



Wauwatosa, WI

Design Review Board

Meeting Agenda - Final

7725 W. North Avenue
Wauwatosa, WI 53213

Thursday, January 4, 2024

7:00 PM

Committee Room #1

Regular Meeting

CALL TO ORDER

ROLL CALL

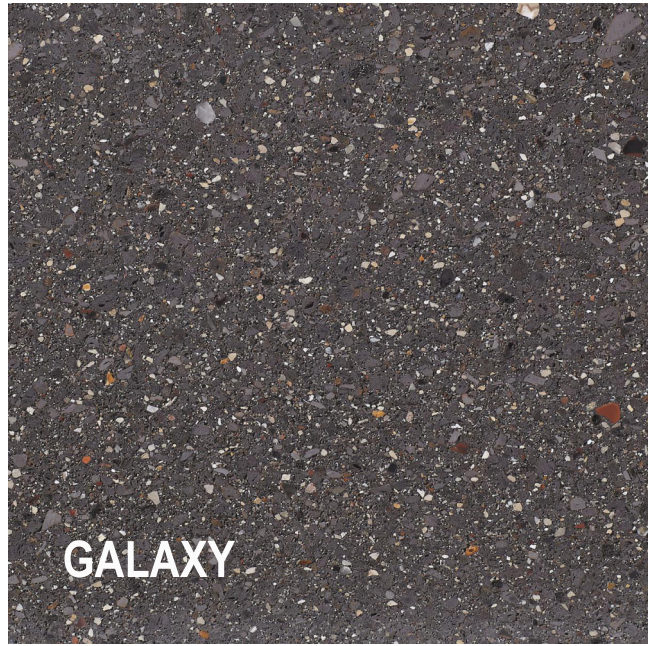
NEW BUSINESS

1. 11501 Burleigh Street - Wauwatosa Pump Station - New Construction [23-876](#)
2. 10201 Watertown Plank Rd - Addition - Vel Phillips Youth & Family Justice Center [23-1361](#)
3. 10300 Wisconsin Ave - Moss Universal Park - New Construction [23-1370](#)

ADJOURNMENT

NOTICE TO PERSONS WITH A DISABILITY

Persons with a disability who need assistance to participate in this meeting should call the City Clerk's office at (414) 479-8917 or send an email to tclerk@wauwatosa.net, with as much advance notice as possible.



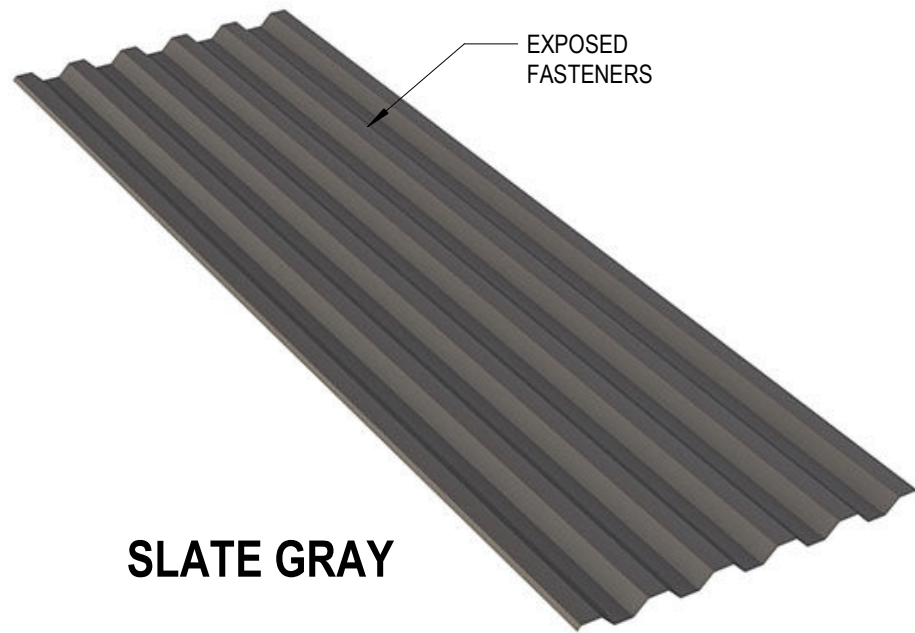
GALAXY

BURNISHED BLOCK



SLATE GRAY

ROOF, FASCIA, SOFFIT & METAL PANEL COLOR



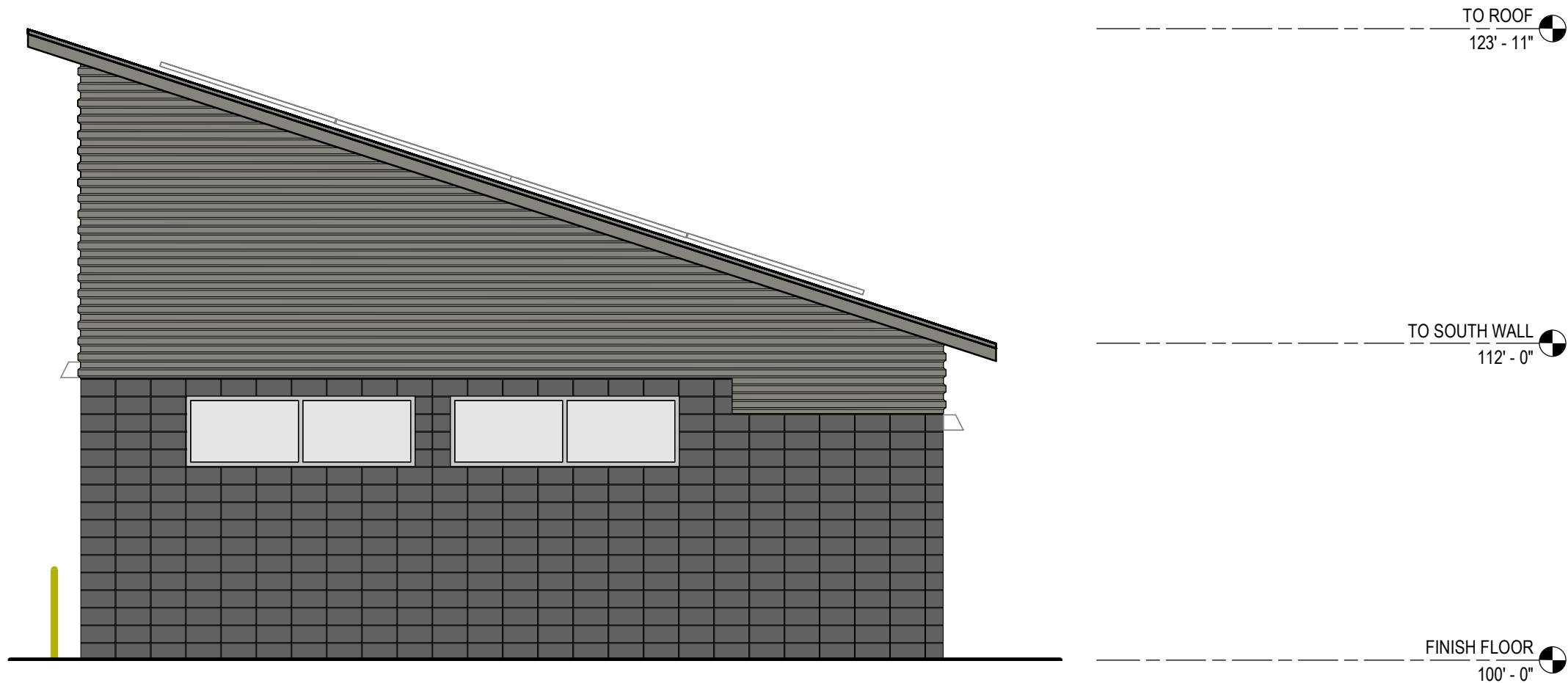
SLATE GRAY

HORIZONTAL METAL SIDING

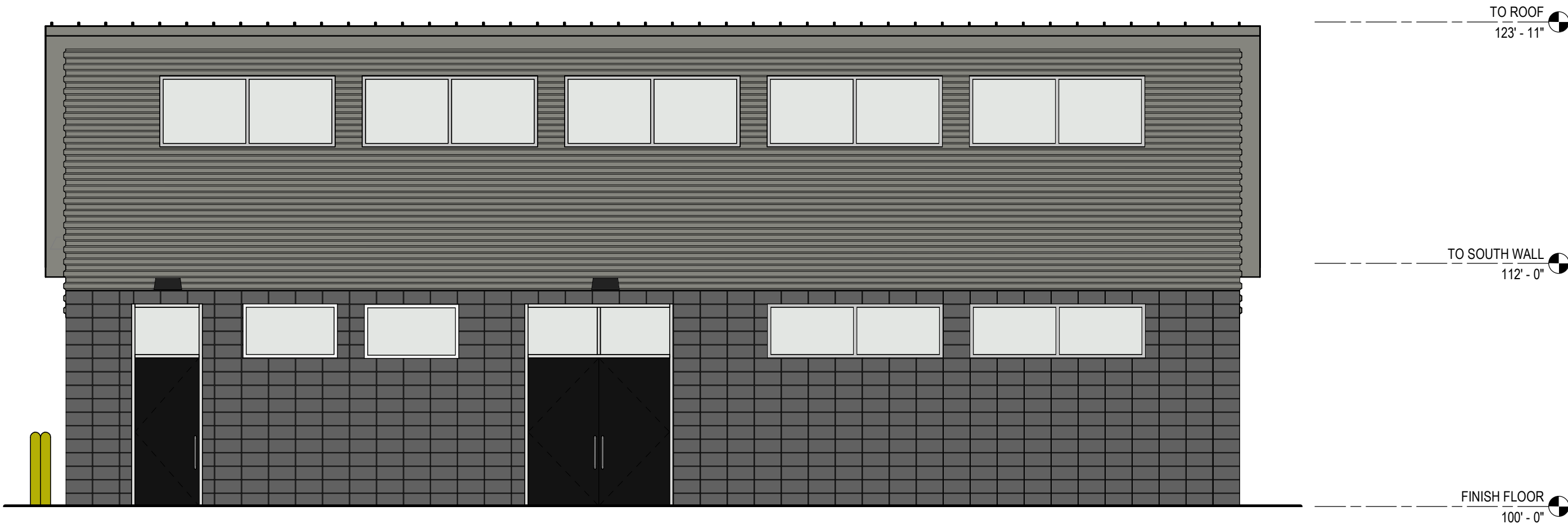


CLEAR ANODIZED

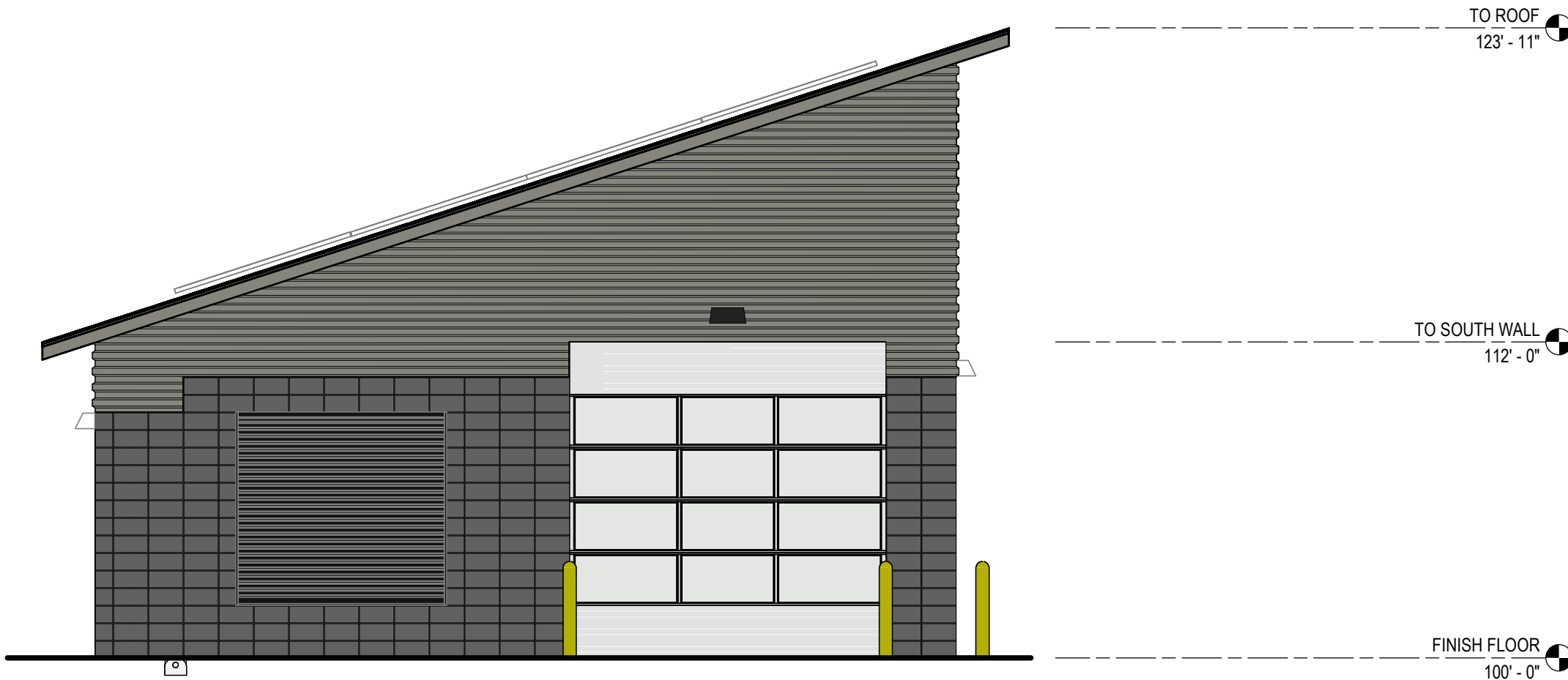
DOOR/WINDOW FRAME COLOR



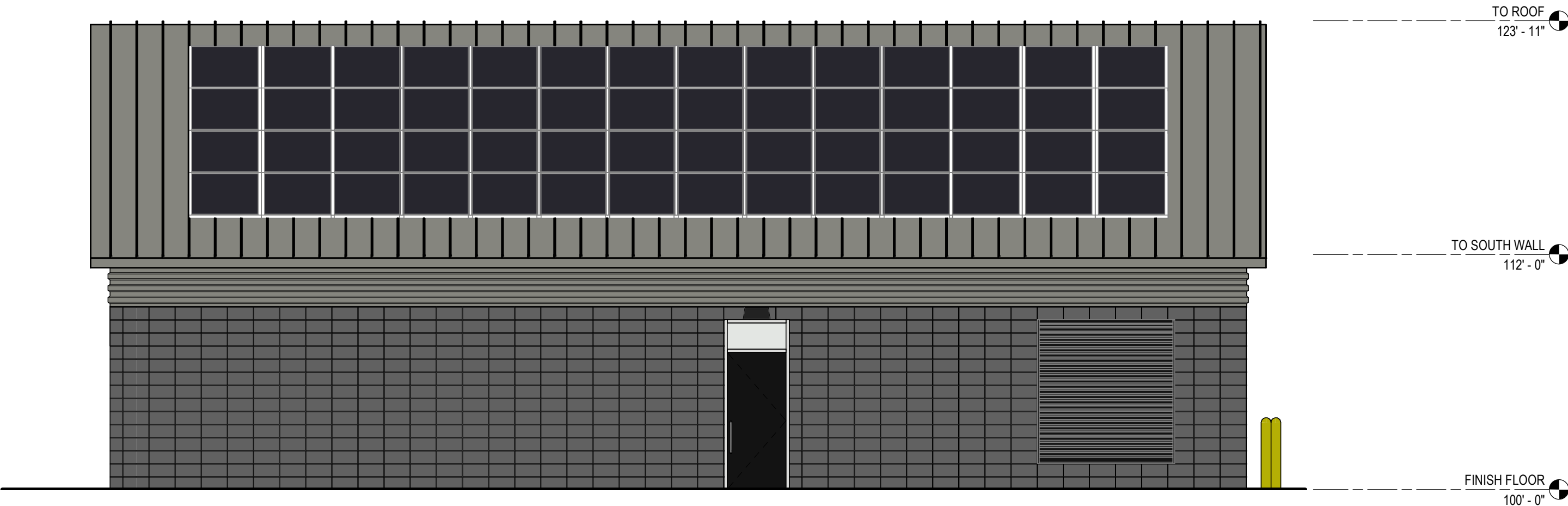
1 WEST ELEVATION
3/16" = 1'-0"



2 NORTH ELEVATION
3/16" = 1'-0"



3 EAST ELEVATION
3/16" = 1'-0"

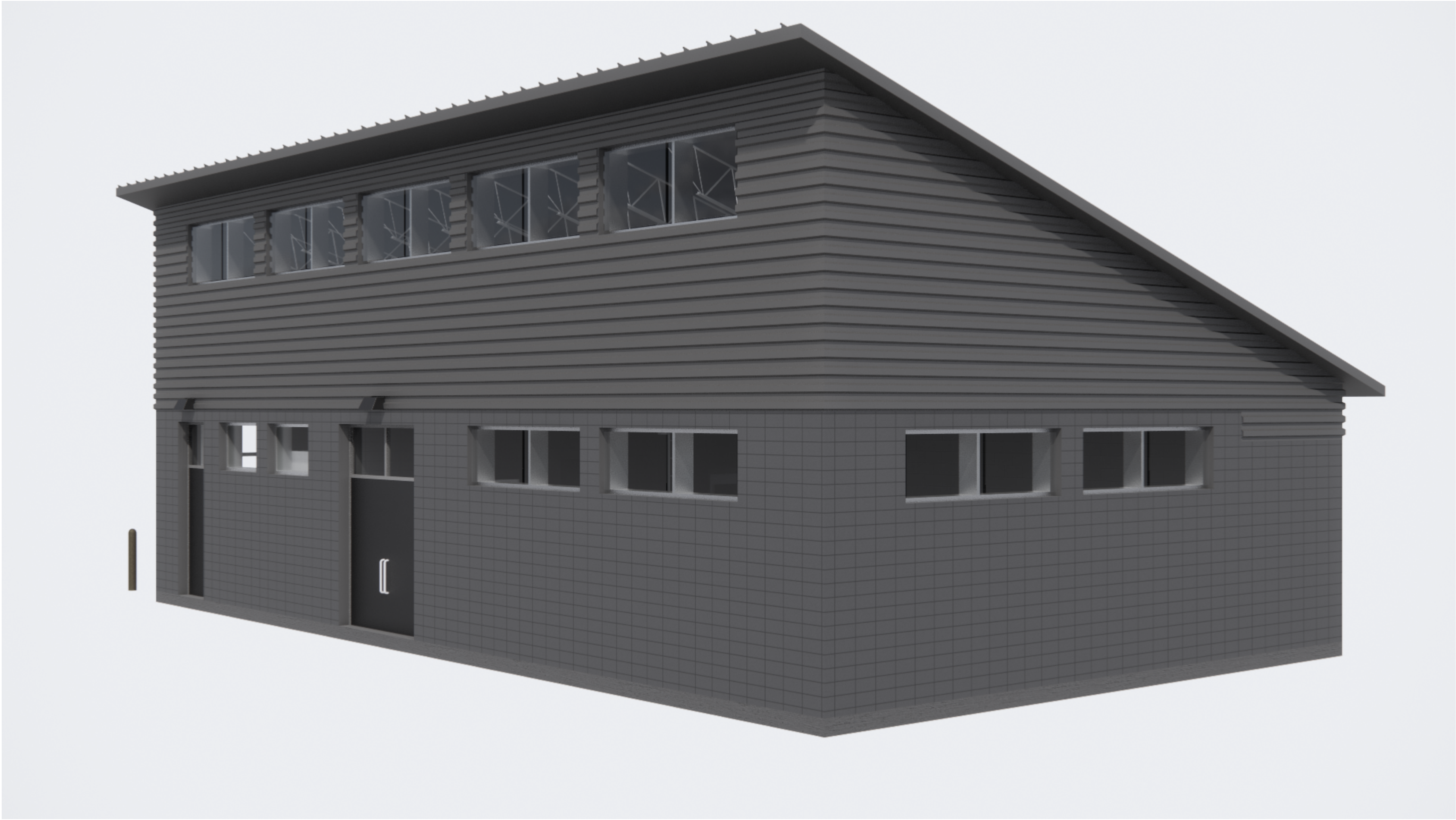


4 SOUTH ELEVATION
3/16" = 1'-0"

PLOT DATE:

PLOT BY:

CONTRACT: FILE NO: DRAWN BY: CHECKED BY: SCALE:	DESCRIPTION:	
	DATE:	
<div><div>WAUWATOSA WEST ZONE PUMP STATION</div><div><div>STREET NAME</div><div>STREET NAME</div></div><div><div>STREET NAME</div><div>STREET NAME</div></div></div>		
<div><div>A-200</div><div>EXTERIOR ELEVATIONS - COLOR</div></div>		
<div><div>GRÄEF</div><div>275 W. Wisconsin Avenue, Suite 300 Menasha, WI 53233 414.259.0337 fax www.graef-usa.com</div></div>		



1

RENDERED PERSPECTIVE - FROM NORTHWEST

1/2" = 1'-0"

PLOT DATE:

PLOT BY:

CONTRACT:		WAUWATOSA WEST ZONE PUMP STATION		DATE:		DESCRIPTION:
FILE NO:		STREET NAME				
DRAWN BY:						
CHECKED BY:						
SCALE:	AS SHOWN					
A-201 EXTERIOR RENDERED PERSPECTIVE		FROM:	TO:			
		STREET NAME	STREET NAME			

GRÄEF

275 W. Wisconsin Avenue, Suite 300
Menasha, WI 53233
414.759.0337 fax
www.graef-usa.com

December 20, 2023

Project Description:

Milwaukee County is moving forward with creating a new 32 bed Secure Residential Care Center for Children and Youth (SRCCCY). The facility will be located at the current Vel Phillips Youth & Family Justice Center at 10201 W. Watertown Plank Road.

The project includes a new 34,000sf two story addition with renovation of about 8,300sf in the existing facility. The addition will include two new housing pods for 16 youth, with day rooms and outdoor recreation spaces. The SRCCCY will have a dedicated entrance on the new addition. The project also includes spaces for visitation, dining room, server and culinary arts classroom, medical and behavioral health area, as well as educational classroom spaces.

The new addition will be connected to the existing facility where two existing MCAP housing pods will be renovated into two 8 bed SRCCCY housing pods. Those spaces will create new shower areas, quiet room and a multi purpose room.

The facility will be a loadbearing concrete masonry unit structure with pre-cast concrete columns and floors. The exterior envelope uses the same brick that is on the existing facility. On the west side of the addition there is an entrance canopy, landscaping and exterior building signage identifying the SRCCCY entrance to visitors and giving facility some presence.

The addition will be located in an existing parking lot on the West side of the facility. To accommodate it the existing service drive will be adjusted, but the main drive aisle maintained with visitor parking added near the entrance. Overall the new construction exterior appearance will be an updated facility that blends into the existing and have a cohesive appearance.

Photos of Existing Front Elevation:



Existing Building Entrance Facing Watertown Plank Road.



Existing Building Front Elevation along Watertown Plank Road. (West of Entrance)

Photos of Area of Work:



Area of Existing Building the Addition will go. (Facing East)



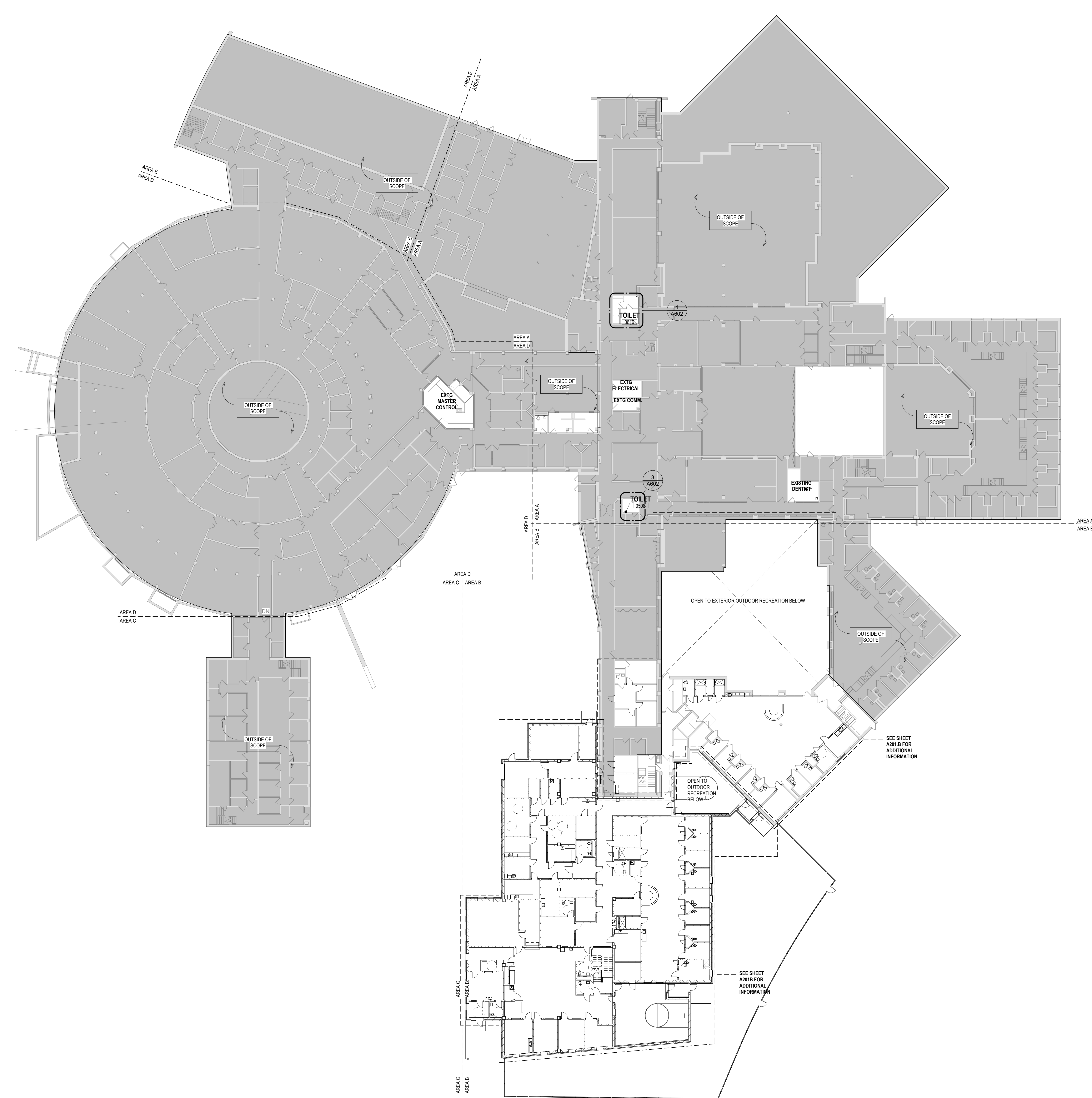
Area of Existing Building the Addition will go. (Facing East)



Area of Existing Parking lot the Addition will go. (Facing Southwest)



Area of existing parking lot, roadway where the addition will go. (Facing Southeast)



- GENERAL FLOOR PLAN NOTES TO CONTRACTOR
- THIS DRAWING IS FURTHER SUPPORTED BY INFORMATION CONTAINED IN THE SPECIFICATION MANUAL.
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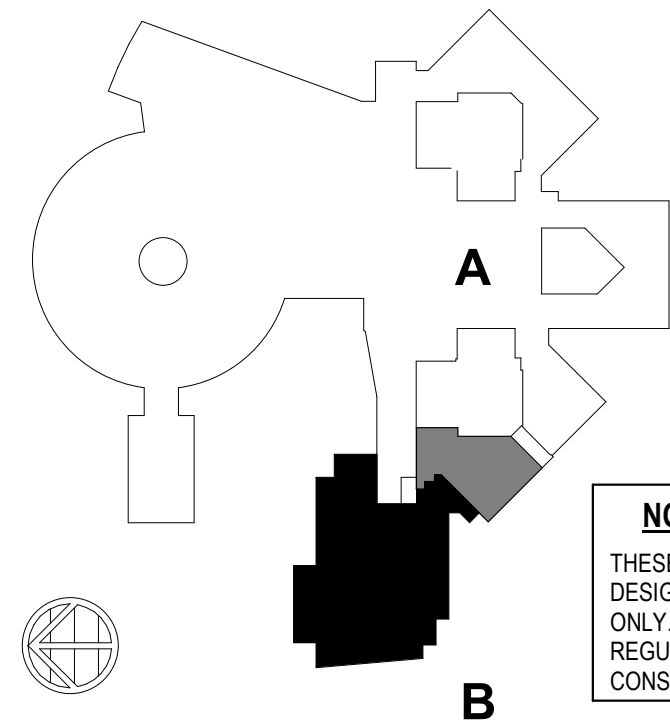
NEW WORK PLAN LEGEND

	EXISTING, TO REMAIN
	MASONRY PARTITION, SEE PARTITION TYPES FOR DETAILS
	STUD PARTITION, SEE PARTITION TYPES FOR DETAILS

NEW WORK PLAN KEY NOTES

SEE PROJECT GENERAL CONDITIONS, GENERAL INFORMATION ON SHEET A001 AND SELECTIVE DEMOLITION, CUTTING AND PATCHING SPECIFICATIONS THAT ARE USED IN ASSOCIATION WITH THESE NOTES.

2	ALIGN WALLS
3	ALIGN FACE OF WALL WITH PRECAST COLUMN
4	MOVEABLE PARTITION FIXED IN PLACE
5	EXISTING DOOR LOCKED AND NOT FOR USE
6	EXISTING DRINKING FOUNTAIN TO REMAIN
7	CONCRETE-FILLED METAL PAN STAIR (90 DEG RISERS) WITH LIGATURE-RESISTANT STEEL RAILINGS AND STAINLESS STEEL ANTI-MICROBIAL HANDRAIL. FINISH ALL LANDINGS, TREADS AND RISERS WITH ERF-1. FINISH STEEL STRINGERS AND UNDERSIDE OF STAIR WITH WPC-2
8	INFILL EXISTING WINDOW OPENINGS ABOVE. SEE INFILL DETAIL. COORDINATE WITH SECURE PERIMETER DETAILS.
9	PREFINISHED METEL DETENTION WINDOW ASSEMBLY IN NEW MASONRY OPENING.
10	AT EXISTING CONTROL DESK REMOVAL. IF EXISTING FLOORING DID NOT RUN UNDER EXISTING CONTROL DESK, CONTRACTOR TO PREPARE EXISTING FLOOR FOR NEW FINISHES.
11	CONTRACTOR TO PATCH FLOORS AND MASONRY WALLS AT EXISTING CONCRETE BED OR CONCRETE BENCH REMOVAL AND PREPARE FLOOR FOR NEW FINISHES.
12	REINSTALL SALVAGED TILE AT SAW CUT FLOOR AREA.
13	PATCH ALL EXISTING DISTURBED MASONRY WALL SURFACES THROUGHOUT ROOM TO MATCH EXISTING. AT EXISTING WALL DEMOD LOCATIONS.
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15	NEW INFILL FLOOR ASSEMBLY TO MATCH EXISTING FLOOR ASSEMBLY AT EXISTING CHASE LOCATION. COORDINATE WITH PLUMBING CONTRACTOR.
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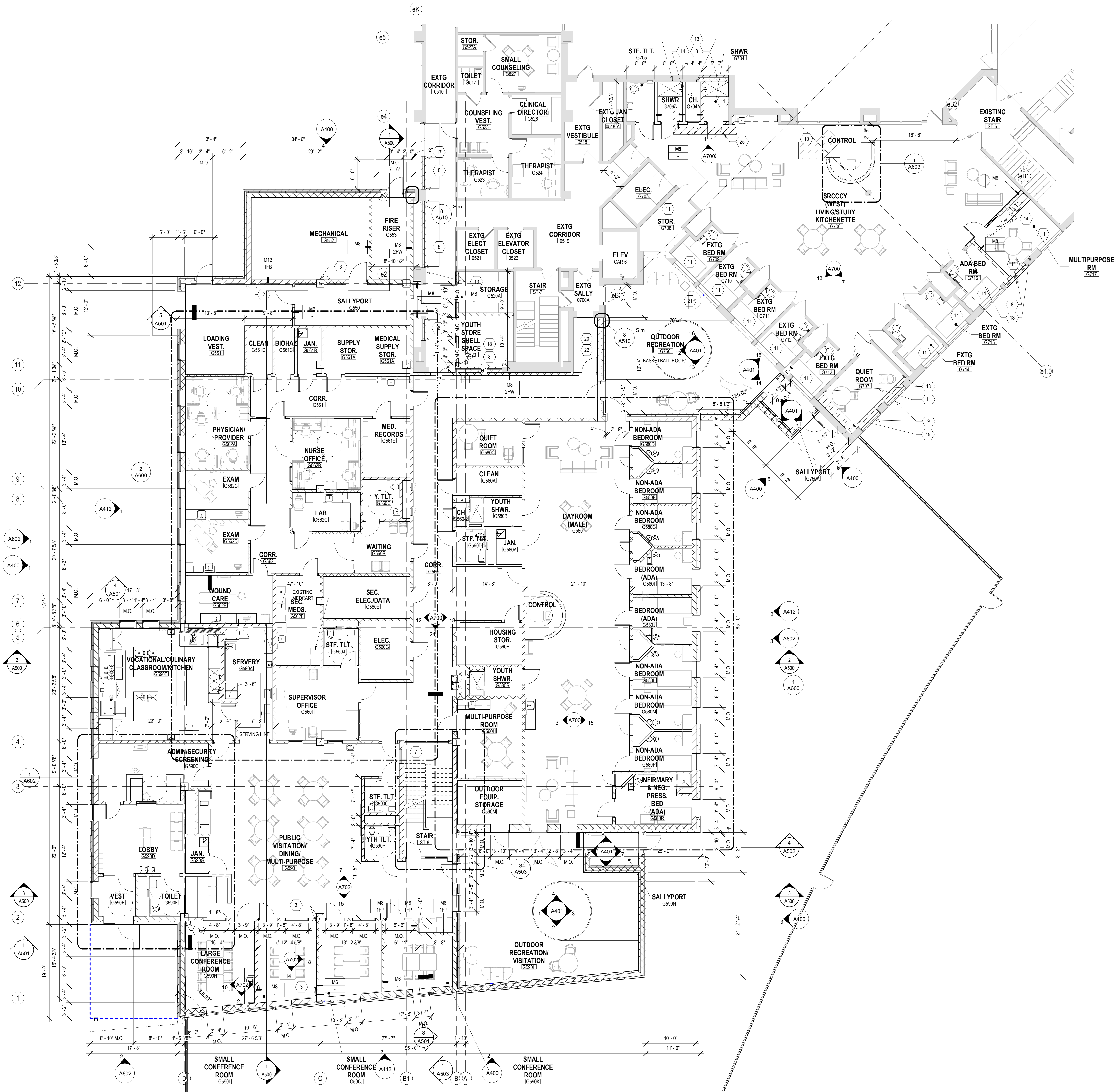
LOWER LEVEL PLAN - OVERALL

1 LOWER LEVEL - OVERALL

Scale: 0' 0.7' 1.3' 2.7' 4'



REVISIONS:



1 LOWER LEVEL PLAN - AREA B

LOWER LEVEL PLAN - AREA B

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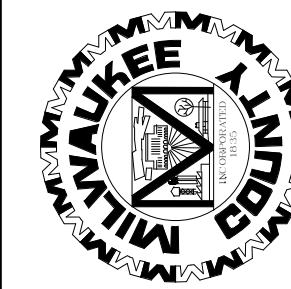
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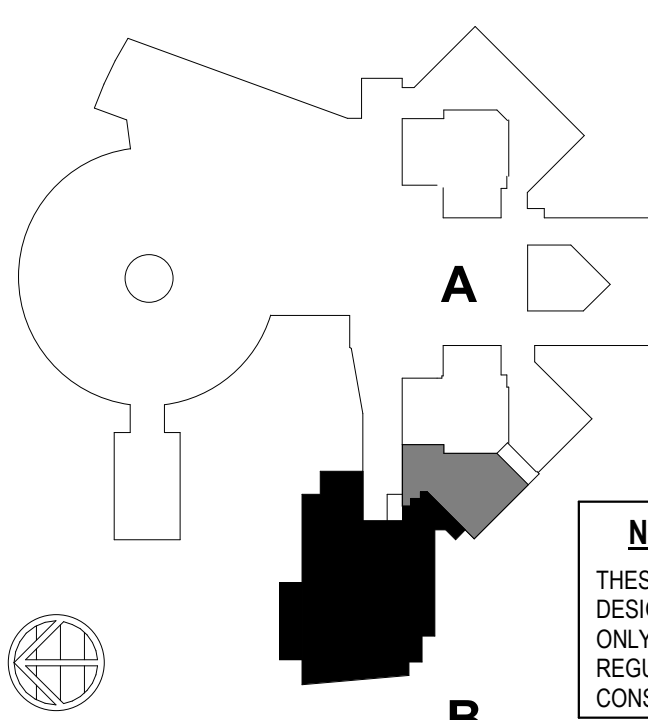
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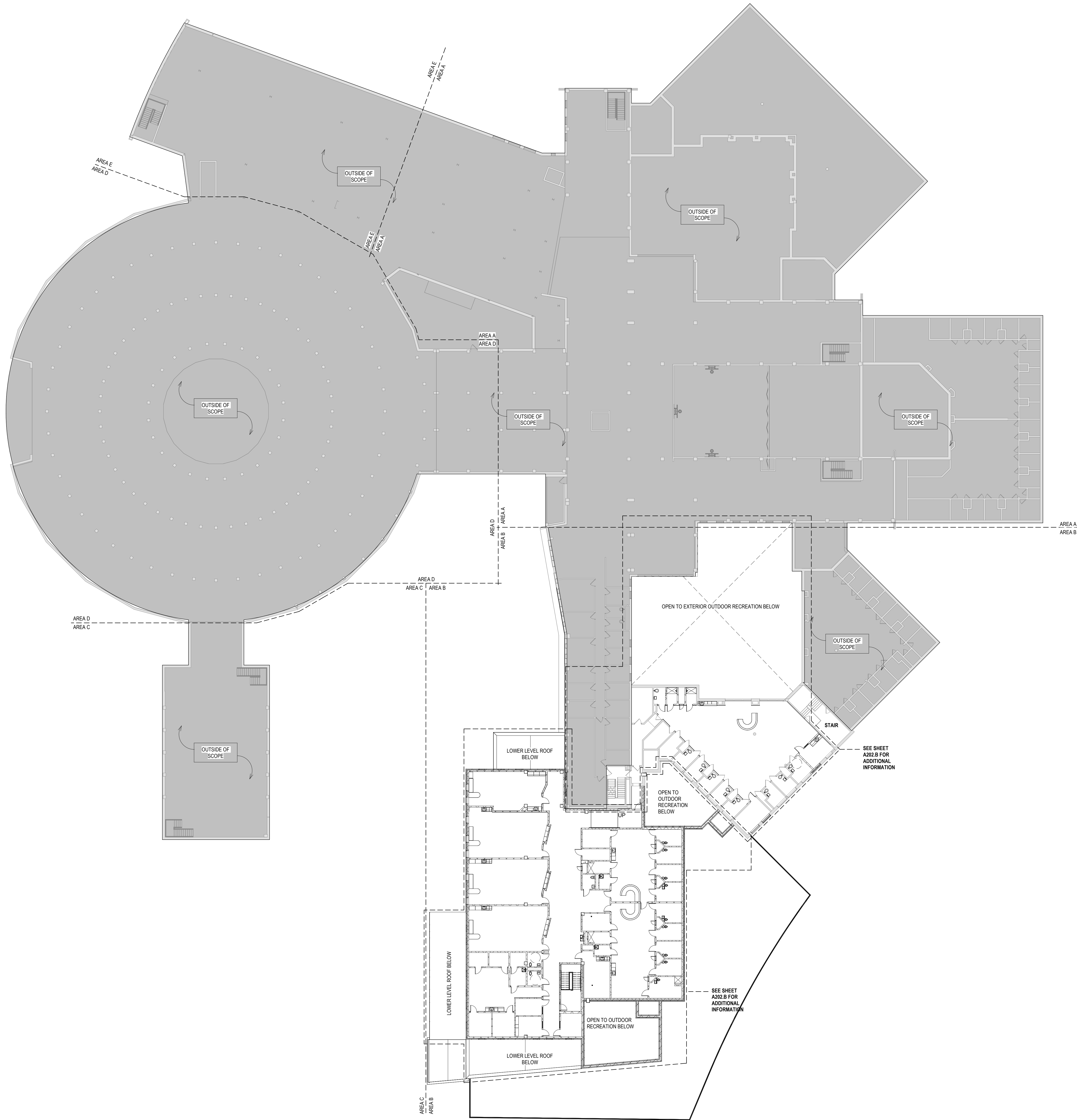


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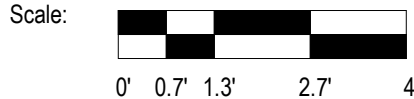
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12/19/2023
COUNTY PROJECT #:
WS12401
SITE NO:
360
BUILDING NO:
5000
CAP PROJECT #:
180802
PROJECT STATUS:
50% CD REVIEW
SET



NOT FOR CONSTRUCTION
THESE DRAWINGS ARE RELEASED FOR DESIGN DEVELOPMENT PURPOSES ONLY. THEY ARE NOT TO BE USED FOR REGULATORY APPROVAL, PERMIT, OR CONSTRUCTION PURPOSES.



1 MAIN LEVEL - OVERALL



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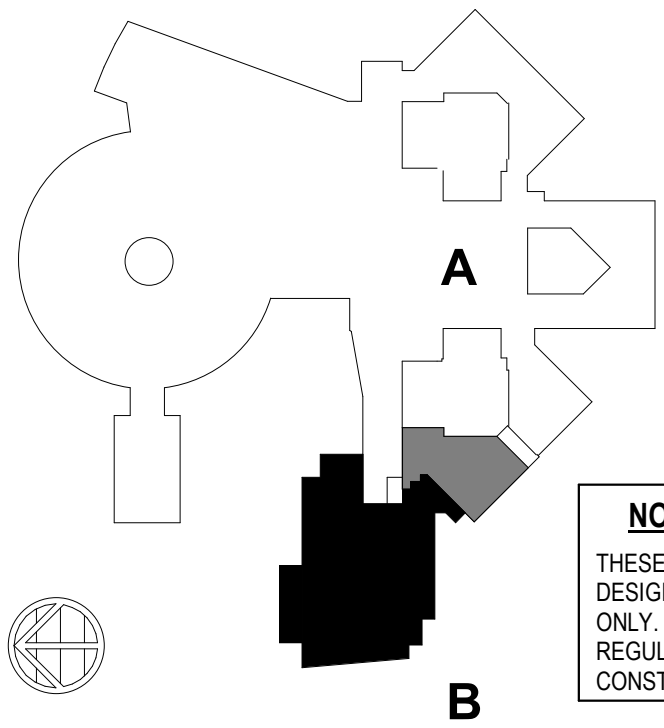
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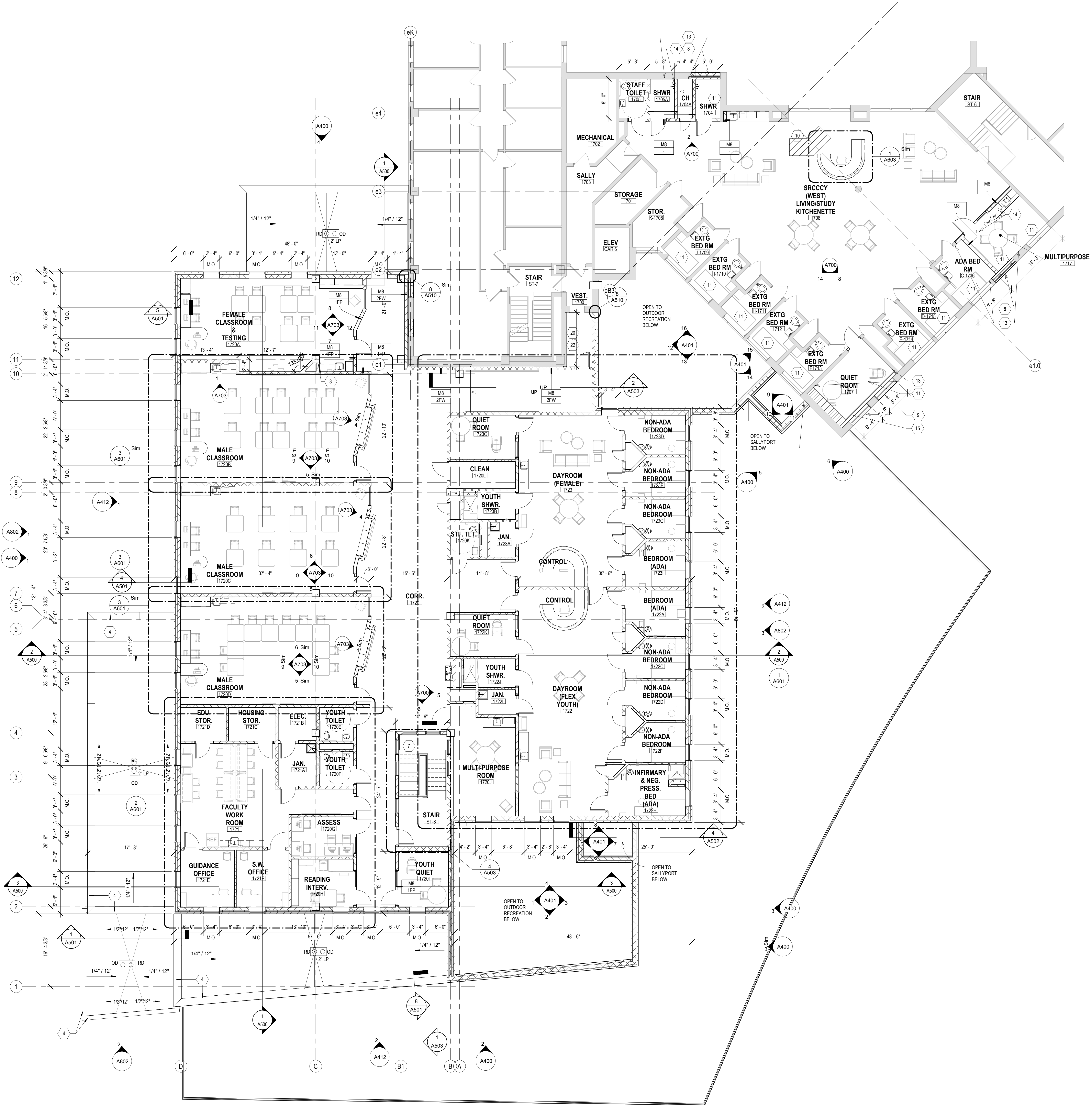


MAIN LEVEL PLAN - OVERALL



REVISIONS:

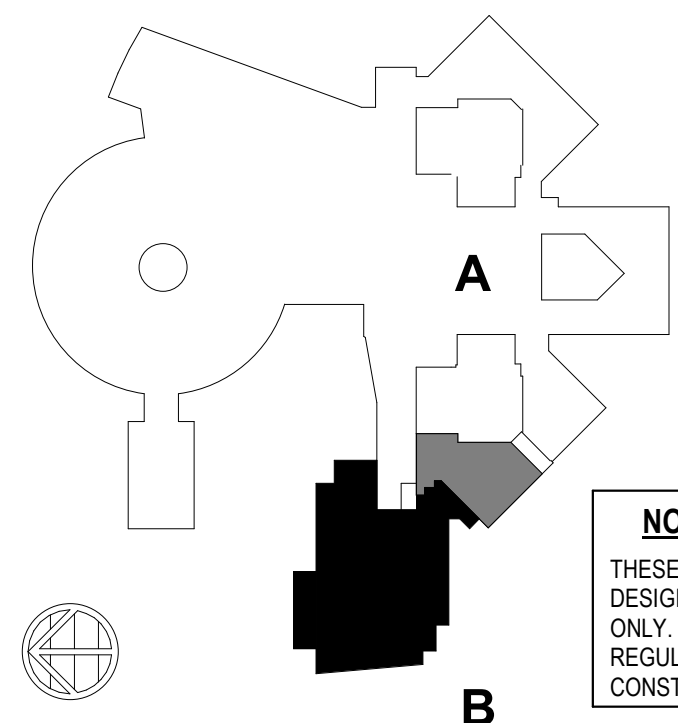
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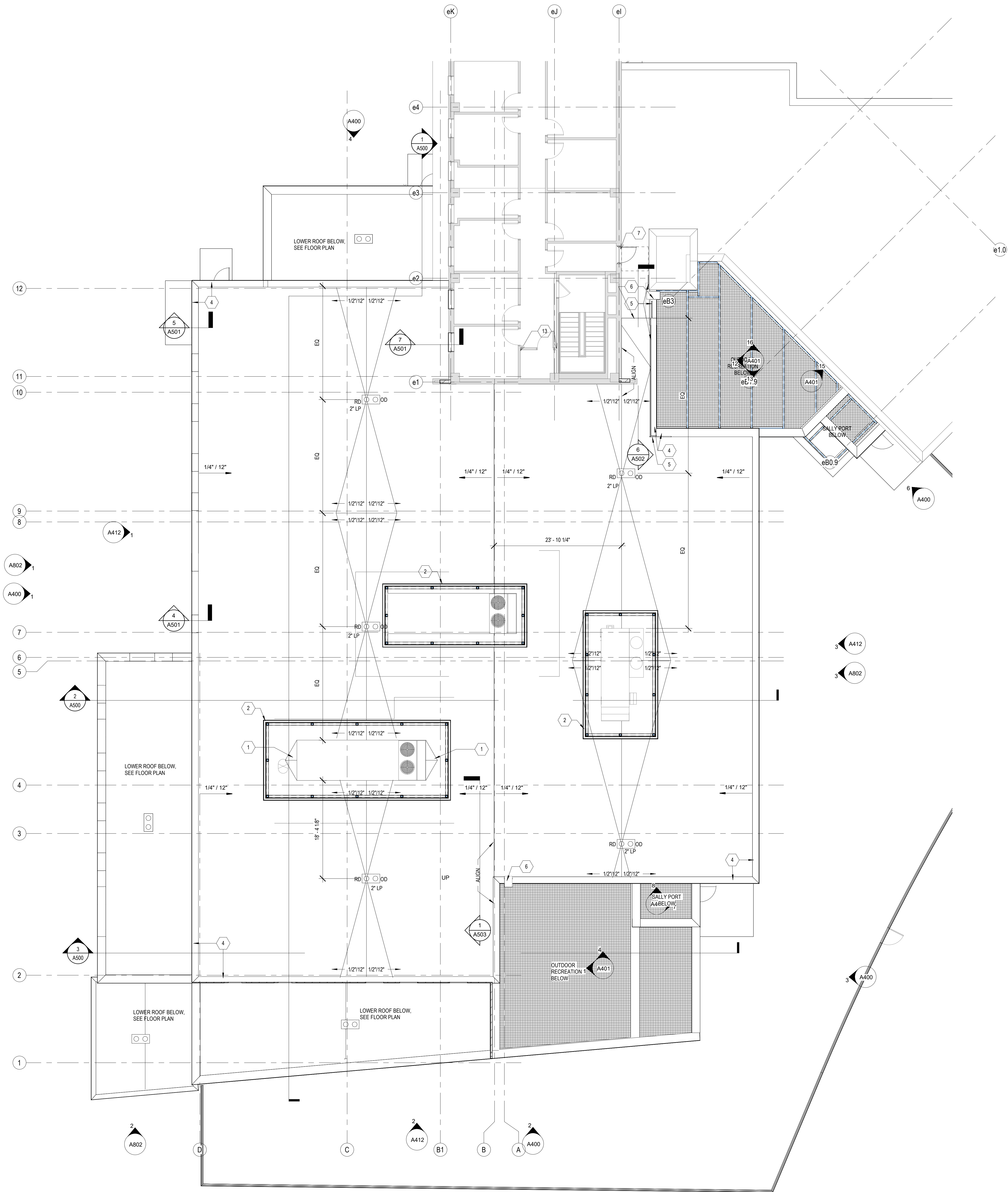


MAIN LEVEL PLAN - AREA B



REVISIONS:

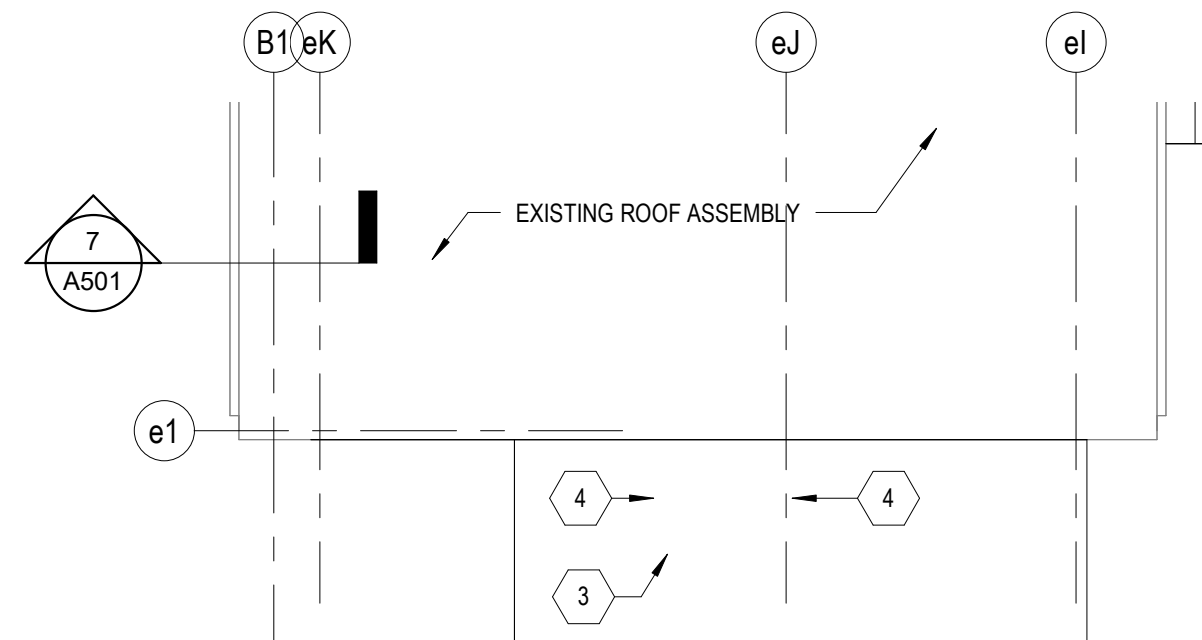
DATE:
12/19/2023
COUNTY PROJECT #:
WS12401
SITE NO:
360
BUILDING NO:
5000
CAP PROJECT #:
180802
PROJECT STATUS:
50% CD REVIEW
SET



1 ROOF PLAN - AREA B

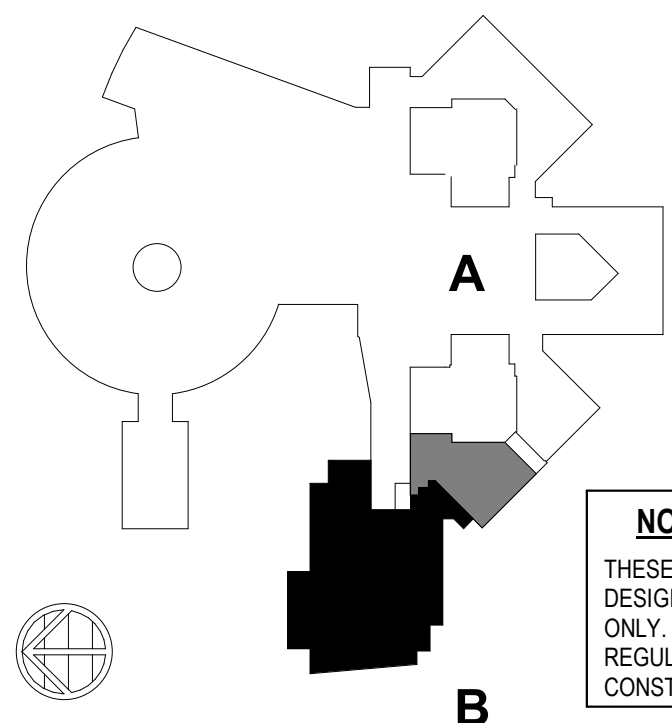
Scale: 1/8" = 1'-0"

NEW WORK ROOF PLAN KEY NOTES	
SEE PROJECT GENERAL CONDITIONS, GENERAL INFORMATION ON SHEET A001 AND SELECTIVE DEMOLITION, CUTTING AND PATCHING SPECIFICATIONS THAT ARE USED IN ASSOCIATION WITH THESE NOTES.	
NEW WORK ROOF PLAN KEY NOTES APPLY TO ALL NEW WORK DRAWINGS AND MAY NOT BE USED ON EVERY SHEET.	
1	CRICKET
2	PREFINISHED METAL MECHANICAL SCREEN WALL
3	NEW PREFINISHED METAL GUTTER AND DOWNSPOUT DOWN TO SPLASH BLOCK
4	NEW PREFINISHED METAL CORING
5	NEW PREFINISHED METAL GUARDRAIL
6	NEW PREFINISHED METAL ACCESS LADDER
7	NEW DOOR

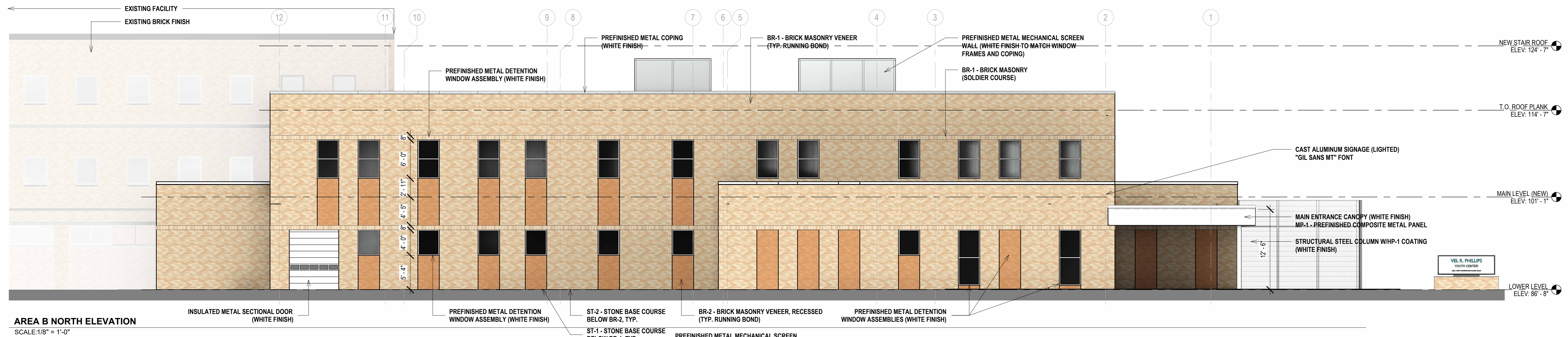


2 NEW STAIR ROOF

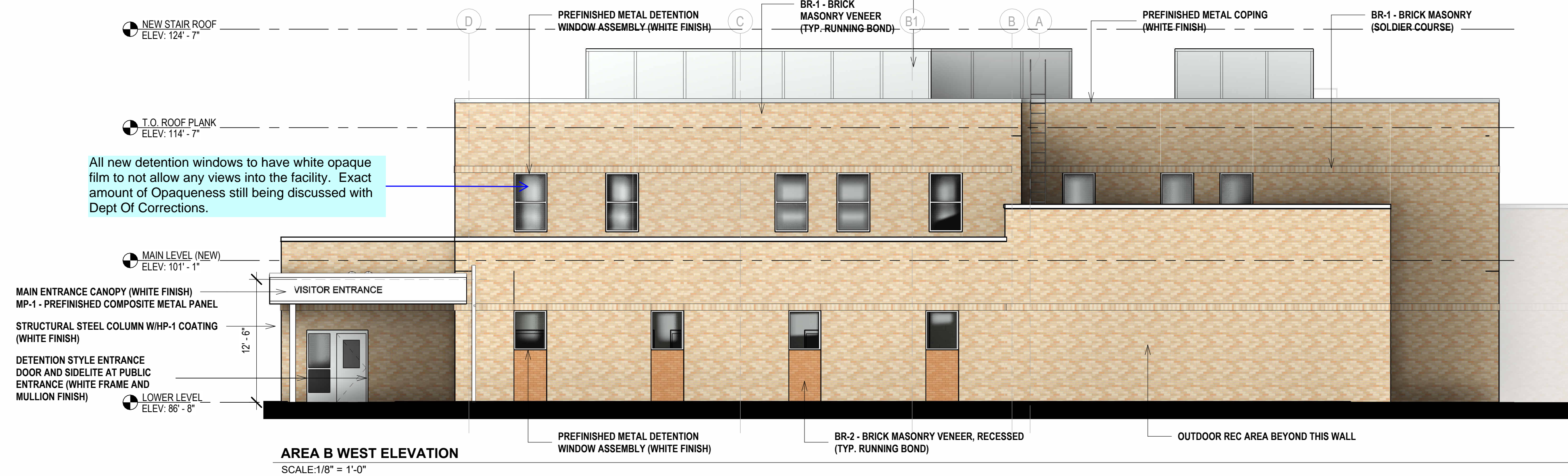
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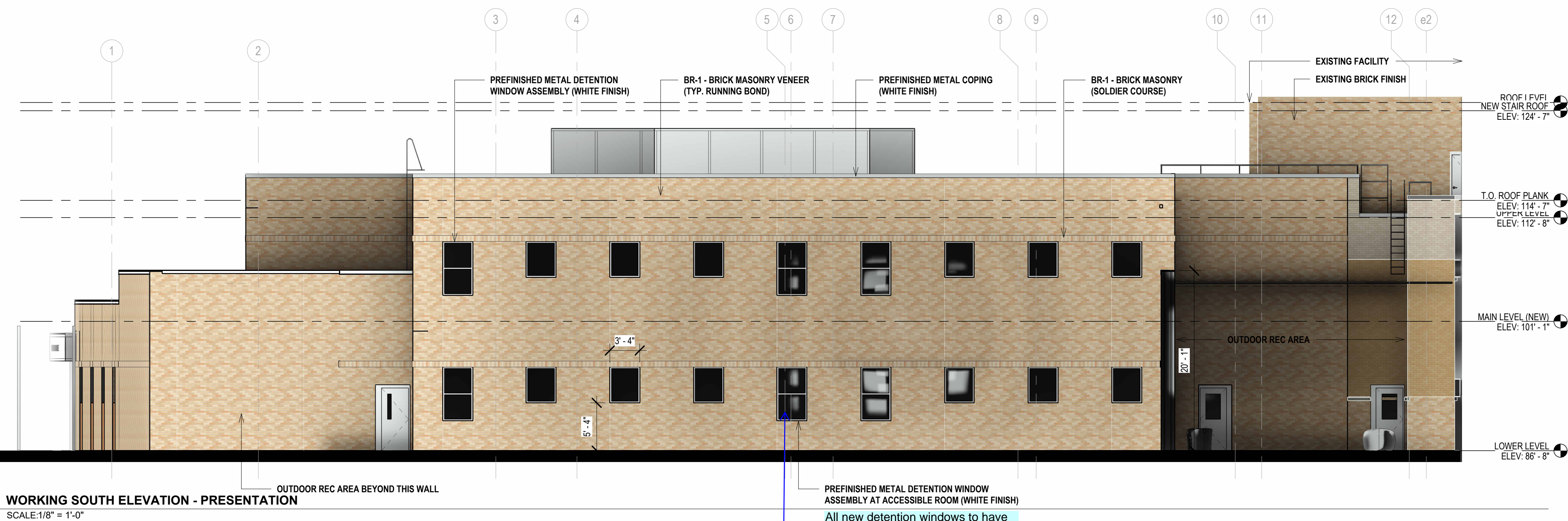
ROOF PLAN - AREA B



AREA B NORTH ELEVATION
SCALE: 1/8" = 1'-0"

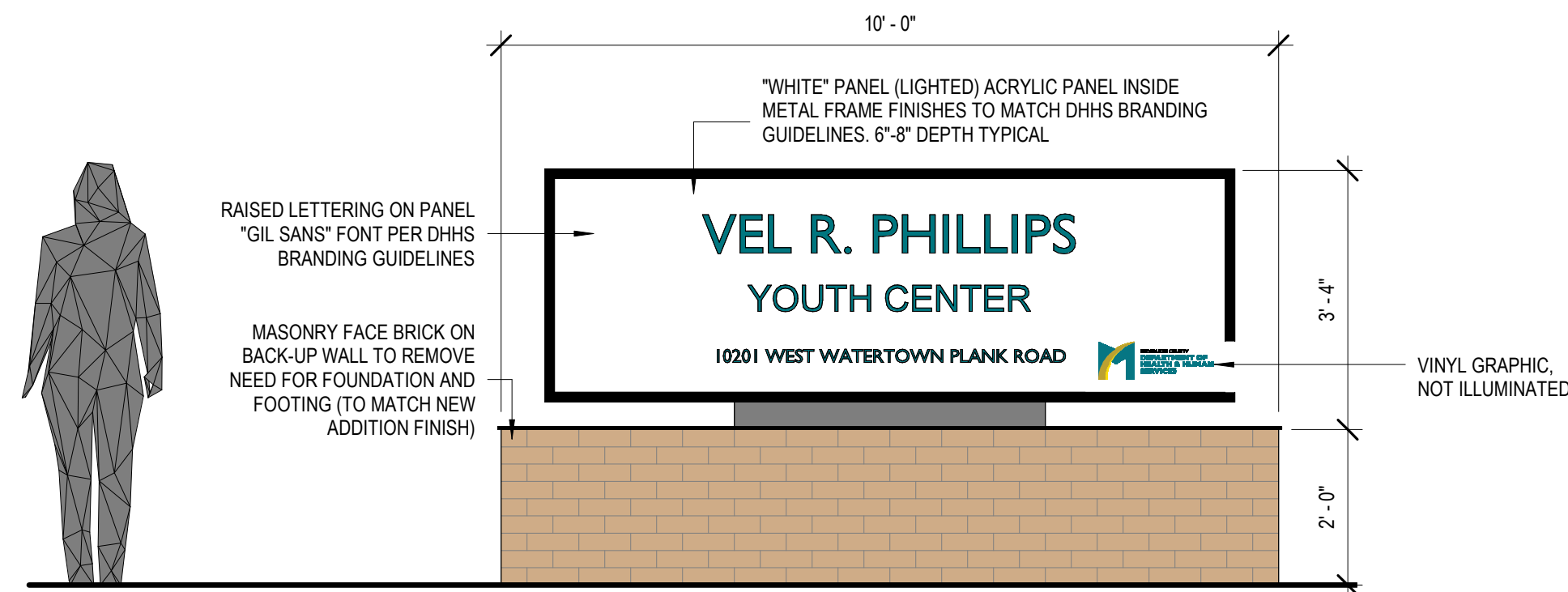


AREA B WEST ELEVATION
SCALE: 1/8" = 1'-0"



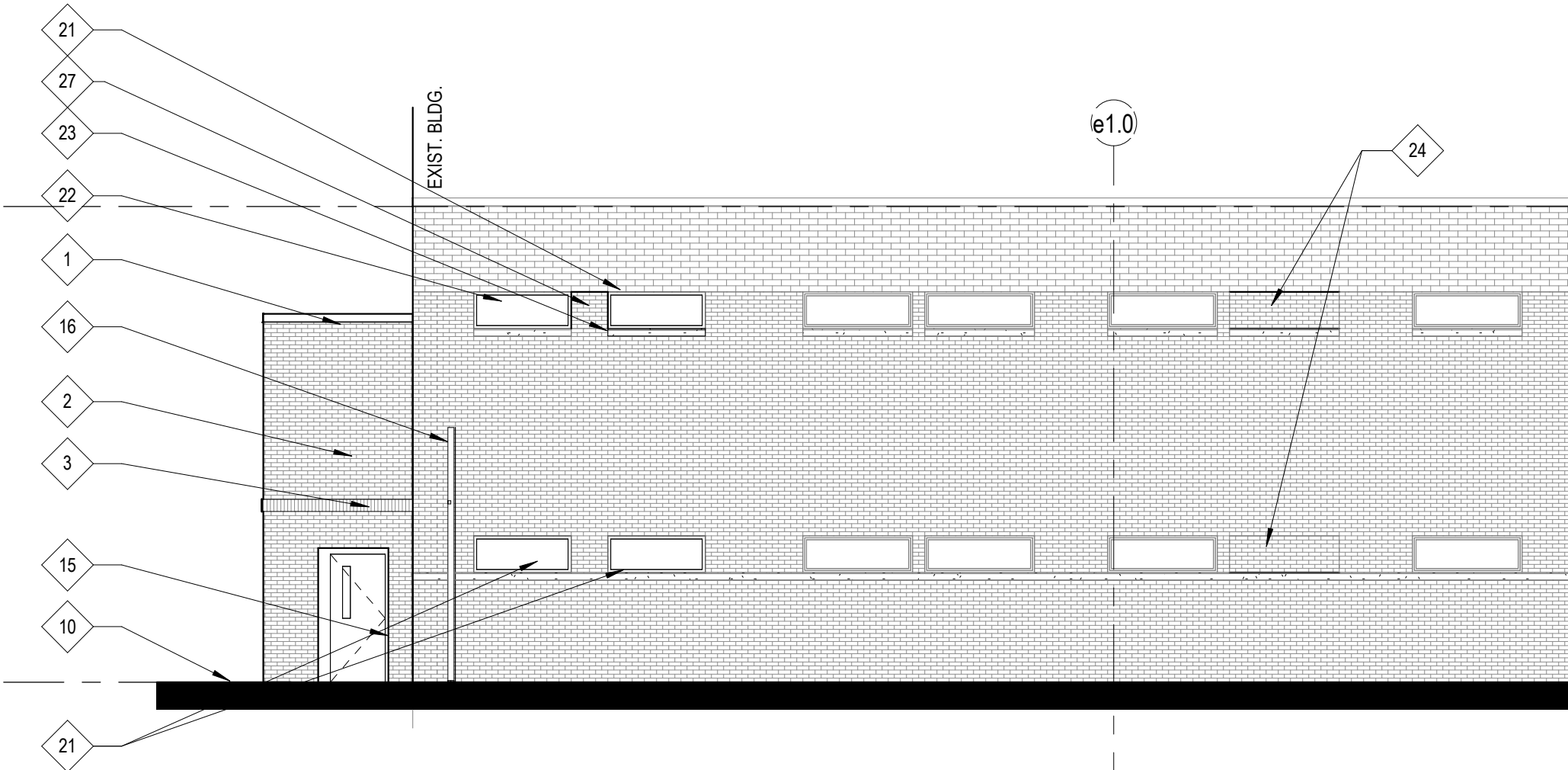
WORKING SOUTH ELEVATION - PRESENTATION
SCALE: 1/8" = 1'-0"

PREFINISHED METAL DETENTION WINDOW ASSEMBLY AT ACCESSIBLE ROOM (WHITE FINISH)
All new detention windows to have white opaque film to not allow any views into the facility. Exact amount of Opaueness still being discussed with Dept Of Corrections.



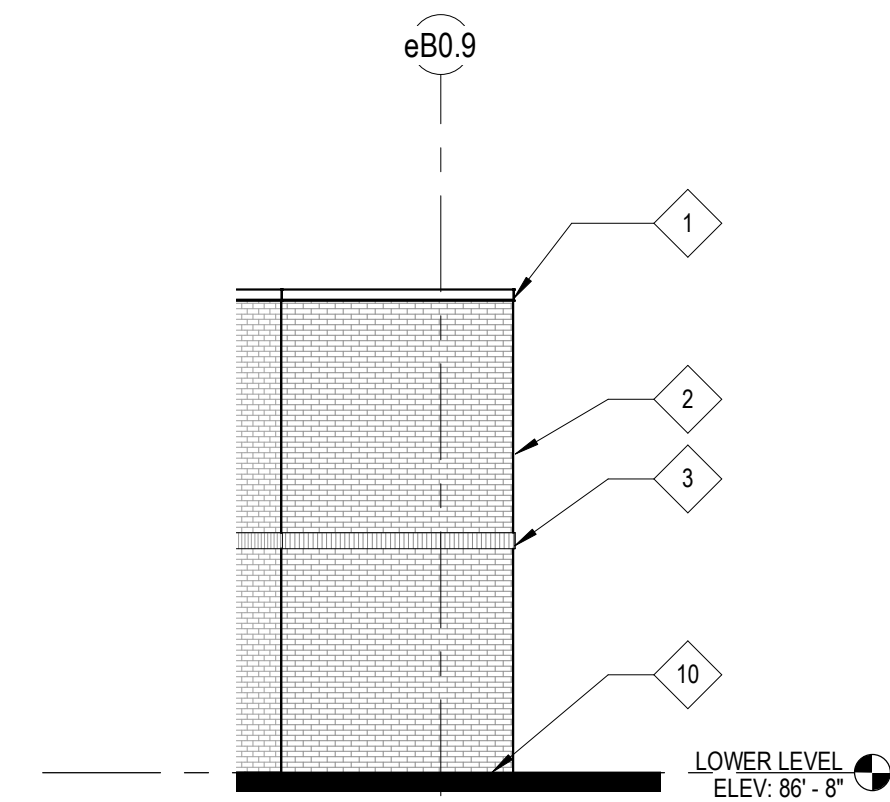
7 MONUMENTAL BUILDING SIGNAGE

Scale: 1/2" = 1'-0"



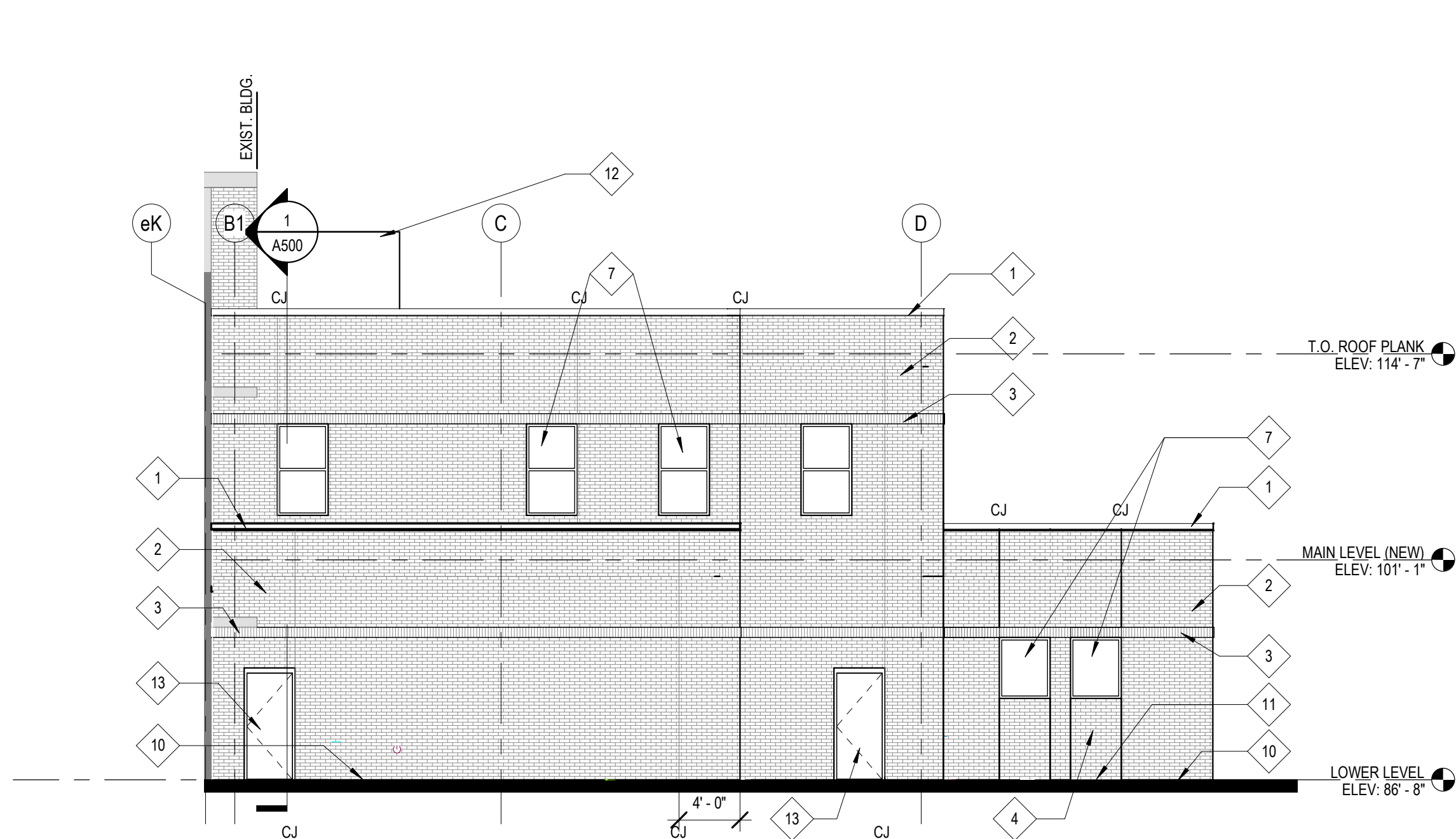
6 SALLYPORT 2 - SOUTHEAST ELEV.

Scale: 1/8" = 1'-0"



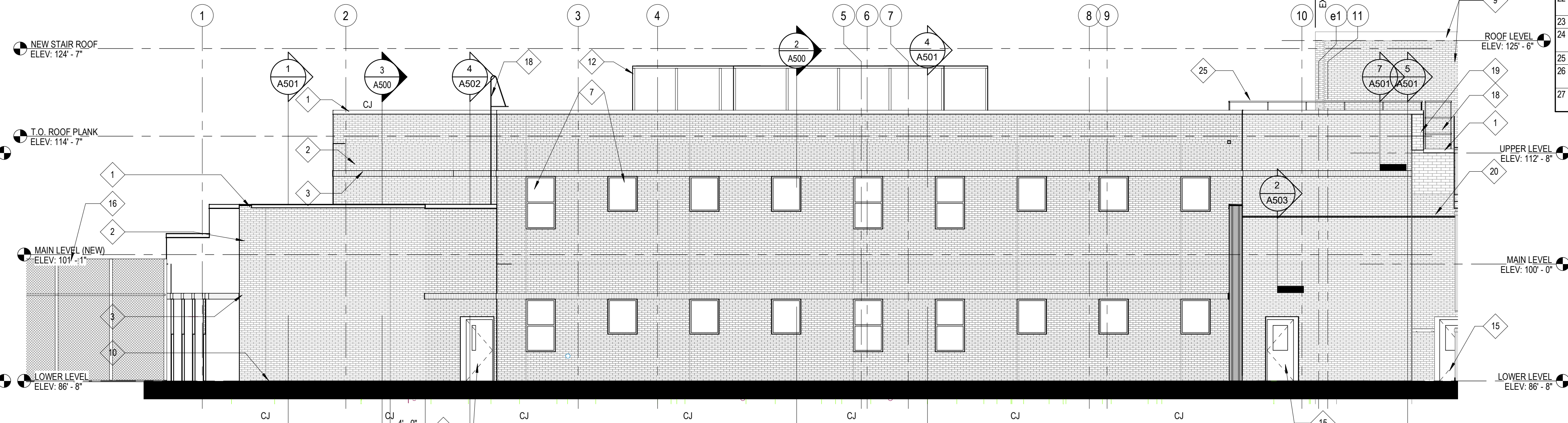
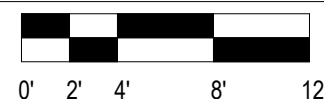
5 SALLYPORT 2 - NORTHEAST

Scale: 1/8" = 1'-0"



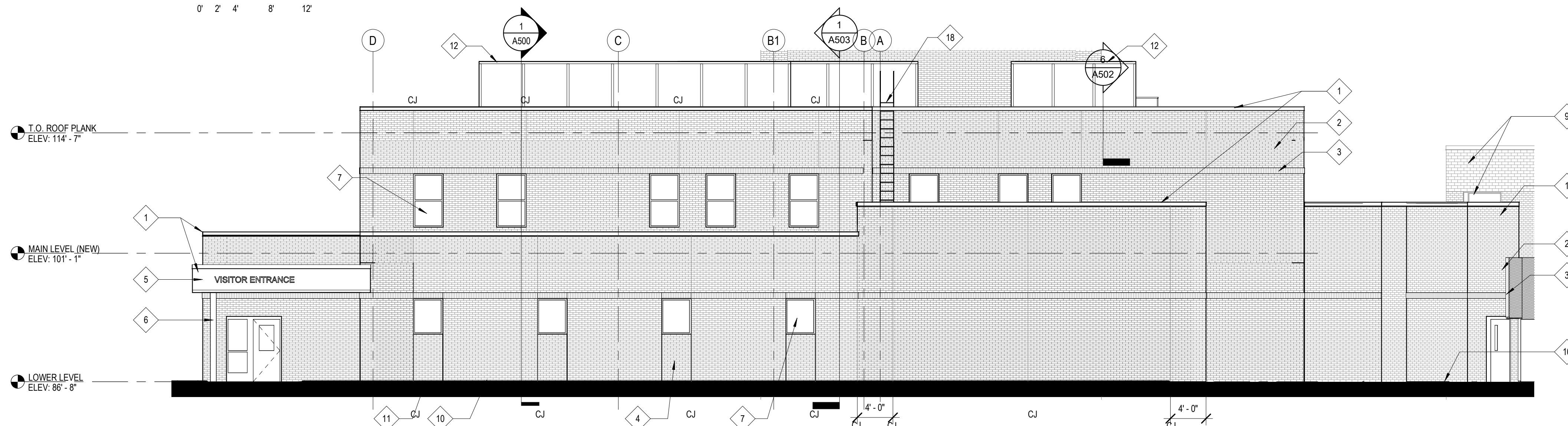
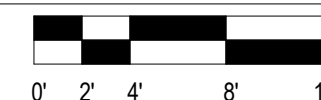
4 AREA B EAST ELEVATION

Scale: 1/8" = 1'-0"



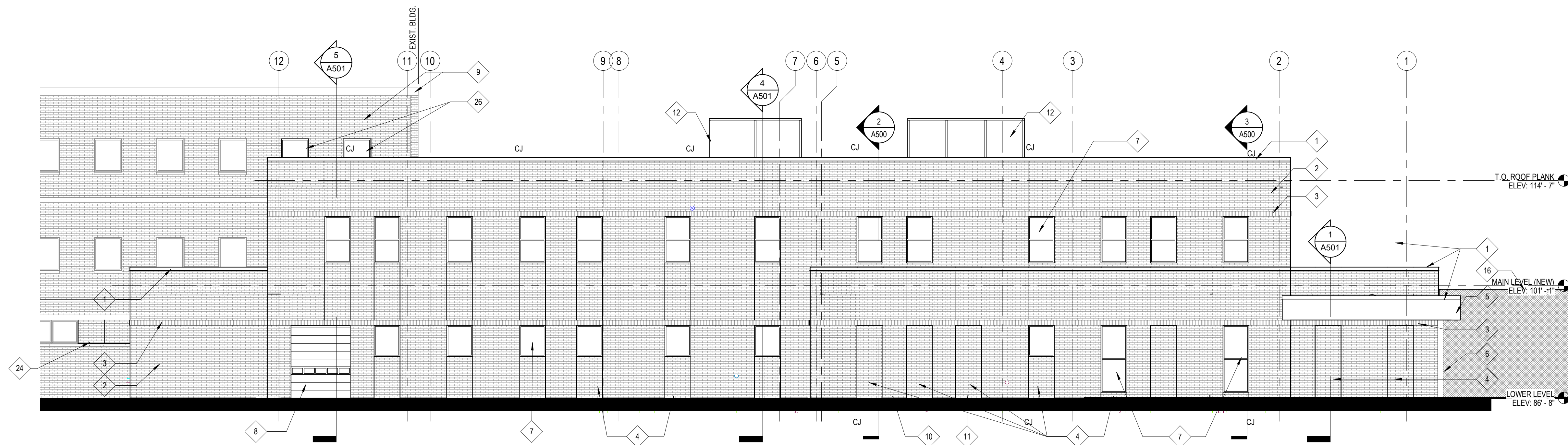
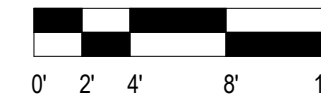
3 AREA B SOUTH ELEVATION

Scale: 1/8" = 1'-0"



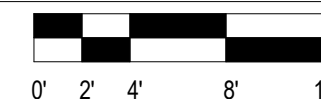
2 AREA B WEST ELEVATION

Scale: 1/8" = 1'-0"



1 AREA B NORTH ELEVATION

Scale: 1/8" = 1'-0"



All new detention windows to have white opaque film to not allow any views into the facility. Exact amount of Opacity will be discussed with Dept Of Corrections.

EXTERIOR ELEVATION KEY NOTES

SEE PROJECT GENERAL CONDITIONS, GENERAL INFORMATION ON SHEET A001 AND SELECTIVE DEMOLITION, CUTTING AND PATCHING SPECIFICATIONS THAT ARE USED IN ASSOCIATION WITH THESE NOTES
...
1 PREFINISHED METAL COPING
2 BR-1 - BRICK MASONRY VENEER
3 BR-1 - BRICK MASONRY SOLDIER COURSE
4 BR-2 - BRICK MASONRY VENEER, RECESSED
5 WP-1 - PREFINISHED COMPOSITE METAL PANEL
6 STRUCTURAL STEEL COLUMN WHF-1 COATING
7 PREFINISHED METAL DETENTION WINDOW ASSEMBLY
8 INSULATED METAL SECTIONAL DOOR
9 EXISTING BUILDING AND WINDOW ASSEMBLIES BEYOND
10 ST-1 - STONE BASE COURSE BELOW BR-1, TYP.
11 ST-2 - STONE BASE COURSE BELOW BR-2, TYP.
12 PREFINISHED METAL MECHANICAL SCREEN WALL
13 HOLLOW METAL DOOR AND FRAME
14 PREFINISHED METAL GUTTER AND DOWNSPOUT DOWN TO SPLASH BLOCK
15 HOLLOW METAL DETENTION DOOR AND FRAME
16 SECURITY FENCE
17 SECURITY NETTING, SEE STRUCTURAL - TOOTH IN EXISTING MASONRY AROUND NEW TUBE STEEL
18 PREFINISHED ACCESS LADDER
19 BR-3 - BRICK MASONRY VENEER - MATCH EXISTING MASONRY COURSING
20 SECURITY NETTING, SEE STRUCTURAL
21 PREFINISHED DETENTION WINDOW ASSEMBLY IN EXISTING MASONRY WALL, COORDINATE NEW OPENING WITH FLOOR PLAN
22 PREFINISHED DETENTION WINDOW ASSEMBLY, IN EXISTING MECHANICAL VENT COORDINATE WITH PLAN
23 CAST STONE SILL
24 BR-4 - NEW MASONRY AT EXISTING BUILDING INFILL AT WINDOWS, MATCH COURSING, SEE DETAIL
25 PREFINISHED METAL GUARDRAILS
26 NEW 2' x 4' 1/2" ALUMINUM STOREFRONT ASSEMBLY - VERIFY EXISTING MASONRY OPENING
27 BR-4 - NEW MASONRY AT EXISTING BUILDING INFILL AT EXISTING MECHANICAL VENT, MATCH COURSING, SEE DETAIL

NOT FOR CONSTRUCTION
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EXTERIOR ELEVATIONS

SECURE RESIDENTIAL CARE CENTER FOR CHILDREN AND YOUTH
Vel R. Phillips Youth & Family Justice Center
10201 W Watertown Plank Rd, Milwaukee, WI 53226

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Suite 200
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MILWAUKEE CO. DEPT. OF ADMINISTRATIVE SERVICES
FACILITIES MANAGEMENT DIVISION
ARCHITECTURE - ENGINEERING - ENVIRONMENTAL SERVICES
633 WEST WISCONSIN AVENUE, SUITE 1000 MILWAUKEE, WI 53203

REVISIONS:

DATE:
12/19/2023
COUNTY PROJECT #:
WS12401
SITE NO:
360
BUILDING NO:
5000
CAP PROJECT #:
180802
PROJECT STATUS:
50% CD REVIEW
SET

A400

BR-1 is the mixture
of all the brick colors.

BR-2 is the use of
only this color brick
as an accent color.

Proposed brick to be used that
matches the existing brick.

Recorded easements, if any, are not shown.



ON STREET PARKING ON WISCONSIN AVE – ONLY W/I PROP FRONTAGE

- Ⓔ ELECTRIC MANHOLE
- Ⓕ ELECTRIC PEDESTAL
- Ⓖ ELECTRIC METER
- Ⓗ TELEPHONE TRANSFORMER
- Ⓘ TELEPHONE MANHOLE
- Ⓣ TELEPHONE PEDESTAL
- Ⓢ FIBERED FIBER OPTIC
- Ⓜ GAS VALVE
- ⓐ GAS METER
- Ⓢ GAS WARNING SIGN
- Ⓢ STORM MANHOLE
- Ⓢ ROUND INLET
- Ⓢ SQUARE INLET
- Ⓢ MANHOLE END SECTION
- Ⓢ SANITARY MANHOLE
- Ⓢ SANITARY CLEANOUT OR SEPTIC VENT
- Ⓢ INTERCEPTOR MANHOLE
- Ⓢ MISCELLANEOUS MANHOLE
- Ⓢ WATER VALVE
- Ⓢ HYDRANT
- Ⓢ WATER SERVICE CURB STOP
- Ⓢ WATER MANHOLE
- Ⓢ WELL
- Ⓢ WATER SURFACE
- Ⓢ WETLANDS FLAG
- Ⓢ MARSH
- Ⓢ CONIFEROUS TREE
- Ⓢ DECIDUOUS TREE

SPOT ELEVATION

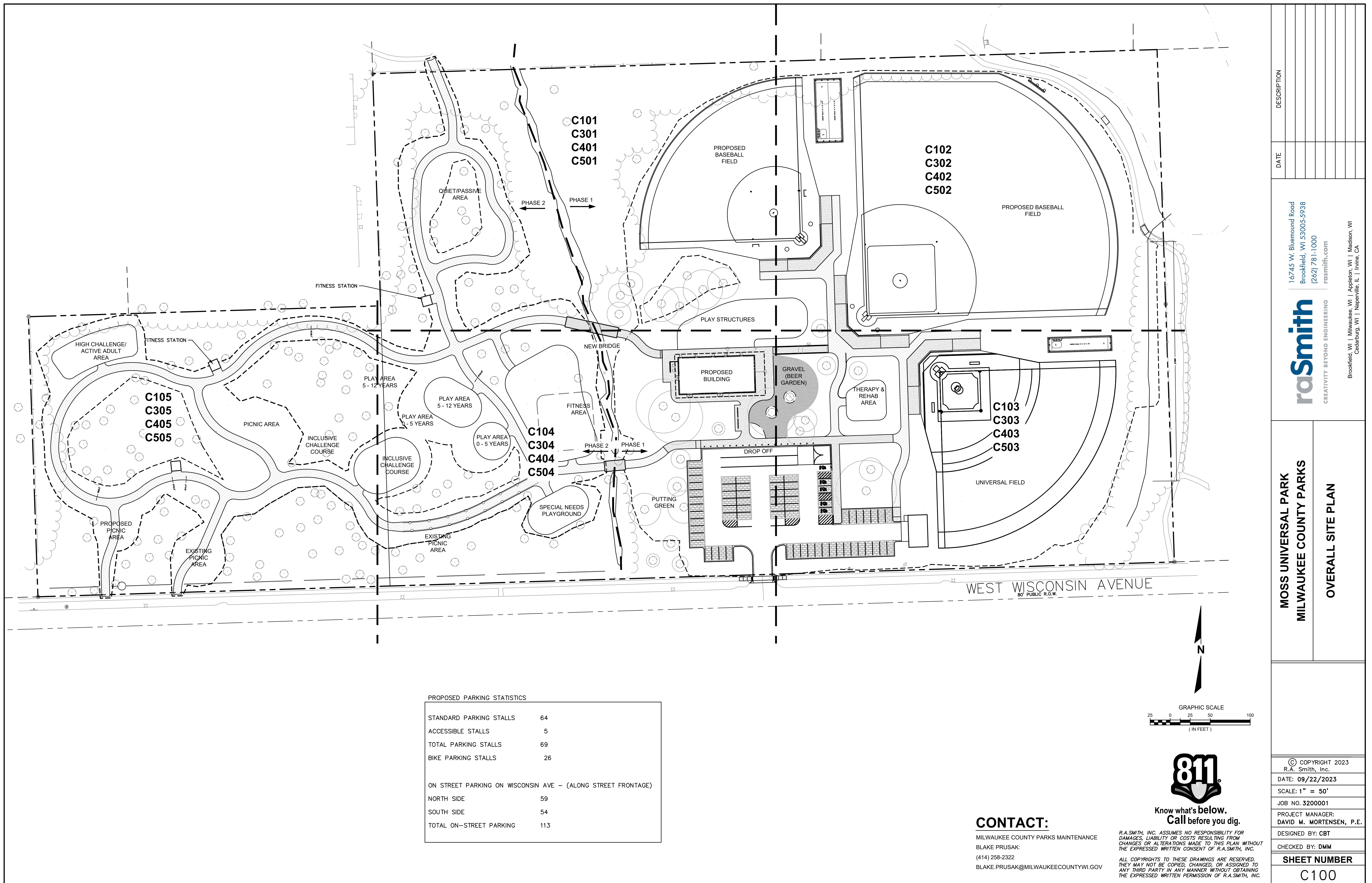
— EXISTING PROPERTY LINE

- - - EXISTING EASEMENT LINE



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C001



MOSS UNIVERSAL PARK PAVILION

WAUWATOSA DESIGN REVIEW BOARD



Kahler Slater

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12/26/2023







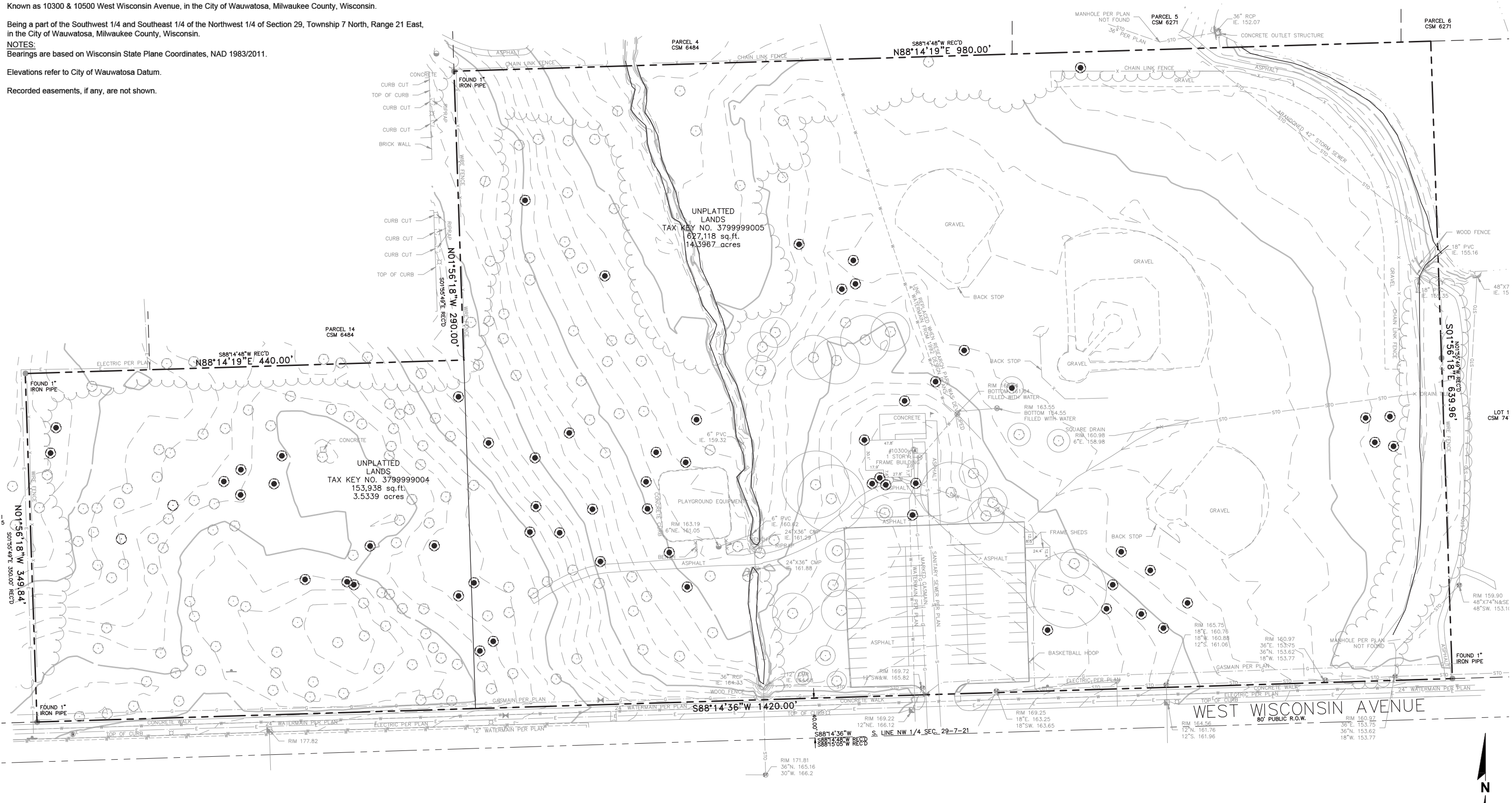
Known as 10300 & 10500 West Wisconsin Avenue, in the City of Wauwatosa, Milwaukee County, Wisconsin.

Being a part of the Southwest 1/4 and Southeast 1/4 of the Northwest 1/4 of Section 29, Township 7 North, Range 21 East, in the City of Wauwatosa, Milwaukee County, Wisconsin.

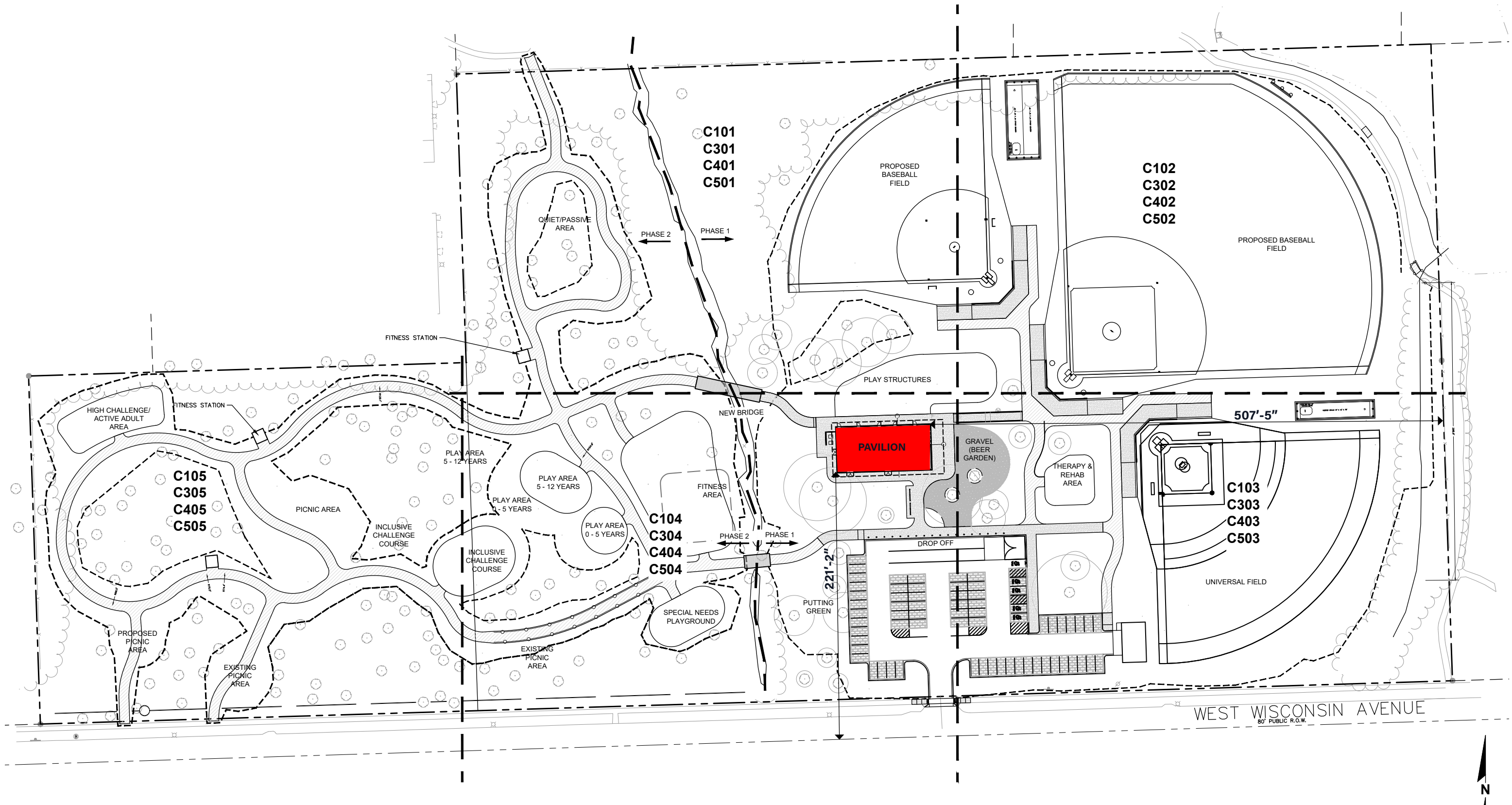
NOTES:
Bearings are based on Wisconsin State Plane Coordinates, NAD 1983/2011.

Elevations refer to City of Wauwatosa Datum.

Recorded easements, if any, are not shown.



(see attached "Civil" package for scaled drawing)

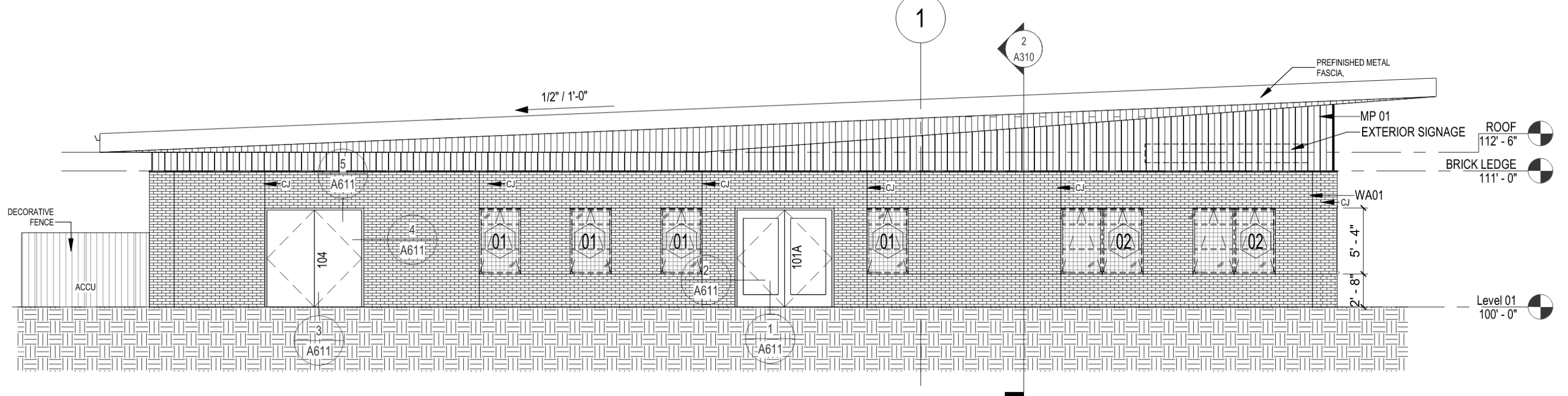


(see attached "Civil" package for scaled drawing)

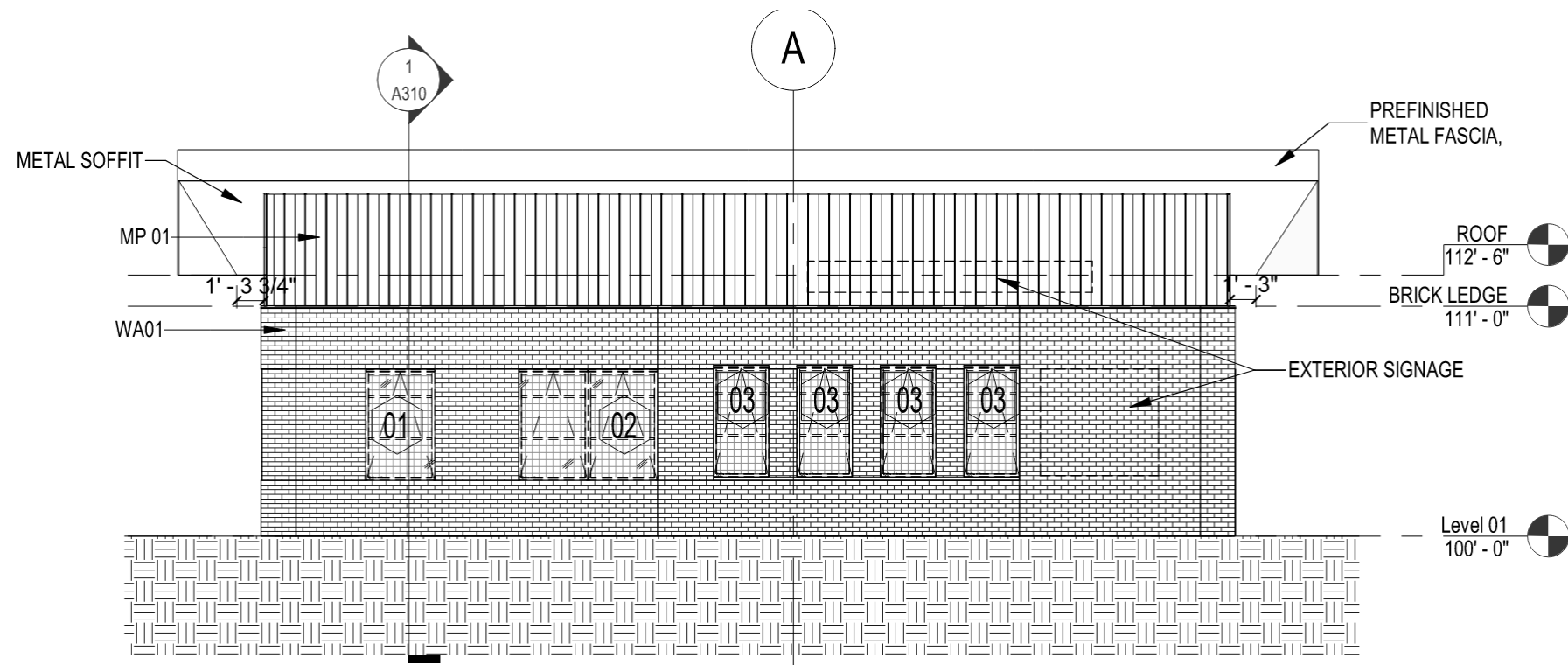


1 FIRST FLOOR PLAN
1/8" = 1'-0"

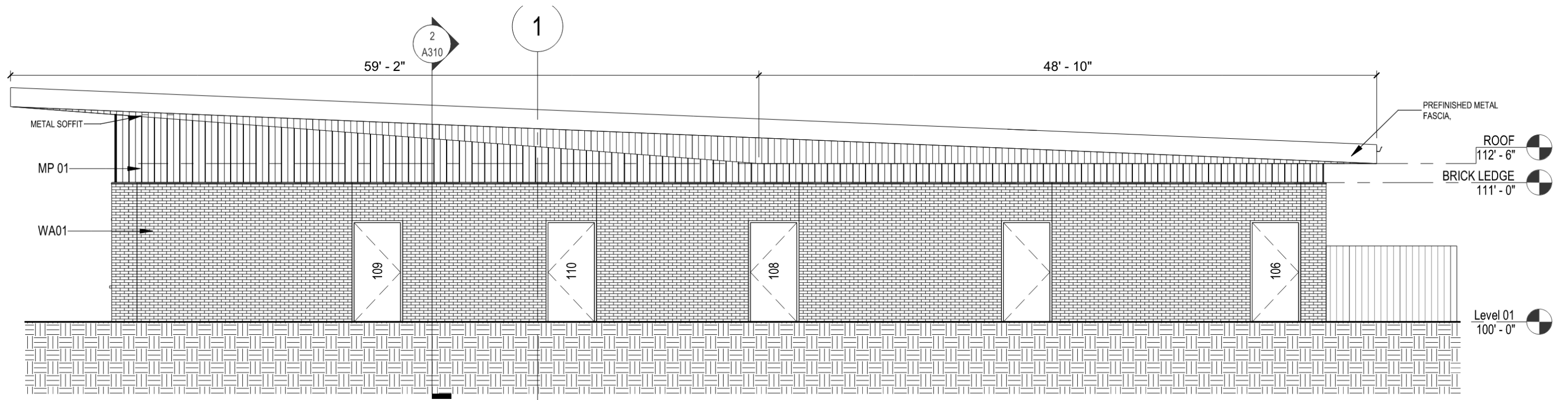




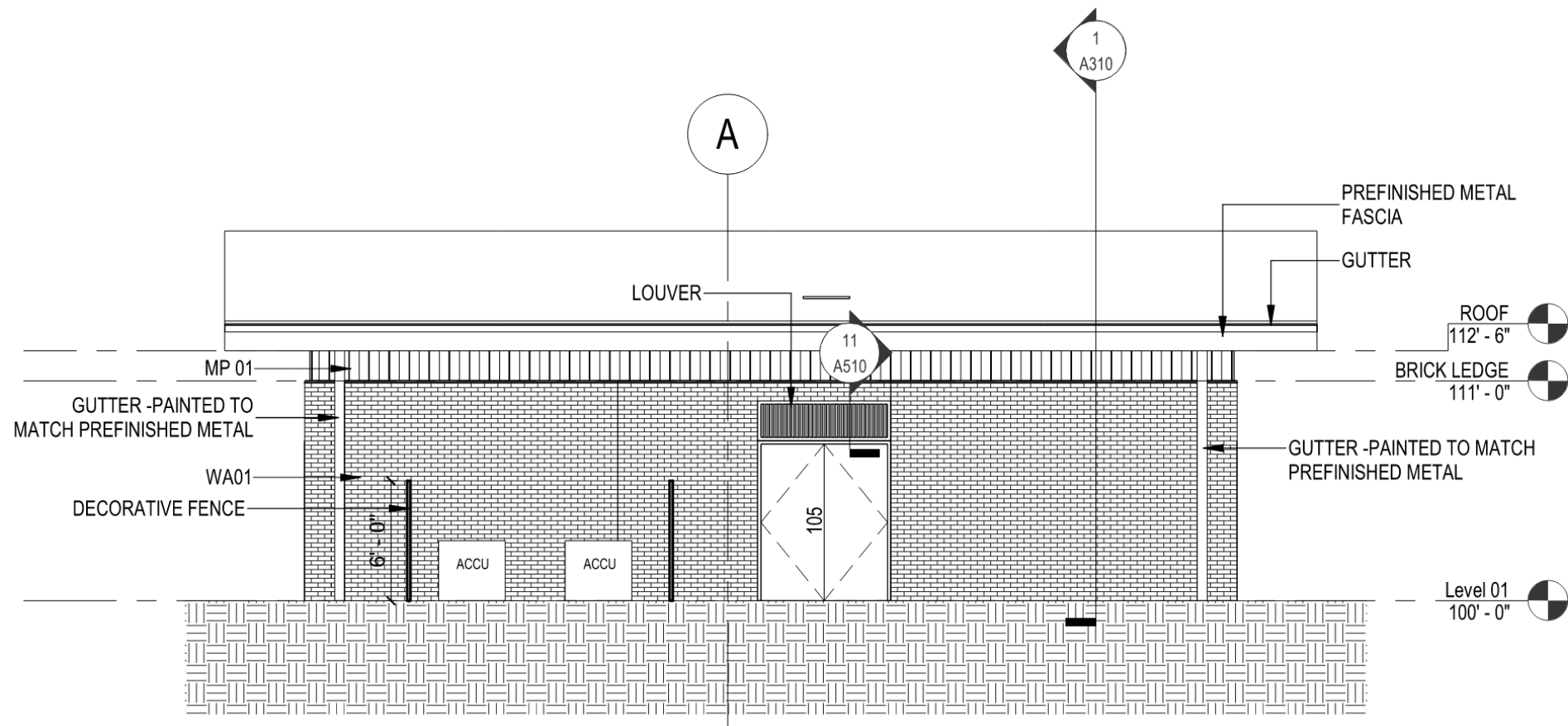
1 SOUTH ELEVATION
1/8" = 1'-0"



2 EAST ELEVATION
1/8" = 1'-0"



3 NORTH ELEVATION
1/8" = 1'-0"



4 WEST ELEVATION
1/8" = 1'-0"











