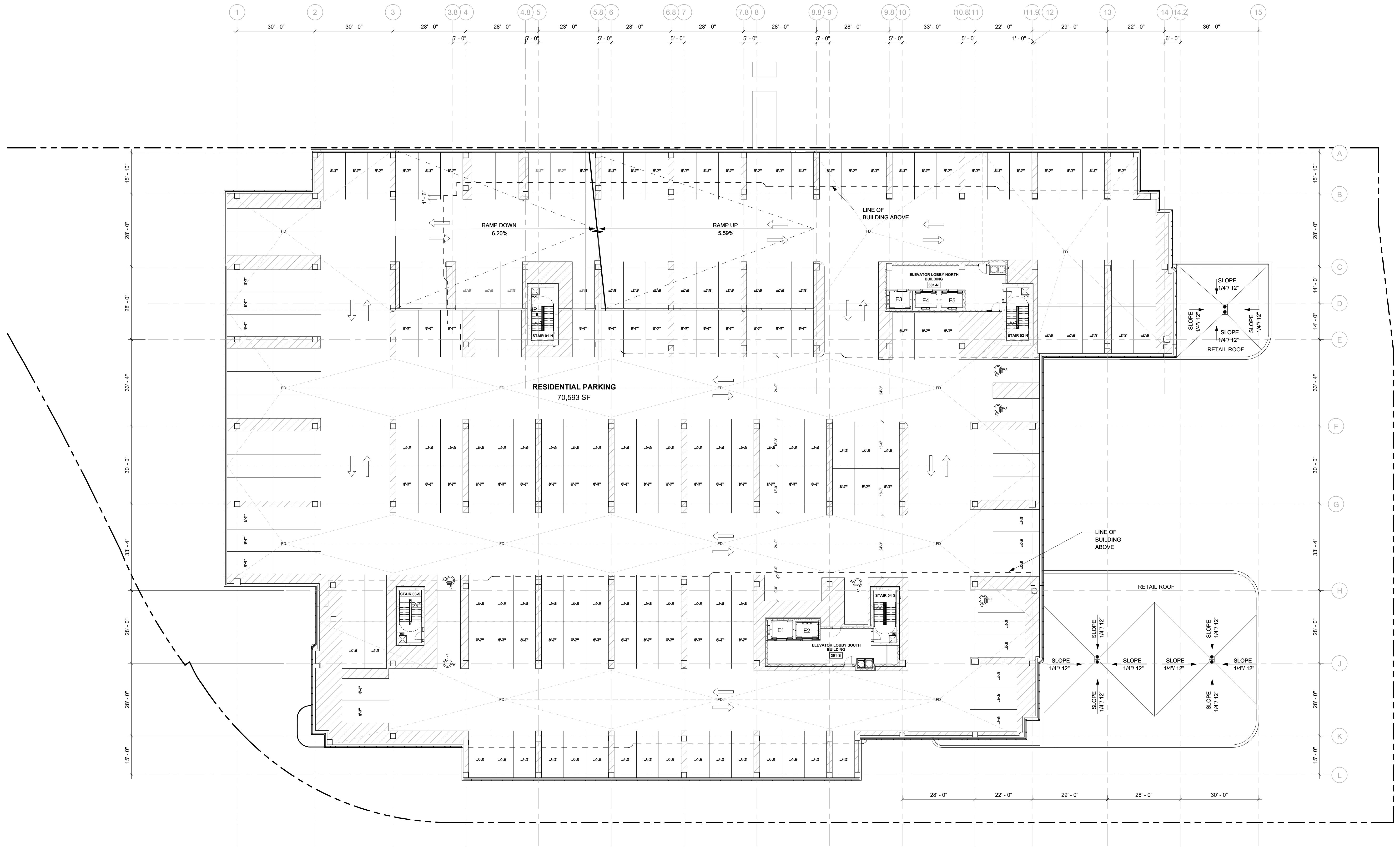
View of South Retail

LEVEL TWO FLOOR PLAN
RESIDENTIAL PARKING LEVEL
RETAIL SURFACE PARKING



Scale - 1/16" = 1' - 00"

LEVEL THREE - FIVE
TYPICAL RESIDENTIAL PARKING LEVEL

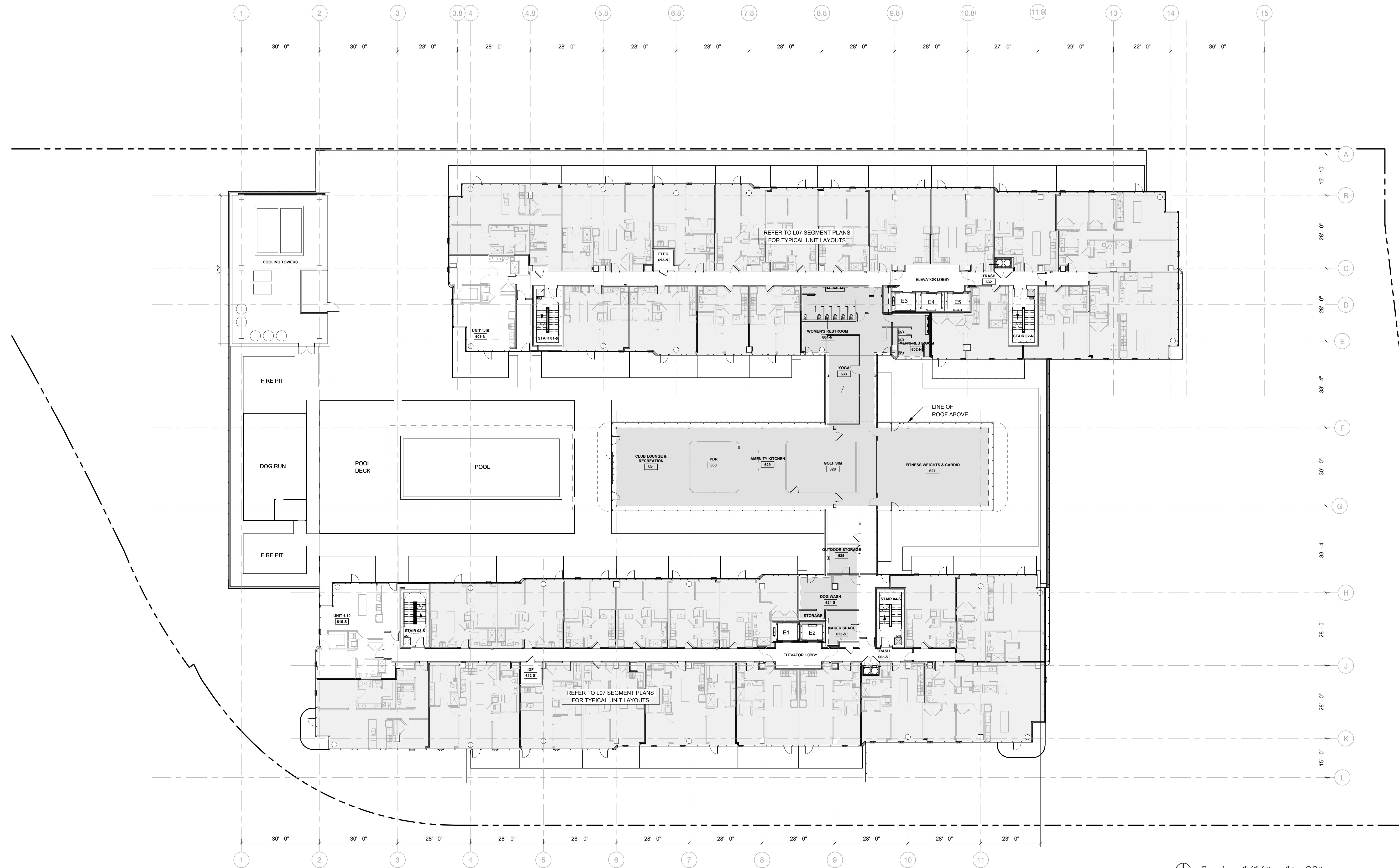


Scale - 1/16" = 1' - 00"



View from Southwest

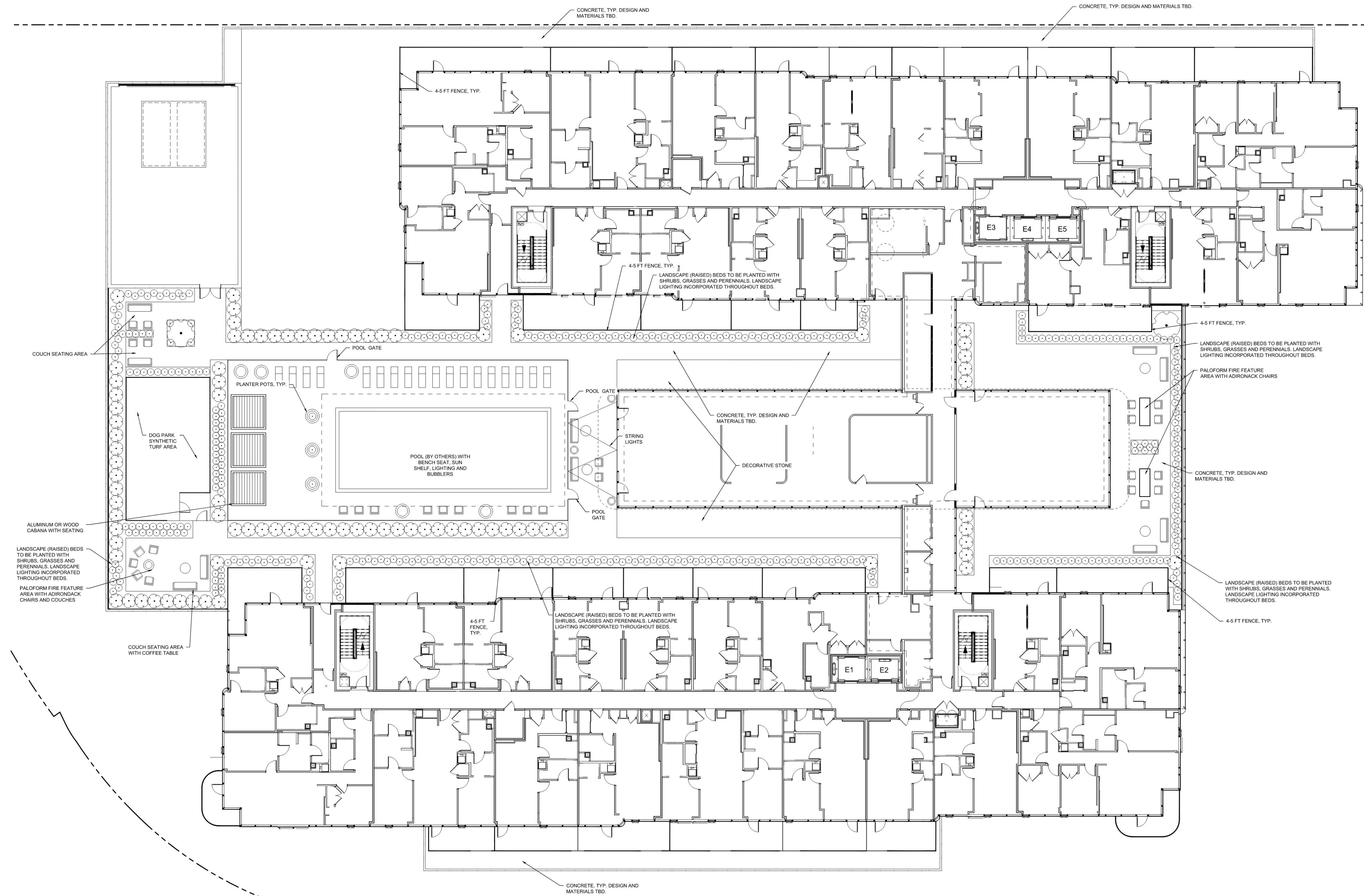
LEVEL SIX RESIDENTIAL AMENITY FLOOR



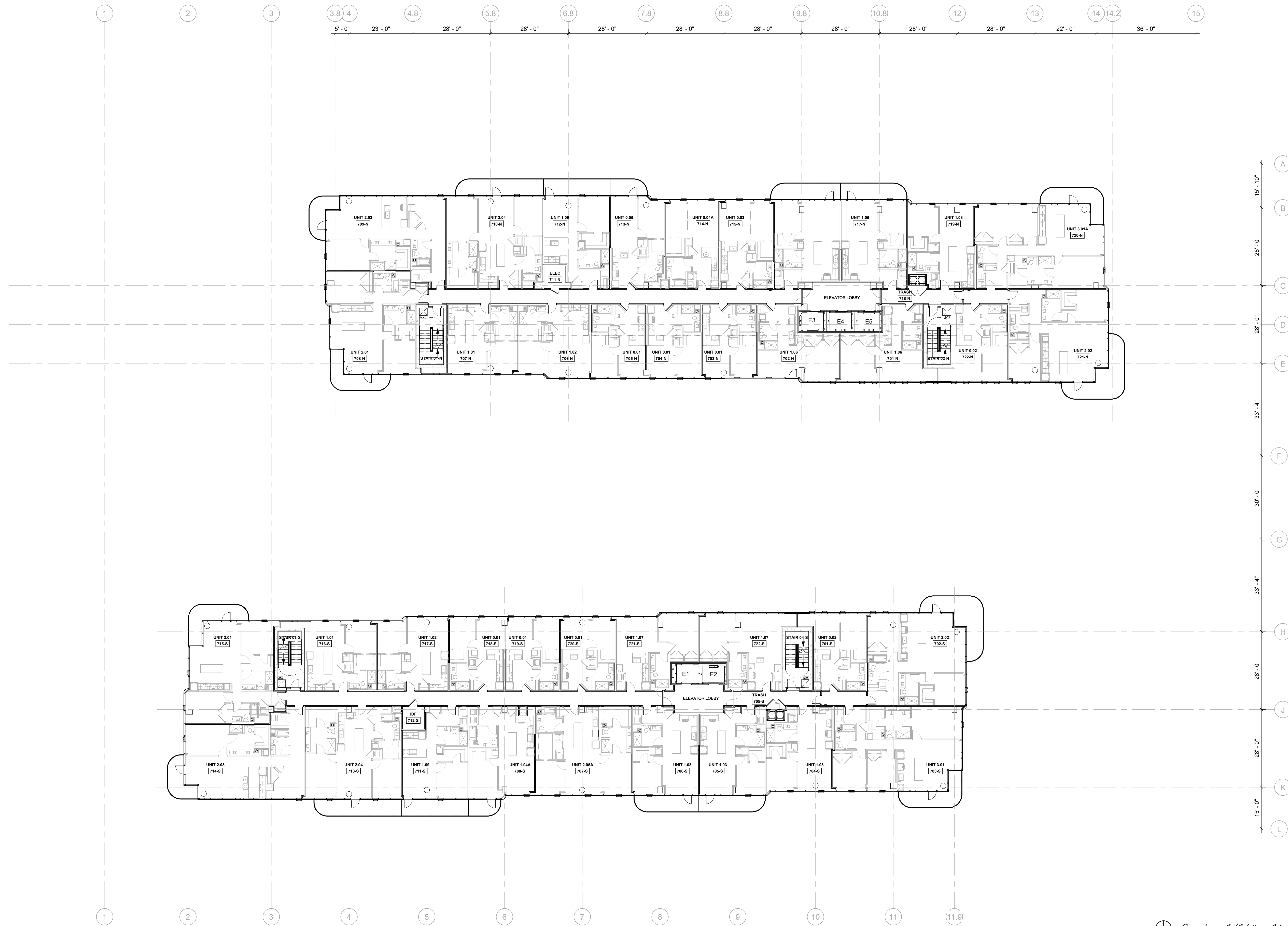
Scale - 1/16" = 1' - 00"

AMENITY METRICS
 +/- 6,000 sf of Amenity
 +/- 13,000 sf of outdoor amenity

LEVEL SIX
RESIDENTIAL AMENITY FLOOR



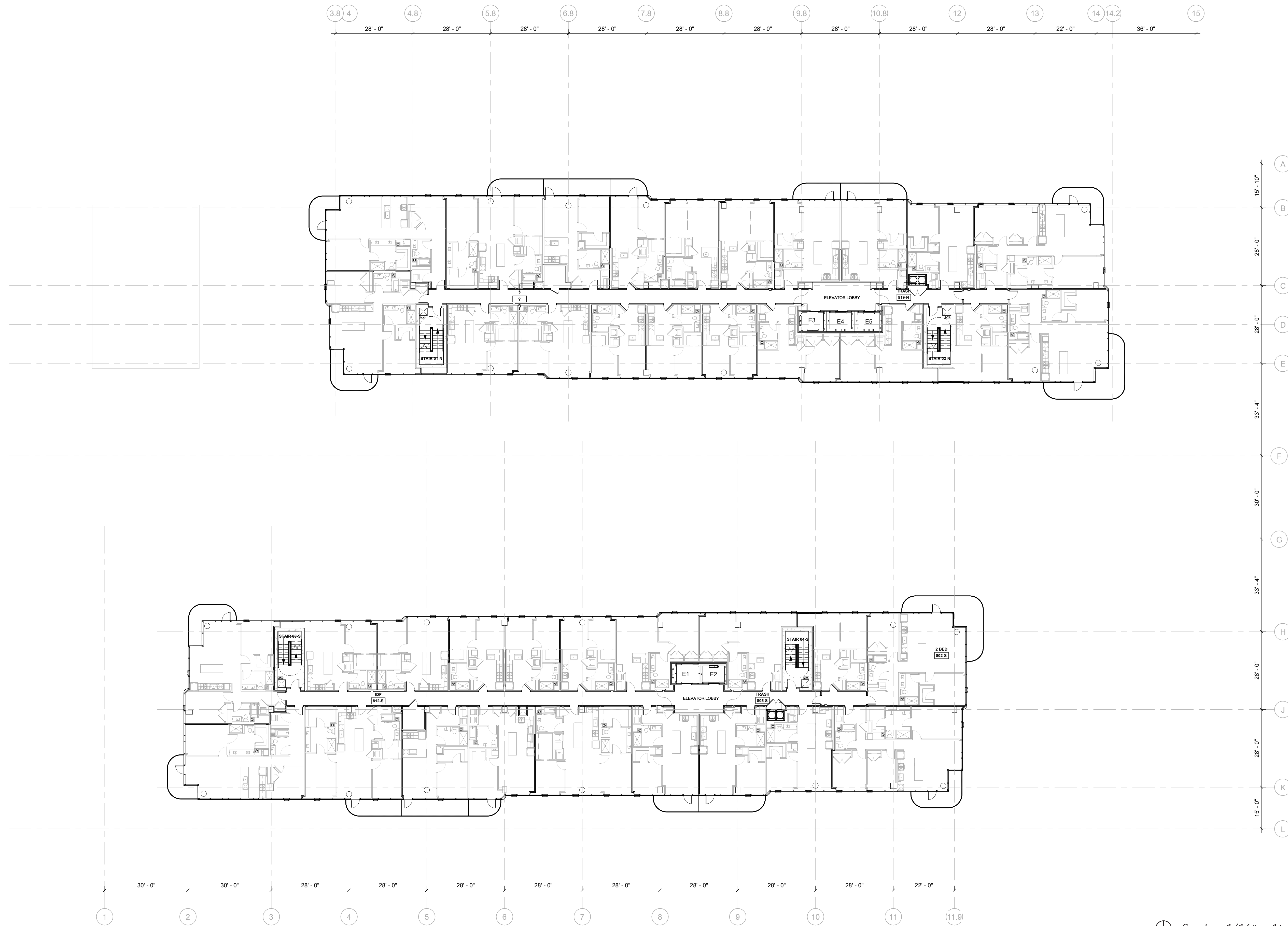
TYPICAL RESIDENTIAL LEVEL - A



Scale - 1/16" = 1' - 00"

20 Units Per Floor North Tower
19 Units Per Floor South Tower

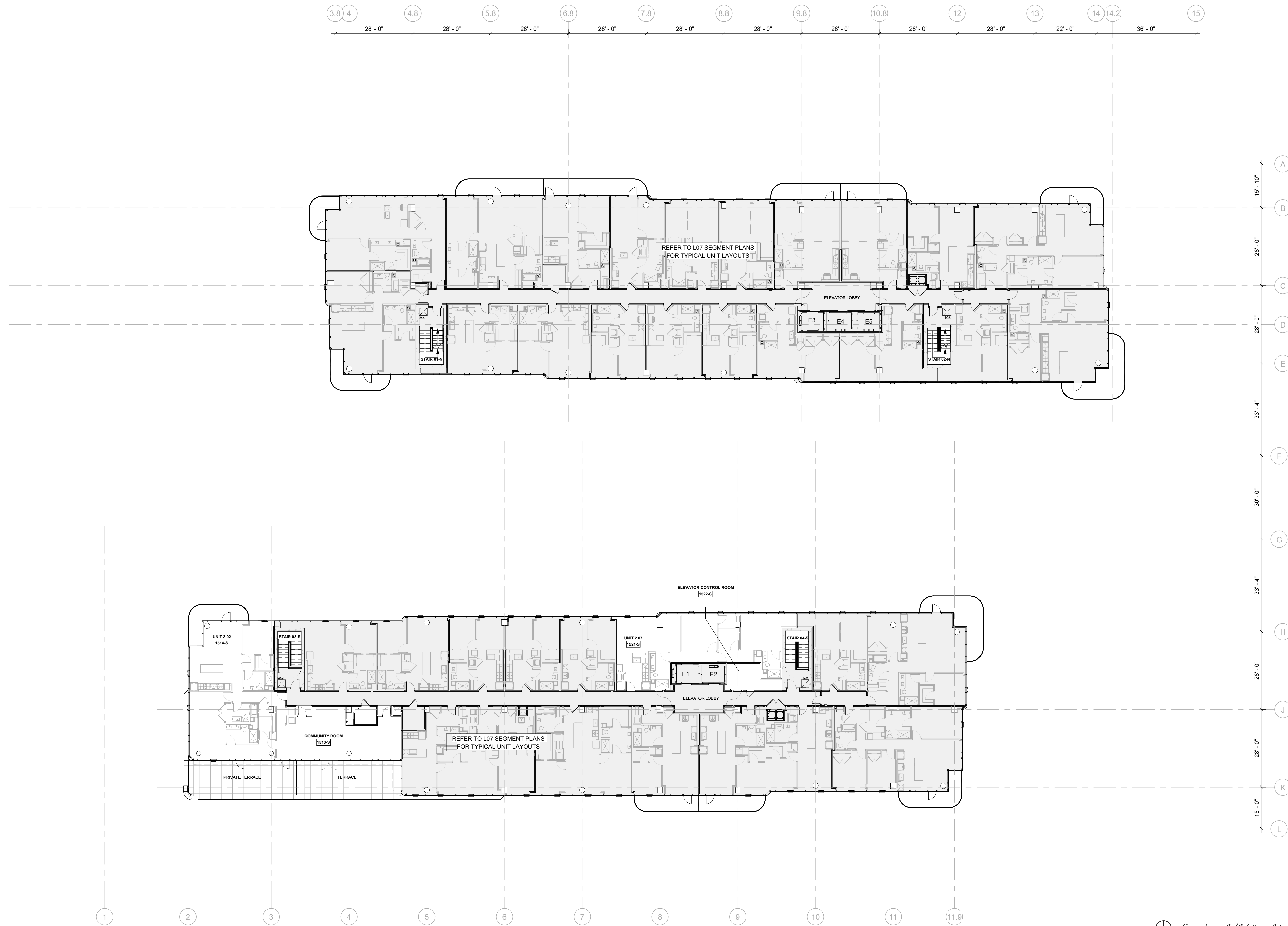
TYPICAL RESIDENTIAL LEVEL - B



Scale - 1/16" = 1' - 00"

20 Units Per Floor North Tower
19 Units Per Floor South Tower

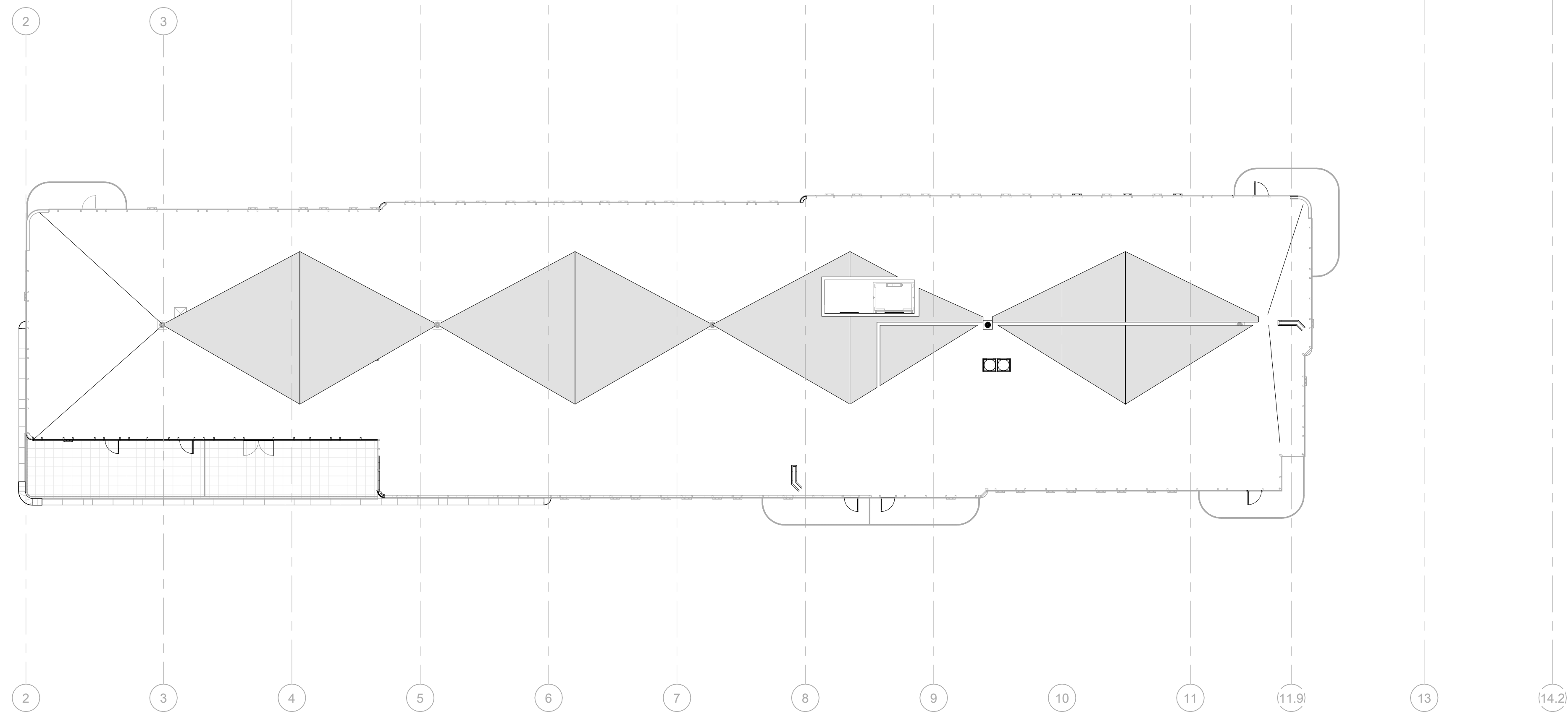
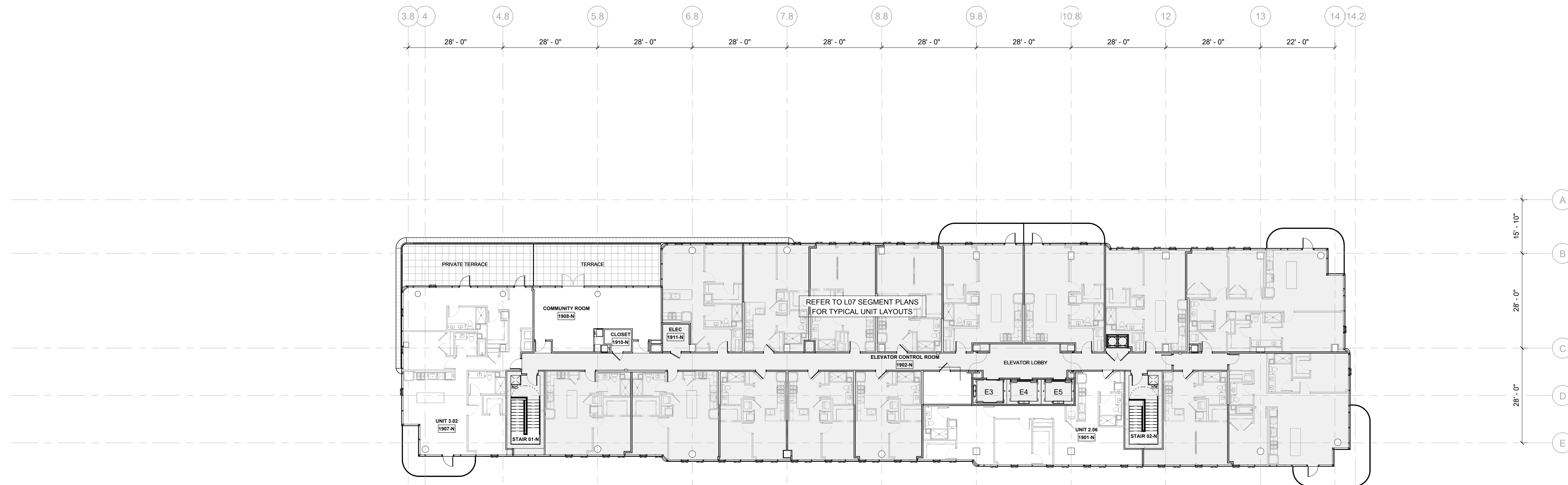
LEVEL FIFTEEN
SOUTH TOWER RESIDENTIAL PENTHOUSE



Scale - 1/16" = 1' - 00"

20 Units Per Floor North Tower
17 Units Per Floor South Tower

LEVEL NINETEEN
NORTH TOWER RESIDENTIAL PENTHOUSE



Scale - 1/16" = 1' - 00"

18 Units Per Floor North Tower



View of Residential Balconies

OVERALL EAST ELEVATION



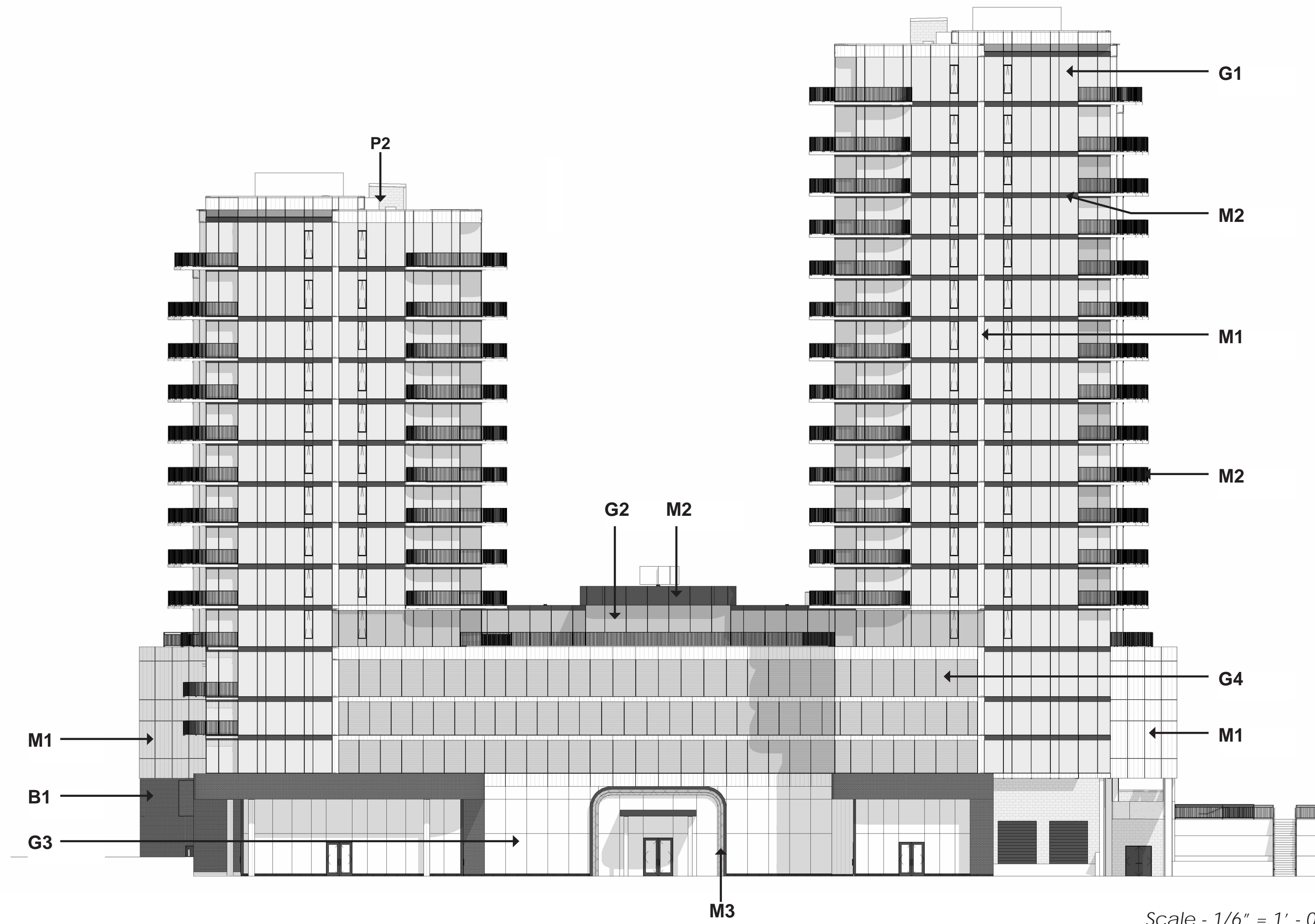
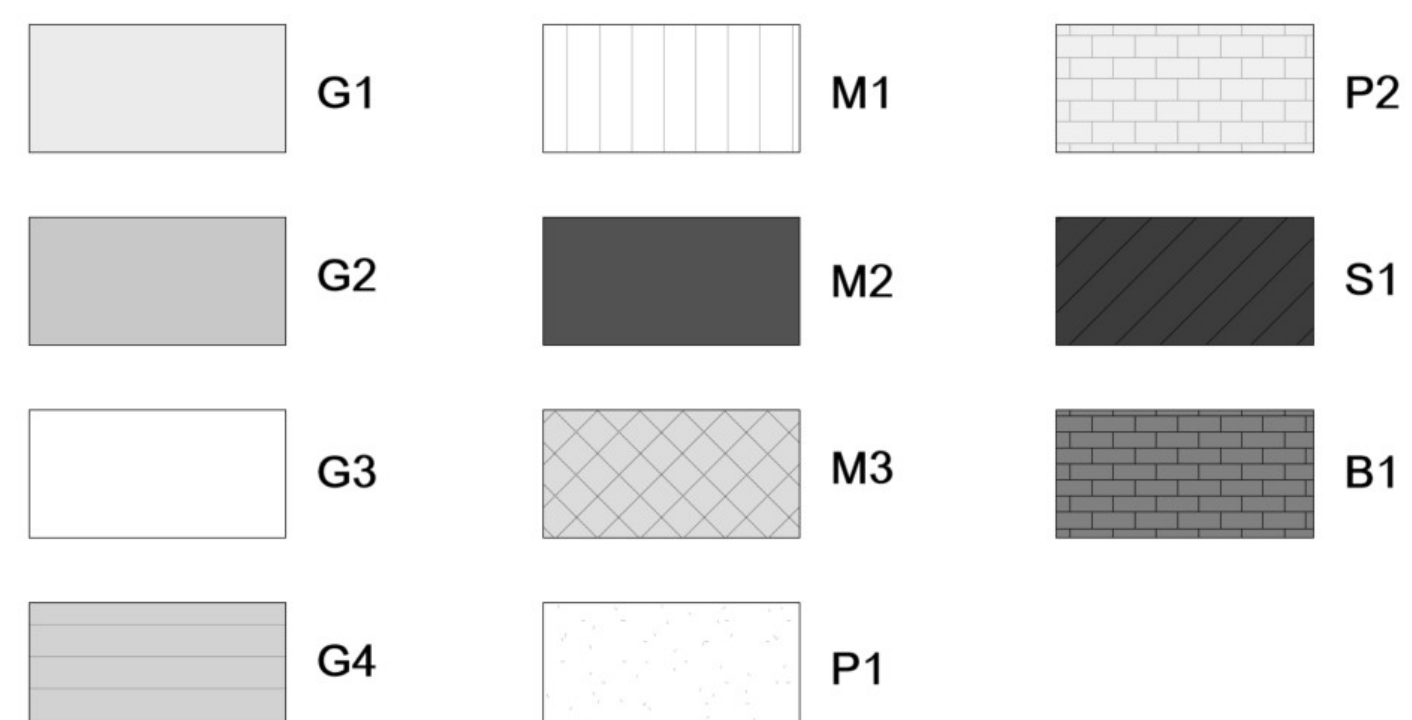
Scale - 1/6" = 1' - 0"

OVERALL EAST ELEVATION

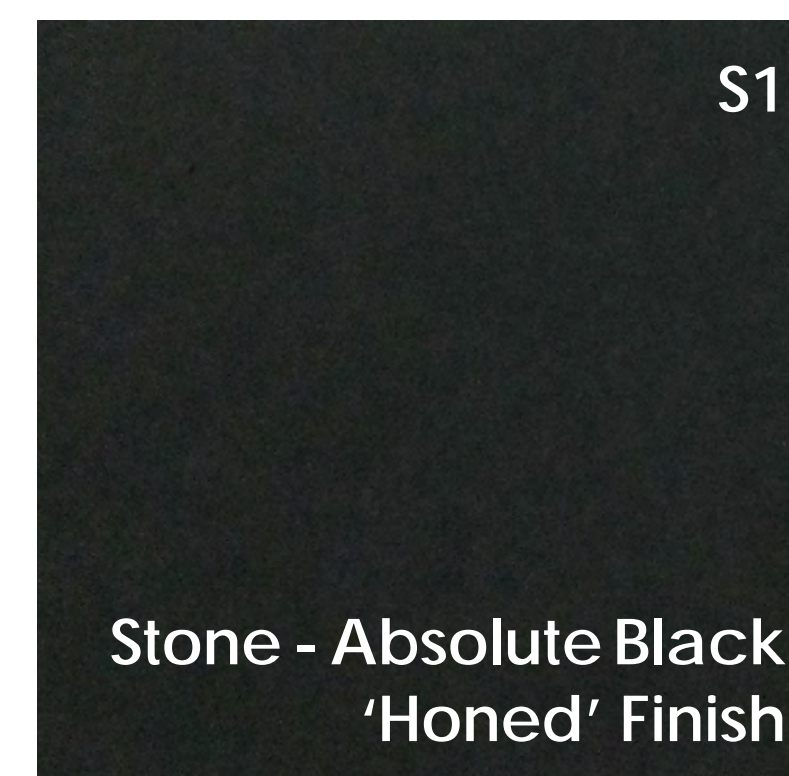
Metal Materials



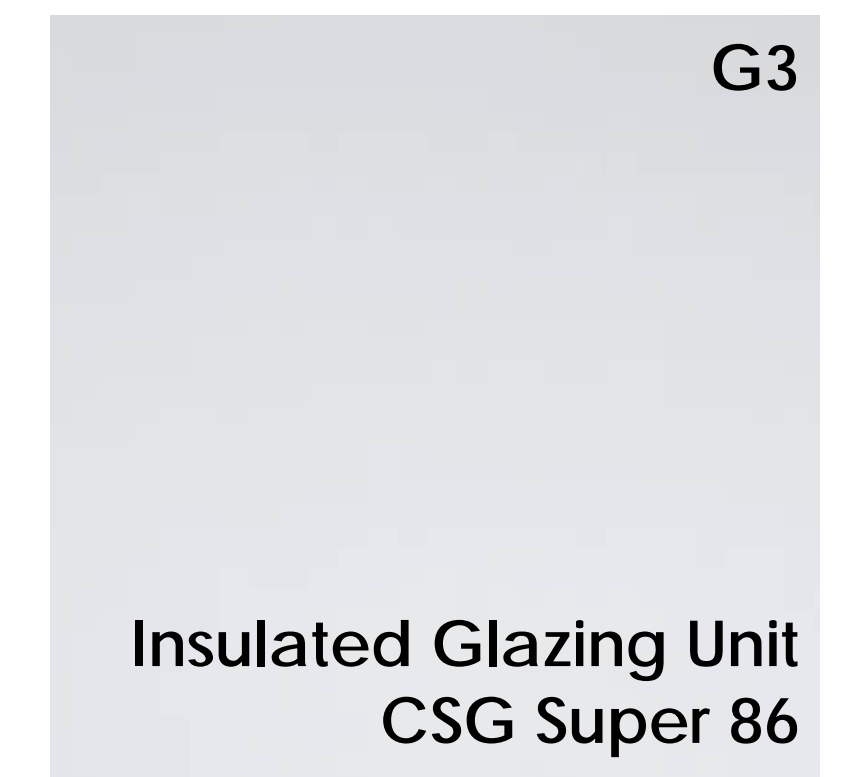
MATERIAL LEGEND:



Other Materials



Glass Materials



OVERALL SOUTH ELEVATION

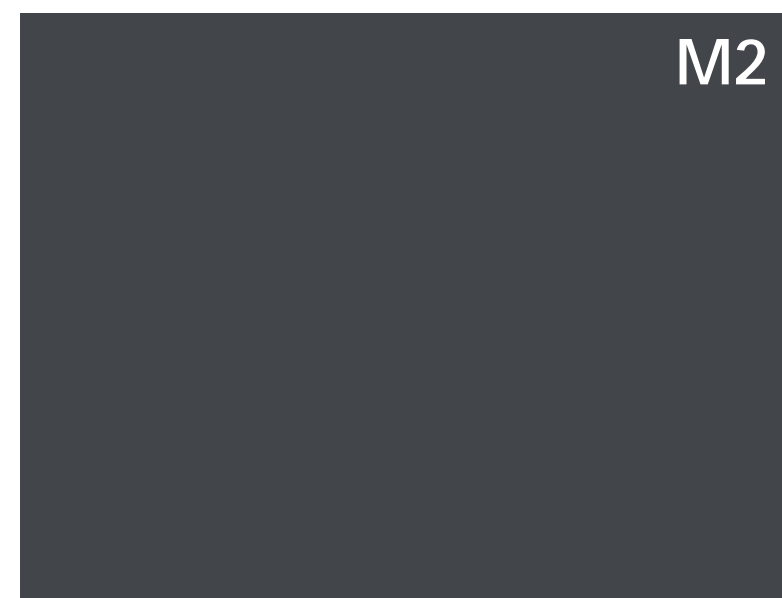
Metal Materials

M1



Metal - Bone White
UC43359 Color Match

M2



Metal - Graphite Gray
UC110628F Color Match

M3



Metal - Anodic Bronze
UC126180F Color Match

Glass Materials

G1



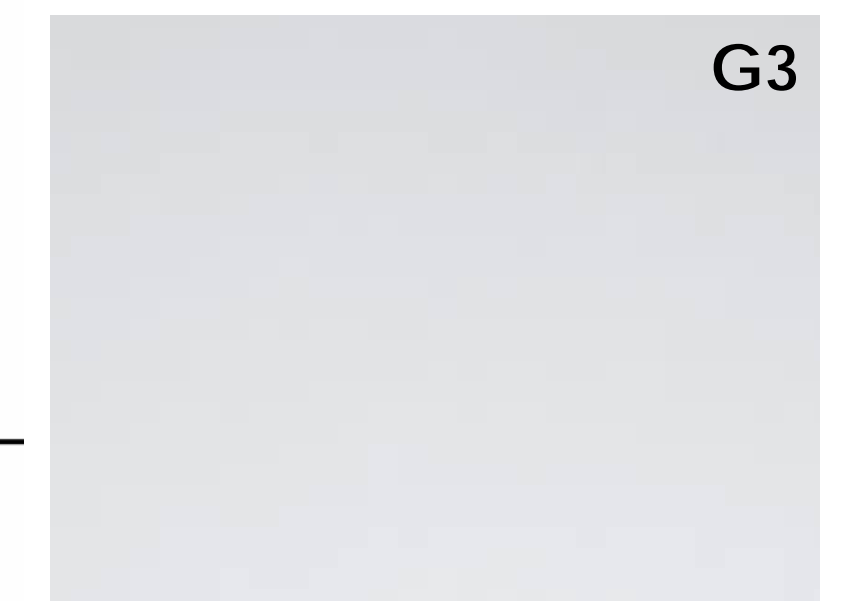
Insulated Glazing Unit
CSG LB51

G2



Insulated Glazing Unit
CSG SJ79

G3

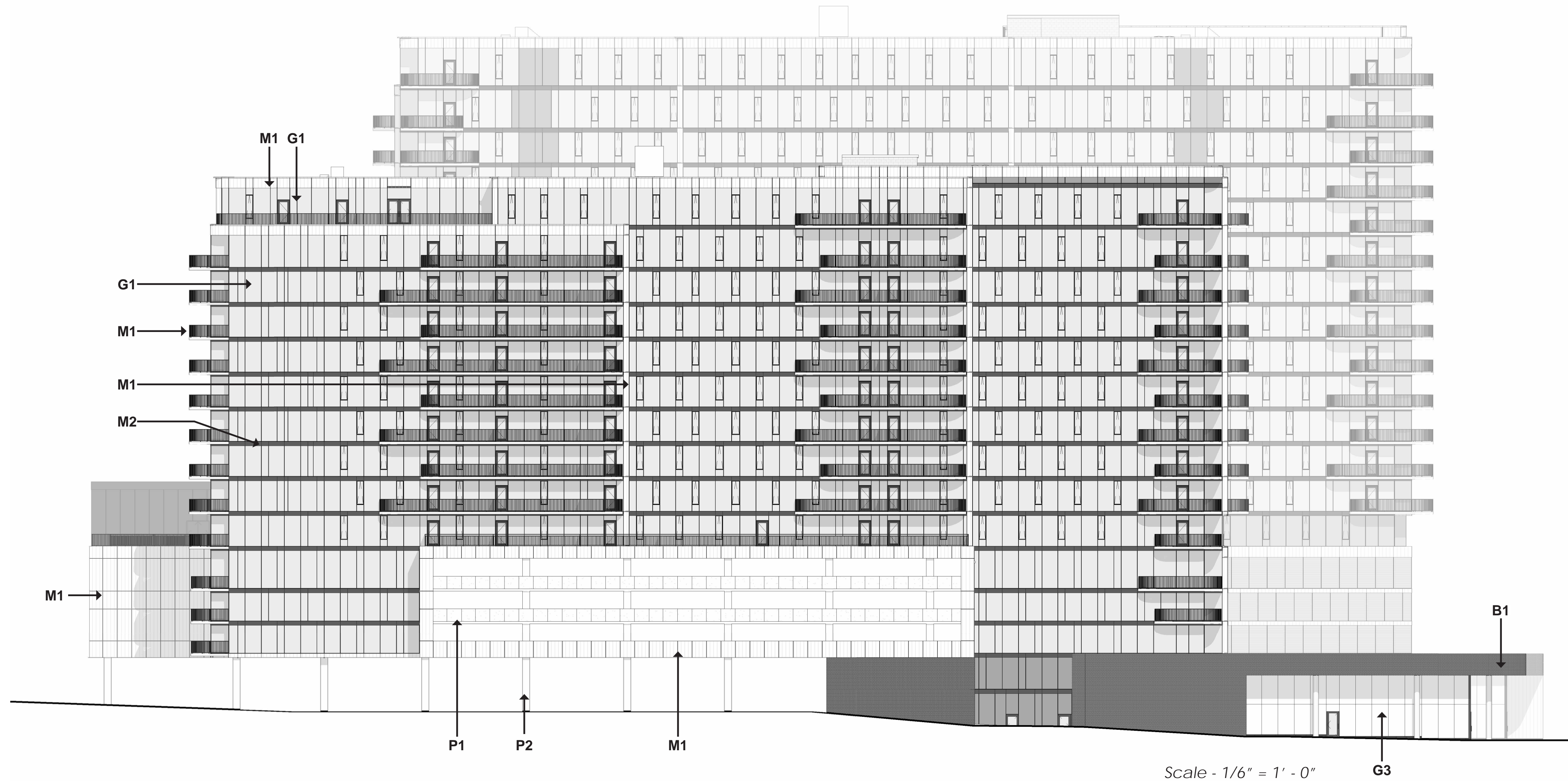


Insulated Glazing Unit
CSG Super 86









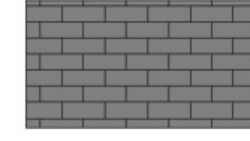
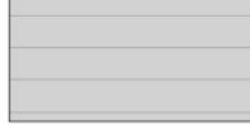

G4



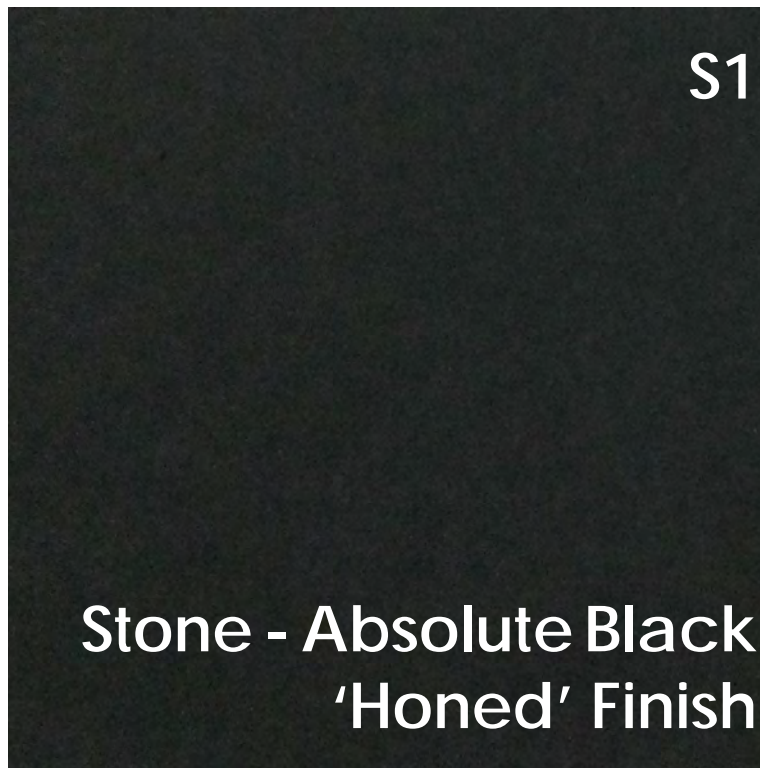



Insulated Glazing Unit
CSG LB51 w/ frit



MATERIAL LEGEND:

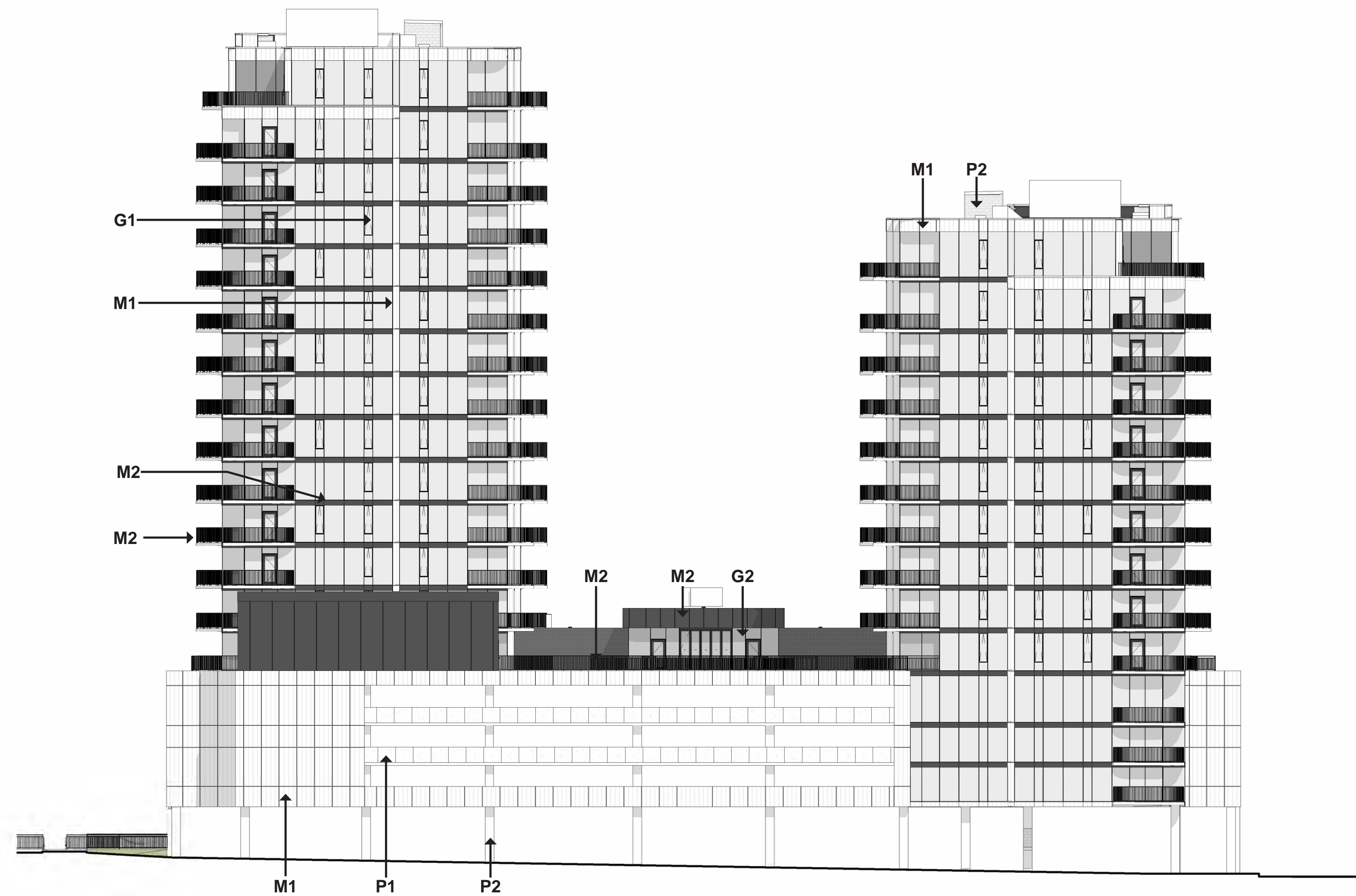
 G1	 M1	 P2
 G2	 M2	 S1
 G3	 M3	 B1
 G4	 P1	

Other Materials

 S1 Stone - Absolute Black 'Honed' Finish	 B1 Brick Iron Spot Velour	 P1 Paint RAL 7037 Dusty Grey	 P2 Paint RAL 7021 Black Grey
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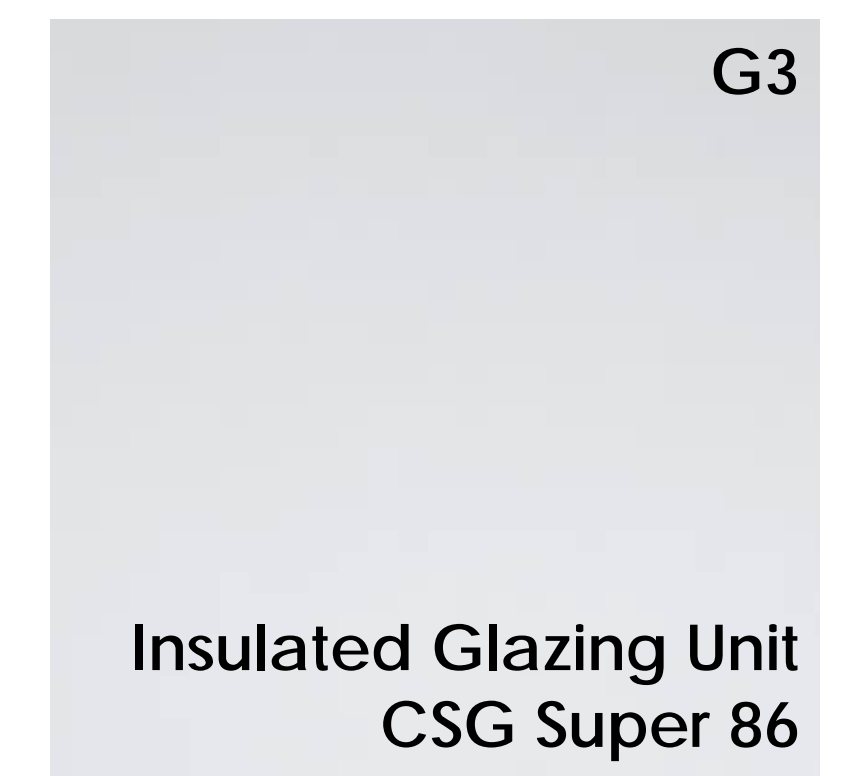
OVERALL WEST ELEVATION

Metal Materials

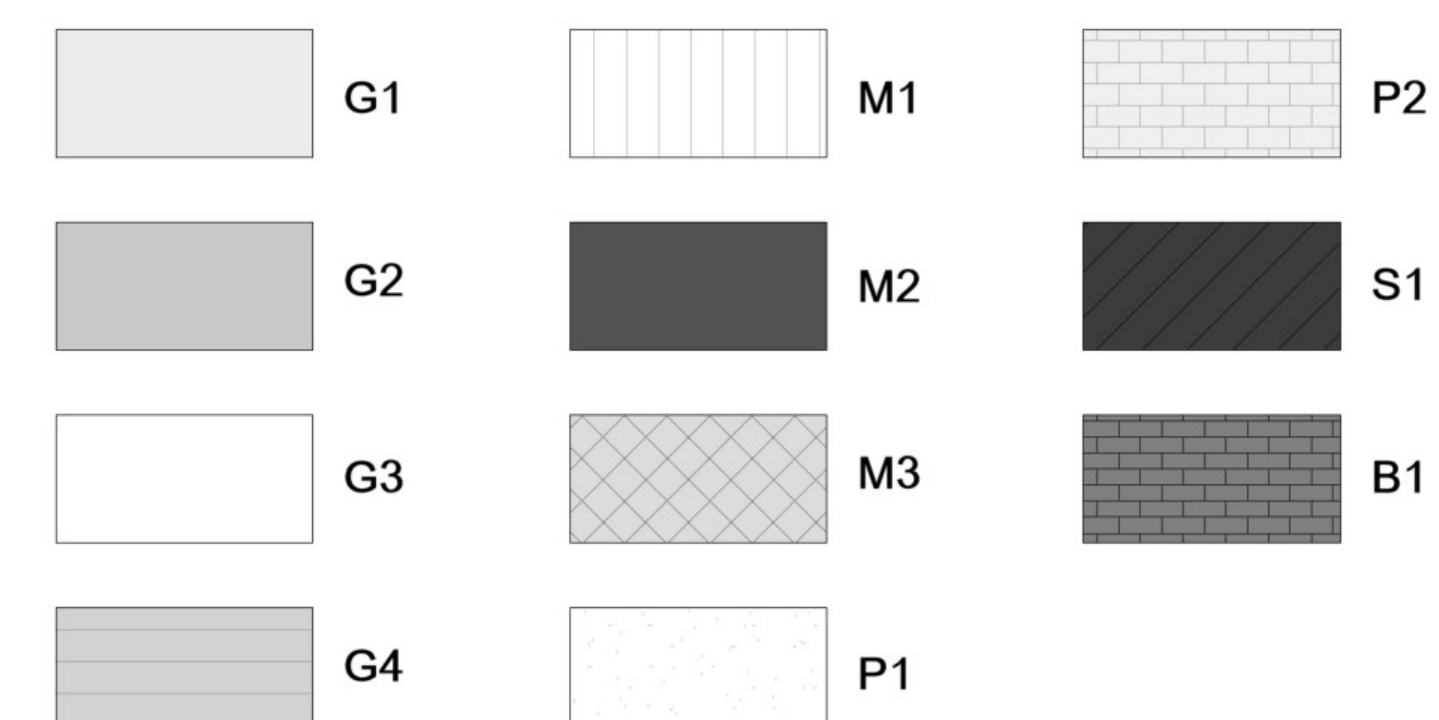


Scale - 1/6" = 1' - 0"

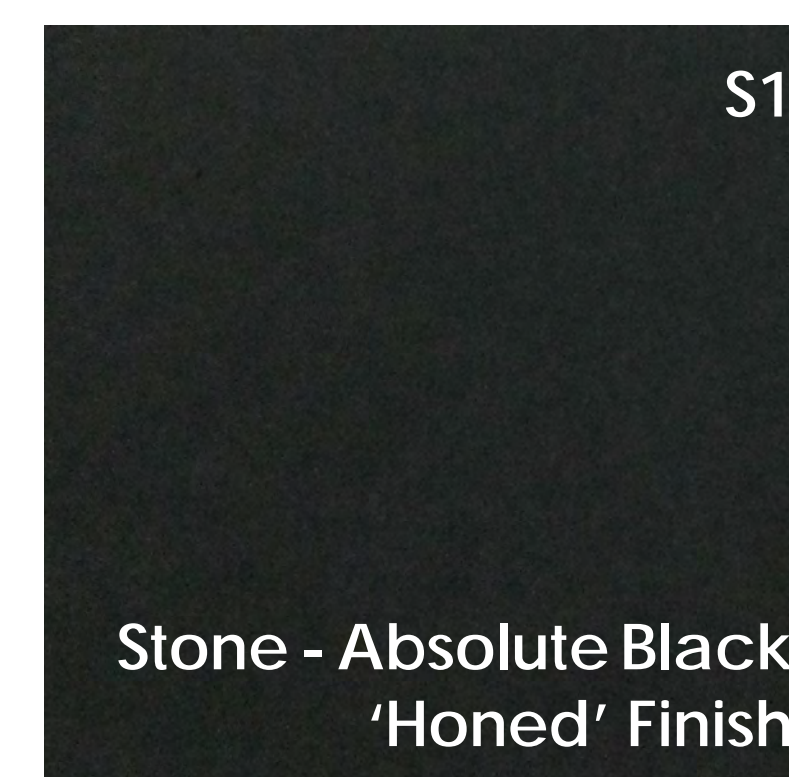
Glass Materials



MATERIAL LEGEND:



Other Materials



OVERALL NORTH ELEVATION

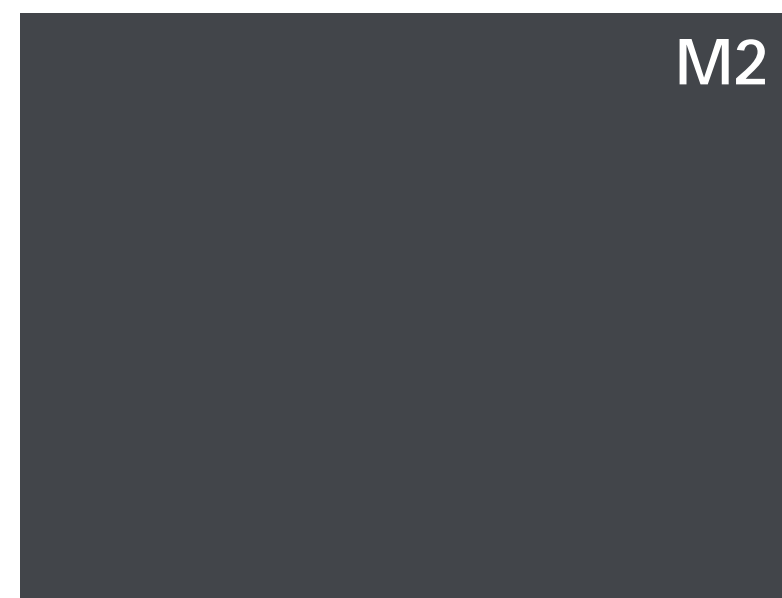
Metal Materials

M1



Metal - Bone White
UC43359 Color Match

M2

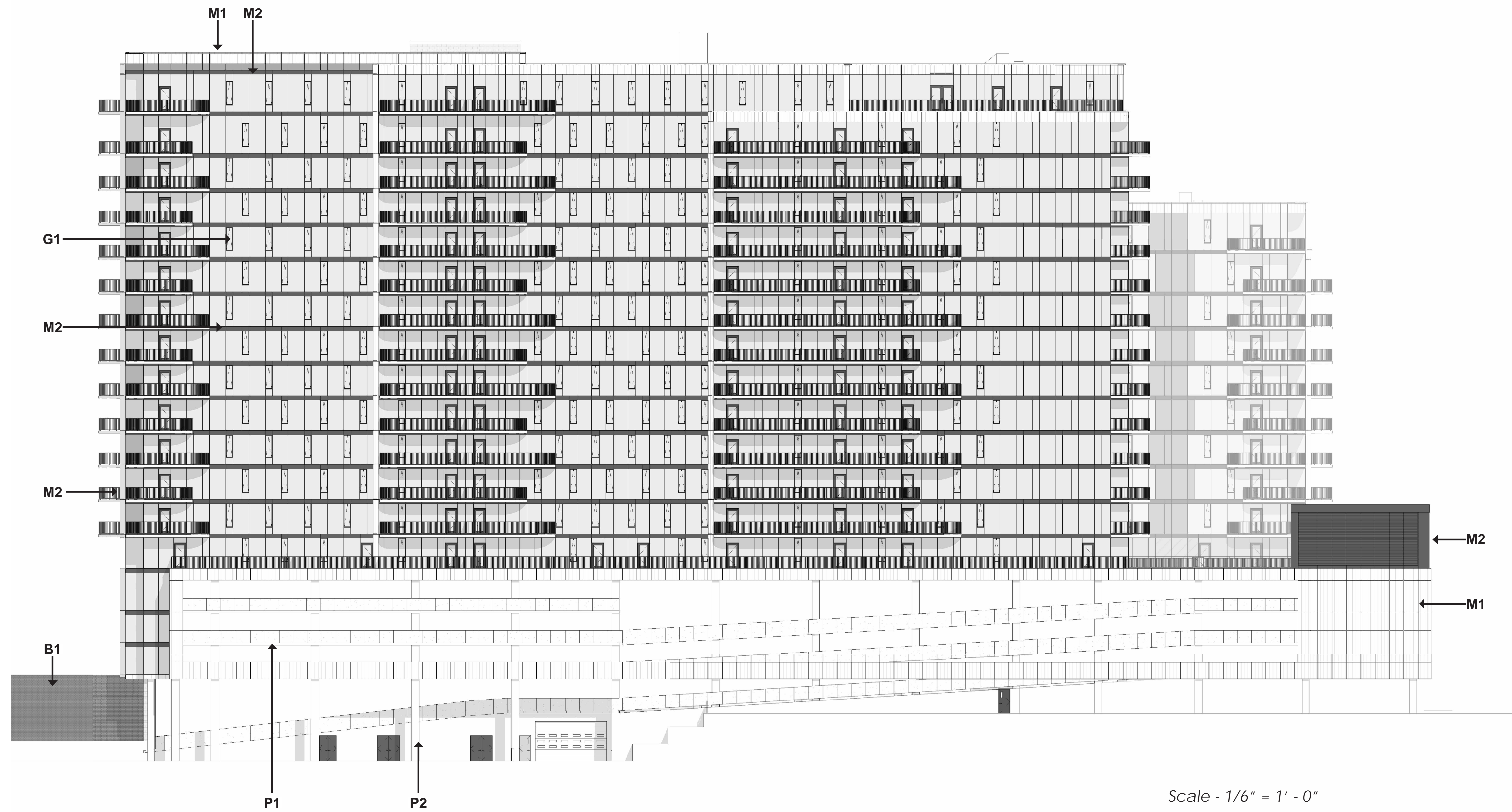


Metal - Graphite Gray
UC110628F Color Match

M3



Metal - Anodic Bronze
UC126180F Color Match



Scale - 1/6" = 1' - 0"

Glass Materials

G1



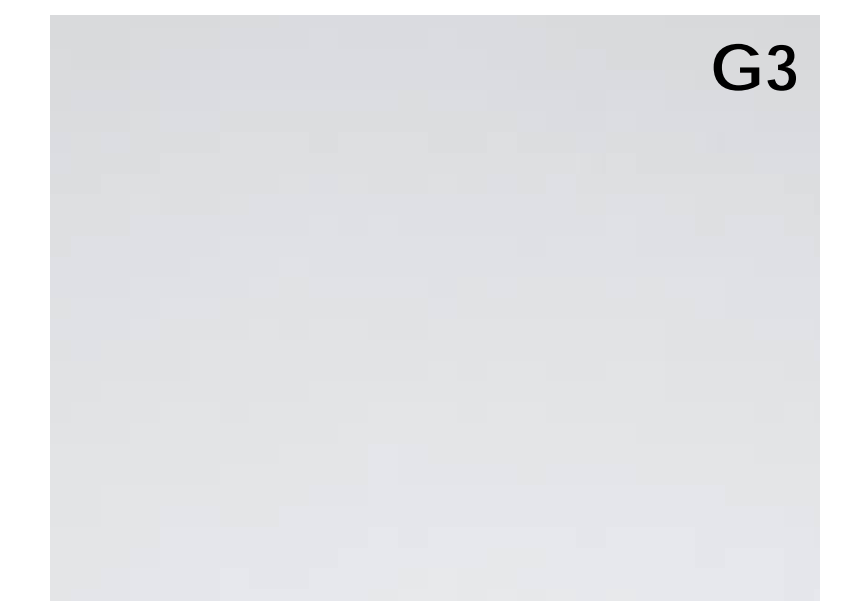
Insulated Glazing Unit
CSG LB51

G2



Insulated Glazing Unit
CSG SJ79

G3




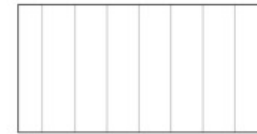





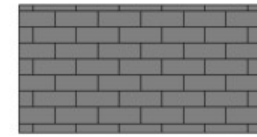
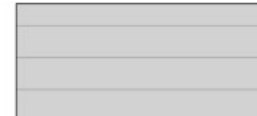

Insulated Glazing Unit
CSG Super 86

G4



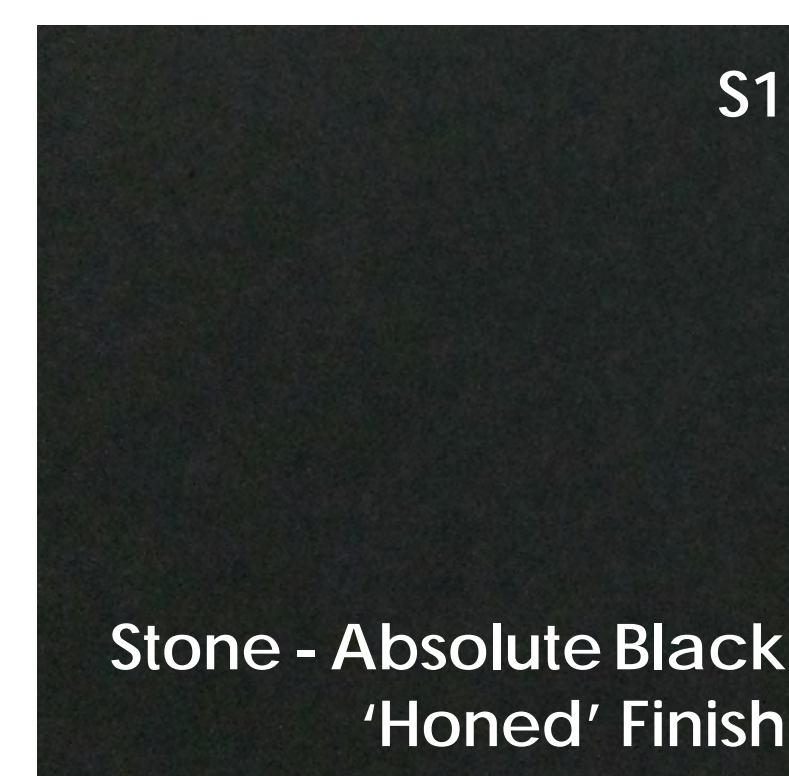
Insulated Glazing Unit
CSG LB51 w/ frit

MATERIAL LEGEND:

 G1	 M1	 P2
 G2	 M2	 S1
 G3	 M3	 B1
 G4	 P1	

Other Materials

S1



Stone - Absolute Black
'Honed' Finish

B1



Brick
Iron Spot Velour

P1



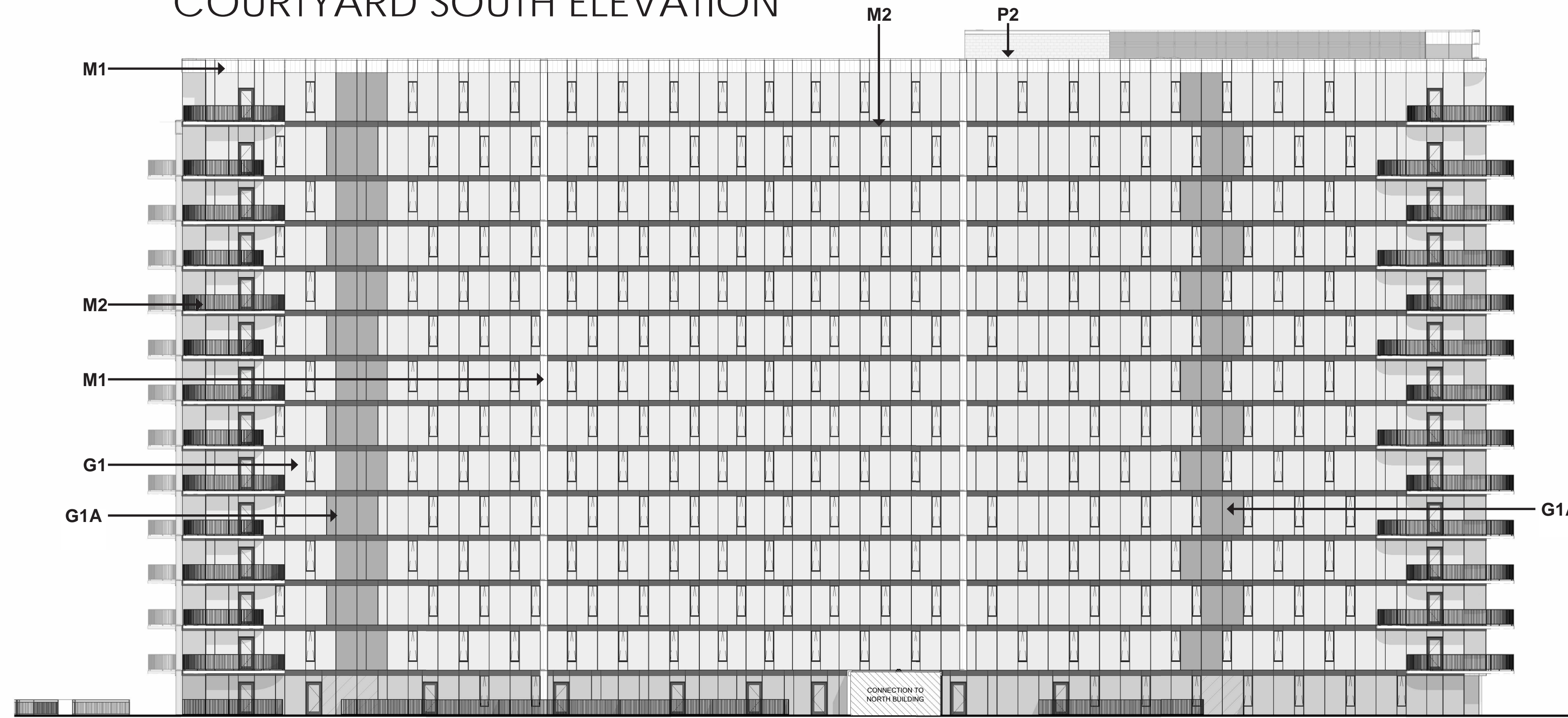
Paint
RAL 7037 Dusty Grey

P2

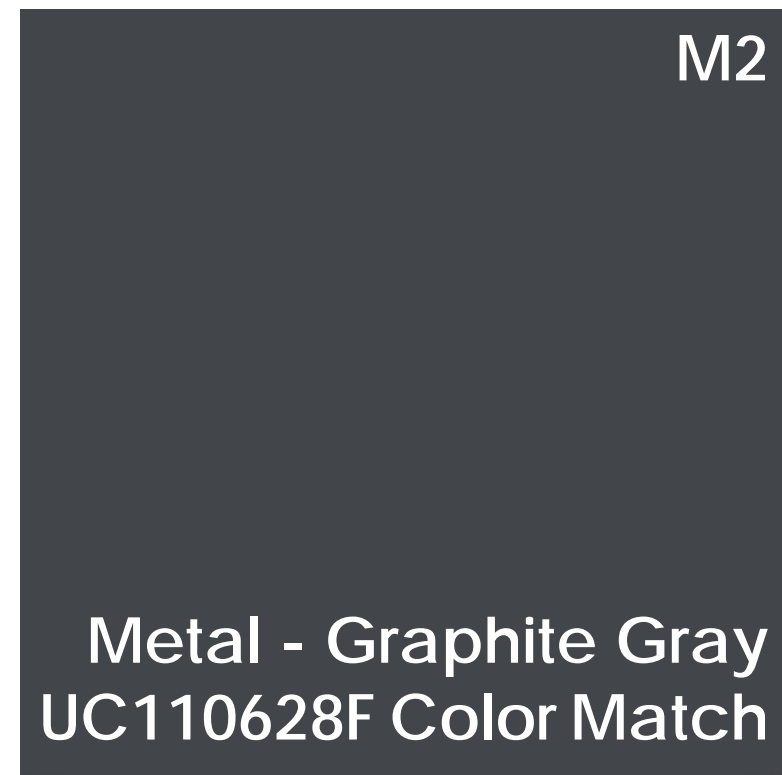


Paint
RAL 7021 Black Grey

COURTYARD SOUTH ELEVATION



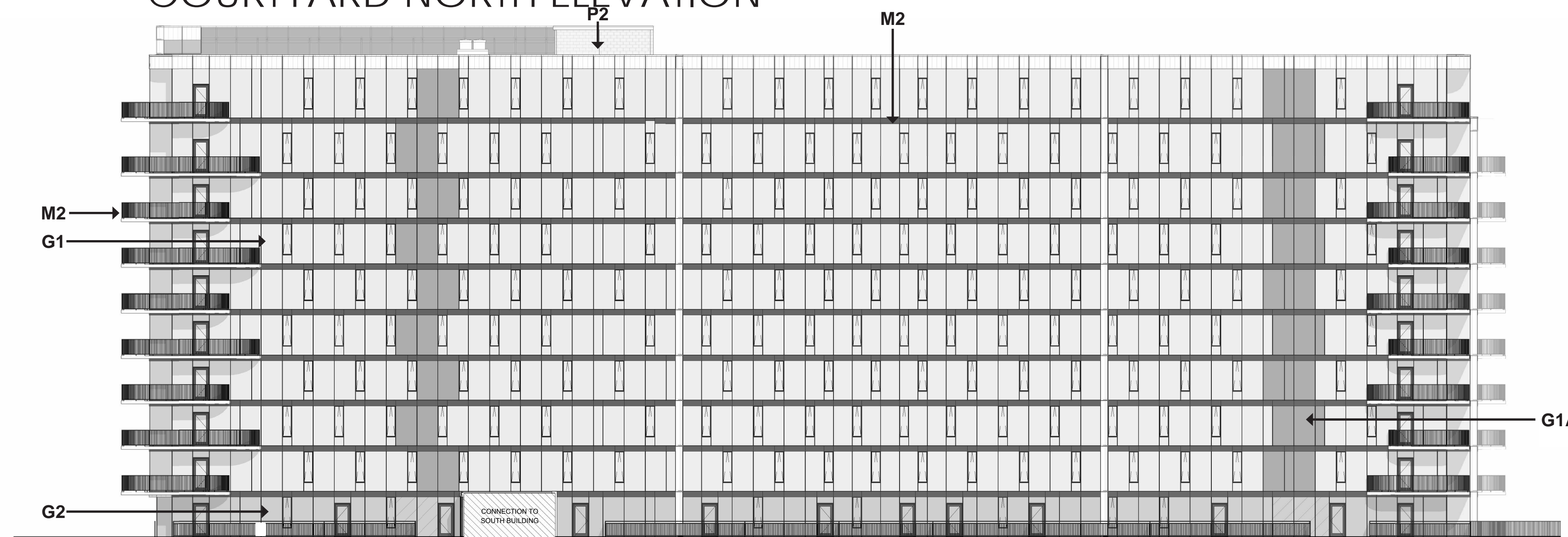
Metal Materials



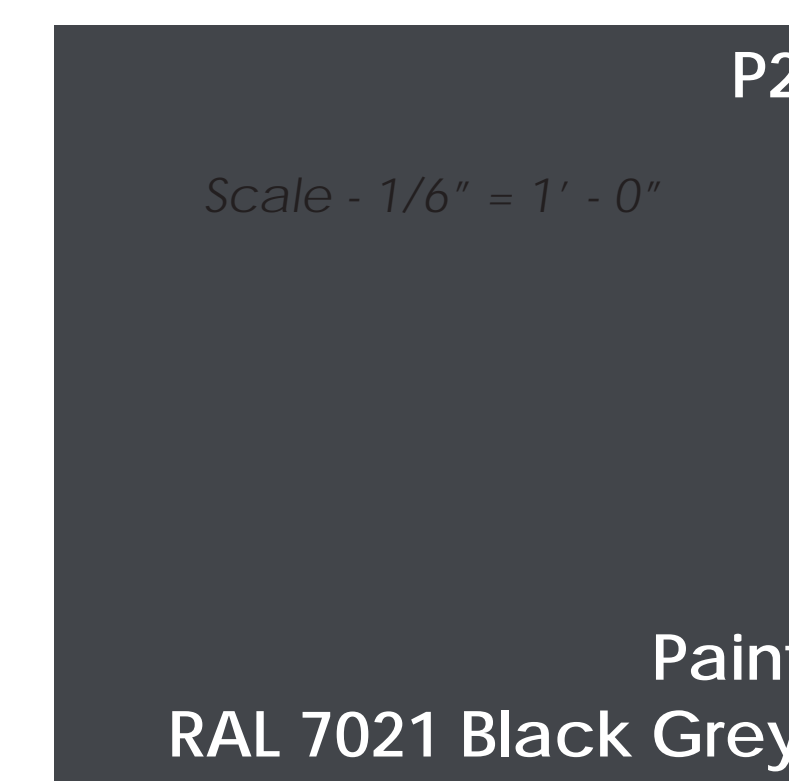
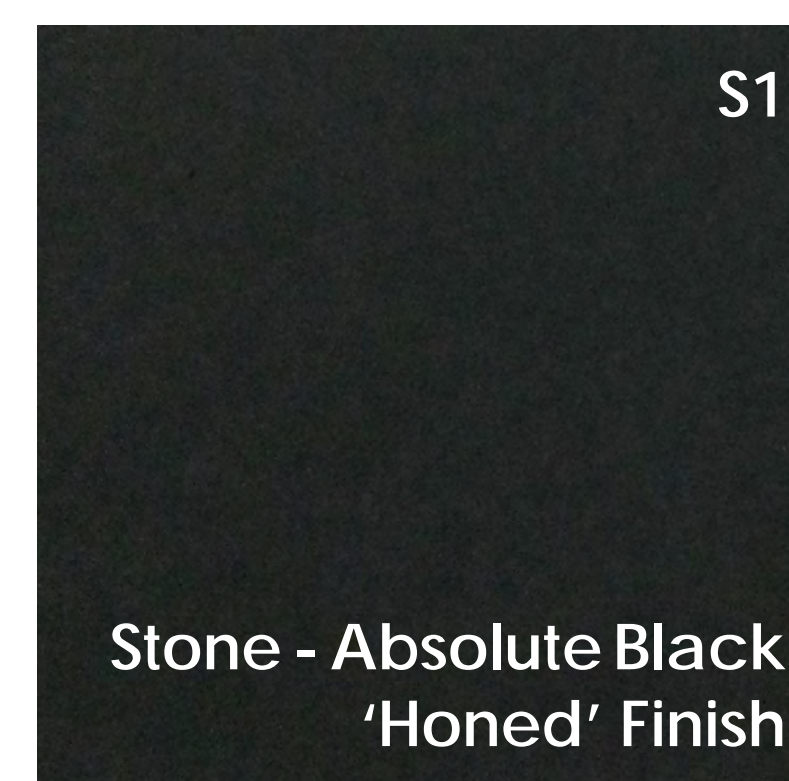
Glass Materials



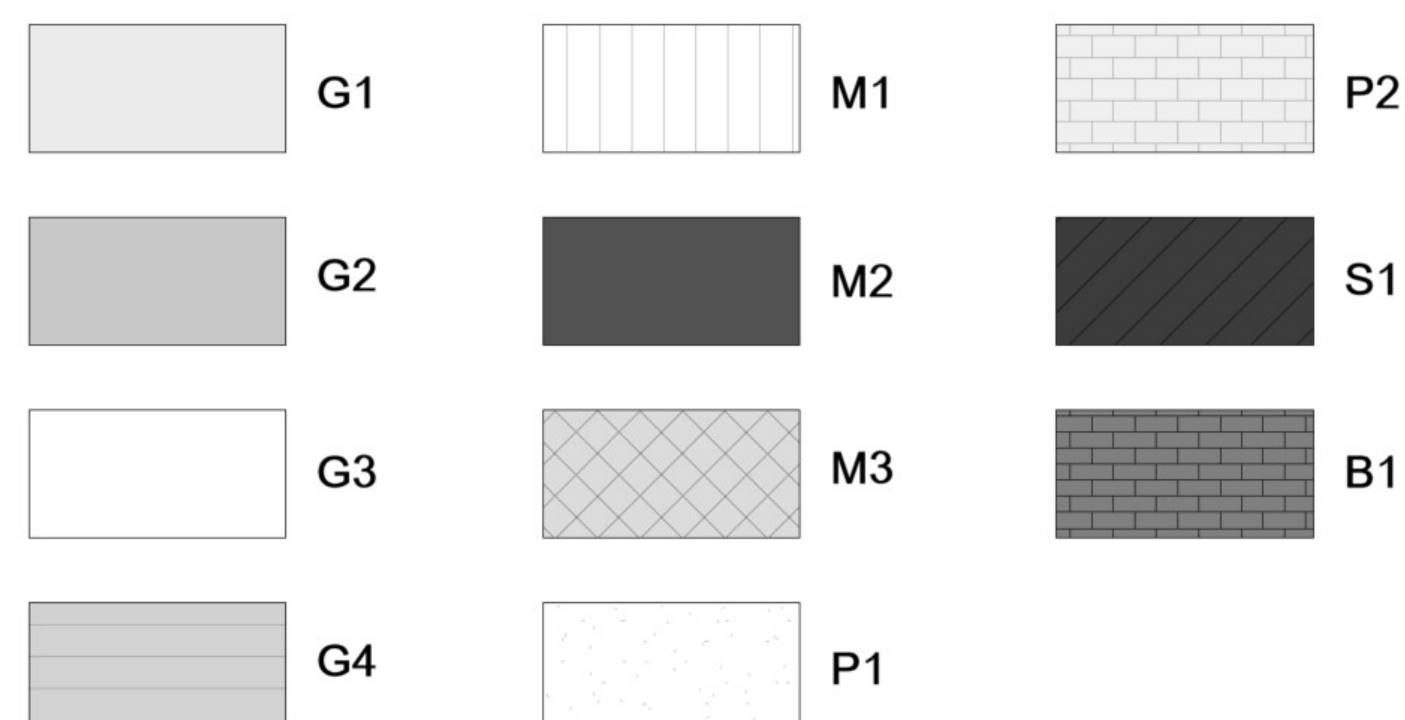
COURTYARD NORTH ELEVATION



Other Materials



MATERIAL LEGEND:



Scale - 1/6" = 1' - 0"



View from Southeast - All Phases