

# MAYFAIR 2

FOUNDRY WAY , WAUWATOSA, WI

**Architecture :** **Dimension IV - Madison Design Group**  
6515 Grand Teton Plaza, Suite 120, Madison, WI 53719  
p: 608.829.4444 www.dimensionivmadison.com

**Developer:** **MSP Real Estate**  
7901 West National Avenue, West Allis, WI 53214  
p: 414.259.2108 www.msprealestateinc.com

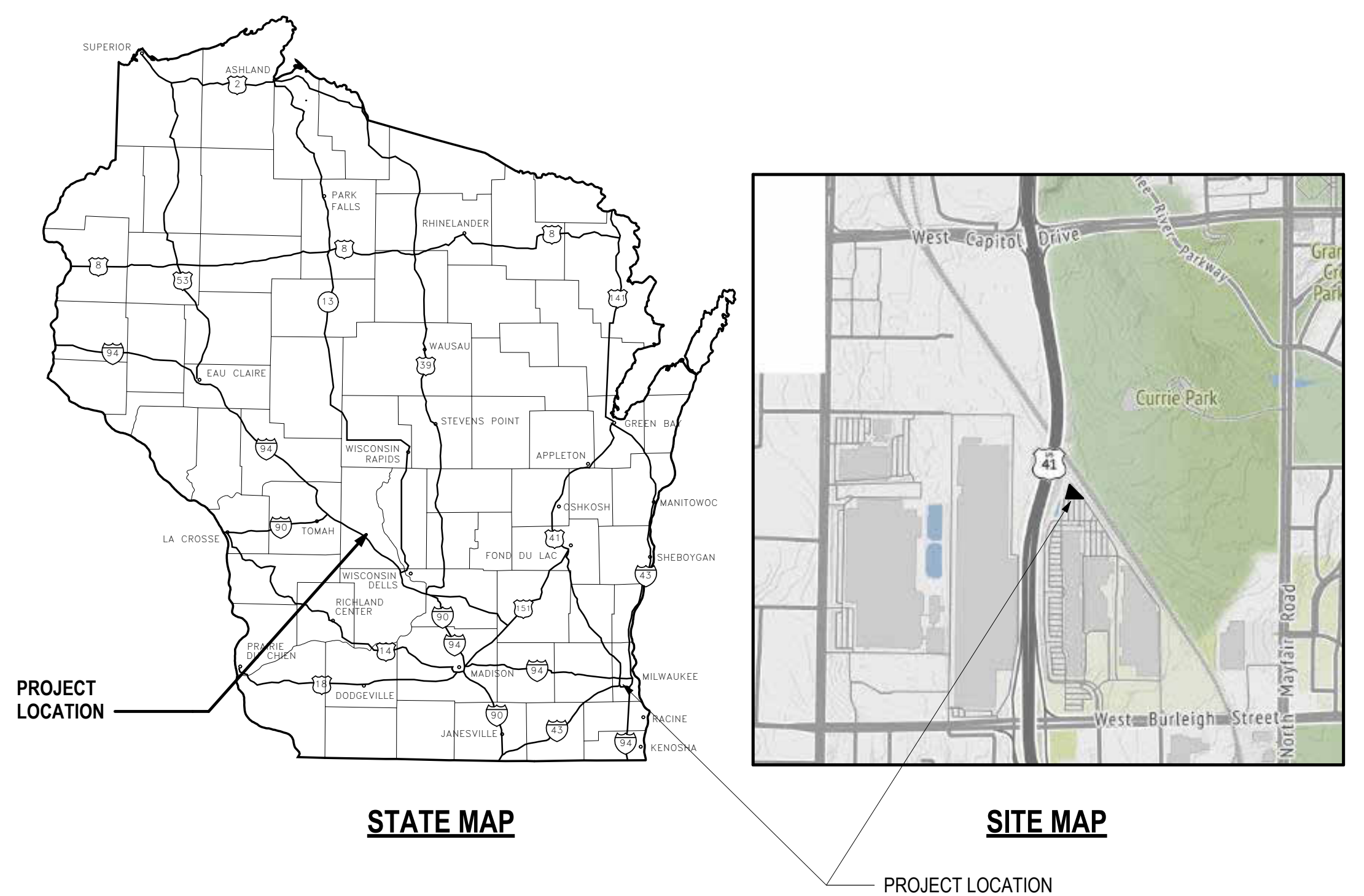
**Civil Engineering:** **CJ Engineering**  
9205 West Center Street, Suite 214, Milwaukee, WI 53222  
p: 414.443.1312 www.cj-engineering.com

**Landscape Architecture** **raSmith**  
16745 W. Bluemound Road, Brookfield, WI 53005-5938  
p:262.781.1000 www.rasmith.com

<b>PHASE 1:</b>					
<b>FLOOR:</b>	<b>1</b>	<b>2</b>	<b>3</b>	<b>4</b>	<b>TOTAL</b>
1 BED-	6	6	7	5	24
2 BED-	3	5	6	6	20
3 BED-	3	3	2	3	11
SUBTOTAL: 55					
<b>PHASE 2:</b>					
<b>FLOOR:</b>	<b>1</b>	<b>2</b>	<b>3</b>	<b>4</b>	<b>TOTAL</b>
1 BED-	11	12	13	12	48
2 BED-	4	4	4	3	15
STUDIO-	3	2	1	1	7
SUBTOTAL: 70					
TOTAL UNITS: 125					
<b>PARKING</b>					
SURFACE PARKING: 67					
UNDERGROUND PARKING: 86					
TOTAL PARKING STALLS: 153					

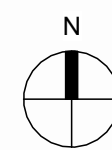
LIST OF DRAWINGS - PUD	
SHEET NO.	SHEET NAME
G1.1	PUD COVER SHEET
G2.0	SITE
G3.0	SITE PHOTOS
G4.0	EXISTING PROJECT PHOTOS
G5.0	MATERIALS SAMPLES
AL1.0	SITE SURVEY
C1.0	SITE DEMOLITION PLAN
C2.0	SITE PLAN
C3.0	SITE GRADING PLAN
C4.0	SITE UTILITY PLAN
C5.0	SITE EROSION CONTROL PLAN
C6.0	SITE DETAILS
C7.0	FIRE ACCESS PLAN
1 OF 1	SITE LIGHTING PLAN
L100	SITE LANDSCAPE PLAN
L200	LANDSCAPE NOTES AND DETAILS
A1.0	CONCEPT FLOOR PLANS
A2.0	CONCEPT ELEVATIONS
A2.1	CONCEPT ELEVATIONS
A2.2	CONCEPT ELEVATIONS
A3.0	RENDERS

LIST OF DRAWINGS - PUD	
SHEET NO.	SHEET NAME
S1	SIGNAGE SITE PLAN
S2	SIGNAGE DETAILS
S3	SIGNAGE DETAILS
S4	SIGNAGE DETAILS
S5	SIGNAGE DETAILS





1 SITE AERIAL VIEW  
1 1/2" = 1'-0"



(The Regent & The Oxford)  
EXISTING APARTMENT BUILDING



VIEW LOOKING FROM NORTH TOWARDS THE SITE



VIEW LOOKING FROM EAST TOWARDS THE SITE



VIEW LOOKING FROM SOUTH TOWARDS THE SITE

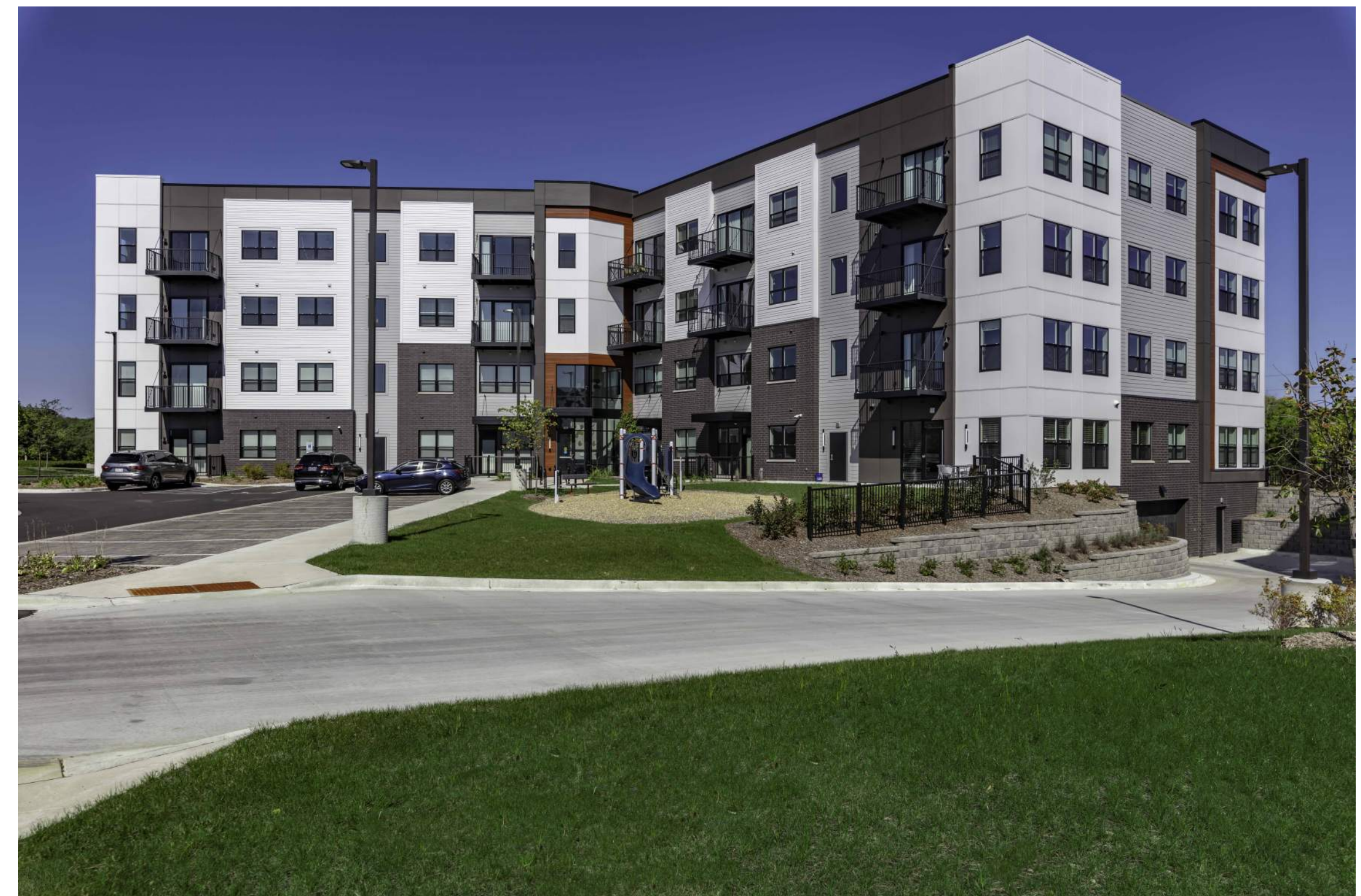


VIEW LOOKING FROM WEST TOWARDS THE SITE

PHOTOS OF *The Regent & The Oxford*, ( EXISTING APARTMENT BUILDINGS AT 3325 AND 3375 FOUNDRY WAY)



VIEW LOOKING FROM WEST TOWARDS BUILDING



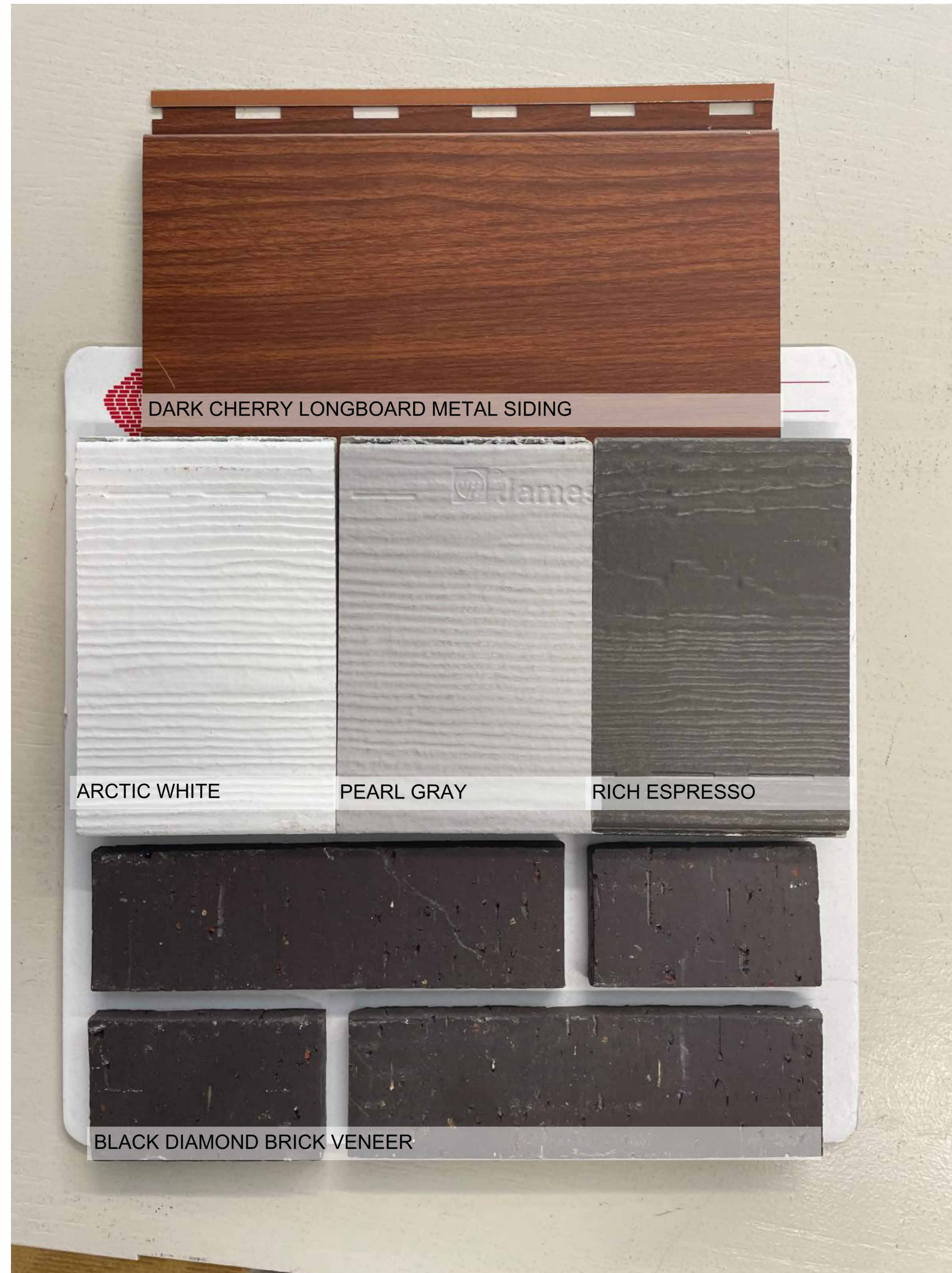
VIEW OF BUILDING A



VIEW LOOKING NORTH FROM SOUTH



VIEW LOOKING FROM SITE TO EXISTING BUILDING



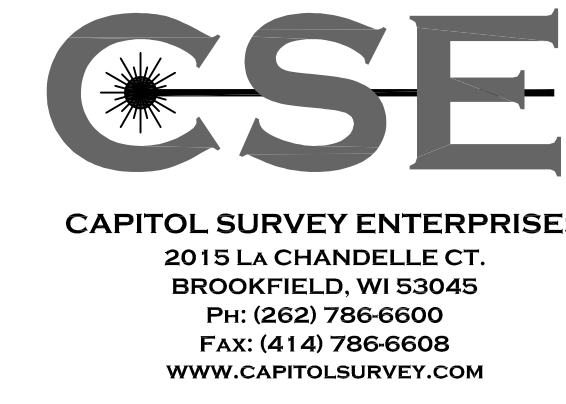
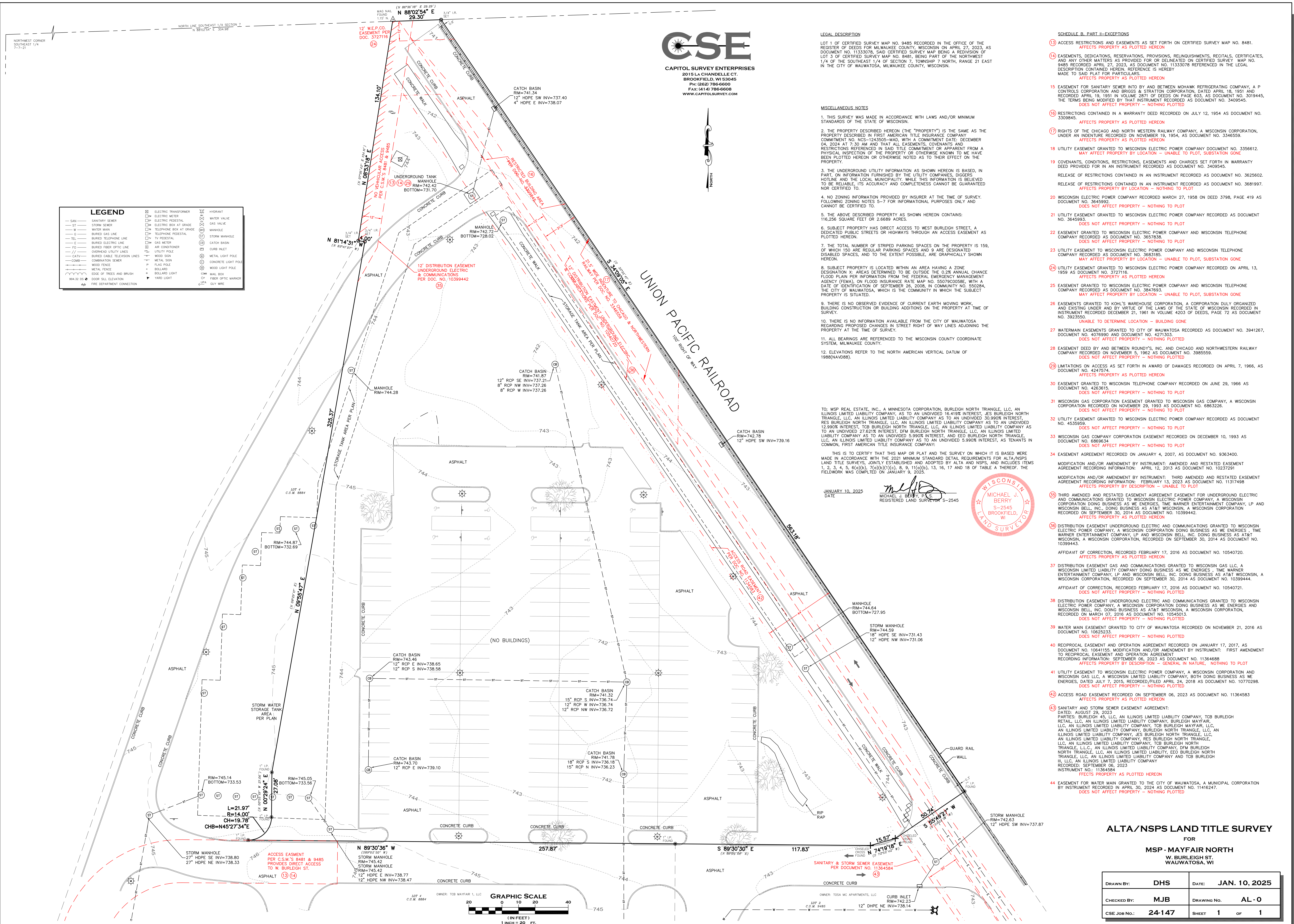
DARK CHERRY LONGBOARD METAL SIDING

ARCTIC WHITE

PEARL GRAY

RICH ESPRESSO

BLACK DIAMOND BRICK VENEER



**LEGAL DESCRIPTION**

LOT 1 OF CERTIFIED SURVEY MAP NO. 9485 RECORDED IN THE OFFICE OF THE REGISTER OF DEEDS FOR MILWAUKEE COUNTY, WISCONSIN ON APRIL 27, 2023, AS DOCUMENT NO. 1133078, SAID CERTIFIED SURVEY MAP BEING A REDIVISION OF LOT 3 OF CERTIFIED SURVEY MAP NO. 9484, BEING PART OF THE NORTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 7 NORTH, RANGE 21 EAST IN THE CITY OF WAUWATOSA, MILWAUKEE COUNTY, WISCONSIN.

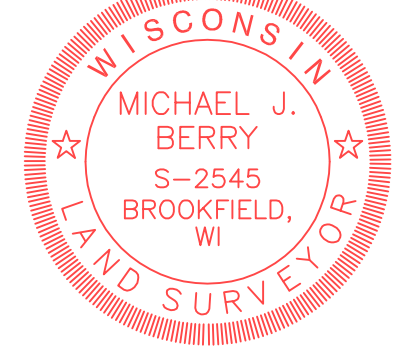
**MISCELLANEOUS NOTES**

- THIS SURVEY WAS MADE IN ACCORDANCE WITH LAWS AND/OR MINIMUM STANDARDS OF THE STATE OF WISCONSIN.
- THE PROPERTY DESCRIBED HEREON (THE "PROPERTY") IS THE SAME AS THE PROPERTY DESCRIBED IN FIRST AMERICAN TITLE INSURANCE COMPANY COMMITMENT NO. NCS-1243505-MAD, WITH A COMMITMENT DATE: DECEMBER 04, 2024 AT 7:30 AM AND THAT ALL EASEMENTS, COVENANTS AND RESTRICTIONS REFERENCED IN SAID TITLE COMMITMENT OR APPARENT FROM A PHYSICAL INSPECTION OF THE PROPERTY OR OTHERWISE KNOWN TO ME HAVE BEEN PLOTTED HEREON OR OTHERWISE NOTED AS TO THEIR EFFECT ON THE PROPERTY.
- THE UNDERGROUND UTILITY INFORMATION AS SHOWN HEREON IS BASED, IN PART, ON INFORMATION FURNISHED BY THE UTILITY COMPANIES, DIGGERS HOTLINE AND THE LOCAL MUNICIPALITY. WHILE THIS INFORMATION IS BELIEVED TO BE RELIABLE, ITS ACCURACY AND COMPLETENESS CANNOT BE GUARANTEED NOR CERTIFIED TO.
- NO ZONING INFORMATION PROVIDED BY INSURER AT THE TIME OF SURVEY. FOLLOWING ZONING NOTES 5-7 FOR INFORMATIONAL PURPOSES ONLY AND CANNOT BE CERTIFIED TO.
- THE ABOVE DESCRIBED PROPERTY AS SHOWN HEREON CONTAINS: 116,256 SQUARE FEET OR 2,668.9 ACRES.
- SUBJECT PROPERTY HAS DIRECT ACCESS TO WEST BURLINGH STREET, A DEDICATED PUBLIC STREETS OR HIGHWAYS THROUGH AN ACCESS EASEMENT AS PLOTTED HEREON.
- THE TOTAL NUMBER OF STRIPED PARKING SPACES ON THE PROPERTY IS 159, OF WHICH 150 ARE REGULAR PARKING SPACES AND 9 ARE DESIGNATED DISABLED SPACES, AND TO THE EXTENT POSSIBLE, ARE GRAPHICALLY SHOWN HEREON.
- SUBJECT PROPERTY IS LOCATED WITHIN AN AREA HAVING A ZONE DESIGNATION X; AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOOD PLAIN PER INFORMATION FROM THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA), ON FLOOD INSURANCE RATE MAP NO. 55079C005E, WITH A DATE OF IDENTIFICATION OF SEPTEMBER 26, 2008, IN COMMUNITY NO. 550284, THE CITY OF WAUWATOSA, WHICH IS THE COMMUNITY IN WHICH THE SUBJECT PROPERTY IS SITUATED.
- THERE IS NO OBSERVED EVIDENCE OF CURRENT EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS ON THE PROPERTY AT TIME OF SURVEY.
- THERE IS NO INFORMATION AVAILABLE FROM THE CITY OF WAUWATOSA REGARDING PROPOSED CHANGES IN STREET RIGHT OF WAY LINES ADJOINING THE PROPERTY AT THE TIME OF SURVEY.
- ALL BEARINGS ARE REFERENCED TO THE WISCONSIN COUNTY COORDINATE SYSTEM, MILWAUKEE COUNTY.
- ELEVATIONS REFER TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88).

TO: MSP REAL ESTATE, INC., A MINNESOTA CORPORATION, BURLIEGH NORTH TRIANGLE, LLC, AN ILLINOIS LIMITED LIABILITY COMPANY, AS TO AN UNDIVIDED 16.419% INTEREST, JES BURLIEGH NORTH TRIANGLE, LLC, AN ILLINOIS LIMITED LIABILITY COMPANY AS TO AN UNDIVIDED 30.990% INTEREST, RES BURLIEGH NORTH TRIANGLE, LLC, AN ILLINOIS LIMITED LIABILITY COMPANY AS TO AN UNDIVIDED 12.990% INTEREST, TCB BURLIEGH NORTH TRIANGLE, LLC, AN ILLINOIS LIMITED LIABILITY COMPANY AS TO AN UNDIVIDED 27.621% INTEREST, OFM BURLIEGH NORTH TRIANGLE, LLC, AN ILLINOIS LIMITED LIABILITY COMPANY AS TO AN UNDIVIDED 5.990% INTEREST, AND EEO BURLIEGH NORTH TRIANGLE, LLC, AN ILLINOIS LIMITED LIABILITY COMPANY AS TO AN UNDIVIDED 5.990% INTEREST, AS TENANTS IN COMMON, FIRST AMERICAN TITLE INSURANCE COMPANY.

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 5, 6(1)(a), 7(a)(1)(i)(a), 8, 9, 11(a)(i), 13, 16, 17 AND 18 OF TABLE A THEREOF. THE FIELDWORK WAS COMPLETED ON JANUARY 9, 2025.

JANUARY 10, 2025  
 DATE  
 MICHAEL J. BERRY, P.L.S.  
 REGISTERED LAND SURVEYOR S-2545

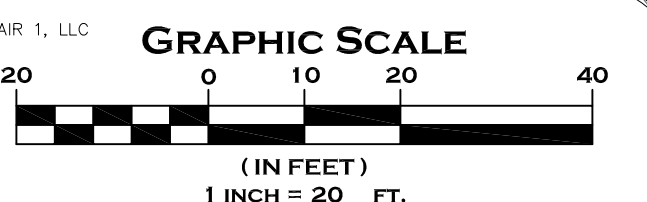


**SCHEDULE B - PART II - EXCEPTIONS**

- ACCESS RESTRICTIONS AND EASEMENTS AS SET FORTH ON CERTIFIED SURVEY MAP NO. 8481, AFFECTS PROPERTY AS PLOTTED HEREON.
- EASEMENTS, DEDICATIONS, RESERVATIONS, PROVISIONS, RELINQUISHMENTS, RECTALS, CERTIFICATES, AND ANY OTHER MATTERS AS PROVIDED FOR OR DELINEATED ON CERTIFIED SURVEY MAP NO. 9485 RECORDED APRIL 27, 2023, AS DOCUMENT NO. 1133078 REFERENCED IN THE LEGAL DESCRIPTION CONTAINED HEREIN. REFERENCE IS HEREBY MADE TO SAID PLAT FOR PARTICULARS. AFFECTS PROPERTY AS PLOTTED HEREON.
- EASEMENT FOR SANITARY SEWER INTO BY AND BETWEEN MOHAWK REFRIGERATING COMPANY, A P CONTROLS CORPORATION AND BRIGGS & STRATTON CORPORATION, DATED APRIL 16, 1951 AND RECORDED APRIL 19, 1951 IN VOLUME 2871 OF DEEDS ON PAGE 603, AS DOCUMENT NO. 3019445, THE TERMS BEING SO PROVIDED BY THAT INSTRUMENT RECORDED AS DOCUMENT NO. 3409545. DOES NOT AFFECT PROPERTY - NOTHING PLOTTED.
- RESTRICTIONS CONTAINED IN A WARRANTY DEED RECORDED ON JULY 12, 1954 AS DOCUMENT NO. 3309845. AFFECTS PROPERTY AS PLOTTED HEREON.
- RIGHTS OF THE CHICAGO AND NORTH WESTERN RAILWAY COMPANY, A WISCONSIN CORPORATION, UNDER AN INDENTURE RECORDED ON NOVEMBER 19, 1954, AS DOCUMENT NO. 3346559. AFFECTS PROPERTY AS PLOTTED HEREON.
- UTILITY EASEMENT GRANTED TO WISCONSIN ELECTRIC POWER COMPANY DOCUMENT NO. 3356612. MAY AFFECT PROPERTY BY LOCATION - UNABLE TO PLOT, SUBSTATION GONE.
- COVENANTS, CONDITIONS, RESTRICTIONS, EASEMENTS AND CHARGES SET FORTH IN WARRANTY DEED PROVIDED FOR IN AN INSTRUMENT RECORDED AS DOCUMENT NO. 3409545.
- RELEASE OF RESTRICTIONS CONTAINED IN AN INSTRUMENT RECORDED AS DOCUMENT NO. 3625602. RELEASE OF RESTRICTIONS CONTAINED IN AN INSTRUMENT RECORDED AS DOCUMENT NO. 3681997. AFFECTS PROPERTY BY LOCATION - NOTHING TO PLOT.
- WISCONSIN ELECTRIC POWER COMPANY RECORDED MARCH 27, 1958 ON DEED 3798, PAGE 419 AS DOCUMENT NO. 3645992. DOES NOT AFFECT PROPERTY - NOTHING TO PLOT.
- UTILITY EASEMENT GRANTED TO WISCONSIN ELECTRIC POWER COMPANY RECORDED AS DOCUMENT NO. 3645993. DOES NOT AFFECT PROPERTY - NOTHING TO PLOT.
- EASEMENT GRANTED TO WISCONSIN ELECTRIC POWER COMPANY AND WISCONSIN TELEPHONE COMPANY RECORDED AS DOCUMENT NO. 3657838. DOES NOT AFFECT PROPERTY - NOTHING TO PLOT.
- UTILITY EASEMENT TO WISCONSIN ELECTRIC POWER COMPANY AND WISCONSIN TELEPHONE COMPANY RECORDED AS DOCUMENT NO. 3683185. MAY AFFECT PROPERTY BY LOCATION - UNABLE TO PLOT, SUBSTATION GONE.
- UTILITY EASEMENT GRANTED TO WISCONSIN ELECTRIC POWER COMPANY RECORDED ON APRIL 13, 1959 AS DOCUMENT NO. 3687838. AFFECTS PROPERTY AS PLOTTED HEREON.
- EASEMENT GRANTED TO WISCONSIN ELECTRIC POWER COMPANY AND WISCONSIN TELEPHONE COMPANY RECORDED AS DOCUMENT NO. 3847693. MAY AFFECT PROPERTY BY LOCATION - UNABLE TO PLOT, SUBSTATION GONE.
- EASEMENTS GRANTED TO KOHL'S WAREHOUSE CORPORATION, A CORPORATION DULY ORGANIZED AND EXISTING UNDER AND BY VIRTUE OF THE LAWS OF THE STATE OF WISCONSIN RECORDED IN INSTRUMENT RECORDED DECEMBER 21, 1961 IN VOLUME 4203 OF DEEDS, PAGE 72 AS DOCUMENT NO. 3923550. UNABLE TO DETERMINE LOCATION - BUILDING GONE.
- WATERMAIN EASEMENTS GRANTED TO CITY OF WAUWATOSA RECORDED AS DOCUMENT NO. 3941267, DOCUMENT NO. 4078990 AND DOCUMENT NO. 4271503. DOES NOT AFFECT PROPERTY - NOTHING PLOTTED.
- EASEMENT DEED BY AND BETWEEN ROUNDY'S, INC. AND CHICAGO AND NORTHWESTERN RAILWAY COMPANY RECORDED ON NOVEMBER 5, 1962 AS DOCUMENT NO. 3985559. DOES NOT AFFECT PROPERTY - NOTHING PLOTTED.
- LIMITATIONS ON ACCESS AS SET FORTH IN AWARD OF DAMAGES RECORDED ON APRIL 7, 1966, AS DOCUMENT NO. 4247674. AFFECTS PROPERTY AS PLOTTED HEREON.
- EASEMENT GRANTED TO WISCONSIN TELEPHONE COMPANY RECORDED ON JUNE 29, 1966 AS DOCUMENT NO. 4263617. DOES NOT AFFECT PROPERTY - NOTHING TO PLOT.
- WISCONSIN GAS CORPORATION EASEMENT GRANTED TO WISCONSIN GAS COMPANY, A WISCONSIN CORPORATION RECORDED ON NOVEMBER 29, 1993 AS DOCUMENT NO. 6863226. DOES NOT AFFECT PROPERTY - NOTHING TO PLOT.
- UTILITY EASEMENT GRANTED TO WISCONSIN ELECTRIC POWER COMPANY RECORDED AS DOCUMENT NO. 4335959. DOES NOT AFFECT PROPERTY - NOTHING TO PLOT.
- WISCONSIN GAS CORPORATION EASEMENT RECORDED ON DECEMBER 10, 1993 AS DOCUMENT NO. 6869634. DOES NOT AFFECT PROPERTY - NOTHING TO PLOT.
- EASEMENT AGREEMENT RECORDED ON JANUARY 4, 2007, AS DOCUMENT NO. 9363400. MODIFICATION AND/OR AMENDMENT BY INSTRUMENT, AMENDED AND RESTATED EASEMENT AGREEMENT RECORDED ON FEBRUARY 17, 2016 AS DOCUMENT NO. 10237291.
- THIRD AMENDED AND RESTATED EASEMENT AGREEMENT FOR UNDERGROUND ELECTRIC AND COMMUNICATIONS GRANTED TO WISCONSIN ELECTRIC POWER COMPANY, A WISCONSIN CORPORATION DOING BUSINESS AS WE ENERGIES, TIME WARNER ENTERTAINMENT COMPANY, LP AND WISCONSIN BELL, INC. DOING BUSINESS AS AT&T WISCONSIN, A WISCONSIN CORPORATION RECORDED ON SEPTEMBER 30, 2014 AS DOCUMENT NO. 10399444. AFFECTS PROPERTY AS PLOTTED HEREON.
- DISTRIBUTION EASEMENT UNDERGROUND ELECTRIC AND COMMUNICATIONS GRANTED TO WISCONSIN ELECTRIC POWER COMPANY, A WISCONSIN CORPORATION DOING BUSINESS AS WE ENERGIES, TIME WARNER ENTERTAINMENT COMPANY, LP AND WISCONSIN BELL, INC. DOING BUSINESS AS AT&T WISCONSIN, A WISCONSIN CORPORATION, RECORDED ON SEPTEMBER 30, 2014 AS DOCUMENT NO. 10399443.
- AFFIDAVIT OF CORRECTION, RECORDED FEBRUARY 17, 2016 AS DOCUMENT NO. 10540720. AFFECTS PROPERTY AS PLOTTED HEREON.
- DISTRIBUTION EASEMENT GAS AND COMMUNICATIONS GRANTED TO WISCONSIN GAS LLC, A WISCONSIN LIMITED LIABILITY COMPANY DOING BUSINESS AS WE ENERGIES, TIME WARNER ENTERTAINMENT COMPANY, LP AND WISCONSIN BELL, INC. DOING BUSINESS AS AT&T WISCONSIN, A WISCONSIN CORPORATION, RECORDED ON SEPTEMBER 30, 2014 AS DOCUMENT NO. 10399444.
- AFFIDAVIT OF CORRECTION, RECORDED FEBRUARY 17, 2016 AS DOCUMENT NO. 10540721. DOES NOT AFFECT PROPERTY - NOTHING PLOTTED.
- DISTRIBUTION EASEMENT UNDERGROUND ELECTRIC AND COMMUNICATIONS GRANTED TO WISCONSIN ELECTRIC POWER COMPANY, A WISCONSIN CORPORATION DOING BUSINESS AS WE ENERGIES AND WISCONSIN BELL, INC. DOING BUSINESS AS AT&T WISCONSIN, A WISCONSIN CORPORATION, RECORDED ON MARCH 07, 2016 AS DOCUMENT NO. 10545013. DOES NOT AFFECT PROPERTY - NOTHING PLOTTED.
- WATER MAIN EASEMENT GRANTED TO CITY OF WAUWATOSA RECORDED ON NOVEMBER 21, 2016 AS DOCUMENT NO. 10625233. DOES NOT AFFECT PROPERTY - NOTHING PLOTTED.
- RECIPROCAL EASEMENT AND OPERATION AGREEMENT RECORDED ON JANUARY 17, 2017, AS DOCUMENT NO. 10641155. MODIFICATION AND/OR AMENDMENT BY INSTRUMENT, FIRST AMENDMENT TO RECIPROCAL EASEMENT AND OPERATION AGREEMENT RECORDED ON SEPTEMBER 06, 2023 AS DOCUMENT NO. 11364688. AFFECTS PROPERTY BY DESCRIPTION - GENERAL IN NATURE. NOTHING TO PLOT.
- UTILITY EASEMENT TO WISCONSIN ELECTRIC POWER COMPANY, A WISCONSIN CORPORATION AND WISCONSIN GAS LLC, A WISCONSIN LIMITED LIABILITY COMPANY, BOTH DOING BUSINESS AS WE ENERGIES, DATED JULY 7, 2015, RECORDED/FILED APRIL 24, 2018 AS DOCUMENT NO. 10770298. DOES NOT AFFECT PROPERTY - NOTHING PLOTTED.
- ACCESS ROAD EASEMENT RECORDED ON SEPTEMBER 06, 2023 AS DOCUMENT NO. 11364583. AFFECTS PROPERTY AS PLOTTED HEREON.
- SANITARY AND STORM SEWER EASEMENT AGREEMENT: DATED: AUGUST 29, 2023 PARTIES: BURLIEGH 45, LLC, AN ILLINOIS LIMITED LIABILITY COMPANY, TCB BURLIEGH RETAIL, LLC, AN ILLINOIS LIMITED LIABILITY COMPANY, BURLIEGH MAYFAIR, LLC, AN ILLINOIS LIMITED LIABILITY COMPANY, TCB BURLIEGH MAYFAIR, LLC, AN ILLINOIS LIMITED LIABILITY COMPANY, BURLIEGH NORTH TRIANGLE, LLC, AN ILLINOIS LIMITED LIABILITY COMPANY, RES BURLIEGH NORTH TRIANGLE, LLC, AN ILLINOIS LIMITED LIABILITY COMPANY, RES BURLIEGH NORTH TRIANGLE, LLC, AN ILLINOIS LIMITED LIABILITY COMPANY, OFM BURLIEGH NORTH TRIANGLE, LLC, AN ILLINOIS LIMITED LIABILITY COMPANY, EEO BURLIEGH NORTH TRIANGLE, LLC, AN ILLINOIS LIMITED LIABILITY COMPANY AND TCB BURLIEGH RETAIL, LLC, AN ILLINOIS LIMITED LIABILITY COMPANY. RECORDED: SEPTEMBER 06, 2023 INSTRUMENT NO.: 11364584. AFFECTS PROPERTY AS PLOTTED HEREON.
- EASEMENT FOR WATER MAIN GRANTED TO THE CITY OF WAUWATOSA, A MUNICIPAL CORPORATION BY INSTRUMENT RECORDED IN APRIL 30, 2024 AS DOCUMENT NO. 11416247. DOES NOT AFFECT PROPERTY - NOTHING PLOTTED.

**LEGEND**

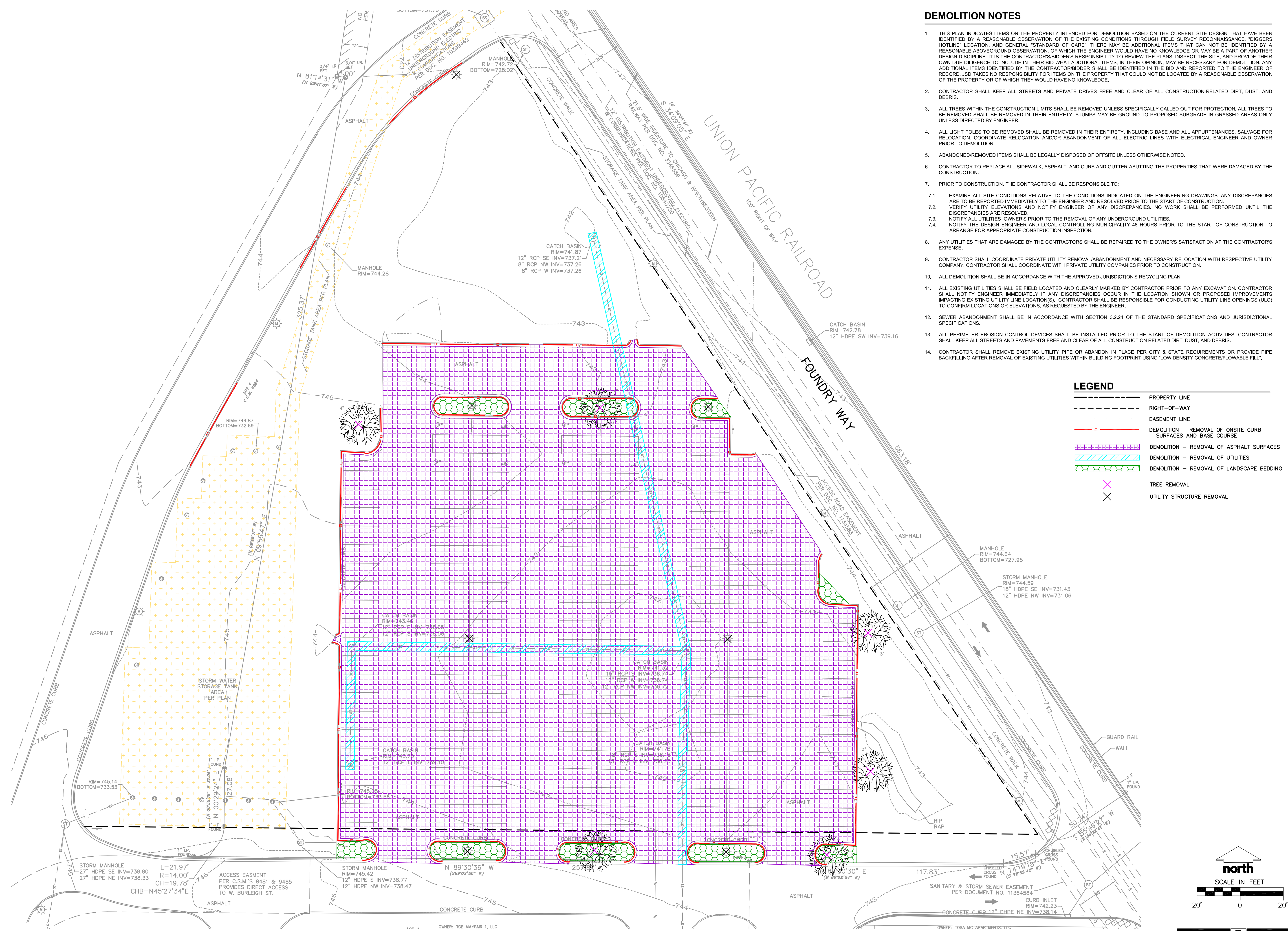
— SAN	— STORM SEWER	— W	— BURIED GAS LINE	— TEL	— BURIED FIBER OPTIC LINE	— OVERHEAD UTILITY LINES	— BURIED CABLE TELEVISION LINES	— COMBINATION SEWER	— WOOD FENCE	— METAL FENCE	— 99A.32	— DOOR SILL ELEVATION	— 99B	— FIRE DEPARTMENT CONNECTION	
— ELECTRIC TRANSFORMER	— ELECTRIC METER	— ELECTRIC BOX AT GRADE	— TELEPHONE PEDESTAL	— STORM MANHOLE	— TV PEDESTAL	— GAS METER	— AIR CONDITIONER	— WOOD SIGN	— METAL LIGHT POLE	— WOOD LIGHT POLE	— MAIL BOX	— BOLLARD	— ROLLUP LIGHT	— FIBER OPTIC MARKER	— GUY WIRE
— HYDRANT	— WATER VALVE	— GAS VALVE	— MANHOLE	— CATCH BASIN	— CATCH INLET	— CATCH BASIN	— METAL SIGN	— FLAG POLE	— BOLLARD	— ROLLUP LIGHT	— FIBER OPTIC MARKER	— GUY WIRE	— GUY WIRE	— GUY WIRE	



**ALTA/NSPS LAND TITLE SURVEY**  
 FOR  
**MSP - MAYFAIR NORTH**  
 W. BURLIEGH ST.  
 WAUWATOSA, WI

DRAWN BY:	<b>DHS</b>	DATE:	<b>JAN. 10, 2025</b>
CHECKED BY:	<b>MJB</b>	DRAWING NO.:	<b>AL - 0</b>
CSE JOB NO.:	<b>24-147</b>	SHEET	<b>1 OF 1</b>

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**DEMOLITION NOTES**

- THIS PLAN INDICATES ITEMS ON THE PROPERTY INTENDED FOR DEMOLITION BASED ON THE CURRENT SITE DESIGN THAT HAVE BEEN IDENTIFIED BY A REASONABLE OBSERVATION OF THE EXISTING CONDITIONS THROUGH FIELD SURVEY RECONNAISSANCE, "DIGGERS HOTLINE" LOCATION, AND GENERAL "STANDARD OF CARE". THERE MAY BE ADDITIONAL ITEMS THAT CAN NOT BE IDENTIFIED BY A REASONABLE ABOVEGROUND OBSERVATION, OF WHICH THE ENGINEER WOULD HAVE NO KNOWLEDGE OR MAY BE A PART OF ANOTHER DESIGN DISCIPLINE. IT IS THE CONTRACTOR/BIDDER'S RESPONSIBILITY TO REVIEW THE PLANS, INSPECT THE SITE, AND PROVIDE THEIR OWN DUE DILIGENCE TO INCLUDE IN THEIR BID WHAT ADDITIONAL ITEMS, IN THEIR OPINION, MAY BE NECESSARY FOR DEMOLITION. ANY ADDITIONAL ITEMS IDENTIFIED BY THE CONTRACTOR/BIDDER SHALL BE IDENTIFIED IN THE BID AND REPORTED TO THE ENGINEER OF RECORD. JSD TAKES NO RESPONSIBILITY FOR ITEMS ON THE PROPERTY THAT COULD NOT BE LOCATED BY A REASONABLE OBSERVATION OF THE PROPERTY OR OF WHICH THEY WOULD HAVE NO KNOWLEDGE.
- CONTRACTOR SHALL KEEP ALL STREETS AND PRIVATE DRIVES FREE AND CLEAR OF ALL CONSTRUCTION-RELATED DIRT, DUST, AND DEBRIS.
- ALL TREES WITHIN THE CONSTRUCTION LIMITS SHALL BE REMOVED UNLESS SPECIFICALLY CALLED OUT FOR PROTECTION. ALL TREES TO BE REMOVED SHALL BE REMOVED IN THEIR ENTIRETY. STUMPS MAY BE GROUND TO PROPOSED SUBGRADE IN GRASSED AREAS ONLY UNLESS DIRECTED BY ENGINEER.
- ALL LIGHT POLES TO BE REMOVED SHALL BE REMOVED IN THEIR ENTIRETY, INCLUDING BASE AND ALL APPURTENANCES. SALVAGE FOR RELOCATION, COORDINATE RELOCATION AND/OR ABANDONMENT OF ALL ELECTRIC LINES WITH ELECTRICAL ENGINEER AND OWNER PRIOR TO DEMOLITION.
- ABANDONED/REMOVED ITEMS SHALL BE LEGALLY DISPOSED OF OFFSITE UNLESS OTHERWISE NOTED.
- CONTRACTOR TO REPLACE ALL SIDEWALK, ASPHALT, AND CURB AND GUTTER ABUTTING THE PROPERTIES THAT WERE DAMAGED BY THE CONSTRUCTION.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE TO:
  - EXAMINE ALL SITE CONDITIONS RELATIVE TO THE CONDITIONS INDICATED ON THE ENGINEERING DRAWINGS, ANY DISCREPANCIES ARE TO BE REPORTED IMMEDIATELY TO THE ENGINEER AND RESOLVED PRIOR TO THE START OF CONSTRUCTION.
  - VERIFY UTILITY ELEVATIONS AND NOTIFY ENGINEER OF ANY DISCREPANCIES. NO WORK SHALL BE PERFORMED UNTIL THE DISCREPANCIES ARE RESOLVED.
  - NOTIFY ALL UTILITIES' OWNERS PRIOR TO THE REMOVAL OF ANY UNDERGROUND UTILITIES.
  - NOTIFY THE DESIGN ENGINEER AND LOCAL CONTROLLING MUNICIPALITY 48 HOURS PRIOR TO THE START OF CONSTRUCTION TO ARRANGE FOR APPROPRIATE CONSTRUCTION INSPECTION.
- ANY UTILITIES THAT ARE DAMAGED BY THE CONTRACTORS SHALL BE REPAIRED TO THE OWNER'S SATISFACTION AT THE CONTRACTOR'S EXPENSE.
- CONTRACTOR SHALL COORDINATE PRIVATE UTILITY REMOVAL/ABANDONMENT AND NECESSARY RELOCATION WITH RESPECTIVE UTILITY COMPANY. CONTRACTOR SHALL COORDINATE WITH PRIVATE UTILITY COMPANIES PRIOR TO CONSTRUCTION.
- ALL DEMOLITION SHALL BE IN ACCORDANCE WITH THE APPROVED JURISDICTION'S RECYCLING PLAN.
- ALL EXISTING UTILITIES SHALL BE FIELD LOCATED AND CLEARLY MARKED BY CONTRACTOR PRIOR TO ANY EXCAVATION. CONTRACTOR SHALL NOTIFY ENGINEER IMMEDIATELY IF ANY DISCREPANCIES OCCUR IN THE LOCATION SHOWN OR PROPOSED IMPROVEMENTS IMPACTING EXISTING UTILITY LINE LOCATIONS. CONTRACTOR SHALL BE RESPONSIBLE FOR CONDUCTING UTILITY LINE OPENINGS (ULO) TO CONFIRM LOCATIONS OR ELEVATIONS, AS REQUESTED BY THE ENGINEER.
- SEWER ABANDONMENT SHALL BE IN ACCORDANCE WITH SECTION 3.2.24 OF THE STANDARD SPECIFICATIONS AND JURISDICTIONAL SPECIFICATIONS.
- ALL PERIMETER EROSION CONTROL DEVICES SHALL BE INSTALLED PRIOR TO THE START OF DEMOLITION ACTIVITIES. CONTRACTOR SHALL KEEP ALL STREETS AND PAVEMENTS FREE AND CLEAR OF ALL CONSTRUCTION RELATED DIRT, DUST, AND DEBRIS.
- CONTRACTOR SHALL REMOVE EXISTING UTILITY PIPE OR ABANDON IN PLACE PER CITY & STATE REQUIREMENTS OR PROVIDE PIPE BACKFILLING AFTER REMOVAL OF EXISTING UTILITIES WITHIN BUILDING FOOTPRINT USING "LOW DENSITY CONCRETE/FLOWABLE FILL".

**LEGEND**

- PROPERTY LINE
- RIGHT-OF-WAY
- EASEMENT LINE
- DEMOLITION - REMOVAL OF ON-SITE CURB SURFACES AND BASE COURSE
- DEMOLITION - REMOVAL OF ASPHALT SURFACES
- DEMOLITION - REMOVAL OF UTILITIES
- DEMOLITION - REMOVAL OF LANDSCAPE BEDDING
- TREE REMOVAL
- UTILITY STRUCTURE REMOVAL



CREATE THE VISION TELL THE STORY

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MILWAUKEE REGIONAL OFFICE  
W238 N1610 BUSSE ROAD, SUITE 100  
WAUKESHA, WISCONSIN 53188  
P. 262.513.0666

CLIENT:  
**MSP REAL ESTATE**

CLIENT ADDRESS:  
**7901 West National Avenue  
West Allis, WI, 53214**

PROJECT:  
**MSP Mayfair North**

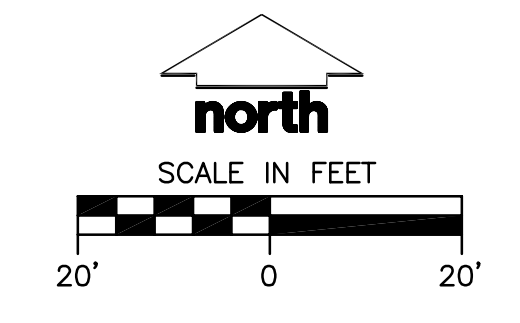
PROJECT LOCATION:  
**Foundry Way  
Wauwatosa, Milwaukee County  
Wisconsin, 53222**

**PLAN MODIFICATIONS:**

#	Date:	Description:
1	02/05/2025	PUD SUBMITTAL
2	02/14/2025	PUD REVISED SUBMITTAL
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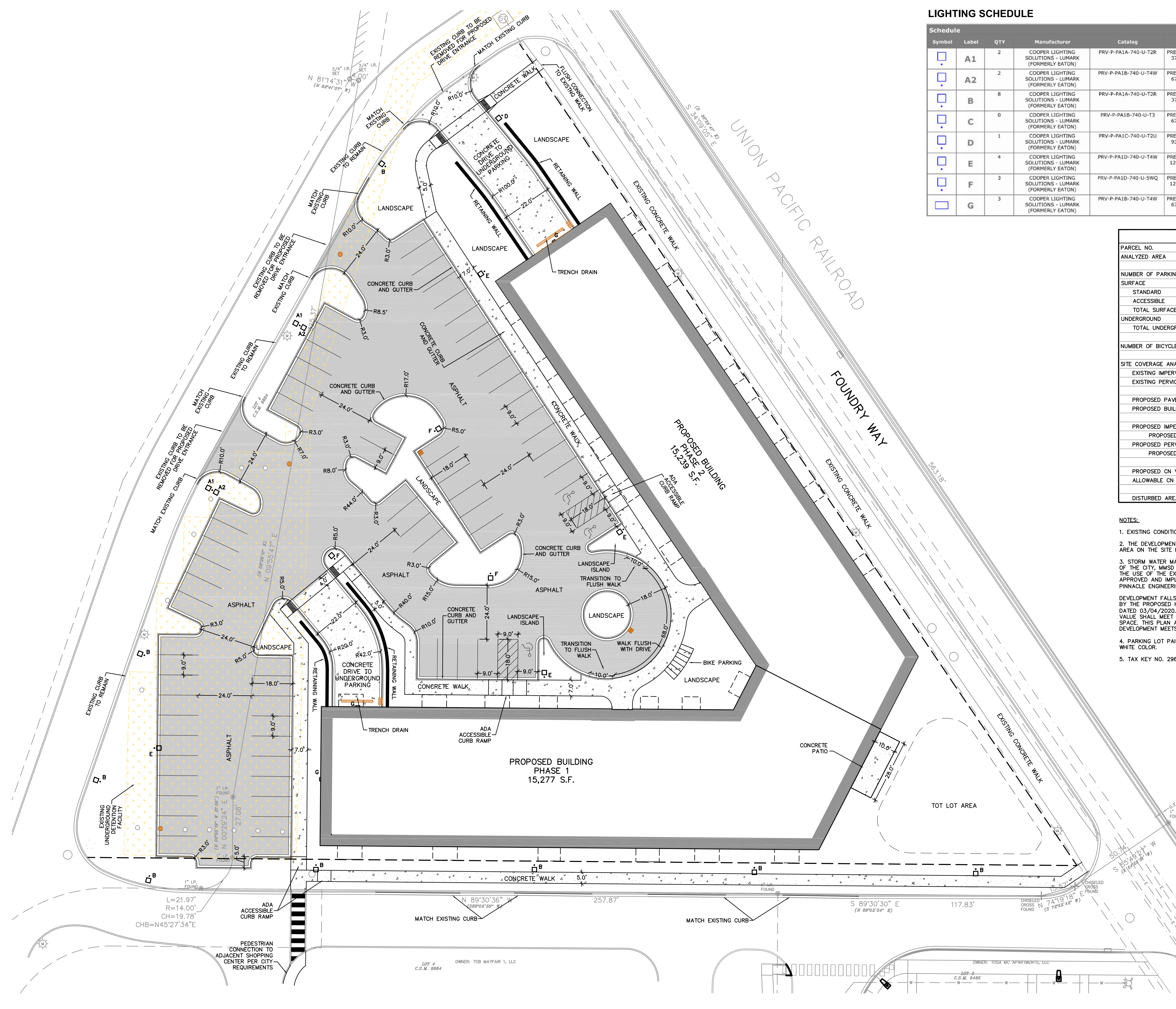
Designed By: PJS  
Reviewed By: CAJ  
Approved By:

**SITE DEMOLITION PLAN**



SHEET NUMBER:  
**C1.0**  
JSD PROJECT NO: 25-15011

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**LIGHTING SCHEDULE**

Symbol	Label	QTY	Manufacturer	Catalog	Description	LLF	Input Power
□	A1	2	COOPER LIGHTING SOLUTIONS - LUMARK (FORMERLY EATON)	PRV-P-PA1A-740-U-T2R	PREVAIL AREA LUMINAIRE (1) 70 CRI, 4000K, 375mA LIGHT ENGINE WITH 24 LEDS AND TYPE II ROADWAY OPTICS	1	30.7
□	A2	2	COOPER LIGHTING SOLUTIONS - LUMARK (FORMERLY EATON)	PRV-P-PA1B-740-U-T4W	PREVAIL AREA LUMINAIRE (1) 70 CRI, 4000K, 670mA LIGHT ENGINE WITH 24 LEDS AND TYPE IV WIDE OPTICS	1	52.8
□	B	8	COOPER LIGHTING SOLUTIONS - LUMARK (FORMERLY EATON)	PRV-P-PA1A-740-U-T2R	PREVAIL AREA LUMINAIRE (1) 70 CRI, 4000K, 375mA LIGHT ENGINE WITH 24 LEDS AND TYPE II ROADWAY OPTICS	1	30.7
□	C	0	COOPER LIGHTING SOLUTIONS - LUMARK (FORMERLY EATON)	PRV-P-PA1B-740-U-T3	PREVAIL AREA LUMINAIRE (1) 70 CRI, 4000K, 670mA LIGHT ENGINE WITH 24 LEDS AND TYPE III OPTICS	1	52.8
□	D	1	COOPER LIGHTING SOLUTIONS - LUMARK (FORMERLY EATON)	PRV-P-PA1C-740-U-T2U	PREVAIL AREA LUMINAIRE (1) 70 CRI, 4000K, 930mA LIGHT ENGINE WITH 24 LEDS AND TYPE II U OPTICS	1	72.1
□	E	4	COOPER LIGHTING SOLUTIONS - LUMARK (FORMERLY EATON)	PRV-P-PA1D-740-U-T4W	PREVAIL AREA LUMINAIRE (1) 70 CRI, 4000K, 1200mA LIGHT ENGINE WITH 24 LEDS AND TYPE IV WIDE OPTICS	1	93.4
□	F	3	COOPER LIGHTING SOLUTIONS - LUMARK (FORMERLY EATON)	PRV-P-PA1D-740-U-S1WQ	PREVAIL AREA LUMINAIRE (1) 70 CRI, 4000K, 1200mA LIGHT ENGINE WITH 24 LEDS AND TYPE V WIDE OPTICS	1	93.4
□	G	3	COOPER LIGHTING SOLUTIONS - LUMARK (FORMERLY EATON)	PRV-P-PA1B-740-U-T4W	PREVAIL WALL LUMINAIRE (1) 70 CRI, 4000K, 670mA LIGHT ENGINE WITH 24 LEDS AND TYPE IV WIDE OPTICS	1	52.8

**SITE INFORMATION**

PARCEL NO.	2961001000
ANALYZED AREA	99,076 S.F. (2.274 ACRES)
<b>NUMBER OF PARKING STALLS</b>	
SURFACE	
STANDARD	64
ACCESSIBLE	3
TOTAL SURFACE	67
<b>UNDERGROUND</b>	
TOTAL UNDERGROUND	86
<b>NUMBER OF BICYCLE STALLS:</b>	
	12
<b>SITE COVERAGE ANALYSIS</b>	
EXISTING IMPERVIOUS SURFACE AREA	49,731 SF (1.142 ACRES)
EXISTING PERVIOUS SURFACE AREA	49,346 SF (1.133 ACRES)
PROPOSED PAVED AREA	38,668 SF (0.888 ACRES)
PROPOSED BUILDING FOOTPRINT	30,516 SF (0.701 ACRES)
PROPOSED IMPERVIOUS SURFACE AREA	69,184 SF (1.588 ACRES)
PROPOSED IMPERVIOUS SITE PERCENTAGE	70%
PROPOSED PERVIOUS SURFACE AREA	29,892 SF (0.686 ACRES)
PROPOSED PERVIOUS SITE PERCENTAGE	30%
PROPOSED CN VALUE	91
ALLOWABLE CN VALUE	92
DISTURBED AREA	99,076 SF (2.274 ACRES)

**NOTES:**

- EXISTING CONDITIONS BASED ON SURVEY BY CAPITOL SURVEY ENTERPRISE
- THE DEVELOPMENT WILL RESULT IN AN INCREASE IN IMPERVIOUS SURFACE AREA ON THE SITE BY 0.45 ACRES.
- STORM WATER MANAGEMENT FOR THIS SITE, MEETING THE REQUIREMENTS OF THE CITY, MMSD AND WI DNR 151 FOR REDEVELOPMENT WILL BE MET BY THE USE OF THE EXISTING UNDERGROUND DETENTION FACILITY DESIGNED, APPROVED AND IMPLEMENTED FROM THE PLAN & REPORT FURNISHED BY PINNACLE ENGINEERING GROUP DATED 07/10/2020.
- DEVELOPMENT FALLS UNDER THE A4 SUBCATCHMENT LIMITS AS DELINEATED BY THE PROPOSED HYDROLOGY EXHIBIT BY PINNACLE ENGINEERING GROUP DATED 03/04/2020. SUBCATCHMENT A4 SPECIFIES THAT THE SITE CN VALUE SHALL MEET THE 92 VALUE REQUIREMENT AND PROVIDE 25% GREEN SPACE. THIS PLAN AND SITE AREA ANALYSIS SHOWS THAT THIS DEVELOPMENT MEETS AND EXCEED THESE REQUIREMENTS.
- PARKING LOT PAINT STRIPING SHALL BE A MINIMUM OF 3" AND IN A WHITE COLOR.
- TAX KEY NO. 2961001000



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PROJECT:  
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PROJECT LOCATION:  
**Foundry Way  
Wauwatosa, Milwaukee County  
Wisconsin, 53222**

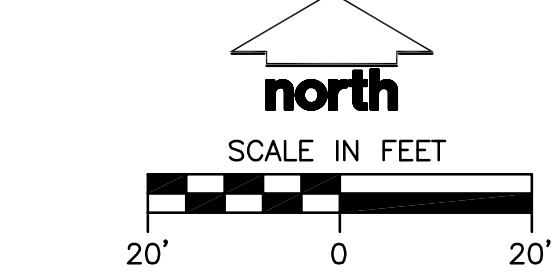
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Designed By: PJS  
Reviewed By: CAJ  
Approved By:

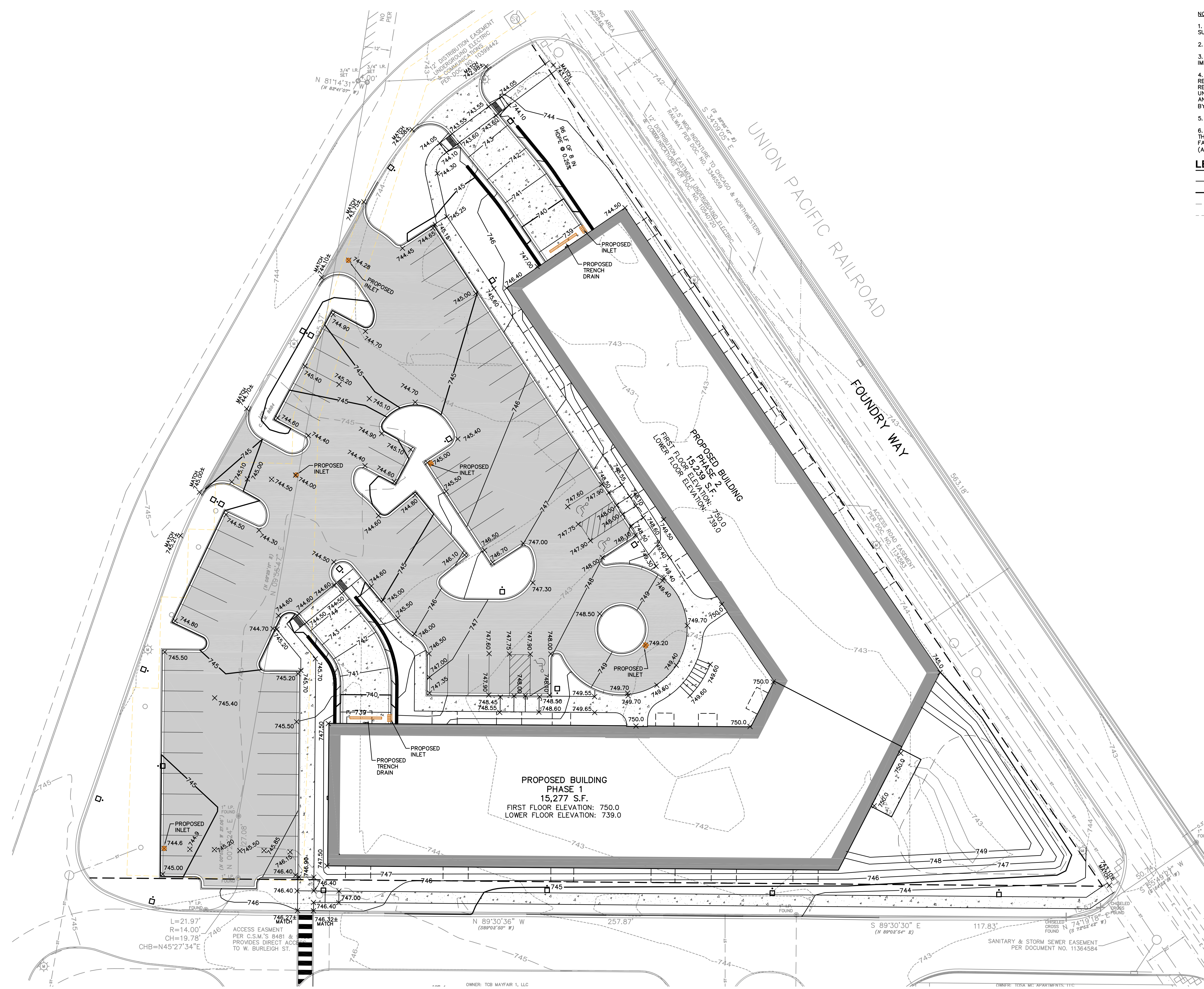
**SITE PLAN**

SHEET NUMBER:  
**C2.0**





File: R:\020525150110\DWG\Civil\Sheet05-15011 Civil Site (condoc).dwg Layout: GRADING User: Patrick.Shiy PlotDate: Feb 13, 2025 - 4:51pm Xrefs:



- NOTES:**
- EXISTING CONDITIONS BASED ON SURVEY BY CAPITOL SURVEY ENTERPRISE.
  - DISTURBED AREA = 2.274 ACRES.
  - THE DEVELOPMENT WILL RESULT IN AN INCREASE IN IMPERVIOUS SURFACE AREA ON THE SITE BY 0.496 ACRES.
  - STORM WATER MANAGEMENT FOR THIS SITE, MEETING THE REQUIREMENTS OF THE CITY, MMSD AND W DNR 151 FOR REDEVELOPMENT WILL BE MET BY THE USE OF THE EXISTING UNDERGROUND DETENTION FACILITY DESIGNED, APPROVED AND IMPLEMENTED FROM THE PLAN & REPORT FURNISHED BY PINNACLE ENGINEERING GROUP DATED 07/10/2020.
  - ALL CONSTRUCTION MATERIALS TO BE STORED ON-SITE.
  - ALL PROPOSED SPOT GRADES ALONG THE CURB ARE AT THE FACE OF A RAISED WALK ARE AT THE BOTTOM OF WALK (ASPH.) UNLESS OTHERWISE NOTED.

**LEGEND**

— 149 —	PROPOSED 1 FOOT CONTOUR
— 150 —	PROPOSED 5 FOOT CONTOUR
- - - 149 - - -	EXISTING 1 FOOT CONTOUR
- - - 150 - - -	EXISTING 5 FOOT CONTOUR

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 WAUKESHA, WISCONSIN 53188  
 P. 262.513.0666

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PROJECT:  
**MSP Mayfair North**

PROJECT LOCATION:  
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 Wauwatosa, Milwaukee County  
 Wisconsin, 53222**

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Designed By: PJS  
 Reviewed By: CAJ  
 Approved By:

**SITE GRADING PLAN**

SHEET NUMBER:  
**C3.0**

JSD PROJECT NO: 25-15011

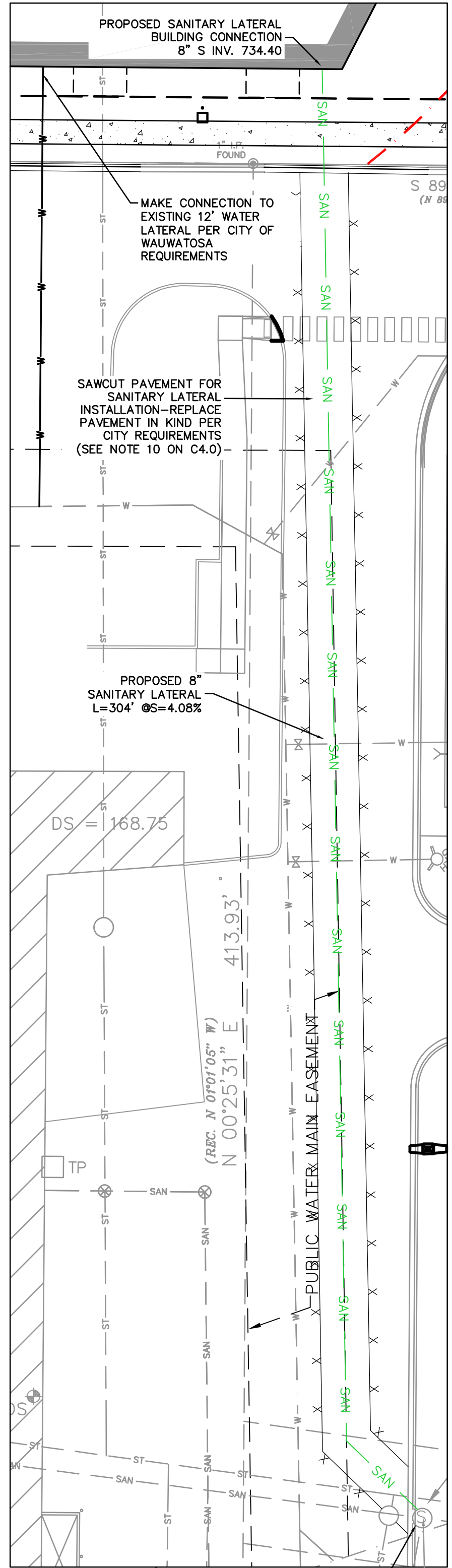
**DIGGERS HOTLINE**  
 Toll Free (800) 242-8511

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**LEGEND**

---	PROPERTY LINE
- - -	RIGHT-OF-WAY
- · - · -	EASEMENT LINE
▭	BUILDING OUTLINE
▭	BUILDING OVERHANG
▭	STANDARD CURB AND GUTTER
▭	ASPHALT PAVEMENT
▭	CONCRETE PAVEMENT
▭	RETAINING WALL
○	SANITARY SEWER
○	WATERMAIN
○	STORM SEWER
○	EXISTING SANITARY SEWER
○	EXISTING WATERMAIN
○	EXISTING STORM SEWER

- NOTES:**
1. ALL STORM SEWER, SANITARY SEWER, AND WATER MAIN MATERIALS AND INSTALLATION PER APPLICABLE SECTIONS OF THE LATEST EDITIONS OF THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN, WISCONSIN ADMINISTRATIVE PLUMBING CODE AND THE CITY OF WAUWATOSA REQUIREMENTS.
  2. ALL TRENCHES IN PAVEMENT AREAS SHALL HAVE GRAVEL BACKFILL.
  3. EXACT SIZE AND LOCATION OF SANITARY AND WATER SERVICE TO PROPOSED BUILDINGS BY PLUMBING CONSULTANT/CONTRACTOR.
  4. PROPOSED WATER LATERAL SHALL HAVE A MINIMUM 6 FEET OF COVER.
  5. THE CONTRACTOR SHALL VERIFY ALL SEWER AND WATER CONNECTIONS PRIOR TO UTILITY CONSTRUCTION. NOTIFY THE ENGINEER WITH ANY DISCREPANCIES.
  6. THE PROPOSED STORM SEWER HAS BEEN DESIGNED USING THE AREA METHOD.
  7. STORM SEWER: PVC ASTM D3034, OR ADSN-12 HDPE  
SANITARY SEWER: PVC ASTM D3034, SDR 35  
WATER MAIN: PVC, AWWA C900, CLASS 150 (DR18)
  8. EXISTING UTILITIES NOTED TO BE RELOCATED BY OTHERS ARE BASED ON THE CIVIL PLAN SET FURNISHED BY PINNACLE ENGINEERING GROUP DATED 11/09/2022 AND APPROVED BY CITY OF WAUWATOSA ON 12/16/2022. SEE PLANS BY OTHERS (PINNACLE) FOR THE FINAL CONSTRUCTION PLANS FOR THE UTILITIES TO BE RELOCATED.
  9. STORM WATER MANAGEMENT FOR THIS SITE, MEETING THE REQUIREMENTS OF THE CITY, MMSD AND WI DNR 151 FOR REDEVELOPMENT WILL BE MET BY THE USE OF THE EXISTING UNDERGROUND DETENTION FACILITY DESIGNED, APPROVED AND IMPLEMENTED FROM THE PLAN & REPORT FURNISHED BY PINNACLE ENGINEERING GROUP DATED 07/10/2020.
  10. SAWCUT PAVEMENT FOR INSTALLATION OF SANITARY LATERALS. INSTALL ALL SANITARY UTILITIES PER CITY REQUIREMENT AND STANDARDS. ALL UTILITY INSTALLATION WITHIN PAVEMENT LIMITS SHALL HAVE GRAVEL BACKFILL AND PAVEMENT SHALL BE REPLACED IN KIND. MATCH EXISTING PAVEMENT EDGE GRADES.



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PROJECT:  
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Designed By: PJS  
Reviewed By: CAJ  
Approved By:

SHEET TITLE:  
**SITE UTILITY PLAN**

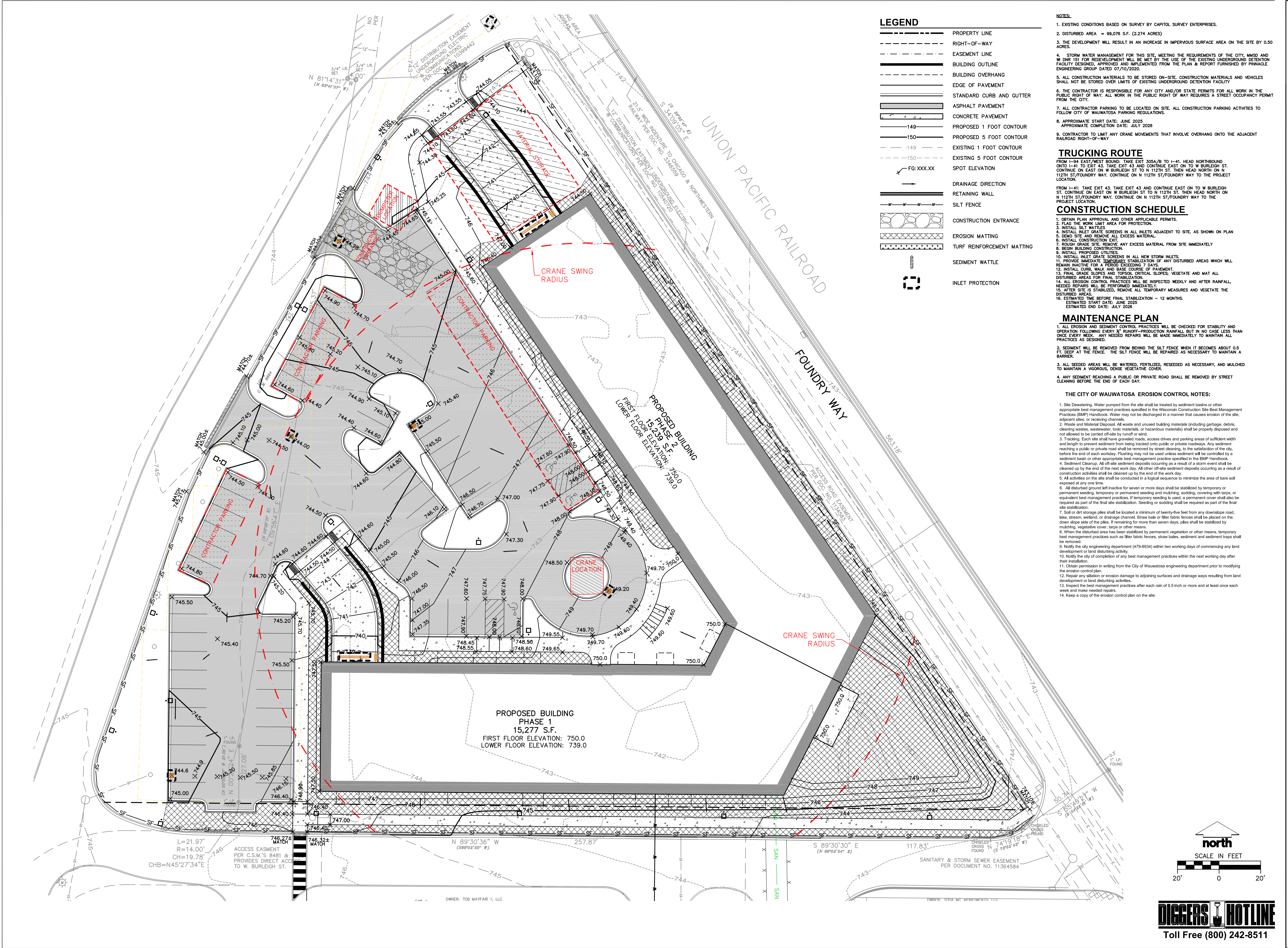
SHEET NUMBER:  
**C4.0**

JSD PROJECT NO: 25-15011

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**LEGEND**

---	PROPERTY LINE
- - -	RIGHT-OF-WAY
---	EASEMENT LINE
---	BUILDING OUTLINE
---	BUILDING OVERHANG
---	EDGE OF PAVEMENT
---	STANDARD CURB AND GUTTER
---	ASPHALT PAVEMENT
---	CONCRETE PAVEMENT
---	PROPOSED 1 FOOT CONTOUR
---	PROPOSED 5 FOOT CONTOUR
---	EXISTING 1 FOOT CONTOUR
---	EXISTING 5 FOOT CONTOUR
---	SPOT ELEVATION
---	DRAINAGE DIRECTION
---	RETAINING WALL
---	SILT FENCE
---	CONSTRUCTION ENTRANCE
---	EROSION MATTING
---	TURF REINFORCEMENT MATTING
---	SEDIMENT WATTLE
---	INLET PROTECTION

- NOTES:**
- EXISTING CONDITIONS BASED ON SURVEY BY CAPITOL SURVEY ENTERPRISES.
  - DISTURBED AREA = 99,076 S.F. (2.274 ACRES)
  - THE DEVELOPMENT WILL RESULT IN AN INCREASE IN IMPERVIOUS SURFACE AREA ON THE SITE BY 0.50 ACRES.
  - STORM WATER MANAGEMENT FOR THIS SITE, MEETING THE REQUIREMENTS OF THE CITY, WMSD AND W DNR 151 FOR REDEVELOPMENT WILL BE MET BY THE USE OF THE EXISTING UNDERGROUND DETENTION FACILITY DESIGNED, APPROVED AND IMPLEMENTED FROM THE PLAN & REPORT FURNISHED BY PINNACLE ENGINEERING GROUP DATED 07/10/2025.
  - ALL CONSTRUCTION MATERIALS TO BE STORED ON-SITE. CONSTRUCTION MATERIALS AND VEHICLES SHALL NOT BE STORED OVER LIMITS OF EXISTING UNDERGROUND DETENTION FACILITY.
  - THE CONTRACTOR IS RESPONSIBLE FOR ANY CITY AND/OR STATE PERMITS FOR ALL WORK IN THE PUBLIC RIGHT OF WAY. ALL WORK IN THE PUBLIC RIGHT OF WAY REQUIRES A STREET OCCUPANCY PERMIT FROM THE CITY.
  - ALL CONTRACTOR PARKING TO BE LOCATED ON SITE. ALL CONSTRUCTION PARKING ACTIVITIES TO FOLLOW CITY OF WAUWATOSA PARKING REGULATIONS.
  - APPROXIMATE START DATE: JUNE 2025  
APPROXIMATE COMPLETION DATE: JULY 2026
  - CONTRACTOR TO LIMIT ANY CRANE MOVEMENTS THAT INVOLVE OVERHANG ONTO THE ADJACENT RAILROAD RIGHT-OF-WAY

**TRUCKING ROUTE**

FROM I-94 EAST/WEST BOUND: TAKE EXIT 305A/B TO I-41, HEAD NORTHBOUND ONTO I-41 TO EXIT 43. TAKE EXIT 43 AND CONTINUE EAST ON TO W BURLIEGH ST. CONTINUE ON EAST ON W BURLIEGH ST TO N 112TH ST. THEN HEAD NORTH ON N 112TH ST/FOUNDRY WAY. CONTINUE ON N 112TH ST/FOUNDRY WAY TO THE PROJECT LOCATION.

FROM I-41: TAKE EXIT 43. TAKE EXIT 43 AND CONTINUE EAST ON TO W BURLIEGH ST. CONTINUE ON EAST ON W BURLIEGH ST TO N 112TH ST. THEN HEAD NORTH ON N 112TH ST/FOUNDRY WAY. CONTINUE ON N 112TH ST/FOUNDRY WAY TO THE PROJECT LOCATION.

- CONSTRUCTION SCHEDULE**
- OBTAIN PLAN APPROVAL AND OTHER APPLICABLE PERMITS.
  - FLUSH THE WORK LIMIT AREA FOR PROTECTION.
  - INSTALL SILT WATTLES
  - INSTALL LET GRATE SCREENS IN ALL INLETS ADJACENT TO SITE. AS SHOWN ON PLAN
  - DEMO SITE AND REMOVE ALL EXCESS MATERIAL
  - INSTALL CONSTRUCTION EXIT
  - ROUGH GRADE SITE. REMOVE ANY EXCESS MATERIAL FROM SITE IMMEDIATELY
  - BEGIN BUILDING CONSTRUCTION
  - INSTALL GRATE SCREENS IN ALL NEW STORM INLETS.
  - PROVIDE IMMEDIATE TEMPORARY STABILIZATION OF ANY DISTURBED AREAS WHICH WILL REMAIN INACTIVE FOR A PERIOD EXCEEDING 7 DAYS.
  - INSTALL CURB, WALK AND BASE COURSE OF PAVEMENT.
  - FINAL GRADE SLOPES AND TOPSOIL. CRITICAL SLOPES; VEGETATE AND MAT ALL DISTURBED AREAS FOR FINAL STABILIZATION.
  - ALL EROSION CONTROL PRACTICES WILL BE INSPECTED WEEKLY AND AFTER RAINFALL. NEEDED REPAIRS WILL BE PERFORMED IMMEDIATELY.
  - AFTER SITE IS STABILIZED, REMOVE ALL TEMPORARY MEASURES AND VEGETATE THE DISTURBED AREAS.
  - ESTIMATED START DATE: JUNE 2025  
ESTIMATED END DATE: JULY 2026

- MAINTENANCE PLAN**
- ALL EROSION AND SEDIMENT CONTROL PRACTICES WILL BE CHECKED FOR STABILITY AND OPERATION FOLLOWING EVERY 2" RUNOFF-PRODUCTION RAINFALL BUT IN NO CASE LESS THAN ONCE EVERY WEEK. ANY NEEDED REPAIRS WILL BE MADE IMMEDIATELY TO MAINTAIN ALL PRACTICES AS DESIGNED.
  - SEDIMENT WILL BE REMOVED FROM BEHIND THE SILT FENCE WHEN IT BECOMES ABOUT 0.5 FT. DEEP AT THE FENCE. THE SILT FENCE WILL BE REPAIRED AS NECESSARY TO MAINTAIN A BARRIER.
  - ALL SEEDED AREAS WILL BE WATERED, FERTILIZED, RESEED AS NECESSARY, AND MULCHED TO MAINTAIN A VIGOROUS, DENSE VEGETATIVE COVER.
  - ANY SEDIMENT REACHING A PUBLIC OR PRIVATE ROAD SHALL BE REMOVED BY STREET CLEANING BEFORE THE END OF EACH DAY.

- THE CITY OF WAUWATOSA EROSION CONTROL NOTES:**
- Site Dewatering. Water pumped from the site shall be treated by sediment basins or other appropriate best management practices specified in the Wisconsin Construction Site Best Management Practices (BMP) Handbook. Water may not be discharged in a manner that causes erosion of the site, adjacent sites, or receiving channels.
  - Waste and Material Disposal. All waste and unused building materials (including garbage, debris, cleaning wastes, wastewater, toxic materials, or hazardous materials) shall be properly disposed and not allowed to be carried off-site by wind or water.
  - Tracking. Each site shall have gravelled roads, access drives and parking areas of sufficient width and length to prevent sediment from being tracked onto public or private roadways. Any sediment reaching a public or private road shall be removed by street cleaning, to the satisfaction of the city, before the end of each workday. Flushing may not be used unless sediment will be controlled by a sediment basin or other appropriate best management practices specified in the BMP Handbook.
  - Sediment Cleanup. All off-site sediment deposits occurring as a result of a storm event shall be cleaned up by the end of the next work day. All other off-site sediment deposits occurring as a result of construction activities shall be cleaned up by the end of the work day.
  - All activities on the site shall be conducted in a logical sequence to minimize the area of bare soil exposed at any one time.
  - All disturbed ground left inactive for seven or more days shall be stabilized by temporary or permanent seeding, temporary or permanent seeding and mulching, sodding, covering with tarps, or equivalent best management practices. If temporary seeding is used, a permanent cover shall also be required as part of the final site stabilization. Seeding or sodding shall be required as part of the final site stabilization.
  - Soil or dirt storage piles shall be located a minimum of twenty-five feet from any downslope road, lake, stream, wetland, or drainage channel. Straw bale or filter fabric fences shall be placed on the down slope side of the piles. If remaining for more than seven days, piles shall be stabilized by mulching, vegetative cover, tarps or other means.
  - When the disturbed area has been stabilized by permanent vegetation or other means, temporary best management practices such as filter fabric fences, straw bales, sediment and sediment traps shall be removed.
  - Notify the city engineering department (478-8934) within two working days of commencing any land development or land disturbing activity.
  - Notify the city of completion of any best management practices within the next working day after their installation.
  - Obtain permission in writing from the City of Wauwatosa engineering department prior to modifying the erosion control plan.
  - Repair any alluvion or erosion damage to adjoining surfaces and drainage ways resulting from land development or land disturbing activities.
  - Inspect the best management practices after each rain of 0.5 inch or more and at least once each week and make needed repairs.
  - Keep a copy of the erosion control plan on the site.

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Designed By: PJS  
Reviewed By: CAJ  
Approved By:

SHEET TITLE:  
**SITE EROSION CONTROL PLAN**

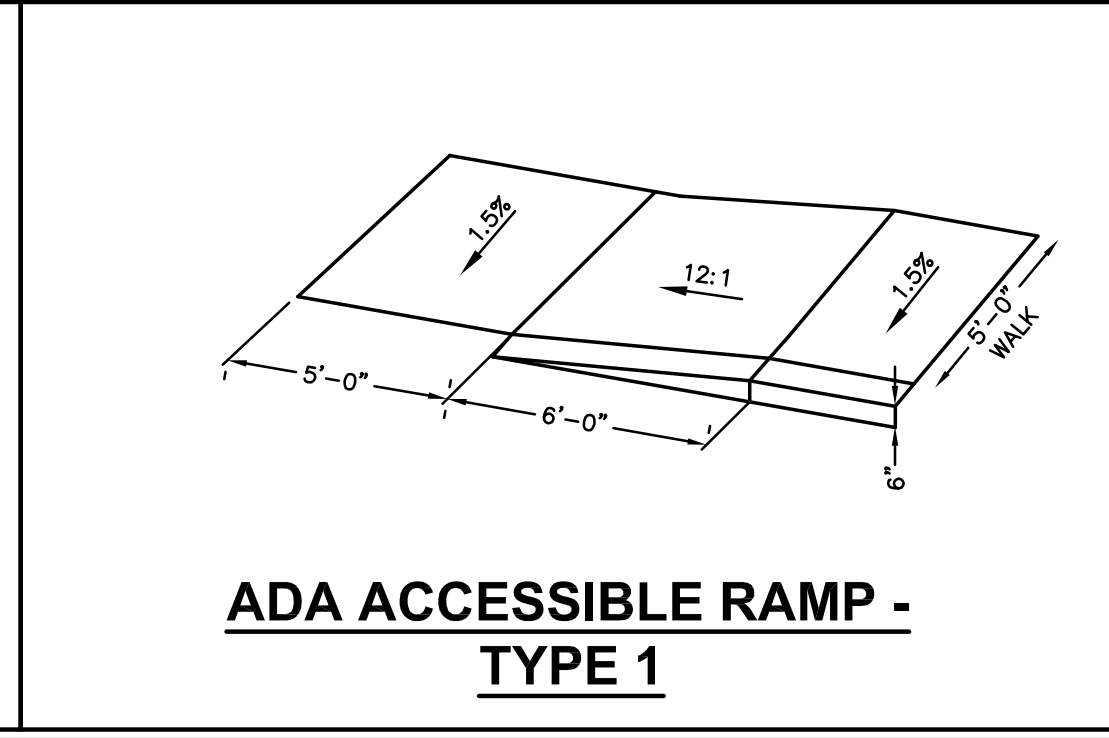
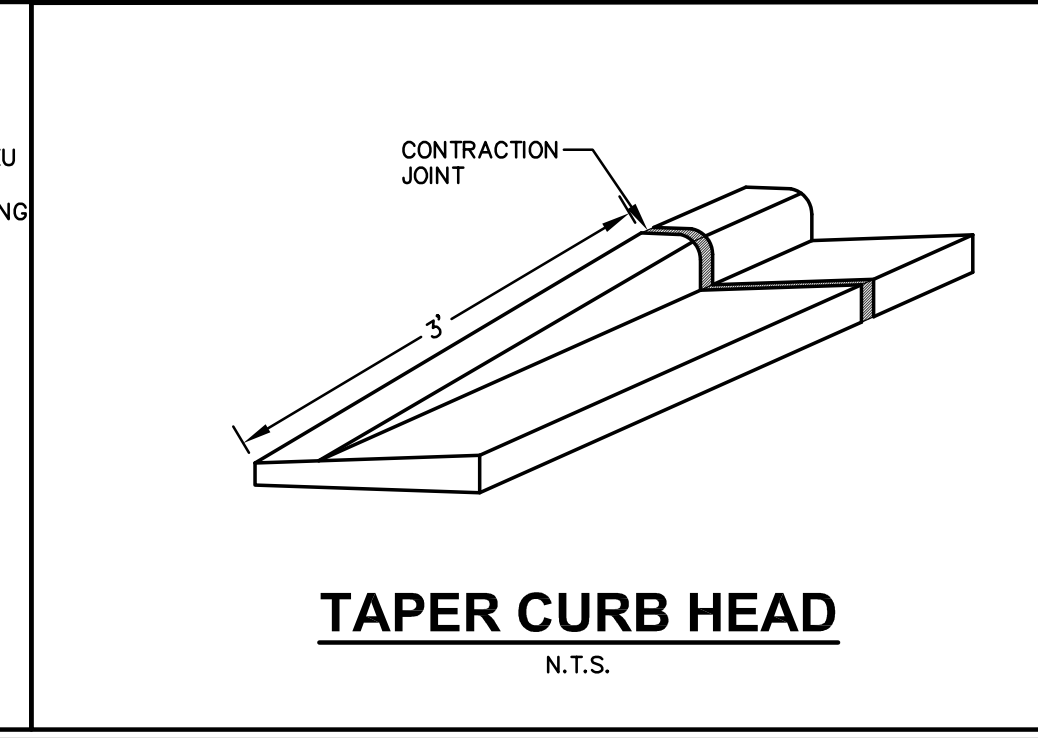
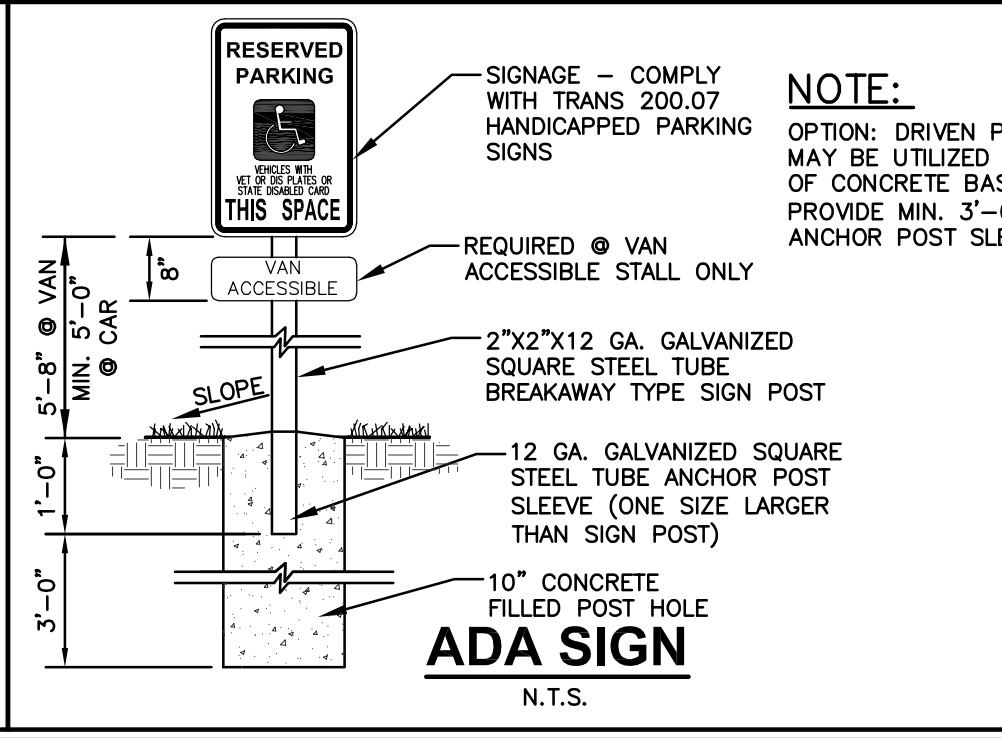
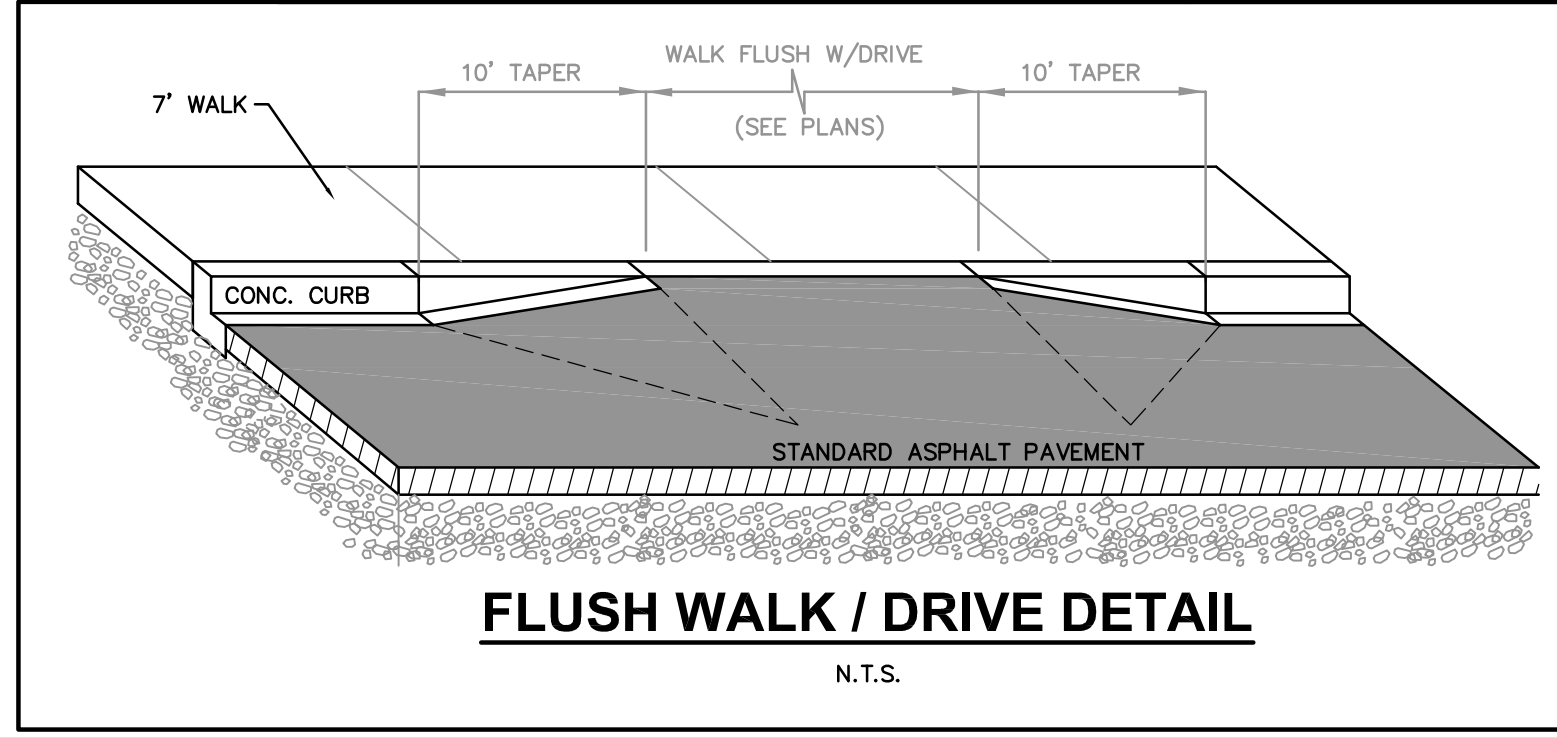
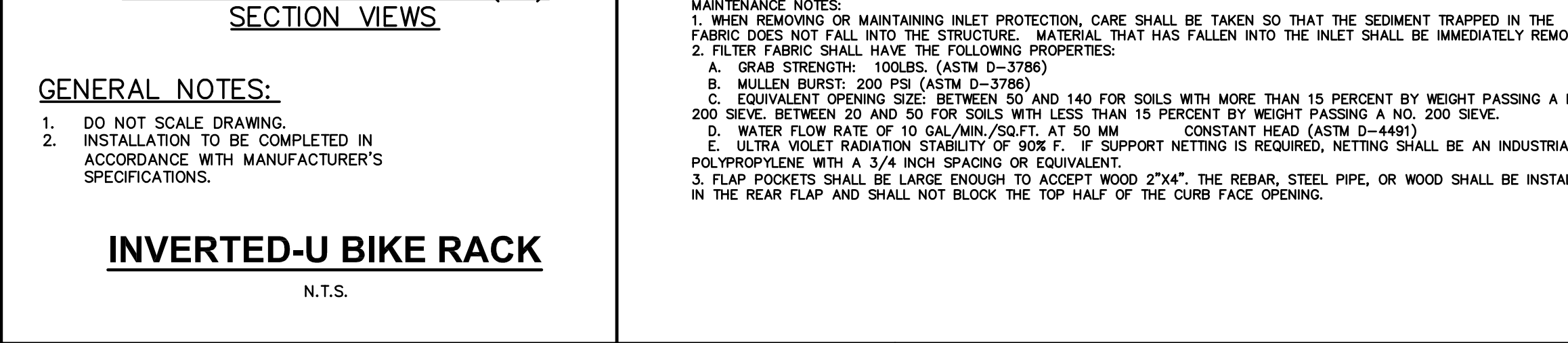
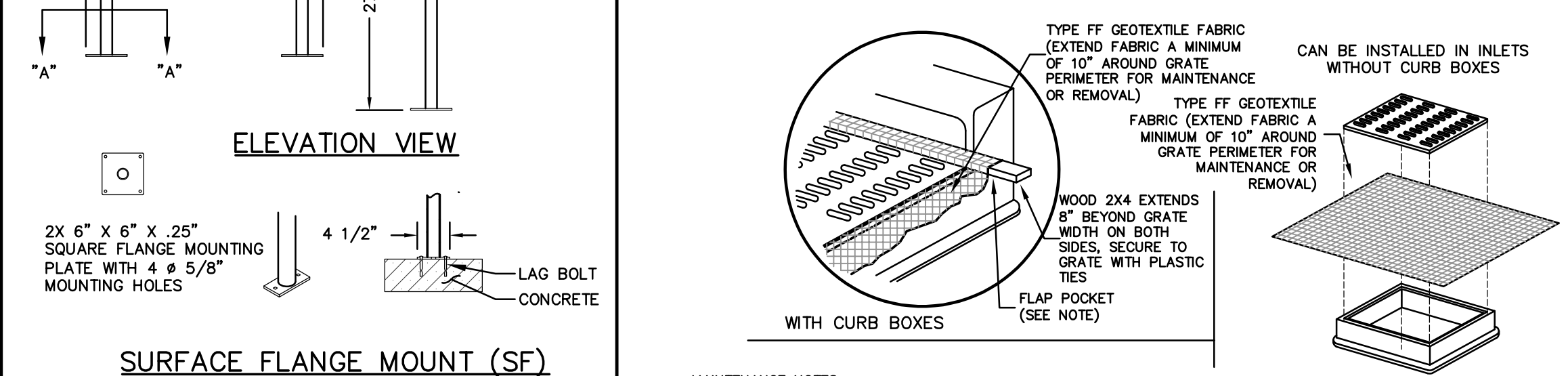
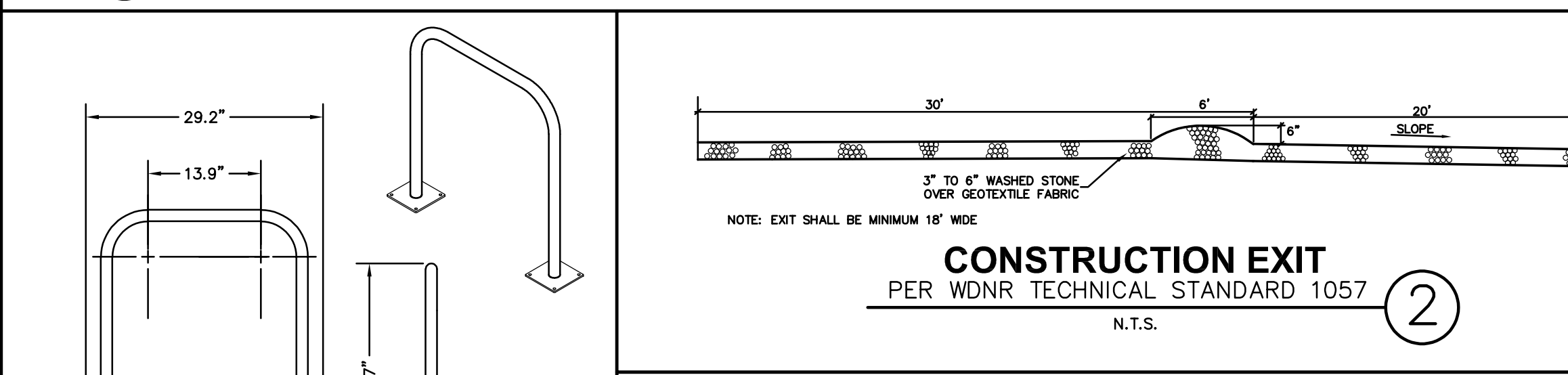
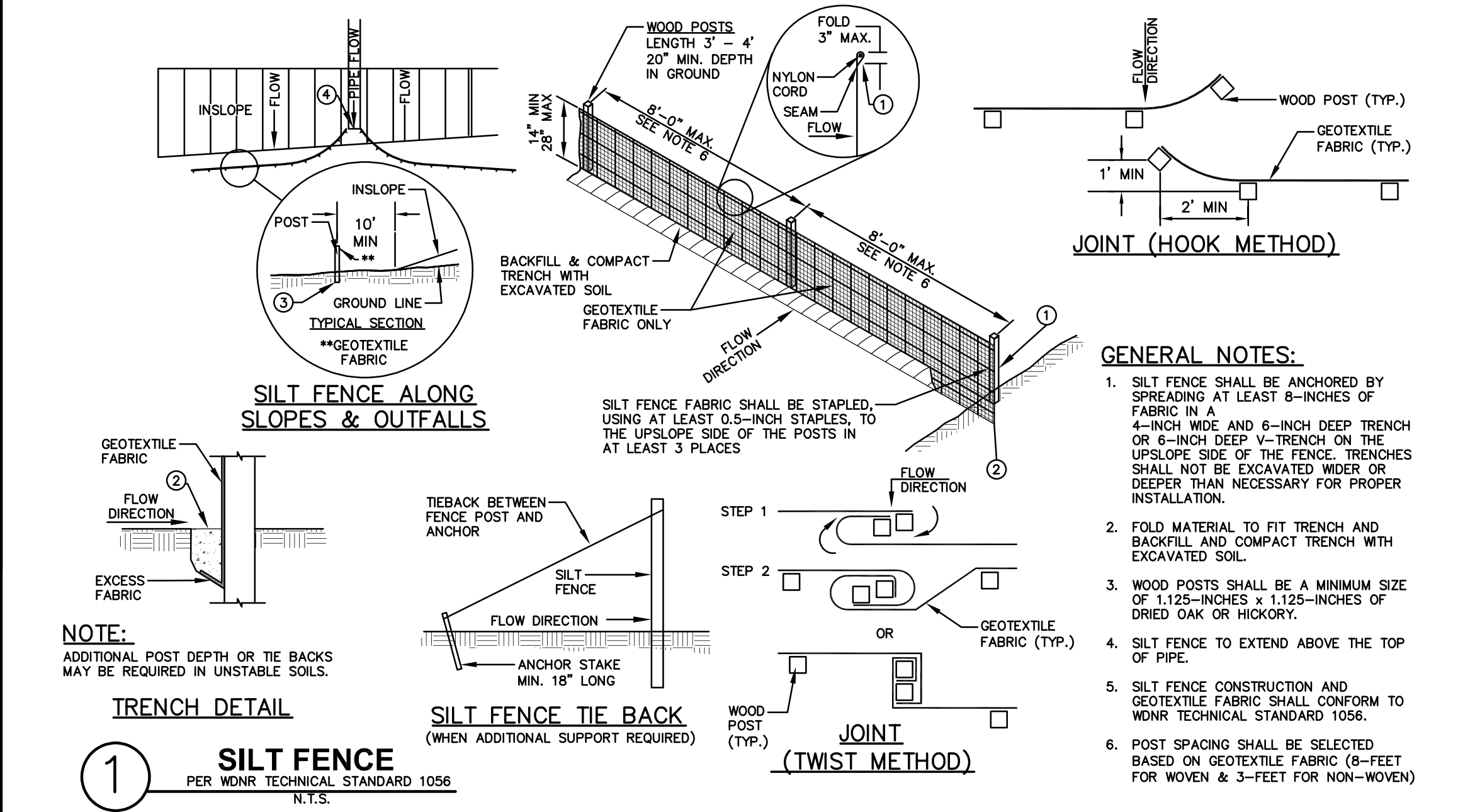
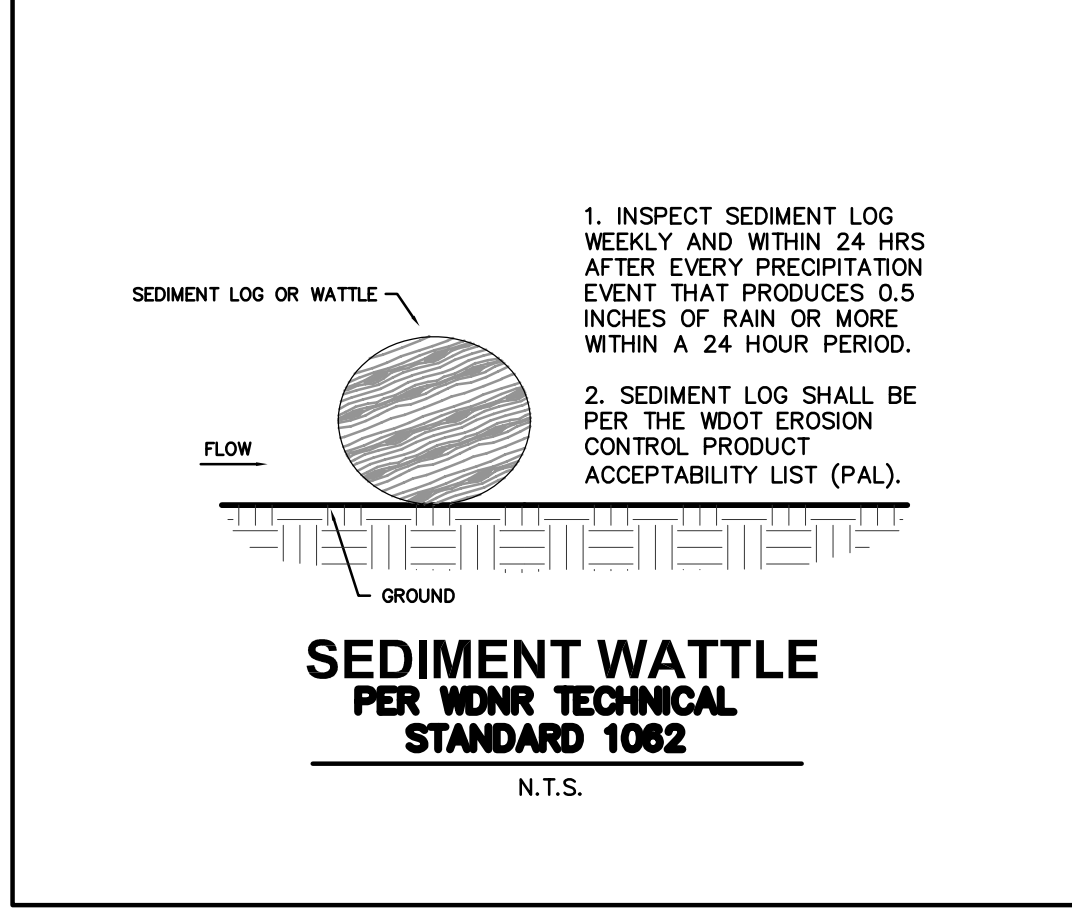
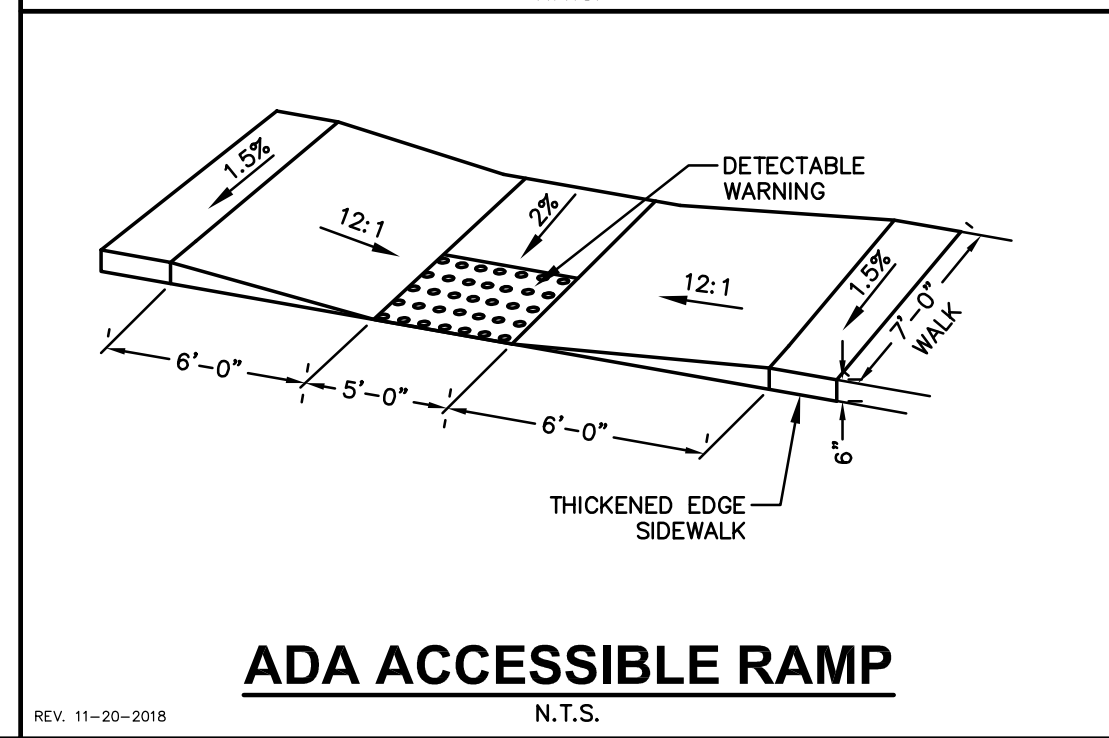
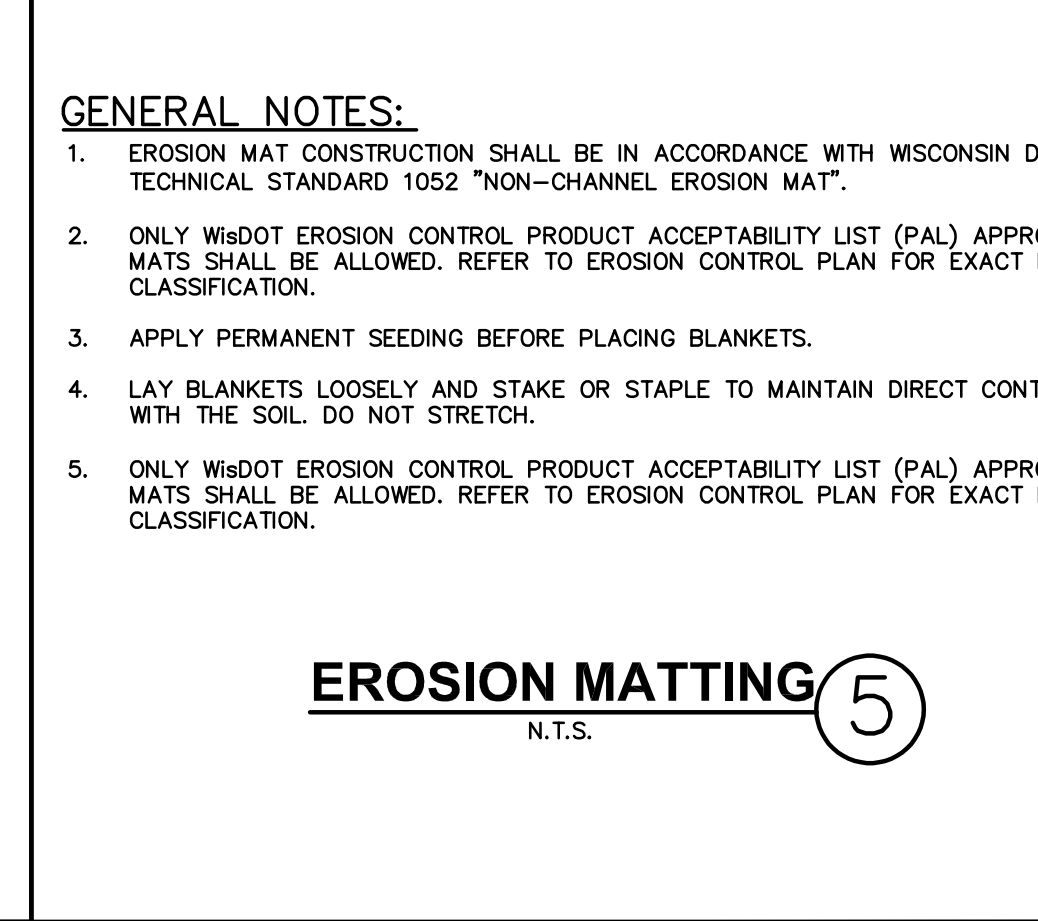
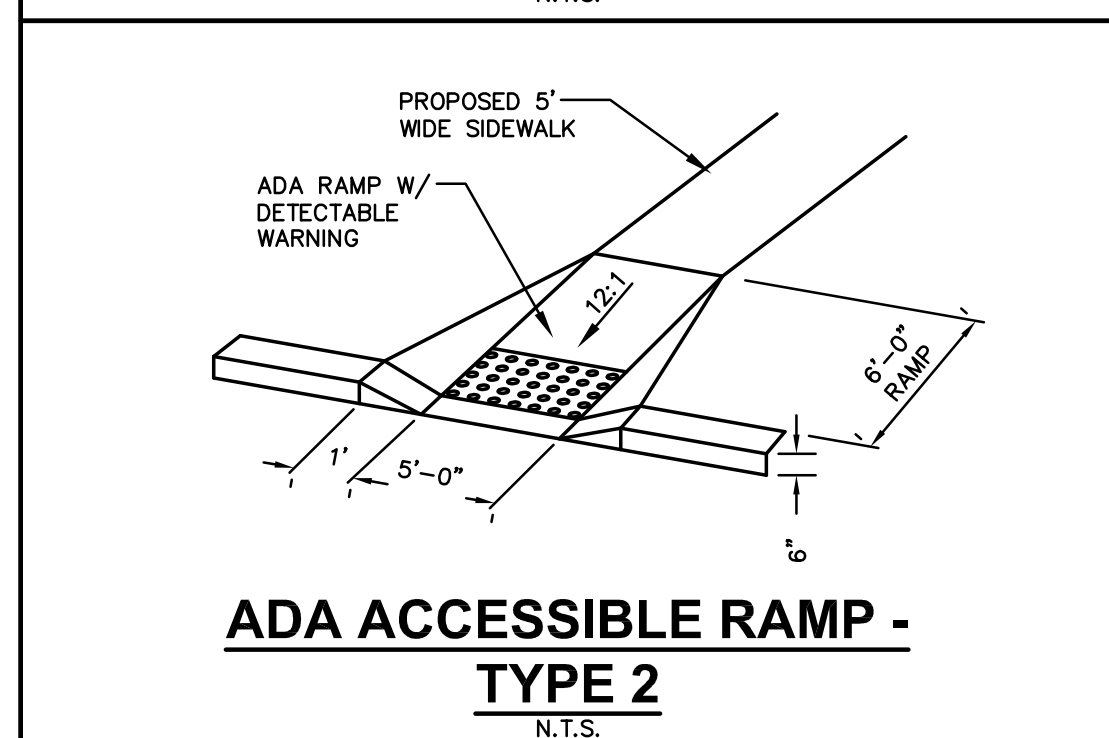
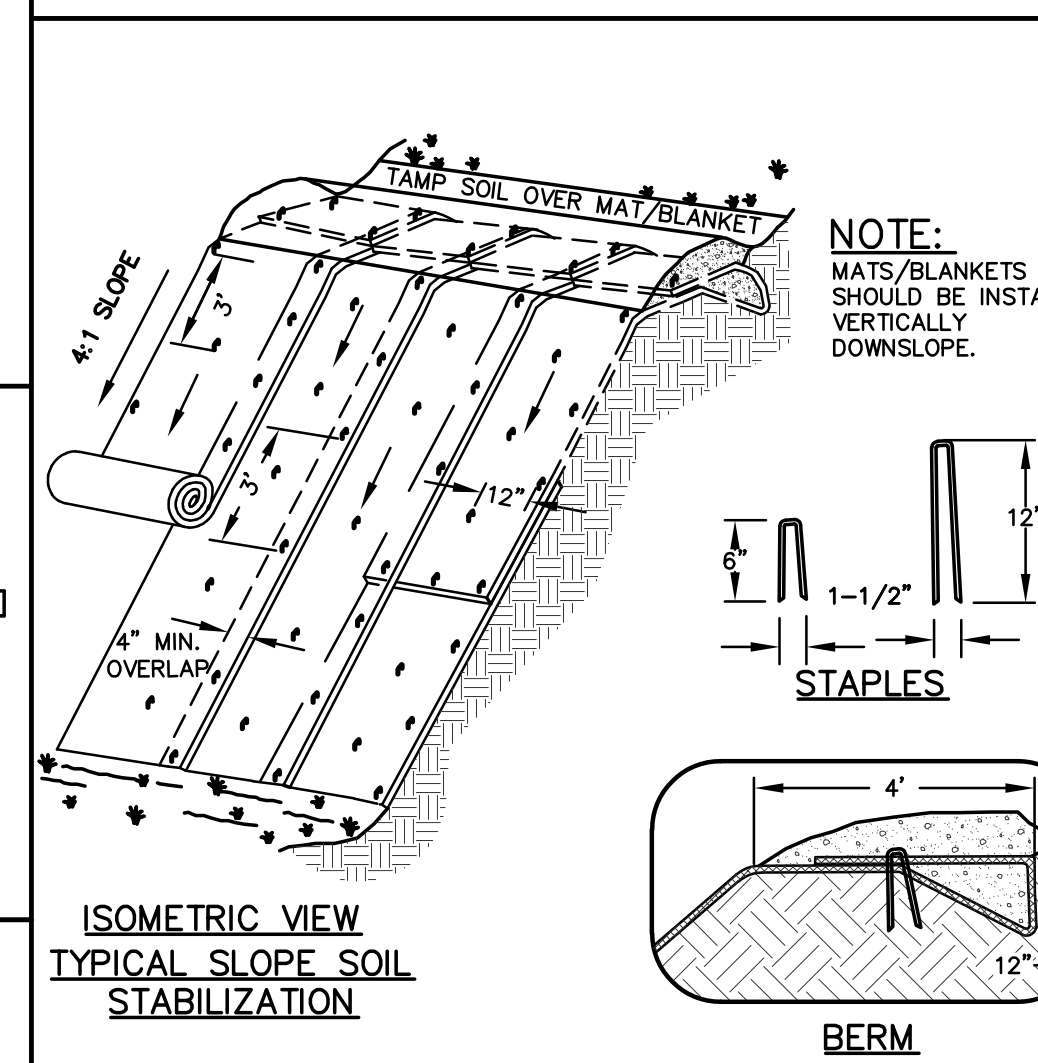
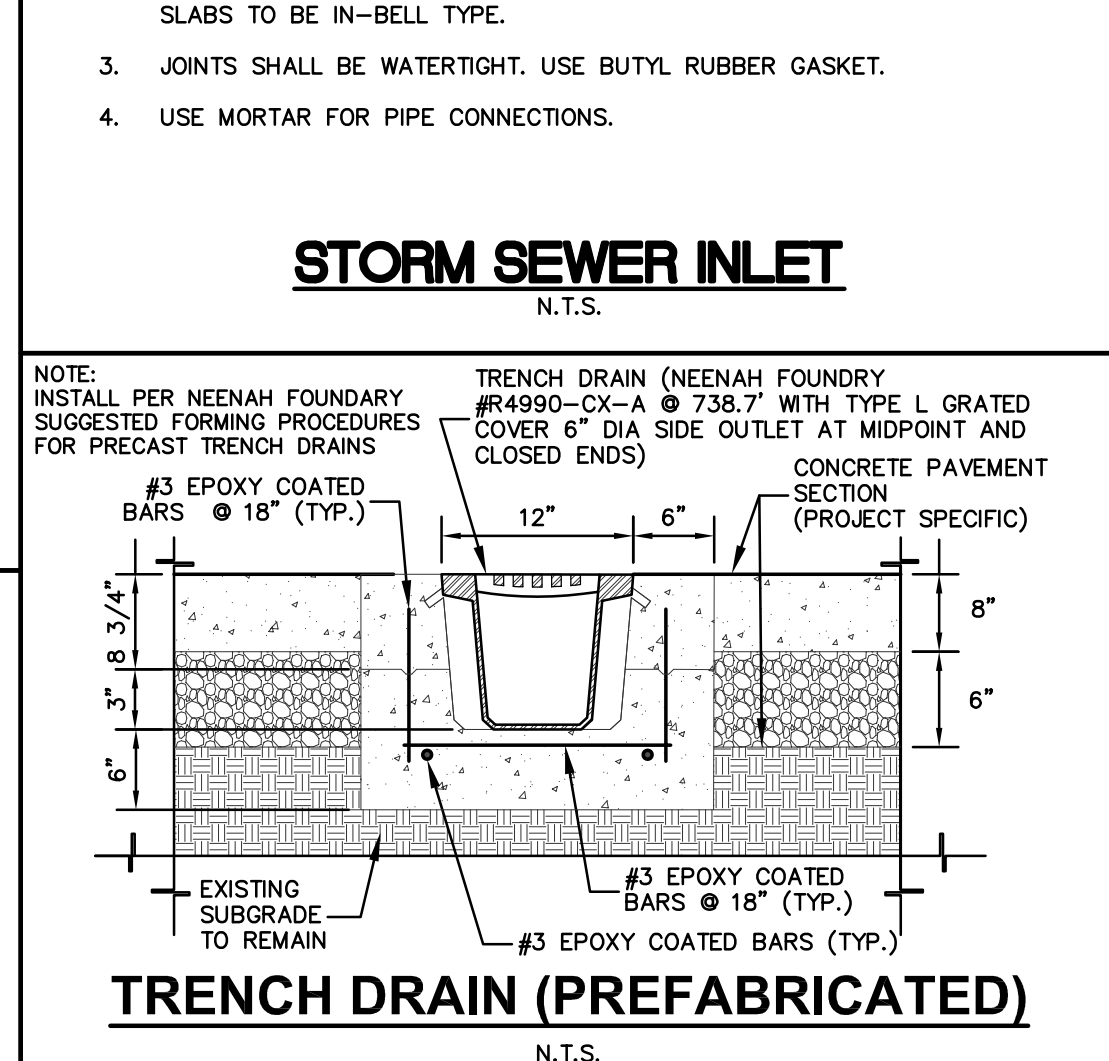
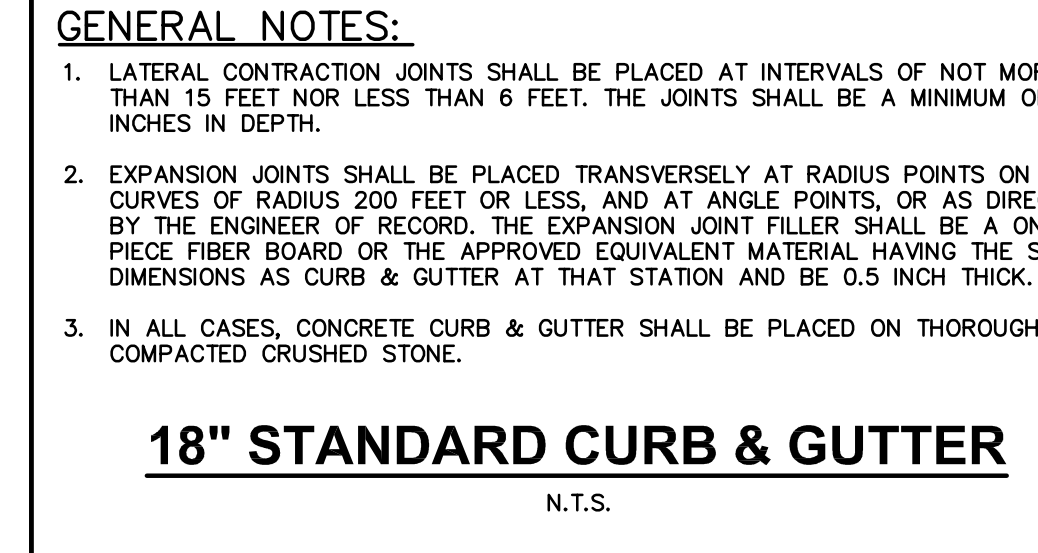
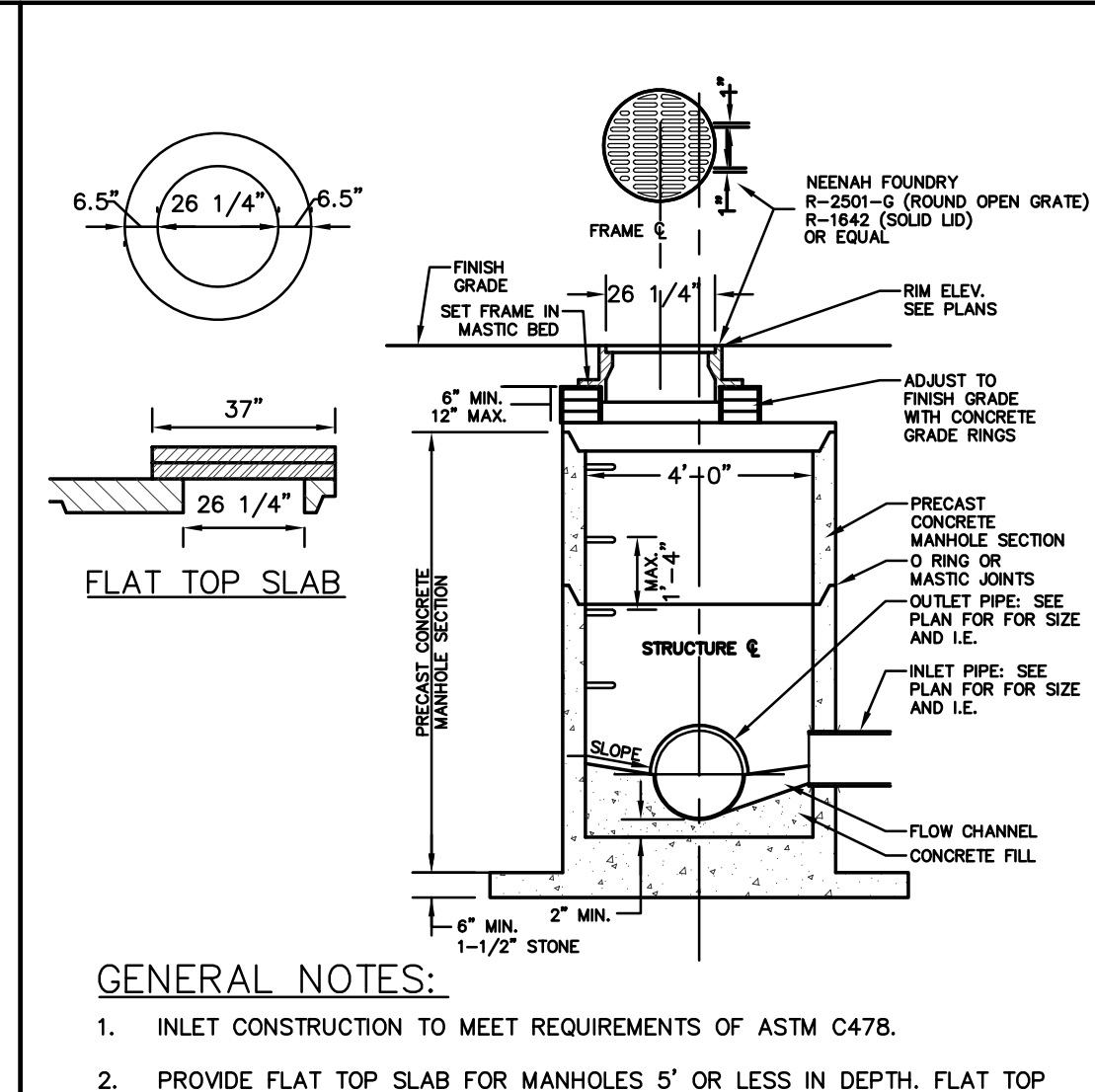
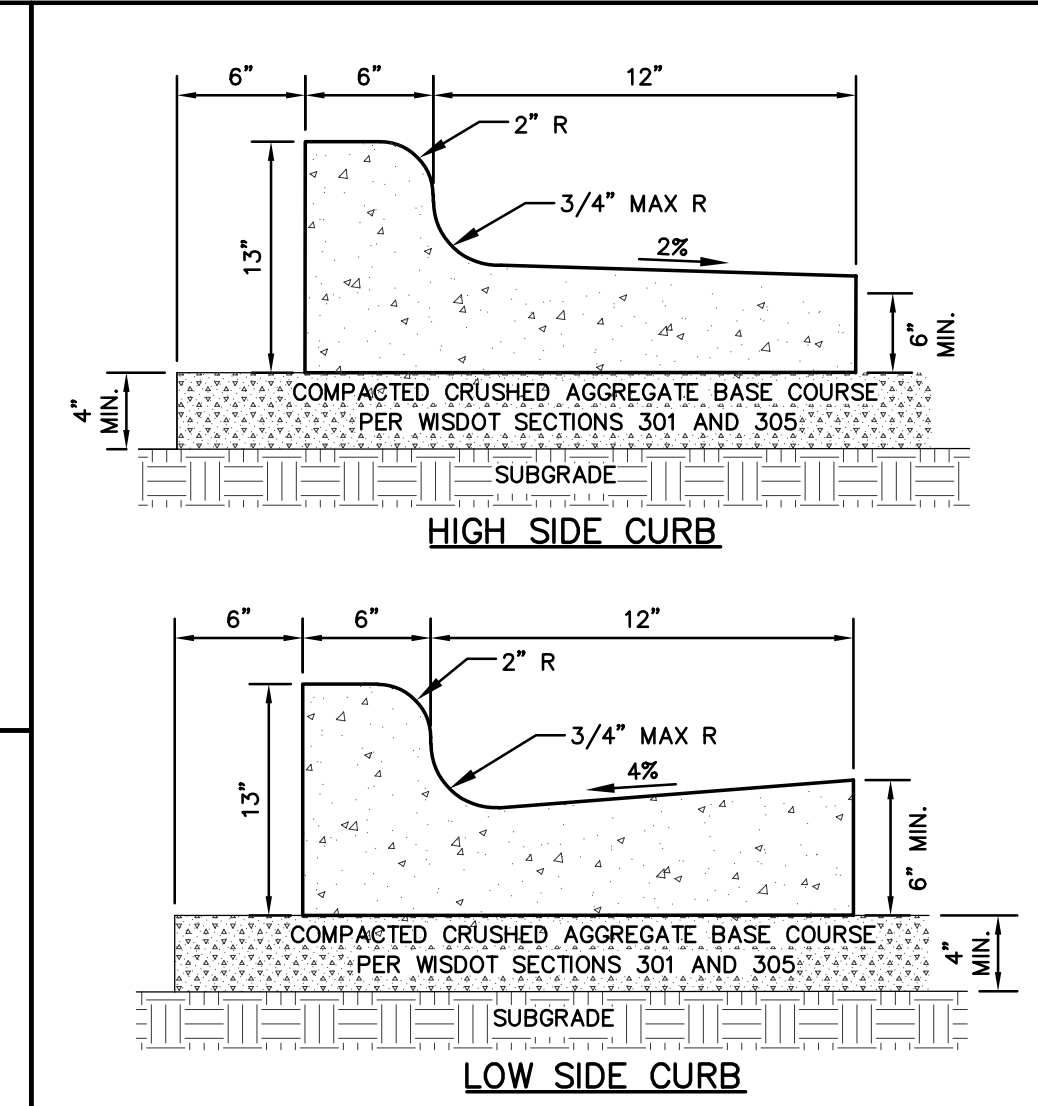
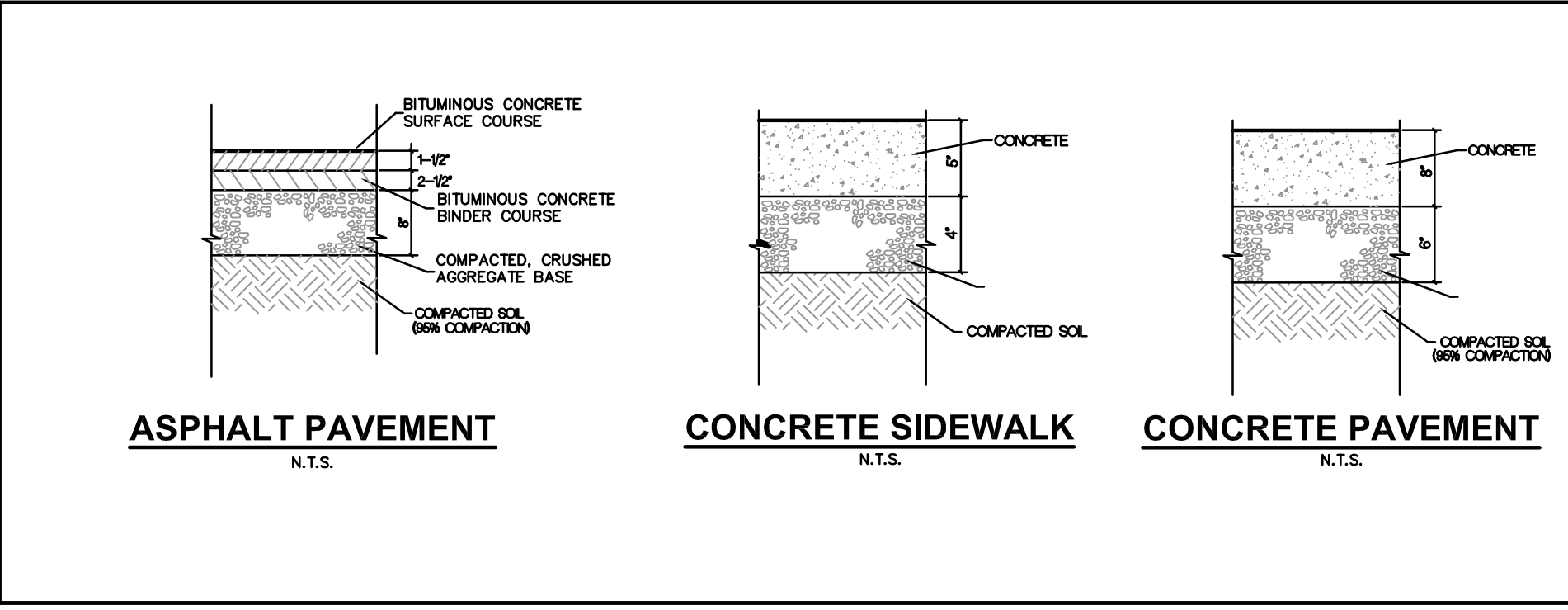
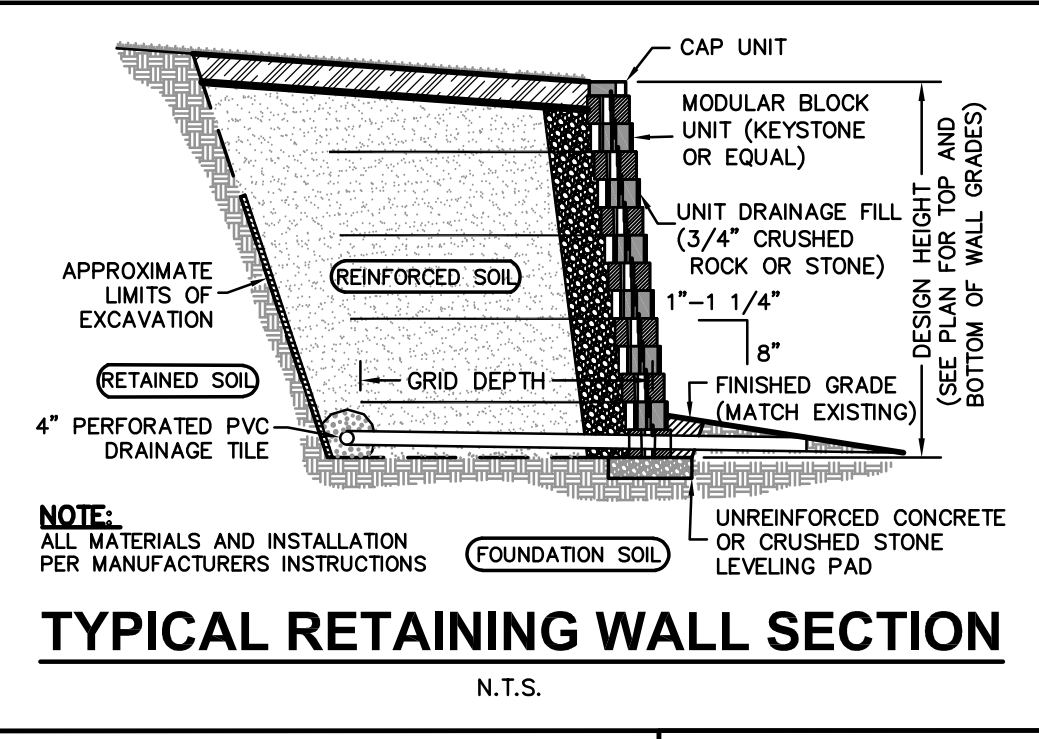
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**C5.0**

JSD PROJECT NO: 25-15011

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MILWAUKEE REGIONAL OFFICE  
W238 N1610 BUSSE ROAD, SUITE 100  
WAUKESHA, WISCONSIN 53188  
P. 262.513.0666

CLIENT:  
**MSP REAL ESTATE**

CLIENT ADDRESS:  
7901 West National Avenue  
West Allis, WI, 53214

PROJECT:  
**MSP Mayfair North**

PROJECT LOCATION:  
Foundry Way  
Wauwatosa, Milwaukee County  
Wisconsin, 53222

PLAN MODIFICATIONS:

#	Date:	Description:
1	02/05/2025	PUD SUBMITTAL
2	02/14/2025	PUD REVISED SUBMITTAL
3		
4		
5		
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8		
9		
10		
11		
12		
13		
14		
15		

Designed By: PJS  
Reviewed By: CAJ  
Approved By:  
SHEET TITLE:  
**SITE DETAILS**

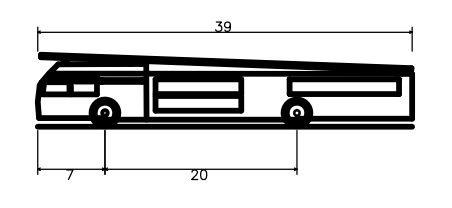
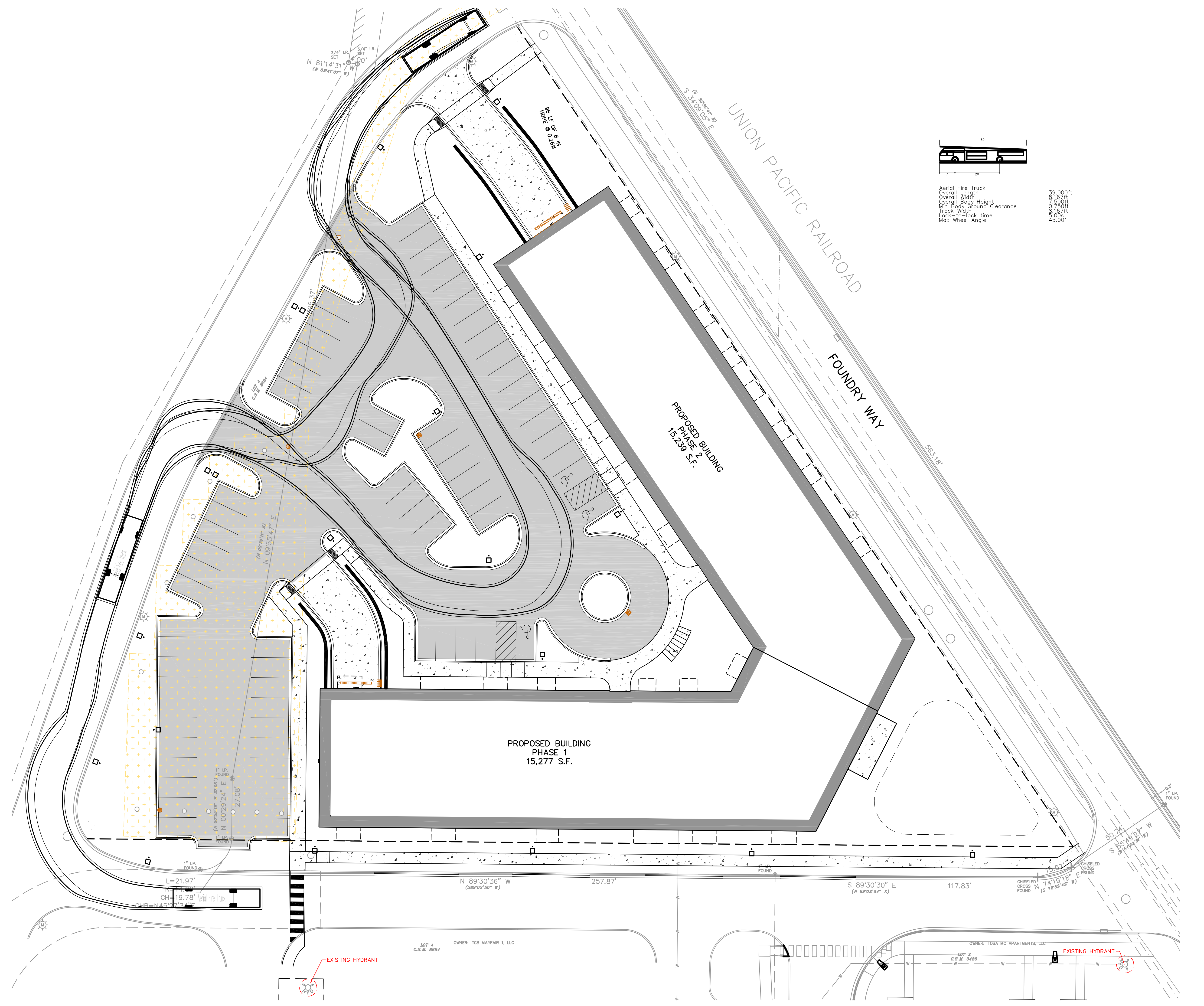
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JSD PROJECT NO: 25-15011

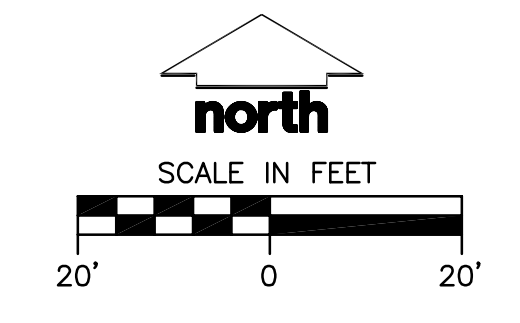
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Aerial Fire Truck  
Overall Length 39.000ft  
Overall Width 7.167ft  
Overall Body Height 20.750ft  
Track Width 8.167ft  
Lock-to-lock time 5.00s  
Max Wheel Angle 45.00°



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PLAN MODIFICATIONS:		
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1	02/05/2025	PUD SUBMITTAL
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Designed By: PJS  
Reviewed By: CAJ

Approved By:

SHEET TITLE:  
**FIRE ACCESS PLAN**

SHEET NUMBER:  
**C7.0**

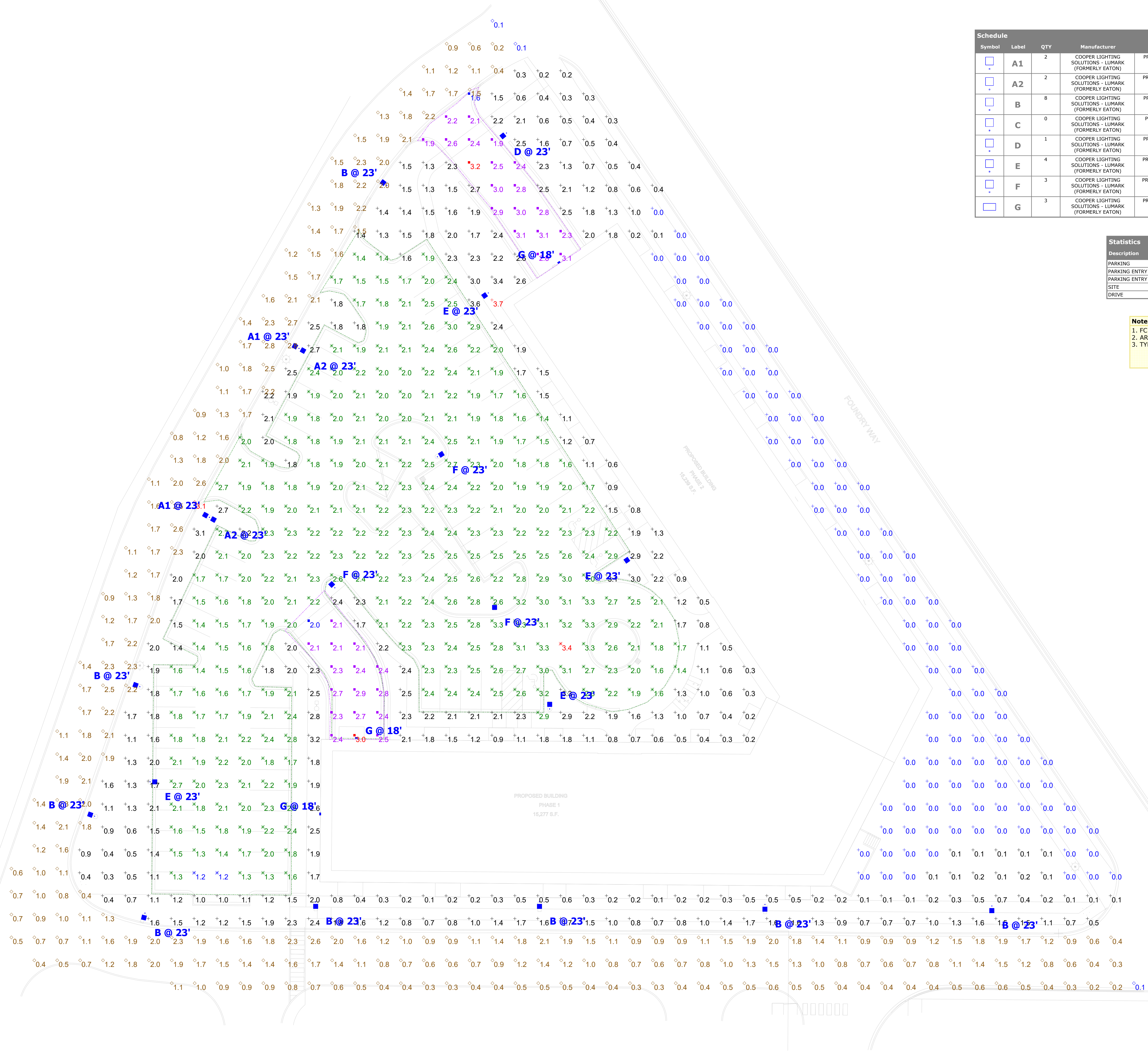
JSD PROJECT NO: 25-15011

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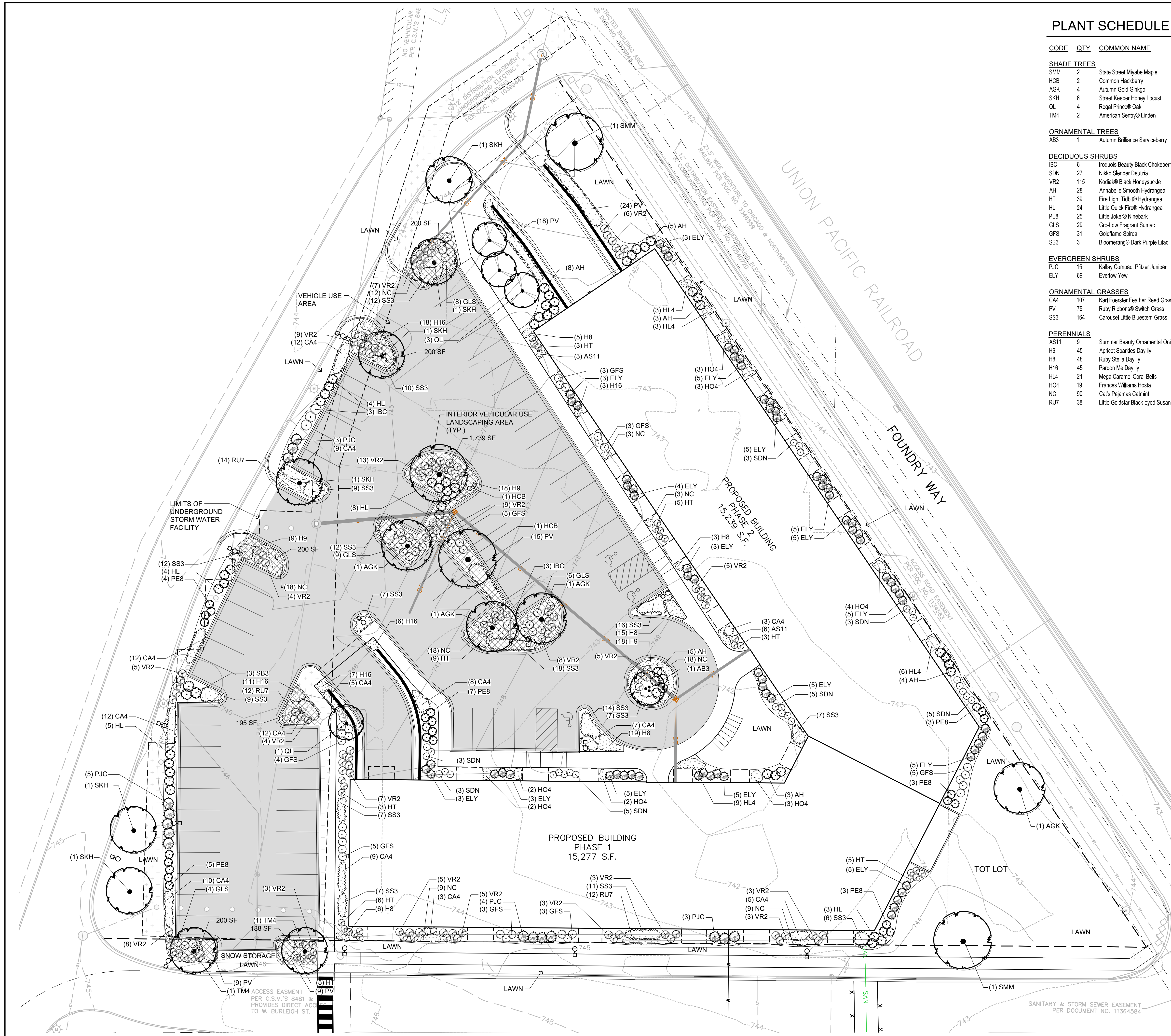
Symbol	Label	QTY	Manufacturer	Catalog	Description	LLF	Input Power
	A1	2	COOPER LIGHTING SOLUTIONS - LUMARK (FORMERLY EATON)	PRV-P-PA1A-740-U-T2R	PREVAIL AREA LUMINAIRE (1) 70 CRI, 4000K, 375mA LIGHT ENGINE WITH 24 LEDS AND TYPE II ROADWAY OPTICS	1	30.7
	A2	2	COOPER LIGHTING SOLUTIONS - LUMARK (FORMERLY EATON)	PRV-P-PA1B-740-U-T4W	PREVAIL AREA LUMINAIRE (1) 70 CRI, 4000K, 670mA LIGHT ENGINE WITH 24 LEDS AND TYPE IV WIDE OPTICS	1	52.8
	B	8	COOPER LIGHTING SOLUTIONS - LUMARK (FORMERLY EATON)	PRV-P-PA1A-740-U-T2R	PREVAIL AREA LUMINAIRE (1) 70 CRI, 4000K, 375mA LIGHT ENGINE WITH 24 LEDS AND TYPE II ROADWAY OPTICS	1	30.7
	C	0	COOPER LIGHTING SOLUTIONS - LUMARK (FORMERLY EATON)	PRV-P-PA1B-740-U-T3	PREVAIL AREA LUMINAIRE (1) 70 CRI, 4000K, 670mA LIGHT ENGINE WITH 24 LEDS AND TYPE III OPTICS	1	52.8
	D	1	COOPER LIGHTING SOLUTIONS - LUMARK (FORMERLY EATON)	PRV-P-PA1C-740-U-T2U	PREVAIL AREA LUMINAIRE (1) 70 CRI, 4000K, 930mA LIGHT ENGINE WITH 24 LEDS AND TYPE II U OPTICS	1	72.1
	E	4	COOPER LIGHTING SOLUTIONS - LUMARK (FORMERLY EATON)	PRV-P-PA1D-740-U-T4W	PREVAIL AREA LUMINAIRE (1) 70 CRI, 4000K, 1200mA LIGHT ENGINE WITH 24 LEDS AND TYPE IV WIDE OPTICS	1	93.4
	F	3	COOPER LIGHTING SOLUTIONS - LUMARK (FORMERLY EATON)	PRV-P-PA1D-740-U-SWQ	PREVAIL AREA LUMINAIRE (1) 70 CRI, 4000K, 1200mA LIGHT ENGINE WITH 24 LEDS AND TYPE V WIDE OPTICS	1	93.4
	G	3	COOPER LIGHTING SOLUTIONS - LUMARK (FORMERLY EATON)	PRV-P-PA1B-740-U-T4W	PREVAIL WALL LUMINAIRE (1) 70 CRI, 4000K, 670mA LIGHT ENGINE WITH 24 LEDS AND TYPE IV WIDE OPTICS	1	52.8

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
PARKING	X	2.2 fc	3.4 fc	1.2 fc	2.8:1	1.8:1
PARKING ENTRY	■	2.4 fc	3.0 fc	2.0 fc	1.5:1	1.2:1
PARKING ENTRY	■	2.6 fc	3.2 fc	1.6 fc	2.0:1	1.6:1
SITE	+	1.5 fc	3.7 fc	0.0 fc	N/A	N/A
DRIVE	◇	1.3 fc	3.1 fc	0.1 fc	31.0:1	13.0:1

**Note**  
 1. FC MEASURED AT 0' AFG  
 2. AREA LUMINAIRES MOUNTED TO 20'-0" POLE WITH 3'-0" CONCRETE BASE  
 3. TYPES A1 AND A2 ARE MOUNTED AT 180 DEGREES ON ONE POLE



**Plan View**  
 Scale - 1" = 20ft



**PLANT SCHEDULE SITE**

CODE	QTY	COMMON NAME	BOTANICAL NAME	INSTALLED SIZE	ROOT	SPACING	MATURE SIZE
<b>SHADE TREES</b>							
SMM	2	State Street Miyabe Maple	Acer miyabei 'Morton' State Stree	2 1/2" CAL	B&B	Spacing as shown	35' x 35'
HCB	2	Common Hackberry	Celtis occidentalis	2 1/2" CAL	B&B	Spacing as shown	50' x 50'
AGK	4	Autumn Gold Ginkgo	Ginkgo biloba 'Autumn Gold' TM	2 1/2" CAL	B&B	Spacing as shown	45' x 30'
SKH	6	Street Keeper Honey Locust	Gleditsia triacanthos 'Draves'	2 1/2" CAL	B&B	Spacing as shown	45' x 20'
QL	4	Regal Prince® Oak	Quercus robur x bicolor 'Long'	2" CAL	CONT	Spacing as shown	45' x 18'
TM4	2	American Sentry® Linden	Tilia americana 'McK Sentry'	2 1/2" CAL	B&B	Spacing as shown	55' x 25'
<b>ORNAMENTAL TREES</b>							
AB3	1	Autumn Brilliance Serviceberry	Amelanchier x grandiflora 'Autumn Brilliance'	7" HT	B&B	Spacing as shown	20' x 20'
<b>DECIDUOUS SHRUBS</b>							
IBC	6	Iroquois Beauty Black Chokeberry	Aronia melanocarpa 'Morton'	18" HT	CONT	Spacing as shown	2.5' x 4.5'
SDN	27	Nikko Slender Deutzia	Deutzia gracilis 'Nikko'	15" HT	CONT	Spacing as shown	2' x 4'
VR2	115	Kodiak® Black Honeysuckle	Diervilla rivularis 'SMNDRSP'	15" HT	CONT	Spacing as shown	3' x 4'
AH	28	Annabelle Smooth Hydrangea	Hydrangea arborescens 'Annabelle'	18" HT	CONT	Spacing as shown	4' x 4'
HT	39	Fire Light® Tidbit® Hydrangea	Hydrangea paniculata 'SMNH-PK'	15" HT	CONT	Spacing as shown	2.5' x 3'
HL	24	Little Joker® Fire® Hydrangea	Hydrangea paniculata 'SMHPLOF'	18" HT	CONT	Spacing as shown	4' x 4'
PE8	25	Little Joker® Ninebark	Physocarpus opulifolius 'Hoogi021'	18" HT	CONT	Spacing as shown	3.5' x 3.5'
GLS	29	Go-Low Fragrant Sumac	Rhus aromatica 'Go-Low'	15" SPD	CONT	Spacing as shown	2.5' x 6'
GFS	31	Goldflame Spirea	Spiraea japonica 'Goldflame'	15" HT	CONT	Spacing as shown	2.5' x 3.5'
SB3	3	Bloomerang® Dark Purple Lilac	Syringa x 'SMSJBP7'	18" HT	CONT	Spacing as shown	5' x 5'
<b>EVERGREEN SHRUBS</b>							
PJC	15	Kalypso Compact Pfitzer Juniper	Juniperus chinensis 'Kallays Compact'	18" SPD	CONT	Spacing as shown	2' x 5'
ELY	69	Everlow Yew	Taxus x media 'Everlow'	15" HT	B&B	Spacing as shown	1.5' x 5'
<b>ORNAMENTAL GRASSES</b>							
CA4	107	Karl Foerster Feather Reed Grass	Calamagrostis x acutiflora 'Karl Foerster'	1 GAL	CONT	24" Spacing	5' x 2'
PV	75	Ruby Ribbons® Switch Grass	Panicum virgatum 'RR1'	1 GAL	CONT	30" Spacing	3' x 2.5'
SS3	164	Carousel Little Bluestem Grass	Schizachyrium scoparium 'Carousel'	1 GAL	CONT	24" Spacing	2.5' x 2.5'
<b>PERENNIALS</b>							
AS11	9	Summer Beauty Ornamental Onion	Allium x 'Summer Beauty'	1 GAL	POT	18" Spacing	1.5' x 1.5'
H9	45	Apricot Sparkles Daylily	Hemerocallis x 'Apricot Sparkles'	1 GAL	POT	18" Spacing	1.5' x 1.5'
H8	48	Ruby Stella Daylily	Hemerocallis x 'Ruby Stella'	1 GAL	POT	18" Spacing	1.5' x 1.5'
H16	45	Pardon Me Daylily	Hemerocallis x 'Pardon Me'	1 GAL	POT	18" Spacing	1.5' x 1.5'
HL4	21	Mega Caramel Coral Bells	Heuchera x 'Mega Caramel'	1 GAL	POT	24" Spacing	1.5' x 2'
HO4	19	Frances Williams Hosta	Hosta sieboldiana 'Frances Williams'	1 GAL	POT	30" Spacing	2' x 4'
NC	90	Cat's Pajamas Catmint	Nepeta x 'Cat's Pajamas'	1 GAL	POT	18" Spacing	1.25' x 1.5'
RU7	38	Little Goldstar Black-eyed Susan	Rutbeckia fulgida var. sullivanti 'Little Goldstar'	1 GAL	POT	18" Spacing	1.25' x 1.5'

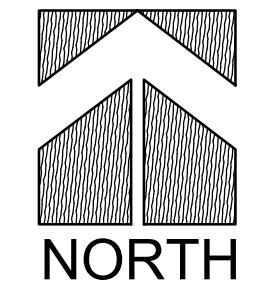
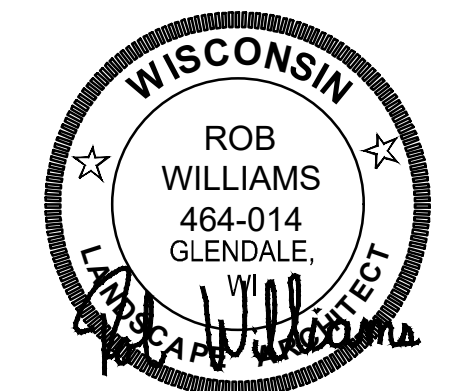
LANDSCAPE CALCULATIONS  
 PERIMETER VEHICULAR USE AREA - WHEN PARKING IS WITHIN 100LF OF RIGHT OF WAY AND MORE THAN 5 PARKING STALLS  
 REQUIRED: LANDSCAPE STRIP MIN OF 7' DEPTH MUST BE PROVIDED BETWEEN VEHICLE USE AREA AND ROW MUST INCLUDE 3 DECIDUOUS TREES AND 10 SHRUBS PER 50LF OF VEHICULAR USE FRONTAGE  
 NA-

INTERIOR VEHICULAR USE AREA LANDSCAPE: 5 OR MORE PARKING STALLS  
 AREA = PARKING, DRIVE AISLES, DRIVEWAYS AND DRIVE THROUGH LANES (DOES NOT INCLUDE PARKING IN A STRUCTURE)

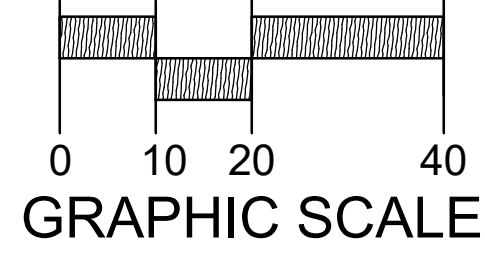
VEHICLE USE AREA = 29,198 - LANDSCAPE AREA REQUIRED = 2,920 SF  
 PROVIDED: 2,922 SF

REQUIRED: AT LEAST 10% OF USE AREA MUST BE LANDSCAPED  
 ISLANDS AND MEDIANS MUST HAVE AT LEAST 135 SF AND BE 10' WIDE AREAS OUTSIDE THE VUA DON'T COUNT TOWARD INTERIOR CORNERS MAX 200 SF. IF AT LEAST 1 SHADE TREE IS INCLUDED  
 1 SHADE TREE PER 180 SF OF INTERIOR LANDSCAPE AREA  
 2,920 / 180 = 17 TREES REQUIRED  
 PROVIDED: 9 TREES. ADDITIONAL TREES LOCATED AROUND PERIMETER. UNDER GROUND STORMWATER FACILITY LIMITS PLACEMENT WITHIN ISLANDS.

SNOW SHALL NOT BE PUSHED ONTO LANDSCAPE ISLANDS.



DATE: 02-11-2025



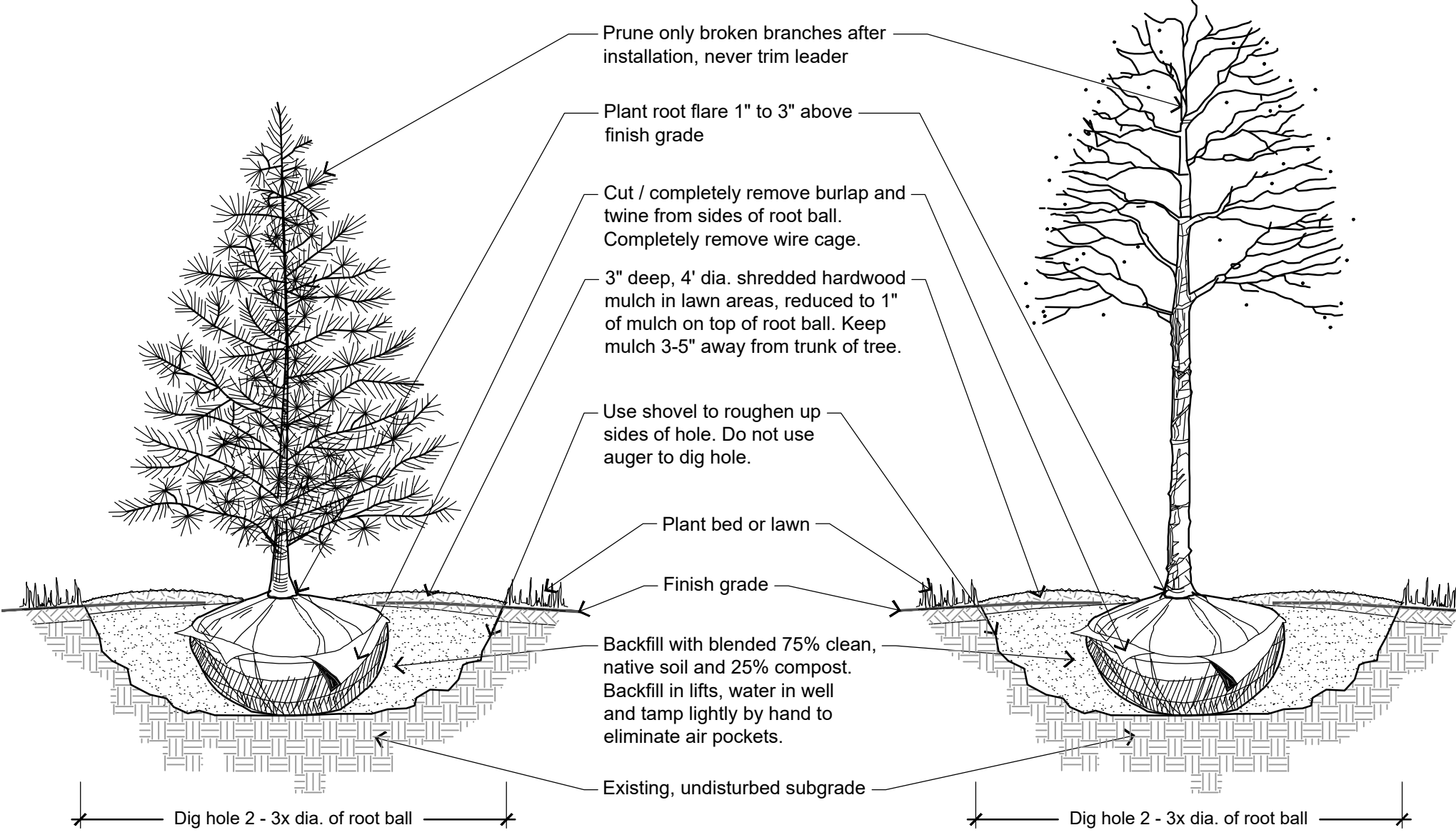
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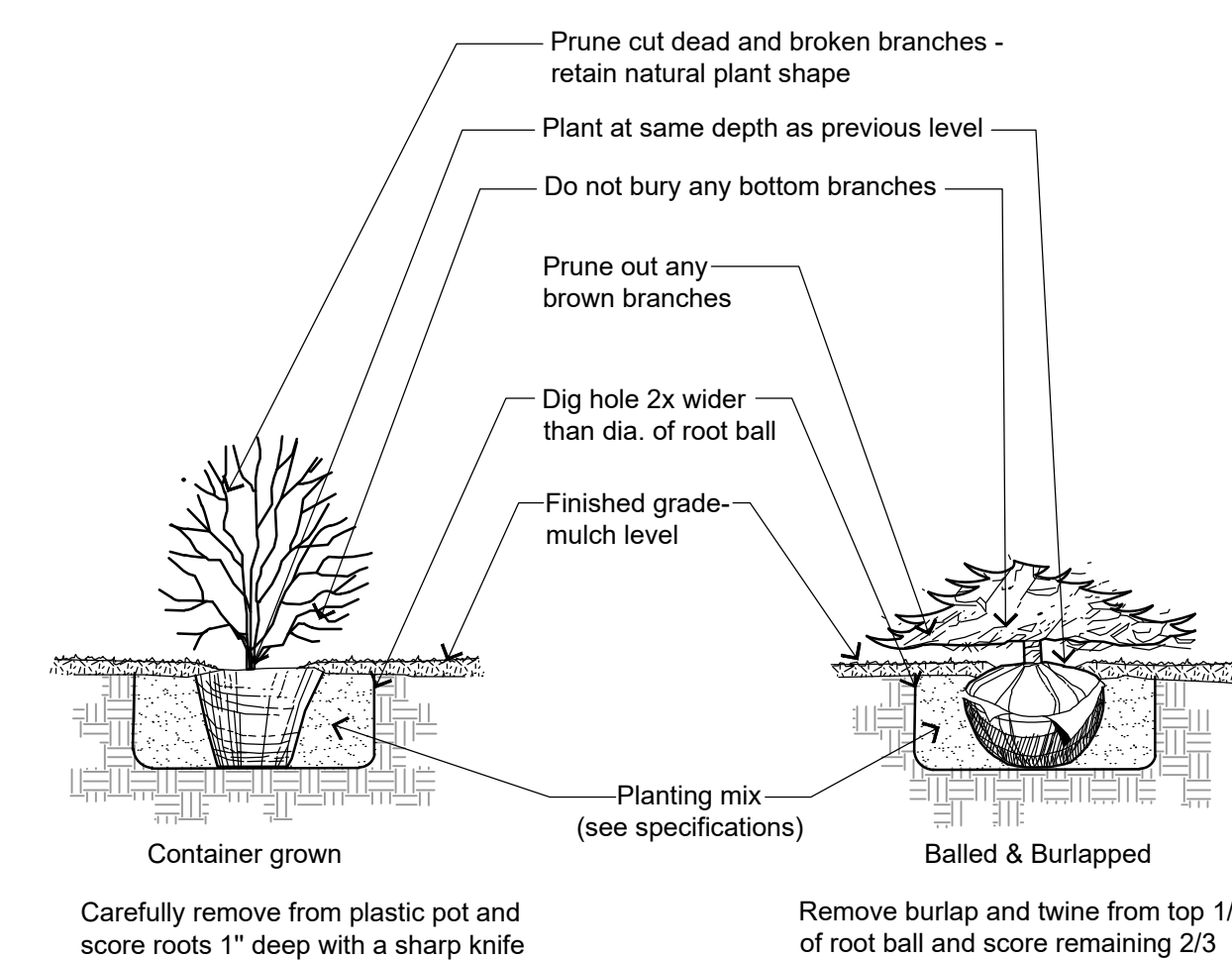
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DESCRIPTION	
DATE	
16745 W. Bluemound Road Brookfield, WI 53005-5938 (262) 781-1000 rasmith.com	
Brookfield, WI   Milwaukee, WI   Appleton, WI   Madison, WI Cedarburg, WI   Naperville, IL   Irvine, CA	
CREATIVITY BEYOND ENGINEERING	
<b>MSP - MAYFAIR NORTH</b> <b>CITY OF WAUWATOSA</b>	
<b>SITE LANDSCAPE PLAN</b>	
© COPYRIGHT 2025 R.A. Smith, Inc. DATE: 02/11/25 SCALE: 1" = 20' JOB NO. 3250016 PROJECT MANAGER: ROB WILLIAMS, PLA DESIGNED BY: REW CHECKED BY: REW	
<b>SHEET NUMBER</b> <b>L100</b>	

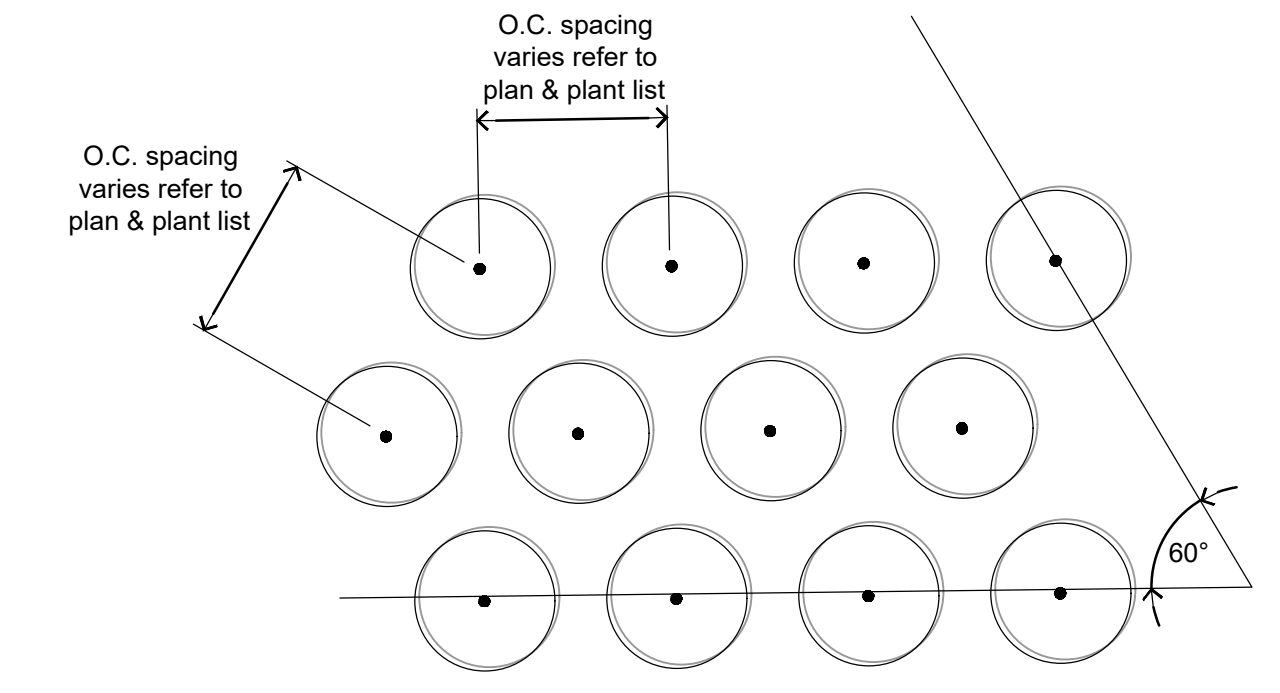
**PLANTING DETAILS**



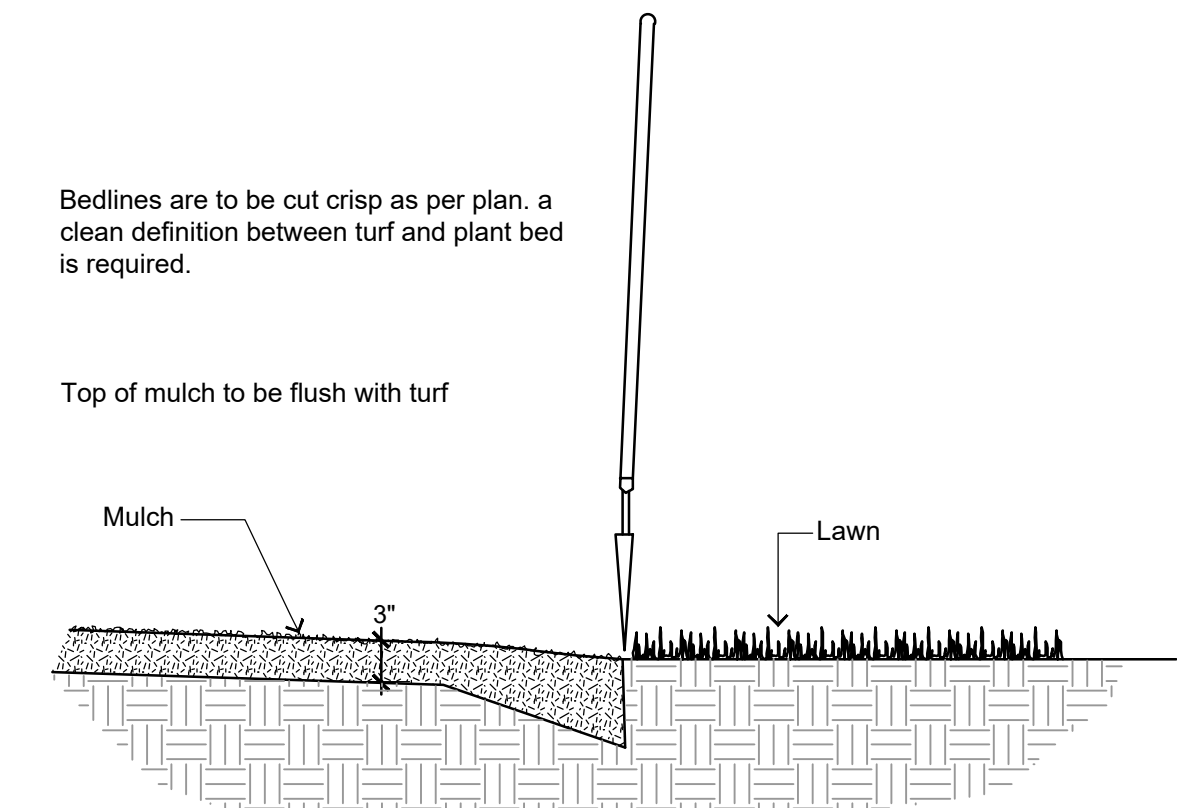
**1 TREE PLANTING DETAIL**  
NOT TO SCALE  
P-PL-TREE-07



**2 SHRUB PLANTING DETAIL**  
NOT TO SCALE



**3 PLANTING LAYOUT**  
NOT TO SCALE  
P-PL-PL-01



**4 SHOVEL CUT PLANT BED EDGING DETAIL**  
NOT TO SCALE  
P-PL-BDEG-01

**GENERAL LANDSCAPE NOTES**

- Contractor responsible for contacting public and private underground utility locating service to have site marked prior to any digging or earthwork.
- Contractor to verify all plant quantities shown on plant list and verify with plan. Report any discrepancies immediately to general contractor.
- All plantings shall comply with standards as described in American Standard of Nursery Stock - ANSI Z60.1 (latest version). General contractor or owner's representative reserves the right to inspect and potentially reject any plants that are inferior, compromised, undersized, diseased, improperly transported, installed incorrectly or damaged.
- Any potential plant substitutions must be submitted in writing to the general contractor and approved by the owner's representative or landscape architect prior to installation. All plants must be installed as per sizes and quantities shown on plant material schedule, unless approved by the owner's representative or landscape architect. Any potential changes to sizes shown on plan and appropriate cost credits / adjustments must be submitted in writing to the general contractor and approved by the owner's representative or landscape architect prior to installation.
- The subsequent requirements regarding topsoil should be coordinated between the general contractor, grading contractor and landscape contractor.
- Subgrade areas shall be graded to within 1", more or less, of proposed subgrade. Deviations shall not be consistent in one direction.
- Topsoil shall be placed to meet proposed finished grade. Planting islands to be backfilled with clean topsoil free of debris (per note below) to a minimum depth of 18" by general / grading contractor to insure long term plant health. All other landscaped areas to receive a minimum depth of 6" of clean topsoil (per note below).
- Topsoil shall be: screened existing stockpiled topsoil, existing in-place soil, or screened soil from an off-site source that will support plant growth, and meets the following requirements. Clean topsoil shall be free of rocks, coarse fragments, gravel, sticks, trash, roots, debris over 3/4" and any substances harmful to plant growth. It also must be free of plants or plant parts of any noxious weeds. Topsoil shall contain 3 to 5 percent decomposed organic matter and a pH between 5.5 and 7.0.
- Planting beds and parking lot islands: Landscape contractor is responsible for ensuring that unwanted material (gravel, debris, roots and other extraneous material harmful to plant growth) has been removed from the topsoil and for the fine grading of all landscaped areas. The fine grading of planting beds and parking lot islands may require additional topsoil to bring to finish grade, allowing for mulch depth. Crown all planting islands and planting beds not adjacent to buildings, a minimum of 6" to provide proper drainage, unless otherwise specified. All other finished landscaped areas to be smooth, uniform and provide positive drainage away from structures and pavement.
- Seeded areas: to receive a settled minimum depth of 6" of blended, prepared and non-compacted topsoil. Landscape contractor is responsible for excavation and removal of unwanted material (gravel, debris, roots and other extraneous material harmful to plant growth) to the specified depth, supplementing with additional topsoil (if necessary) and the fine grading of all seeded areas.
- Tree planting (see planting detail): plant all trees slightly higher than finished grade at root flare. Remove excess soil from top of root ball, if needed. An auger is not an acceptable method of digging tree planting holes. Scarify side walls of tree pit prior to installation. Once tree has been placed into the hole, is at the correct depth and vertical alignment and will no longer be moved, brace root ball by tamping soil around the lower portion of the root ball. Remove and discard wire / rope, burlap and support wire from the sides of root ball. Backfill pit with 75% existing soil removed from excavation and 25% compost blended prior to backfilling holes, in six-inch lifts. Lightly tamp each lift using foot pressure or hand tools to settle backfill, support the tree and eliminate voids. Do not over compact or use mechanical or pneumatic tamping equipment. Discard any gravel, heavy clay or stones. When hole has been backfilled to three-quarters of its depth, pour water around the root ball and allow to soak into soil to settle the soil. Continue backfilling until soil is brought to grade level.  
  
Provide a 3" deep, 4 ft. diameter shredded hardwood bark mulch ring around all trees in lawn areas, reduced to 1" deep on top of root ball. Keep mulch 3"-5" away from trunk of tree. Trees that are installed incorrectly will be replaced at the time and expense of the landscape contractor. Trees too large for two people to lift in and out of holes, shall be placed with sling. Do not rock the trees in holes to raise them.
- Shrub planting (see planting detail): all shrubs to be pocket planted with a mix of 75% existing soil removed from excavation and 25% compost, blended prior to backfilling holes. When hole is two-thirds full, shrubs shall be watered thoroughly and water left to soak in before proceeding.
- Mulching: all tree and shrub planting beds to receive a 3" deep layer of high-quality shredded hardwood bark mulch (not enviromulch or wood chips). Mulch shall be uniform in size, color, quality and overall appearance. Mulch shall be free of debris, large wood chunks, soil, rocks, weeds, invasive plant parts or seeds and any other material injurious to plant growth. All perennial and ornamental grass planting areas to receive a 2" layer and groundcover areas a 1-2" layer of the same mulch. Do not mulch annual flower beds (if applicable). Do not allow mulch to contact plant stems and tree trunks.
- Edging: edge all planting beds with a 4" deep spaded edge (shovel cut or mechanical). Bedlines are to be cut crisp, as per plan. A clean definition between lawn area and plant bed is required.
- Plant bed preparation: the soil in all perennial, ornamental grass, annual and groundcover areas shall be amended with compost prior to plant installation. Spread a 2" layer of compost (per note below) on top of clean topsoil and rototill to a depth of approximately 8".
- Compost shall be stable, and weed-free organic matter. It shall be resistant to further decomposition and free of compounds, such as ammonia and organic acids, in concentrations toxic to plant growth. The compost shall contain no pathogens or other chemical contaminants and meet the requirements of WisDNR S100 Compost Specification.
- Lawn installation for all seeded turfgrass areas: remove / kill off any existing unwanted vegetation prior to seeding. Prepare the topsoil and seed bed by removing all surface stones 1" or larger and grading lawn areas to finish grade. Apply a starter fertilizer and specified seed, ensure good seed to soil contact, and provide mulch covering suitable to germinate and establish turf. Provide seed and fertilizer mix information to general contractor prior to installation. Erosion control measures are to be used in swales and on steep grades, where applicable. Methods of installation may vary at the discretion of the landscape contractor on his/her responsibility to establish and guarantee a smooth, uniform, quality turf. If straw mulch is used as a mulch covering, a tackifier may be necessary to avoid wind damage. Marsh hay containing reed canary grass is not acceptable as a mulch covering.  
  
An acceptable quality turf is defined as having no more than 5% of the total area with bare spots larger than 1/2 square foot and uniform coverage throughout all turf areas.
- Seed mix for lawn areas - use only a premium quality seed mix. Premium blend seed mix (or equivalent): 50% blended bluegrass, 25% creeping red fescue, 25% perennial ryegrass applied at 5 lbs per 1,000 SF or at recommended rates from supplier. Provide seed specifications to general contractor prior to installation.
- Lawn installation for all sodded turfgrass areas (optional): remove / kill off any existing unwanted vegetation prior to sodding. Prepare the topsoil and sod bed by removing all surface stones 1" or larger and grading lawn areas to finish grade, allowing for thickness of sod. Use only premium sod blend according to TPI (revised 1995) and ASPA standards. Install sod uniformly with staggered joints, laid tightly end to end and side to side. Roll sod with a walk behind roller and water immediately upon installation to a 3" depth. Stake any sod installed on steep slopes or in swales, etc. Landscape contractor is responsible to provide a smooth, uniform, healthy turf. Landscape contractor shall repair and re-sod any eroded, sunken or bare spots (larger than 1/2 square foot) until acceptance by owner.
- The landscape contractor is responsible for the watering and maintenance of all landscape areas at time of planting and throughout construction until the substantial completion of the installation and acceptance by the owner. This includes all trees, shrubs, evergreens, perennials, ornamental grasses, and seeded slopes and turf grass areas. Maintenance includes mowing, weeding, watering, mulching, edging, pruning, deadheading, raking leaves / debris, sweeping up grass clippings, fertilizing and maintaining turf areas (including applying pre and post emergent herbicides), and any other needs that are required to keep the landscape healthy and well maintained.
- Substantial Completion of Landscape: after the landscape has been installed, the landscape contractor is responsible to conduct a final review with the owner's representative and the general contractor to ensure that all plans and specifications have been met. After this review, the landscape will be considered to be installed in substantial completion unless otherwise noted by the owner's representative and/or general contractor. Any items missing or incomplete, shall be corrected within 30 days. The landscape contractor shall provide written watering and maintenance instructions for the new plantings and lawn to the owner.
- Warranty and replacements: All plants (trees, evergreens, shrubs, perennials, ornamental grasses and groundcovers) shall be warranted by the landscape contractor to be in healthy and flourishing condition for a period of one year from the date of substantial completion. This assumes the owner performs required maintenance (i.e. regular watering) after substantial completion of the landscape. Only one replacement per plant will be required during the warranty period, except for losses or replacements due to failure to comply with specified requirements. Replacements shall be plants of the same variety specified on the plan and closely match adjacent specimens in size. The landscape contractor is responsible for keeping a documented record of which plants have been replaced during the warranty period.

DATE	DESCRIPTION

16745 W. Bluemound Road  
Brookfield, WI 53005-5938  
(262) 781-1000  
rasmith.com

**raSmith**  
CREATIVITY BEYOND ENGINEERING

Brookfield, WI | Milwaukee, WI | Appleton, WI | Madison, WI  
Cedarburg, WI | Naperville, IL | Irvine, CA

**MSP - MAYFAIR NORTH  
CITY OF WAUWATOSA**

**LANDSCAPE NOTES AND DETAILS**

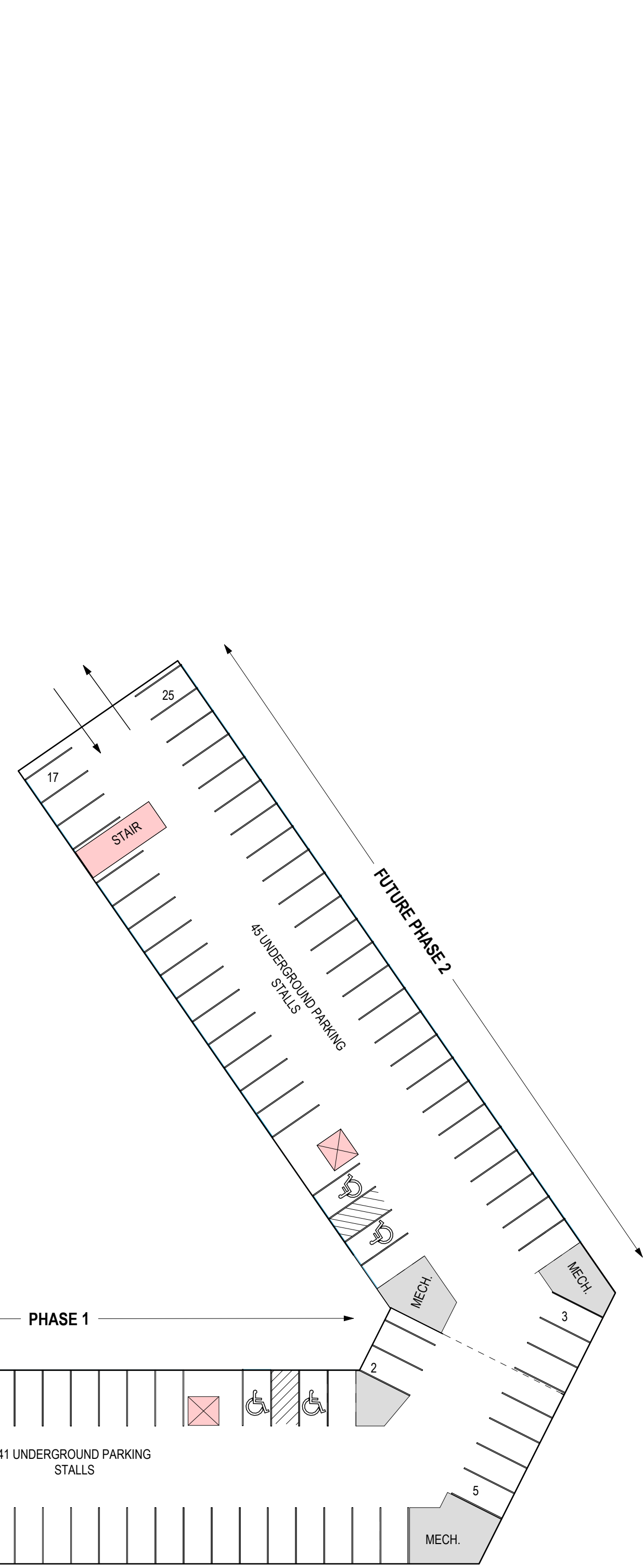


**Know what's below.  
Call before you dig.**

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DATE: 02/11/25
SCALE: -
JOB NO. 3250016
PROJECT MANAGER: ROB WILLIAMS, PLA
DESIGNED BY: REW
CHECKED BY: REW
<b>SHEET NUMBER</b>
<b>L200</b>

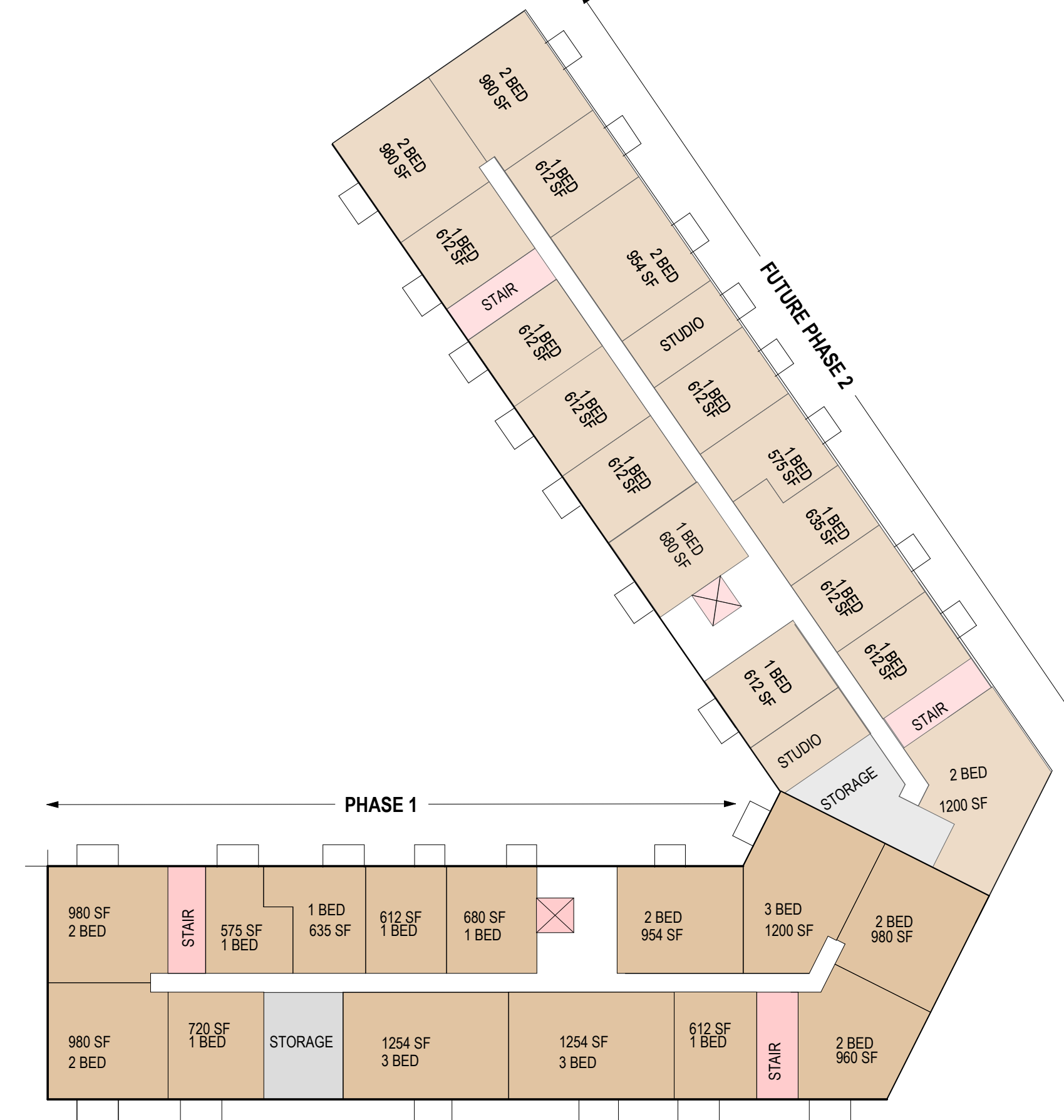




BASEMENT



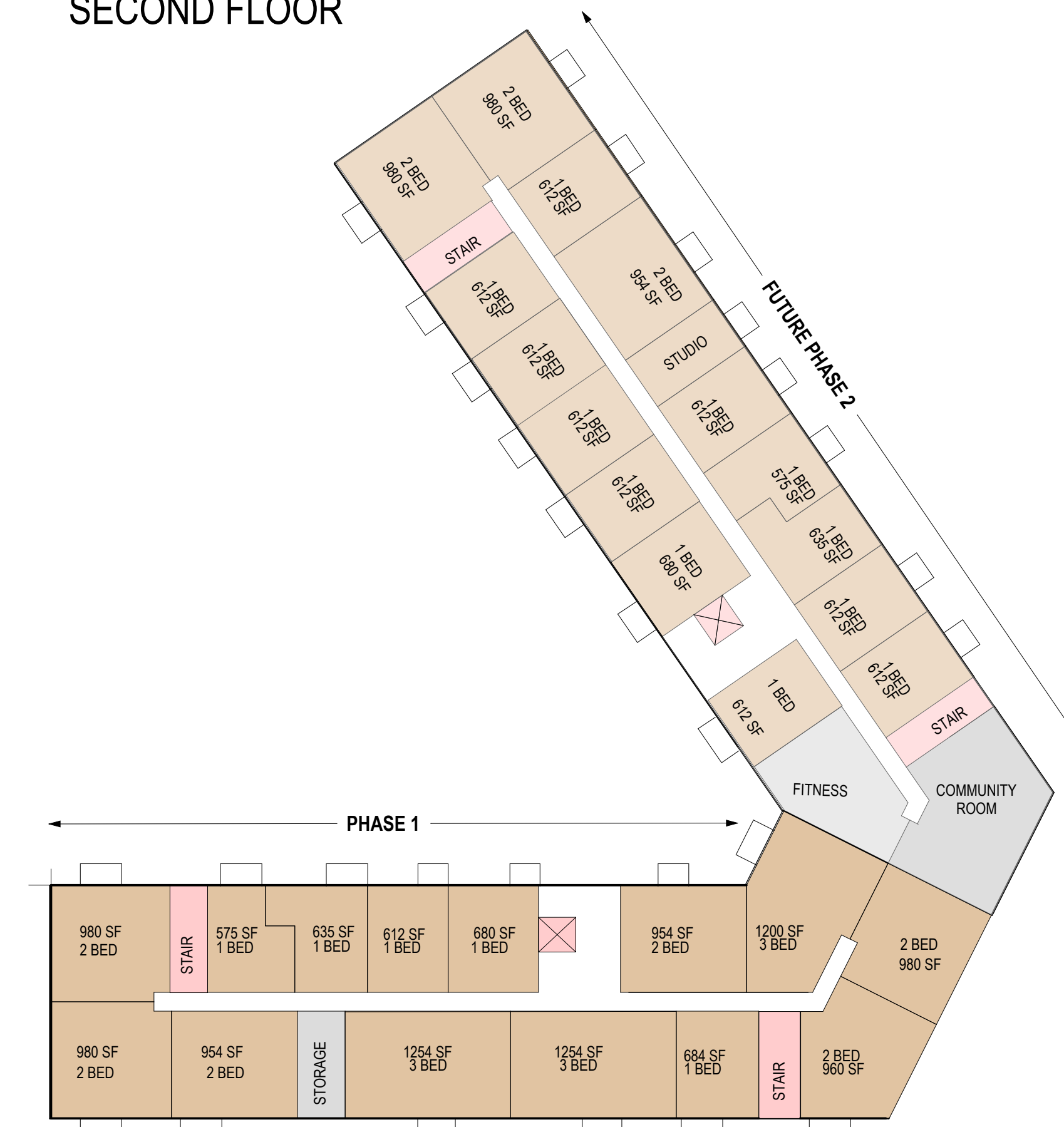
FIRST FLOOR PLAN



SECOND FLOOR



THIRD FLOOR



FOURTH FLOOR

FINISH LEGEND	
FCP - AW	FIBER CEMENT PANEL - ARCTIC WHITE
FCP - RE	FIBER CEMENT PANEL - RICH ESPRESSO
FCLS - PG	FIBER CEMENT LAP SIDING - PEARL GREY
FCLS - AW	FIBER CEMENT LAP SIDING - ARCTIC WHITE
BRK - BD	BLACK DIAMOND BRICK VENEER
WDMS - CH	WOOD METAL SIDING - DARK CHERRY



1 SOUTH ELEVATION - PHASE 1  
3/32" = 1'-0"



2 NORTH ELEVATION - PHASE 1  
3/32" = 1'-0"



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A2.0  
MAYFAIR 2

FOUNDRY WAY, WAUWATOSA, WI

CONCEPT ELEVATIONS

02/14/2025

FINISH LEGEND	
FCP - AW	FIBER CEMENT PANEL - ARCTIC WHITE
FCP - RE	FIBER CEMENT PANEL - RICH ESPRESSO
FCLS - PG	FIBER CEMENT LAP SIDING - PEARL GREY
FCLS - AW	FIBER CEMENT LAP SIDING - ARCTIC WHITE
BRK - BD	BLACK DIAMOND BRICK VENEER
WDMS - CH	WOOD METAL SIDING - DARK CHERRY



2 SOUTH WEST ELEVATION - PHASE 2  
3/32" = 1'-0"



1 NORTH EAST ELEVATION - PHASE 2  
3/32" = 1'-0"



FINISH LEGEND	
FCP - AW	FIBER CEMENT PANEL - ARCTIC WHITE
FCP - RE	FIBER CEMENT PANEL - RICH ESPRESSO
FCLS - PG	FIBER CEMENT LAP SIDING - PEARL GREY
FCLS - AW	FIBER CEMENT LAP SIDING - ARCTIC WHITE
BRK - BD	BLACK DIAMOND BRICK VENEER
WDMS - CH	WOOD METAL SIDING - DARK CHERRY

**2 SOUTH EAST CORNER ELEVATION**  
3/32" = 1'-0"



**1 NORTH WEST CORNER ELEVATION - PHASE 2**  
3/32" = 1'-0"



**3 WEST CORNER ELEVATION - PHASE 1**  
3/32" = 1'-0"



NORTH EAST VIEW



SOUTHWEST VIEW

**Signage**  
24" illuminated channel letters

**XXXX Signage**  
6" flat cut aluminum, painted white, located on canopy over entrance

**XXXX Signage**  
6" flat cut aluminum, painted white, located on canopy over entrance

**Ground Directional**  
5'h x 3'w, Non-lit

**Signage**  
24" illuminated channel letters

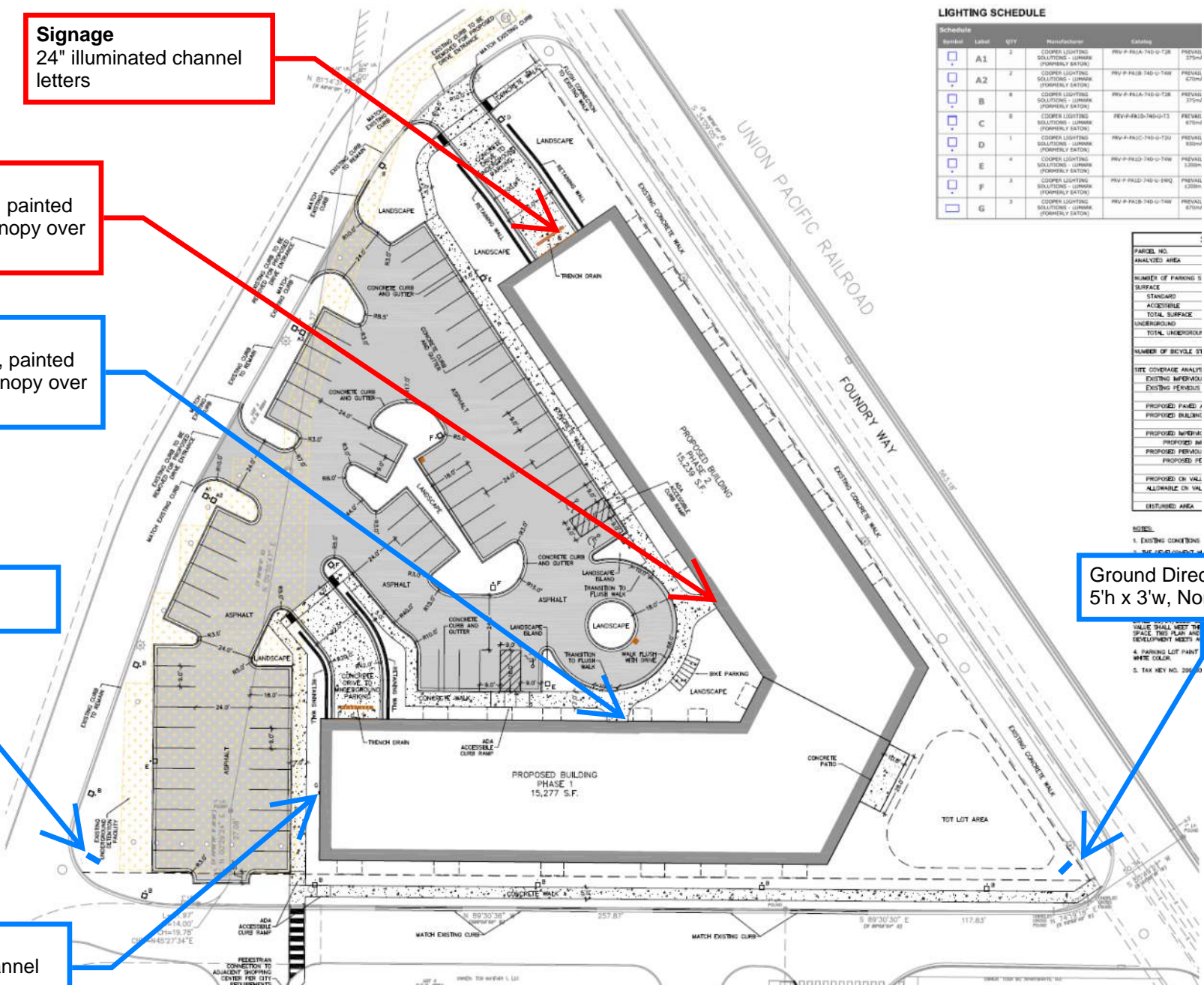
**LIGHTING SCHEDULE**

Schedule	Symbol	Label	QTY	Manufacturer	Catalog	REVISED
A1	[Symbol]	A1	2	COOPER LIGHTING SOLUTIONS - LUMINA (FORMERLY BAYTON)	REV-F-PAL-740-U-T28	REVISED 07/20
A2	[Symbol]	A2	2	COOPER LIGHTING SOLUTIONS - LUMINA (FORMERLY BAYTON)	REV-F-PAL-740-U-T48	REVISED 07/20
B	[Symbol]	B	8	COOPER LIGHTING SOLUTIONS - LUMINA (FORMERLY BAYTON)	REV-F-PAL-740-U-T28	REVISED 07/20
C	[Symbol]	C	8	COOPER LIGHTING SOLUTIONS - LUMINA (FORMERLY BAYTON)	REV-F-PAL-740-U-T13	REVISED 07/20
D	[Symbol]	D	1	COOPER LIGHTING SOLUTIONS - LUMINA (FORMERLY BAYTON)	REV-F-PAL-740-U-T20	REVISED 08/20
E	[Symbol]	E	4	COOPER LIGHTING SOLUTIONS - LUMINA (FORMERLY BAYTON)	REV-F-PAL-740-U-T48	REVISED 07/20
F	[Symbol]	F	3	COOPER LIGHTING SOLUTIONS - LUMINA (FORMERLY BAYTON)	REV-F-PAL-740-U-T42	REVISED 07/20
G	[Symbol]	G	2	COOPER LIGHTING SOLUTIONS - LUMINA (FORMERLY BAYTON)	REV-F-PAL-740-U-T48	REVISED 07/20

PANEL NO.	
ANALYZED AREA	
NUMBER OF PARKING SPACES	
SURFACE	STANDARD
ACCESSIBLE	
TOTAL SURFACE UNDERGROUND	
TOTAL UNDERGROUND	
NUMBER OF BICYCLE ST	
SITE COVERAGE ANALYSIS	
EXISTING INFRASTRUCTURE	
EXISTING PERMITS	
PROPOSED PARKING	
PROPOSED BUILDING	
PROPOSED INFRASTRUCTURE	
PROPOSED PERMITS	
PROPOSED FEES	
PROPOSED ON VAL	
ALLOWABLE ON VAL	
ESTIMATED AREA	

**MODEL**  
1. EXISTING CONDITIONS  
2. PROPOSED CONDITIONS  
3. PROPOSED PERMITS  
4. PARKING LOT PAINT WHITE COLOR  
5. TAX KEY NO. 2000

**Ground Directional**  
5'h x 3'w, Non-lit



**Client**

**Project**

- A - Channel Letters
- B - Channel Letters
- C - Vinyl Graphics
- D - Vinyl Banner

**Consultant**     **Design Art**  
Kyle Sanger     Chris Clark

**Channel Letter Specifications**

- Face-Lit Channel Letters
- Painted to Match Building

**Area**

- 38.66 sqft

**Color Key**

- ① ■ SW 9570 Iron Clad
- ② □ White Face-Lit
- ③ □
- ④ □
- ⑤ □

**Job Number**

**128219 A**

**Creation Date**

2-3-2025

**Revision Date**

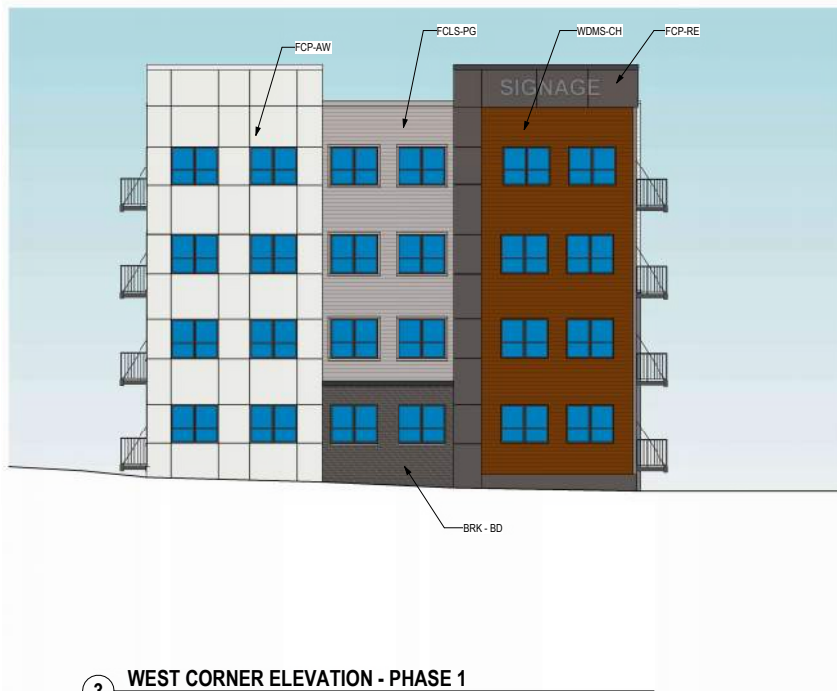
**Revision Number**

**File Path**

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Face-Lit Channel Letters  
Returns and Trim Cap  
to Match Building

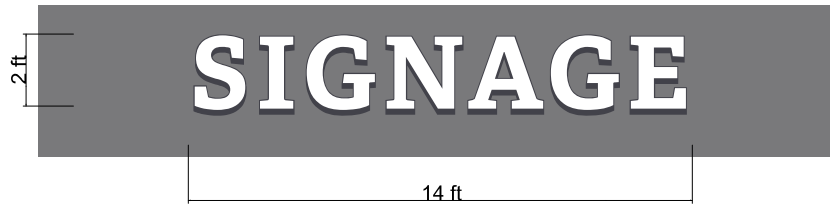


③ WEST CORNER ELEVATION - PHASE 1

Approved by: \_\_\_\_\_ Date: \_\_\_\_\_ Landlord: \_\_\_\_\_ Date: \_\_\_\_\_

\*Colors on sketch are only a representation, actual color of finished product may differ from this sketch.

\*To make the best use of standard sized materials and control costs the size of the finished product may vary slightly.



Face-Lit Channel Letters  
Returns and Trim Cap  
to Match Building



1 NORTH WEST CORNER ELEVATION - PHASE 2

Approved by: \_\_\_\_\_ Date: \_\_\_\_\_ Landlord: \_\_\_\_\_ Date: \_\_\_\_\_

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**La Crosse Sign Group**  
lacrossesign.com  
1450 Oak Forest Drive Onalaska, WI 54650 608-781-1450  
2242 Mustang Way Madison, WI 53718 608-222-5353  
2502 Melby Street Eau Claire, WI 54703 715-835-6189

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**Client**

- Project**  
A - Channel Letters  
B - Channel Letters  
C - Vinyl Graphics  
D - Aluminum Address Numbers

**Consultant Design Art**  
Kyle Sanger Chris Clark

**Channel Letter Specifications**  
- Face-Lit Channel Letters  
- Painted to Match Building

**Area**  
- 39.5 sqft

- Color Key**
- 1 ■ SW 9570 Iron Clad
  - 2 □ White Face-Lit
  - 3 □
  - 4 □
  - 5 □

**Job Number**  
**128219 B**  
**Creation Date**  
2-3-2025  
**Revision Date**      **Revision Number**

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**Client**

**Project**

- A - Channel Letters
- B - Channel Letters
- C - Post & Panel Directional Signs
- D - Aluminum Address Numbers

**Consultant**      **Design Art**  
Kyle Sanger      Chris Clark

**Post and Panel Specifications**

- 3M Vinyl Lettering
- Aluminum Construction
- Painted to Match Building
- Direct Embed

**Area**

-

**Color Key**

- 1  White - 10
- 2  SW 9570 Iron Clad
- 3
- 4
- 5

**Job Number**

**128219 C**

**Creation Date**

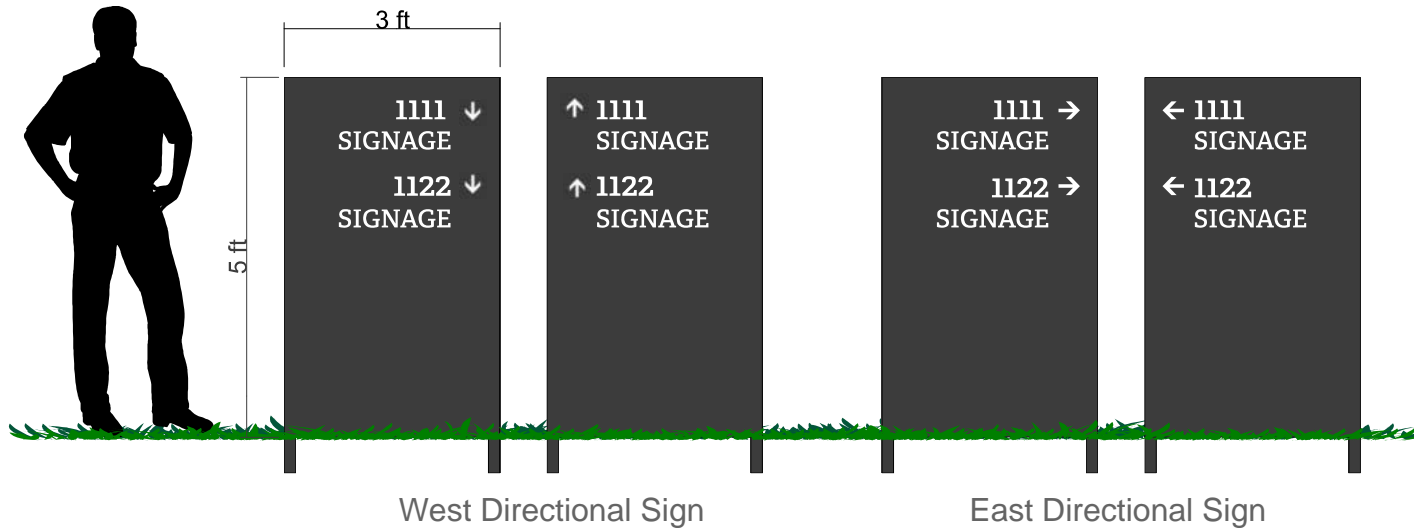
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**Revision Date**

**Revision Number**

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**Client**

**Project**

- A - Channel Letters
- B - Channel Letters
- C - Post & Panel Directional Signs
- D - Aluminum Address Numbers

**Consultant      Design Art**  
Kyle Sanger      Chris Clark

**Address Number Specifications**

- Flat Cut and Painted Aluminum
- Stud Mounted Flush

**Area**

-

**Color Key**

- ①  White
- ②
- ③
- ④
- ⑤

**Job Number**

**128219 D**

**Creation Date**

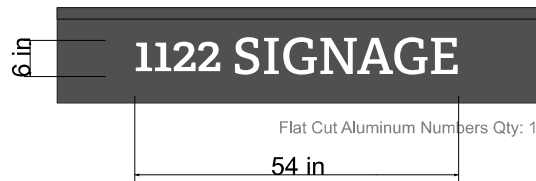
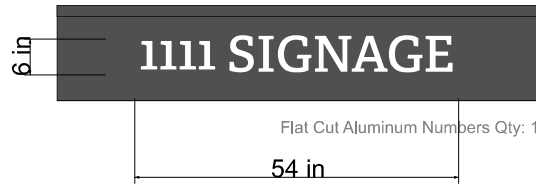
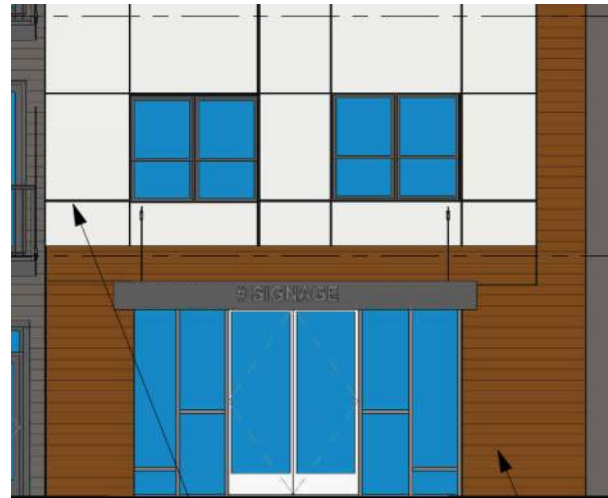
2-3-2025

**Revision Date**

**Revision Number**

**File Path**

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Approved by: \_\_\_\_\_ Date: \_\_\_\_\_ Landlord: \_\_\_\_\_ Date: \_\_\_\_\_

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